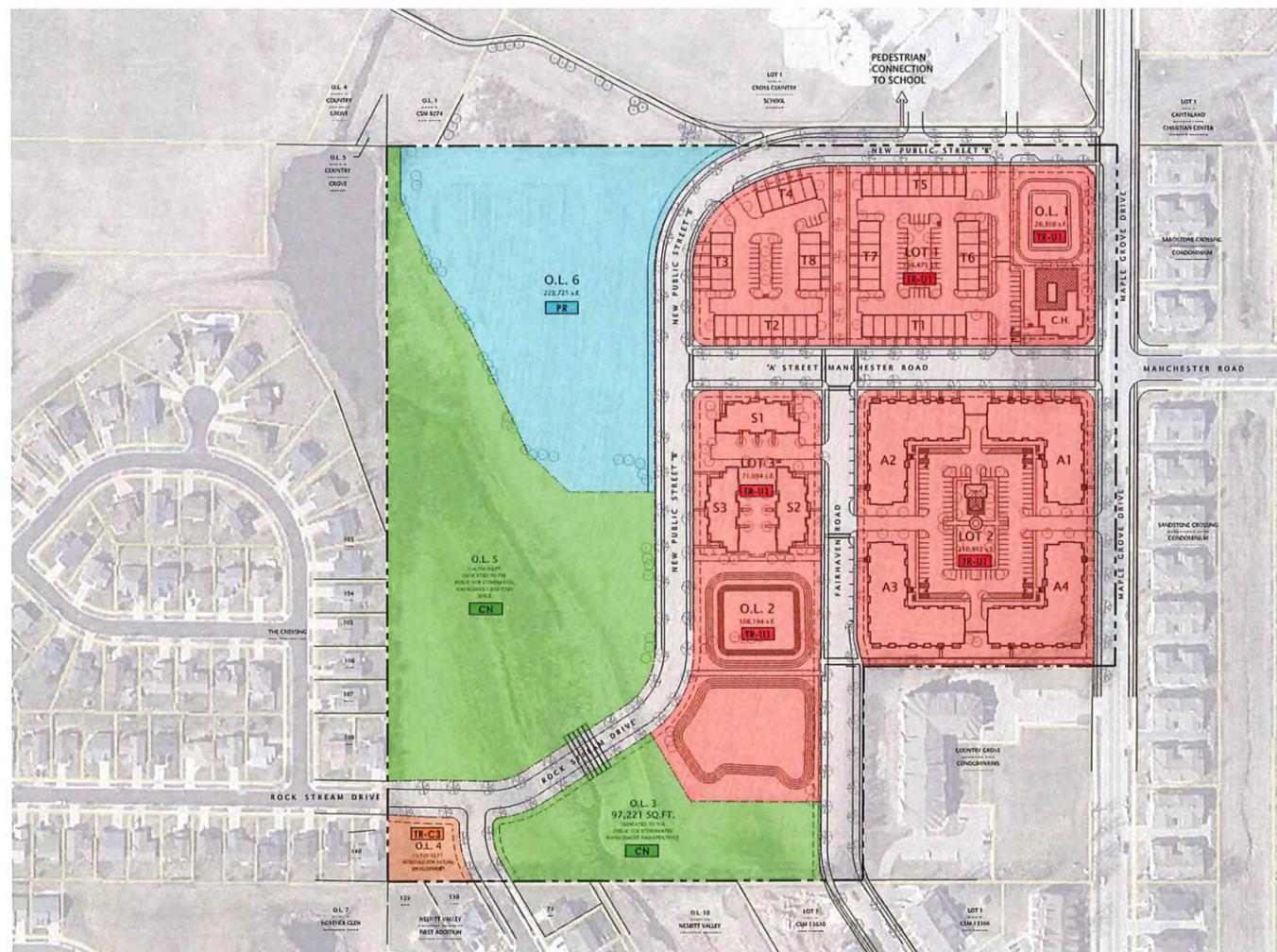


MAPLE GROVE DRIVE RESIDENTIAL

MADISON, WISCONSIN



LAND USE APPLICATION SUBMITTAL

DECEMBER 18, 2019



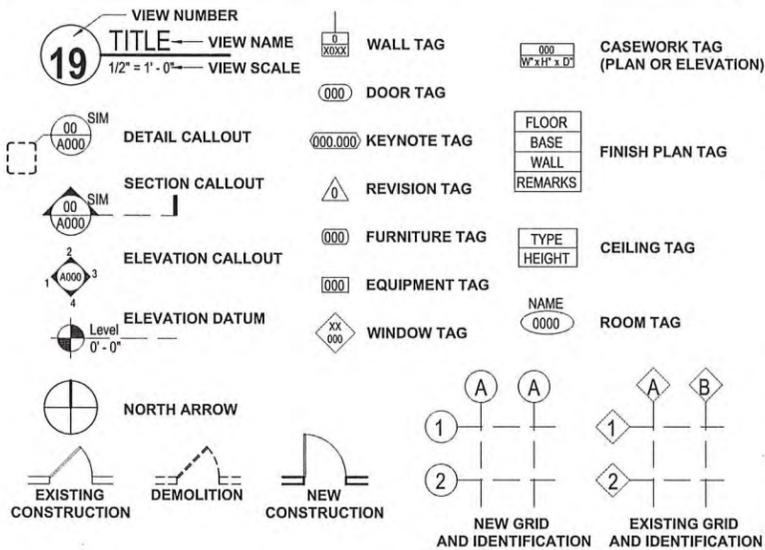
JLA
ARCHITECTS

JLA PROJECT NUMBER: 17-1018

ABBREVIATIONS

A air condition	D demolition	G gage	N north	T time & materials
ACT Architect/Engineer	DEPT department	GALV galvanized	NA not applicable	TEMP temperature
ADDL additional	DF drinking fountain	GB grab bar	NIC not in contract	TER terrace
ADDD addendum	DFS Door and Frame Schedule	GC general contractor	NOM normal	TERB terrace base
AFC above finished counter	DR double hung	GL glass	NTS not to scale	TF top of finish floor
AFB above finished floor	DL diameter	GLU LAM glued laminated wood		TK BD top of kitchen backboard
AFS above finished grade	DR FR door frame	GR grade, grading		TO top of beam
ALT alternate	DTL detail	GRAN granite		TOC top of concrete
ALUM aluminum	DW dishwasher	GT grout		TOJ top of joint
APPD approved	DWG drawing	GWT glazed wall tile		TOPD topography
APT apartment		GYP BD gypsum board		TOS top of slab
ASC above suspended ceiling				TOS top of steel
				TV typical
				TYP typical
B baseboard	E east	H hose bibb	Q on center	U unless noted otherwise
BB bulletin board	EIFS exterior insulation	HFC hollow core	OD outside diameter	UN unless otherwise note
BLDG building	EL elevation	HPC hand capped	OF/CI owner furnished, contractor installed	
BL blinds (window)	ELEC electric, electrical	HM hollow metal	OF/CI owner furnished, owner installed	
BLT borrowed light	EP epoxy	HSKPG housekeeping	OH DR overhead (ceiling) door	
BLV below	EPB epoxy base	HT height	OP opposite hand opening	
BPL base plate	EPS expanded polystyrene board	HWC heating, ventilating & air conditioning		
BO bottom of	EQ equal	HW hot water		
BOS bottom of steel	EXIST existing	HWF hardwood floor		
	EXT exterior, expansion	HWY highway		
	EXT exterior			
C catch basin	F female	I inside diameter	Q quarry tile	
CB construction bulletin	F fire	INSL insulation	QT quarry tile base	
CF/CI contractor furnished, contractor installed	FA fire alarm	INT interior	R resilient base	
CF/CI contractor furnished, owner installed	FAB fabric	INT interior	RC reflected ceiling plan	
CF/VI contractor furnished, vendor installed	FAC file cabinet	J janitor sink	RD roof drain	
	FD floor drain		REBAR reinforcing steel bars	
CG corner guard	FEC fire extinguisher cabinet	L laminate	RF resilient flooring	
CH BD chalkboard	FHC fire hose cabinet	LAV lavatory	RFS room finish schedule	
CIP cast-in-place	FG foot grille	LL live load	RO rough opening	
CJ control joint	FLR floor			
CJ construction joint	FM factory mutual			
CL centerline	FM floor mat			
CLG ceiling	FP fire protection			
CLR clear	FRP frequent			
CM construction management	FRP fire place			
CMU concrete masonry unit	FRP floor reinforced panel			
CO cleanout	FT feet			
COL column	FTG footing			
CONC concrete	FVP fabric wrapped panel			
CORR corrode				
CONT continuous				
CPT carpet				
CSWK casework				
CT ceramic tile				
CTB ceramic tile base				

SYMBOL LEGEND



PROJECT ADDRESS

MAPLE GROVE DRIVE RESIDENTIAL
MADISON, WISCONSIN

OWNER INFORMATION

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 NORTH WATER STREET - SUITE 200
MILWAUKEE, WISCONSIN 53202
CONTACT: MR. CRAIG RADDATZ
CRADDATZ@FRED-INC.COM
P 414.226.4535

PROJECT TEAM

ARCHITECTURAL

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2418 CROSSROADS DRIVE - SUITE 2300
MADISON, WISCONSIN 53718
CONTACT: MR. MARC OTT
MOTT@JLA-AP.COM
OFFICE: 608.241.9500 DIRECT: 608.442.3867

CIVIL ENGINEERING

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7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: MR. BRUCE HOLLAR
BHOLLAR@DONOFRIO.CC
608.833.7530

VICINITY MAP



EXTENTS OF DEVELOPMENT

SHEET INDEX

G000	COVER
G001	INDEX
C-001	EXISTING CONDITIONS
C-100	SITE PLAN
C-101	SITE PLAN
C-102	SITE PLAN
C-201	GRADING PLAN
C-202	GRADING PLAN
C-301	UTILITY PLAN
C-302	UTILITY PLAN
C-500	FIRE ACCESS PLAN

P-1.0 SITE LIGHTING PHOTOMETRIC

L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	OVERALL EXISTING TREE INVENTORY
L-1.2	OVERALL LANDSCAPE PLAN: LOT 1
L-1.3	FOUNDATION LANDSCAPE PLAN: CLUBHOUSE & TOWNHOMES
L-1.4	ENLARGED LANDSCAPE FOUNDATION PLANS: LOT 1
L-1.5	OVERALL LANDSCAPE PLAN: LOT 2
L-1.6	ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION A
L-1.7	ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION B
L-1.8	OVERALL LANDSCAPE PLAN: LOT 3
L-1.9	ENLARGED LANDSCAPE FOUNDATION PLANS: OPTION A & B
L-1.10	OVERALL LANDSCAPE PLAN: OUTLOT 1 & 2

T-A101	FLOOR PLANS
T-A102	FLOOR PLANS
T-A200	EXTERIOR ELEVATIONS
T-A201	EXTERIOR ELEVATIONS
T-A202	EXTERIOR PERSPECTIVES

A-A100	LOWER LEVEL PLAN
A-A101	FIRST FLOOR PLAN
A-A102	SECOND FLOOR PLAN
A-A103	THIRD FLOOR PLAN
A-A104	ROOF PLAN
A-A200	EXTERIOR ELEVATIONS
A-A201	EXTERIOR ELEVATIONS
A-A202	EXTERIOR PERSPECTIVES

S-A101	FIRST FLOOR PLAN
S-A102	SECOND FLOOR PLAN
S-A103	ROOF PLAN
S-A200	EXTERIOR ELEVATIONS
S-A201	EXTERIOR ELEVATIONS
S-A202	EXTERIOR PERSPECTIVES

CH-A101	FIRST FLOOR PLANS
CH-A200	EXTERIOR ELEVATIONS
CH-A201	EXTERIOR ELEVATIONS
CH-A202	EXTERIOR PERSPECTIVES



JLA ARCHITECTS

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MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
MARK	DESCRIPTION	DATE

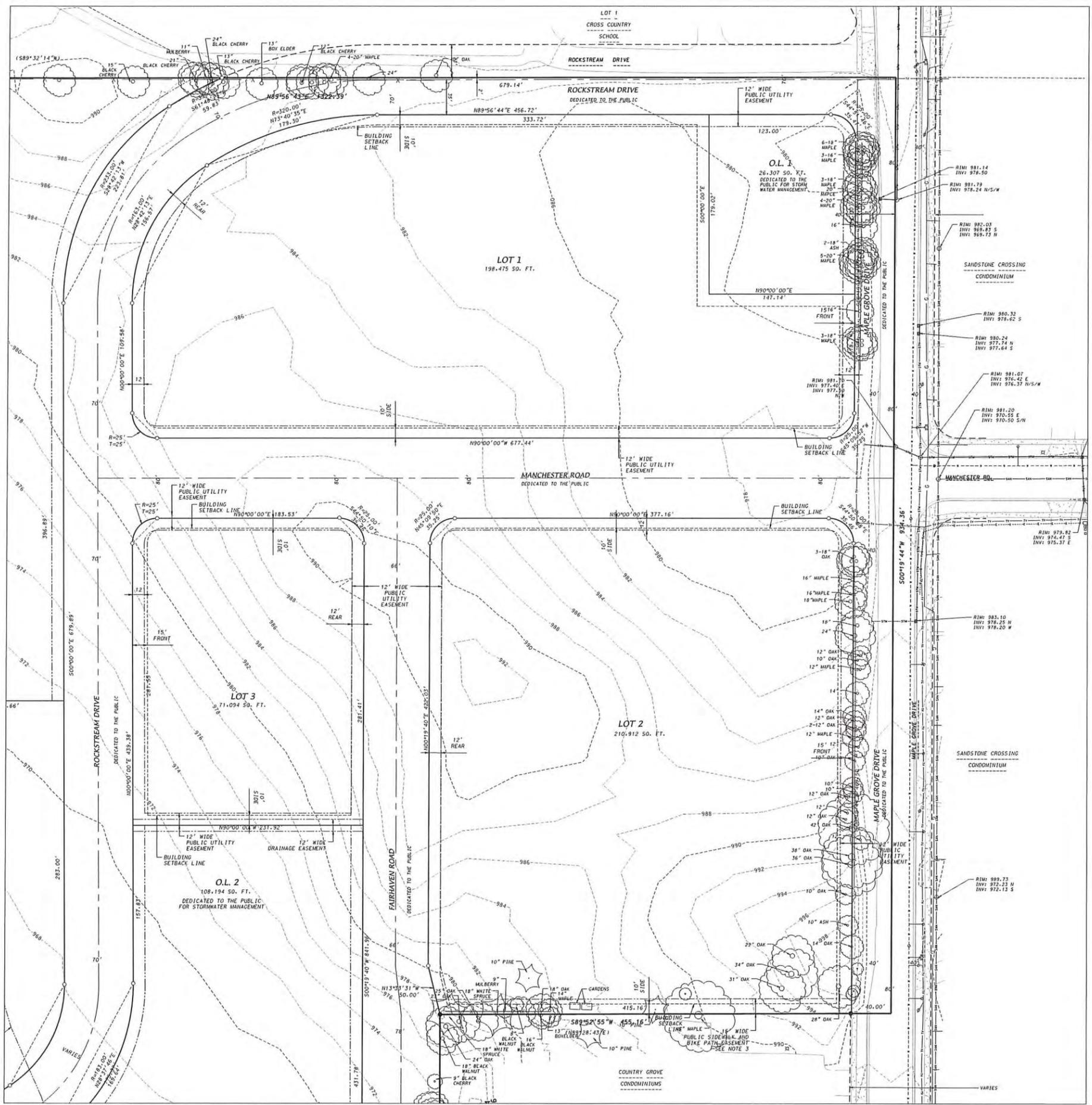
SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001

- LEGEND**
- FOUND 3/4" REBAR
 - ⊙ FOUND 1-1/4" REBAR
 - PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
 - SAN SANITARY SEWER
 - W WATER MAIN
 - STM STORM SEWER
 - TV TELECOMMUNICATION
 - MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - VALVE
 - HYDRANT
 - SIGN
 - FENCE
 - CONCRETE CURB AND GUTTER
 - EXISTING CONTOUR



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7530 Westward Way, Madison, WI 53717
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT
DKA PROJECT NUMBER: 19-03-104

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SHEET TITLE

EXISTING CONDITIONS

SHEET NUMBER

C-001



SCALE: 1" = 50'

- LEGEND**
- FOUND 3/4" REBAR
 - FOUND 1-1/4" REBAR
 - PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
 - SAN SANITARY SEWER
 - W WATER MAIN
 - STM STORM SEWER
 - TV TELECOMMUNICATION
 - MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - VALVE
 - HYDRANT
 - SIGN
 - ACCESSIBLE PARKING SPACE
 - NO. PARKING SPACES
 - FENCE
 - CONCRETE CURB AND GUTTER

SITE PLAN INFORMATION BLOCK LOT 1

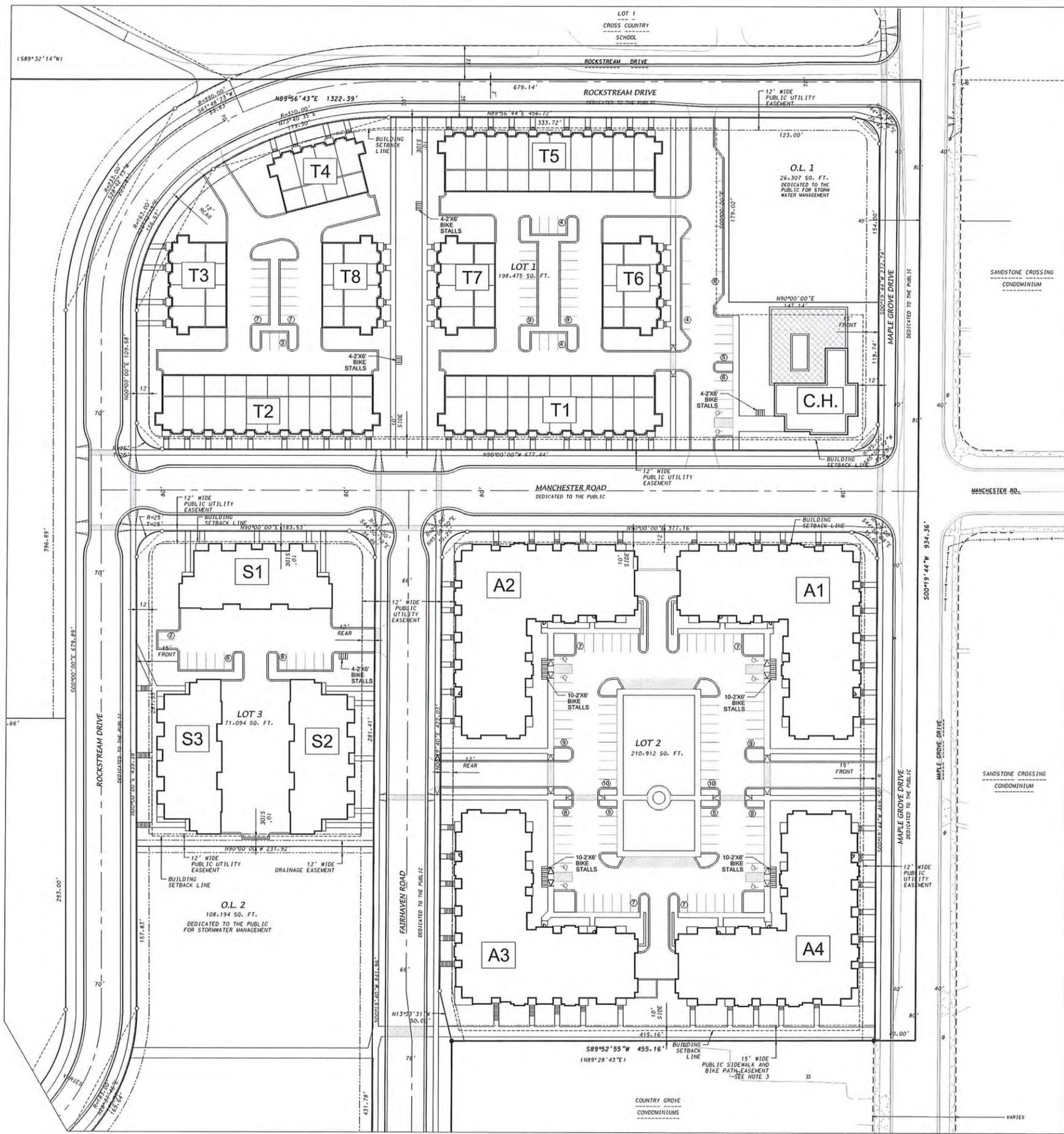
Existing Lot Area	198,475 sf
Building Area	66,381 sf
Total Covered Parking Stalls	100
Total Surface Parking Stalls	64
Total Parking Stalls	164
Total Covered Bike Parking Stalls	100
Total Surface Bike Parking Stalls	12
Total Bike Parking Stalls	112

SITE PLAN INFORMATION BLOCK LOT 2

Existing Lot Area	210,912 sf
Building Area	87,280 sf
Total Covered Parking Stalls	204
Total Surface Parking Stalls	92
Total Parking Stalls	296
Total Covered Bike Parking Stalls	176
Total Surface Bike Parking Stalls	40
Total Bike Parking Stalls	216

SITE PLAN INFORMATION BLOCK LOT 3

Existing Lot Area	71,094 sf
Building Area	24,903 sf
Total Covered Parking Stalls	36
Total Surface Parking Stalls	36
Total Guest Parking Stalls	14
Total Parking Stalls	86
Total Covered Bike Parking Stalls	48
Total Surface Bike Parking Stalls	4
Total Bike Parking Stalls	52



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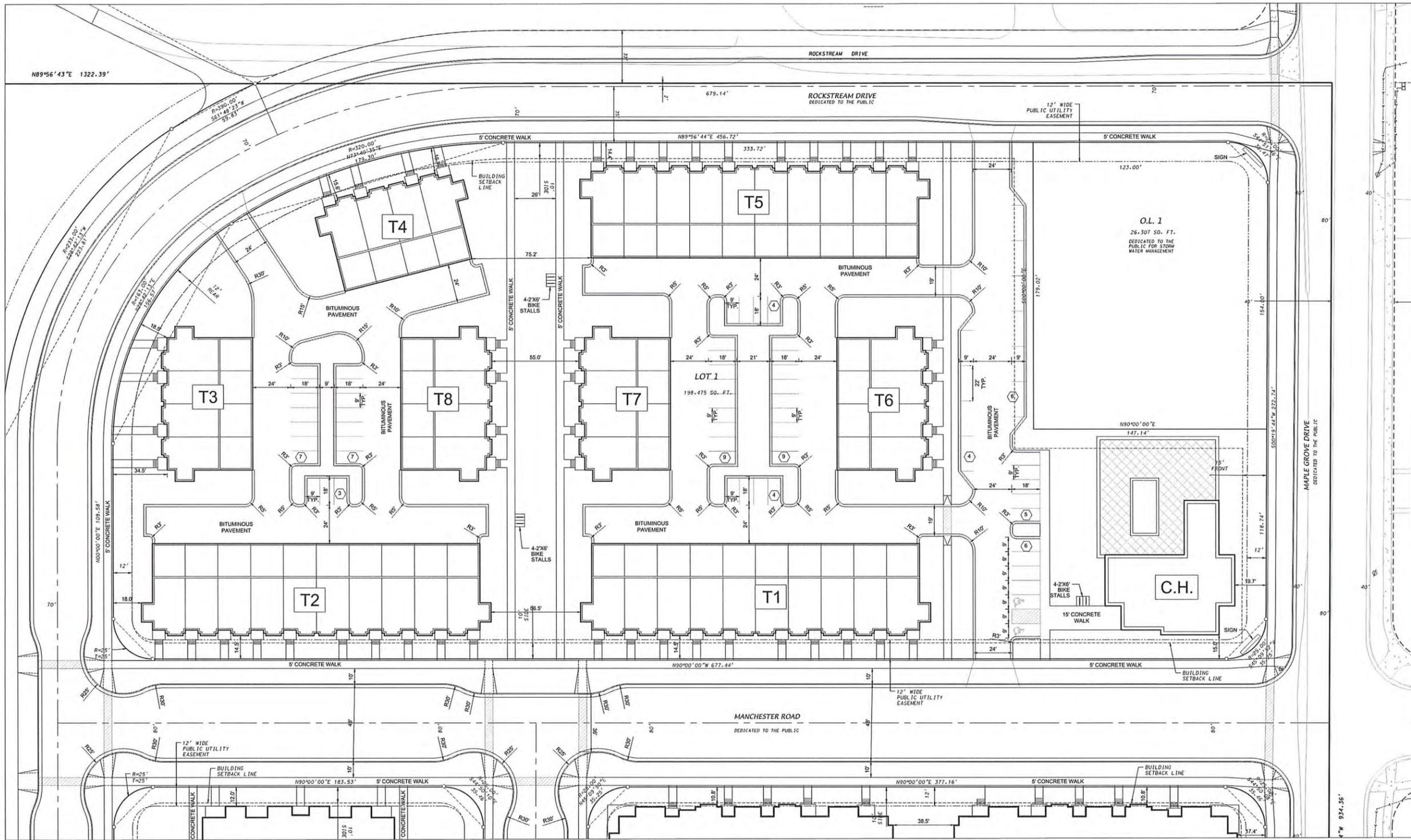
SITE PLAN

SHEET NUMBER

C-100



SCALE: 1" = 50'



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REVISION SCHEDULE		
Mark	Description	Date

SITE PLAN

SHEET NUMBER
C-101

GENERAL NOTES

- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- CURB RADII DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



SCALE: 1" = 30'

Dec 17, 2019 - 3:13pm U:\Users\1903104\Drawings\1903104_1.0_Site Plan.dwg C-101



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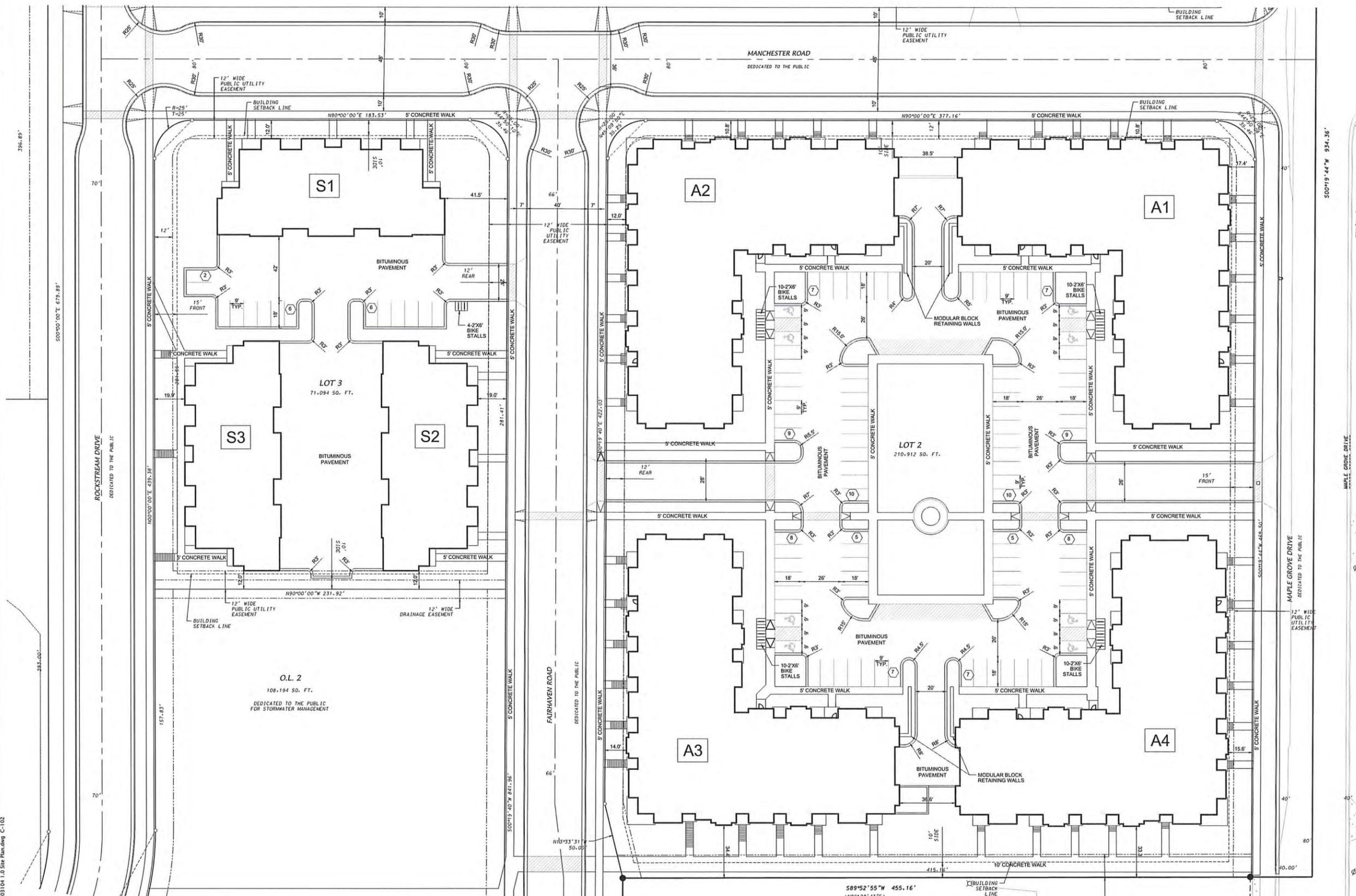
Mark	Description	Date

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-102



GENERAL NOTES

- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- CURB RADII DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

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SCALE: 1" = 30'

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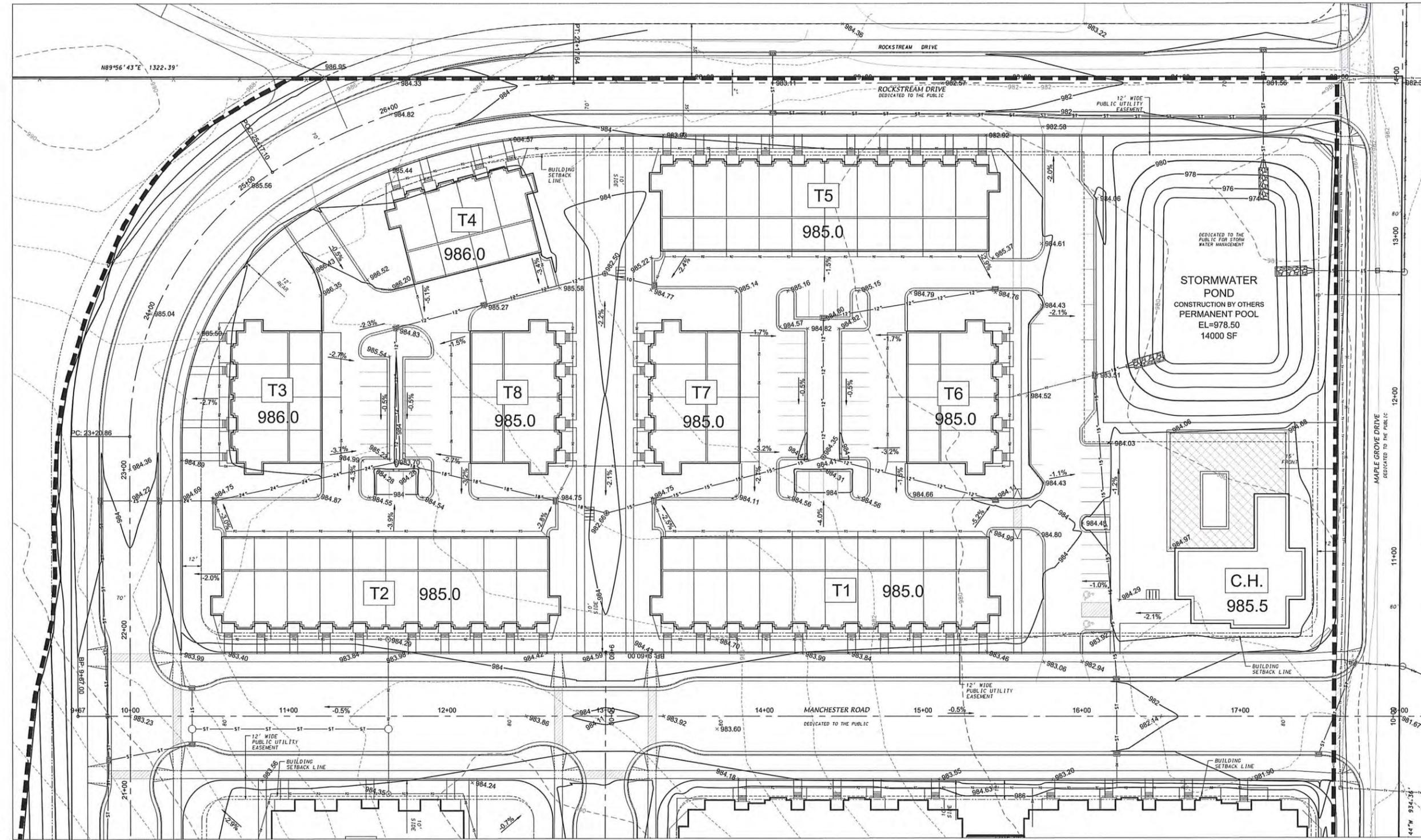
Mark	Description	Date

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-201



LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- GRADING LIMITS

GENERAL NOTES

1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

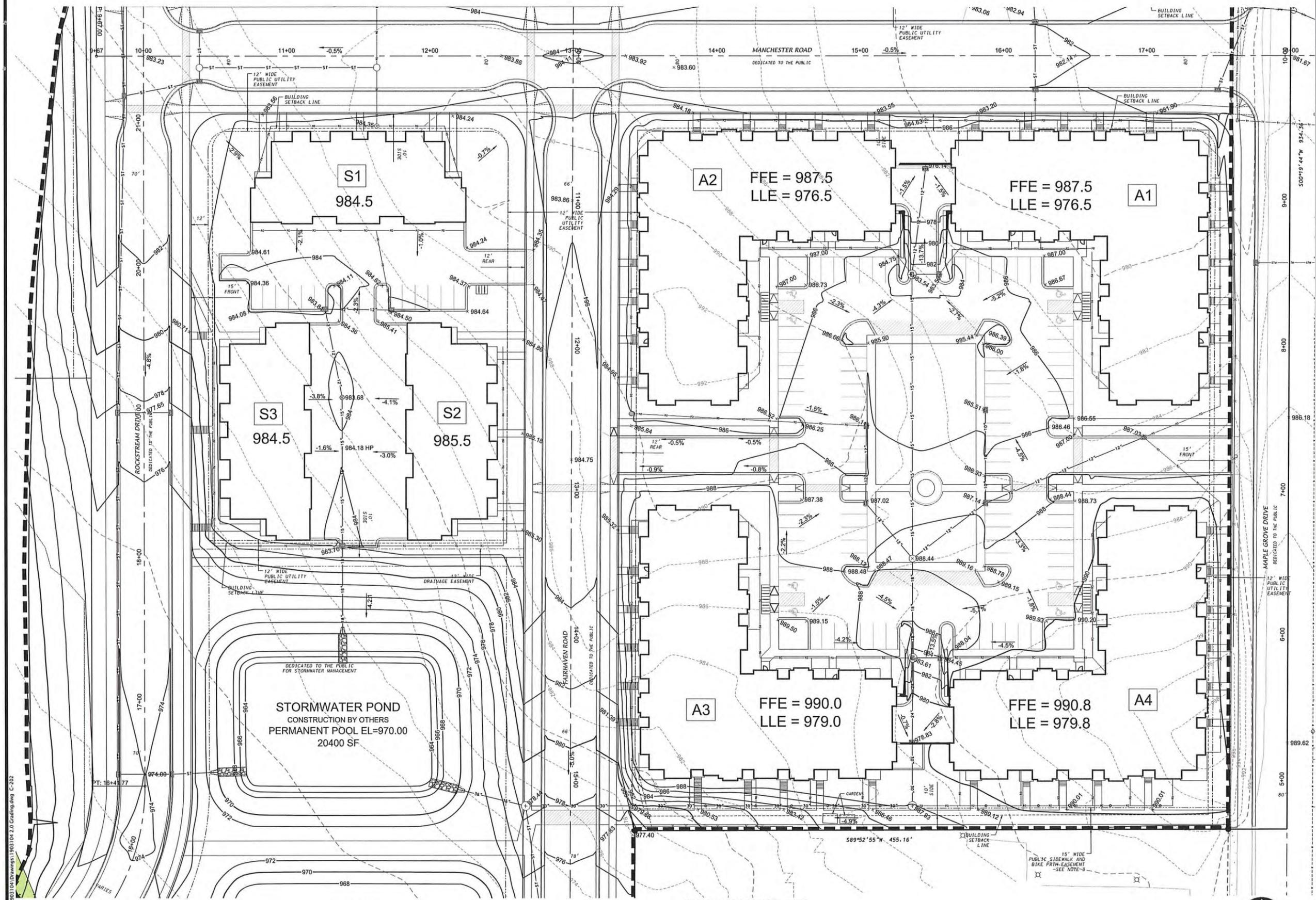
GRADING AND EROSION CONTROL NOTES

1. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
2. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
3. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



SCALE: 1" = 30'

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MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-202

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- GRADING LIMITS

GENERAL NOTES

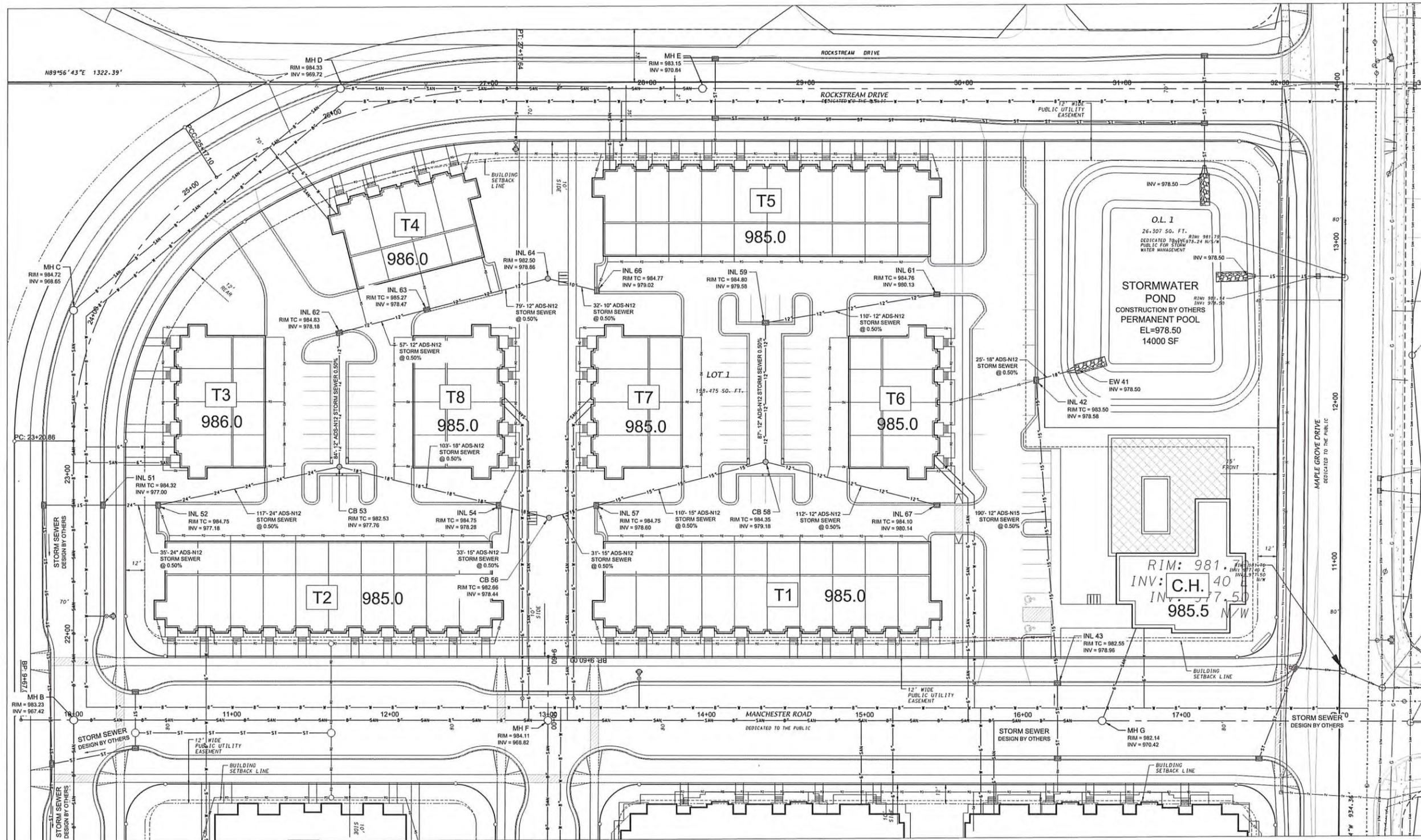
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

GRADING AND EROSION CONTROL NOTES

1. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
2. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
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LAND USE SUBMITTAL

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Mark	Description	Date

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C-301

SITE UTILITY NOTES

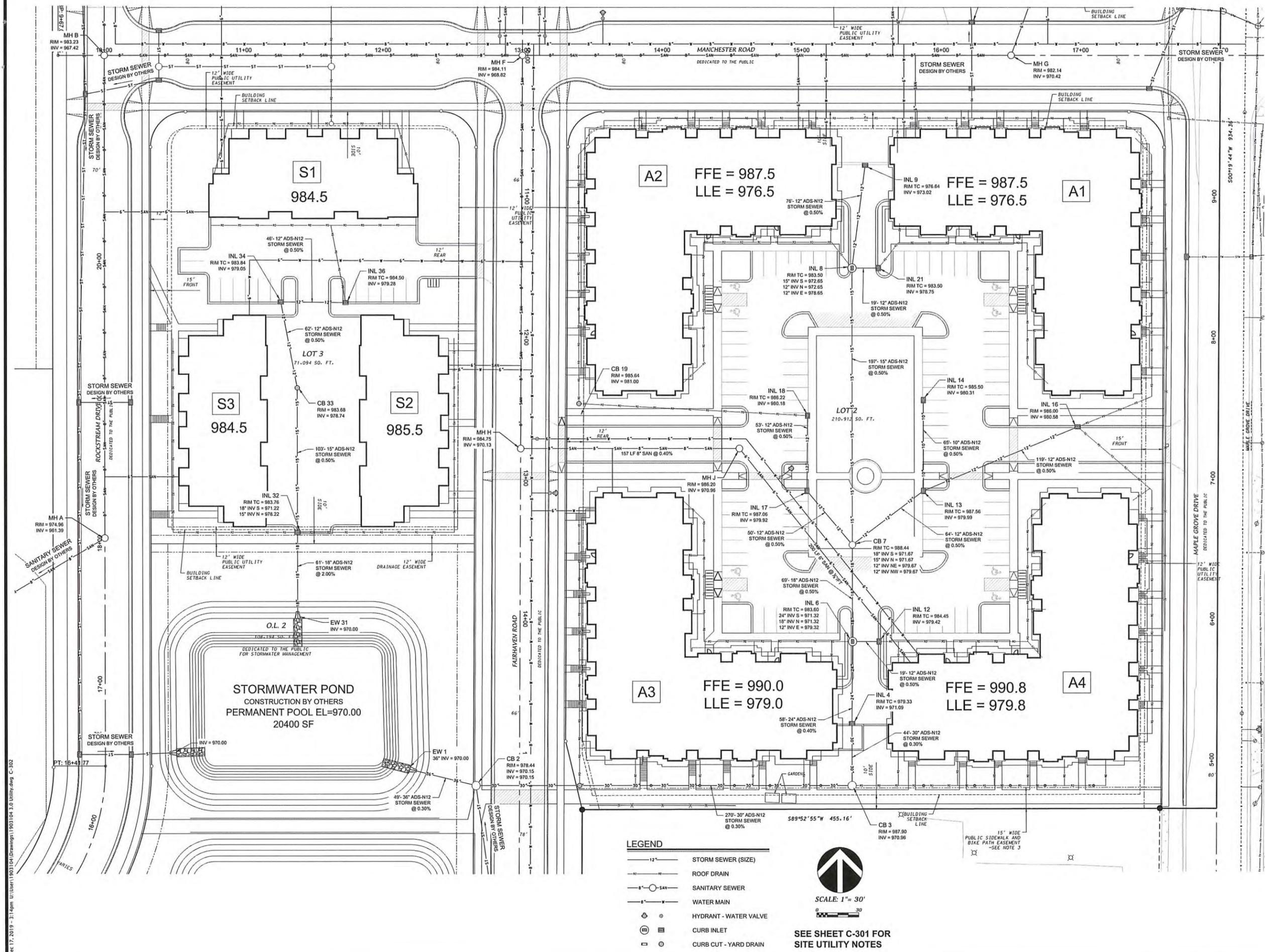
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
6. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
7. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE.
8. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID.
9. ALL STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12.
10. ALL ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.

LEGEND

- 12" — STORM SEWER (SIZE)
- 12" — ROOF DRAIN
- 8" — SAN — SANITARY SEWER
- 8" — WATER MAIN
- ⊕ ⊙ HYDRANT - WATER VALVE
- ⊕ ⊙ CURB INLET
- ⊕ ⊙ CURB CUT - YARD DRAIN



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Dec 17, 2019 - 3:14pm \\luser\1903104\Drawings\1903104_3.0\Utility.dwg C-302

- LEGEND**
- 12" — STORM SEWER (SIZE)
 - ROOF DRAIN
 - 8" — SAN — SANITARY SEWER
 - 8" — W — WATER MAIN
 - ⊕ ⊙ HYDRANT - WATER VALVE
 - ⊕ ⊞ CURB INLET
 - ⊕ ⊙ CURB CUT - YARD DRAIN



SCALE: 1" = 30'

SEE SHEET C-301 FOR
SITE UTILITY NOTES



JLA
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DKA PROJECT NUMBER: 19-03-104

**MAPLE GROVE DRIVE
RESIDENTIAL**

LAND USE SUBMITTAL

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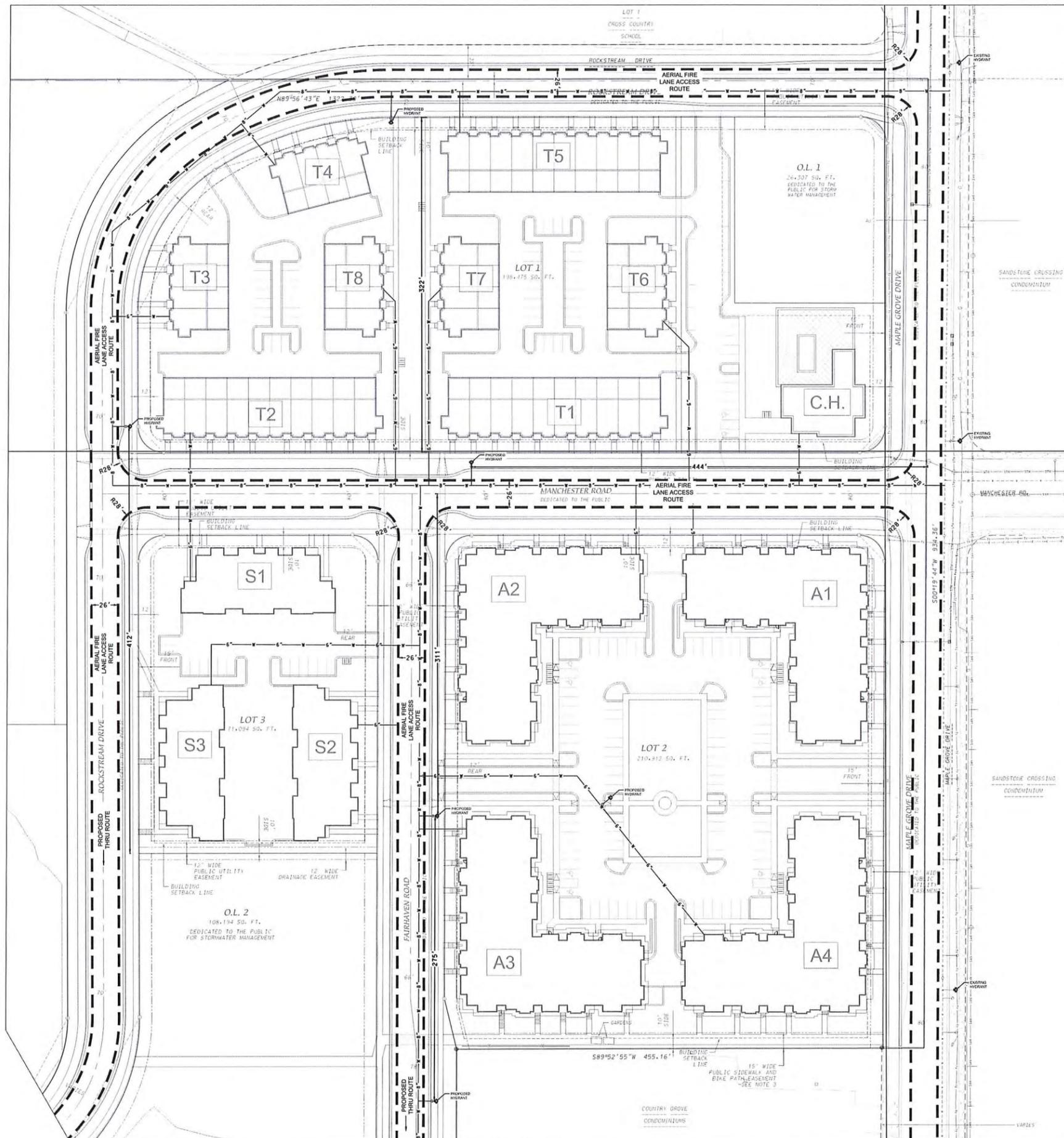
Mark	Description	Date

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C-302



Dec 17, 2019 - 3:15pm C:\Users\1903104\Drawings\1903104_5.0 Fire Access Plan.dwg C-500



SCALE: 1" = 50'



LEGEND

--- UNOBSTRUCTED FIRE LANE



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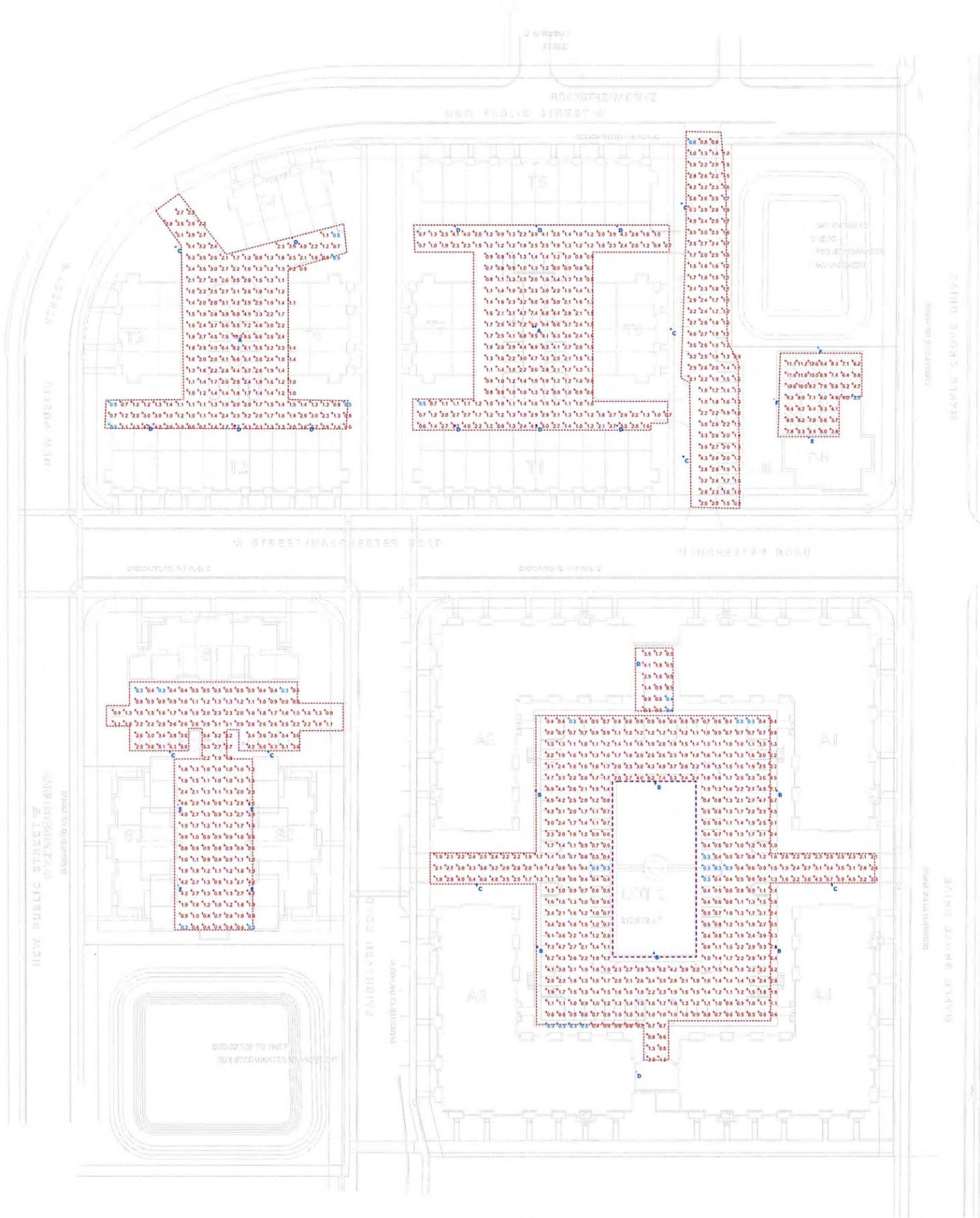
Mark	Description	Date

SHEET TITLE

FIRE ACCESS PLAN

SHEET NUMBER

C-500



Plan View
Scale - 1" = 50ft

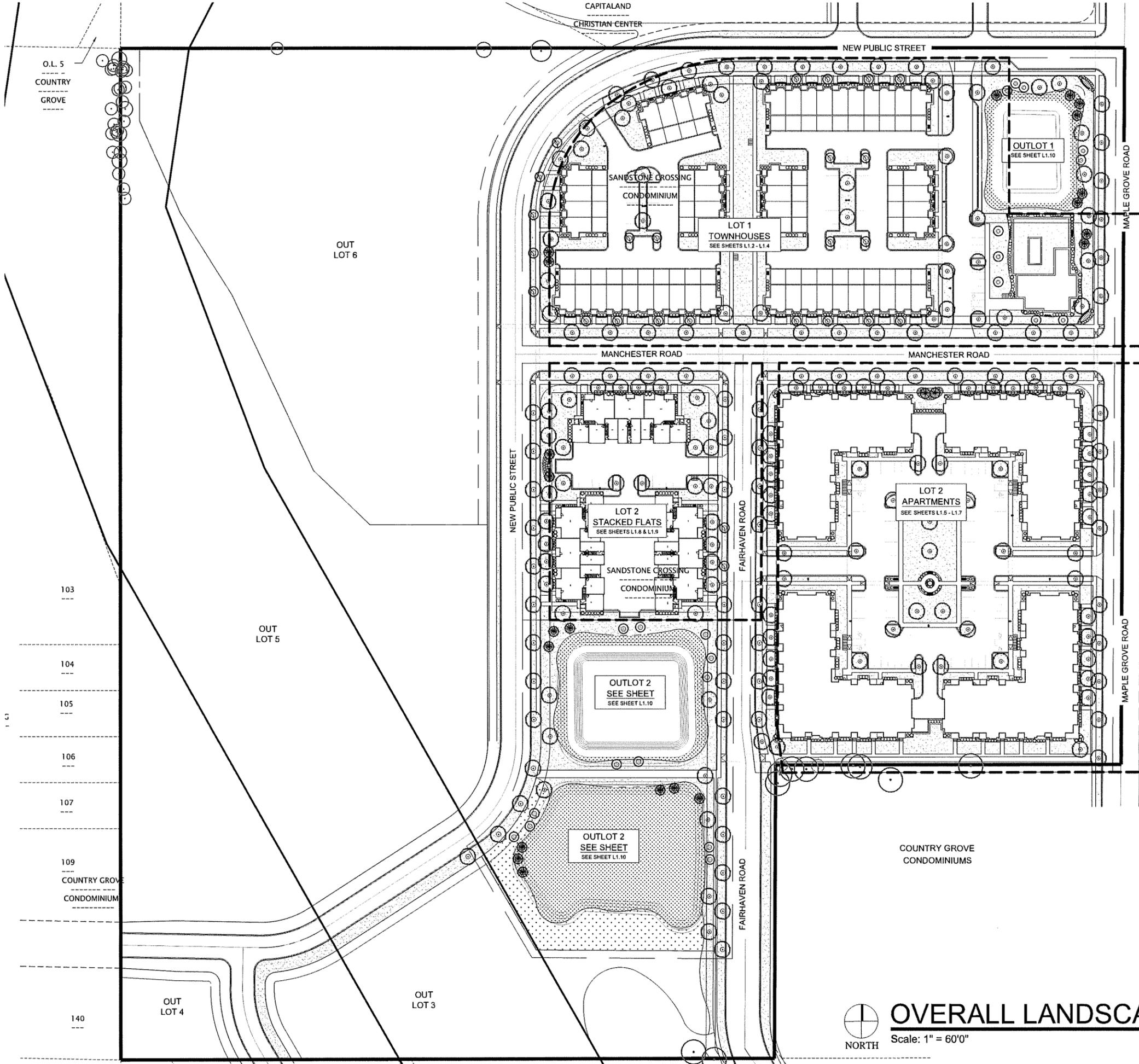
Manufacturer	Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
		A		2	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	17427	1	228.14	22FT AFG 20FT POLE + 2FT BASE
		B		6	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	17427	1	114.07	22FT AFG 20FT POLE + 2FT BASE
		C		8	Lithonia Lighting	RSX2 LED P2 40K R3	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R3 Distribution	17202	1	114.07	22FT AFG 20FT POLE + 2FT BASE
		D		12	Lithonia Lighting	DSXW1 LED 20C 530 40K T3M HVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 530mA.	4287	1	34.9	10FT AFG
		E		5	Lithonia Lighting	DSXW1 LED 20C 530 40K T4M HVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA.	4201	1	34.9	10FT AFG
		F		2	HUBBELL OUTDOOR	RAR2-480L-240-4K7-4W		31850	1	226.9	

Note
FC Measured at 0' AFG
Per Wisconsin Administrative Code SPS 390.16 (3) (d) pool will have an underwater light.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BETWEEN T6 & C.H.	+	2.1 fc	6.3 fc	0.6 fc	10.5:1	3.5:1
LOT 1	+	2.2 fc	9.8 fc	0.5 fc	19.6:1	4.4:1
LOT 2		1.8 fc	7.4 fc	0.3 fc	24.7:1	5.9:1
LOT 3	+	1.8 fc	6.3 fc	0.3 fc	21.0:1	6.0:1
POOL	+	7.4 fc	11.6 fc	3.5 fc	3.3:1	2.1:1
T2/T3/T4/T8	+	2.5 fc	10.0 fc	0.5 fc	20.0:1	5.0:1

DIGGERS HOTLINE

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
811 or 1-800-242-8511
MILWAUKEE AREA 259-1181
WIS. STATUTE: 90.01(2)(b)(3)(4)
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



O.L. 5
COUNTRY GROVE

OUT LOT 6

OUT LOT 5

103

104

105

106

107

109

COUNTRY GROVE CONDOMINIUM

OUT LOT 4

OUT LOT 3

140

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
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ph 262.639.9733
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PROJECT
MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
OVERALL LANDSCAPE PLAN

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	



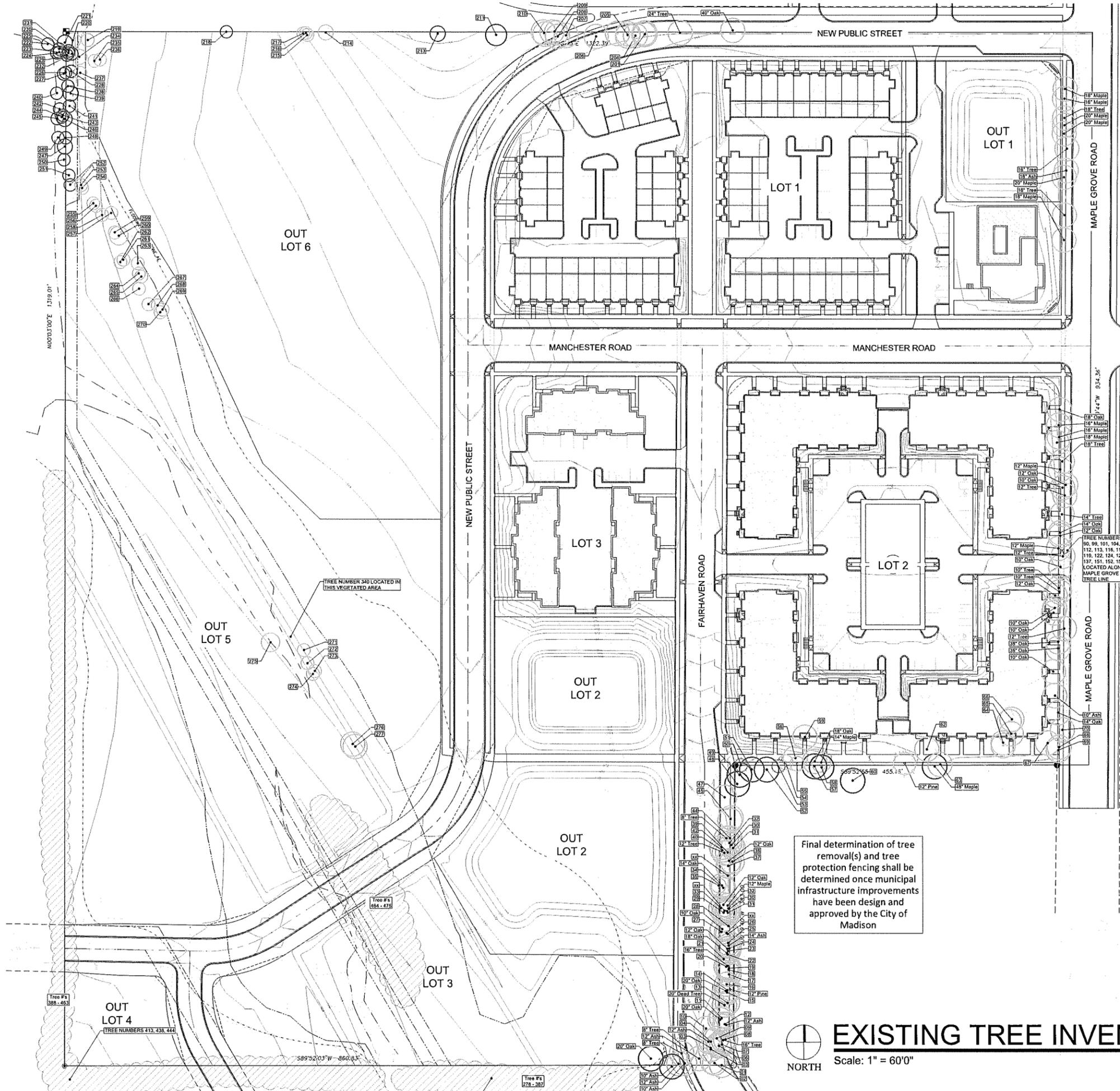
OVERALL LANDSCAPE PLAN

Scale: 1" = 60'0"

L 1.0



TO OBTAIN LOCATIONS OF PARTICIPATES UNDERGROUND FACILITIES BEFORE YOU DIG OR EXCAVATE
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 M.W. AREA: 259-1101
 WIS. STATUTE 182.0175(1974)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



Final determination of tree removal(s) and tree protection fencing shall be determined once municipal infrastructure improvements have been design and approved by the City of Madison

Final determination of tree removal(s) and tree protection fencing shall be determined once municipal infrastructure improvements have been design and approved by the City of Madison

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PROJECT
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Maple Grove Road at Manchester Road
 Madison, WI

ISSUANCE AND REVISIONS

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SHEET TITLE
OVERALL EXISTING TREE INVENTORY

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	

EXISTING TREE INVENTORY
 Scale: 1" = 60'0"



CALL DIGGERS HOTLINE
811 or 1-800-242-2541
MUN. AREA 259-7781

NOTICE BEFORE YOU EXCAVATE

CAPITALLAND

CHRISTIAN CENTER

- SHADE TREES (DECIDUOUS)**
- AFM Autumn Fantasy Maple
 - PFH Prairie Pride Hackberry
 - SHL Skyline Honeylocust
 - SWO Swamp White Oak
 - AE Acolade Elm

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - RJFC Red Jewel Flowering Crabapple
 - JTL-s Ivory Silk Japanese Tree Lilac

- EVERGREEN TREES**
- BHS Black Hills Spruce

- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
 - KCPJ Kalfay Compact Pfizer Juniper
 - Bul Buffalo Juniper
 - TYV Taunton Intermediate Yew

- DECIDUOUS SHRUBS**
- IHD Ivory Halo Tatarian Dogwood
 - CRD Cardinal Redwing Dogwood
 - HC Faking (Hedge) Cotoneaster
 - IH Incredible! Hydrangea
 - UH Unique Hydrangea
 - DKOSR Double Pink Knock Out Rose
 - PPSR Pink Pavement Series Rose
 - GMS Goldmound Spirea
 - NIS Neon Flash Spirea
 - MML Miss Kim Dwarf Lilac
 - KSV Fragrant Korean pice Viburnum
 - MV Mexican Viburnum
 - WRW Wine & Roses Compact Witegeia

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

- PLANT ABBREVIATIONS**
- DA Deutschland Astilbe (White)
 - PBA Peach Blossom Astilbe
 - HRD Happy Returns Daylily
 - RRD Roy Returns Daylily
 - MRCB Midnight Rose Coralbells
 - PPCB Palace Purple Coralbells
 - FH Francee Hosta
 - BES Black-eyed Susan

Site Landscape Calculations
Five (5) landscape points per 300 SF of total developed area

LOT 1
Gross Area of Lot: 198,473 SF
4.6 Acres

Less Building Footprints (at grade): (63,716) SF
Less Structure (pool deck): (4,960) SF
Less designated Open Space: - SF
Less Undeveloped Area: - SF
Total Developed Area: 129,797 SF

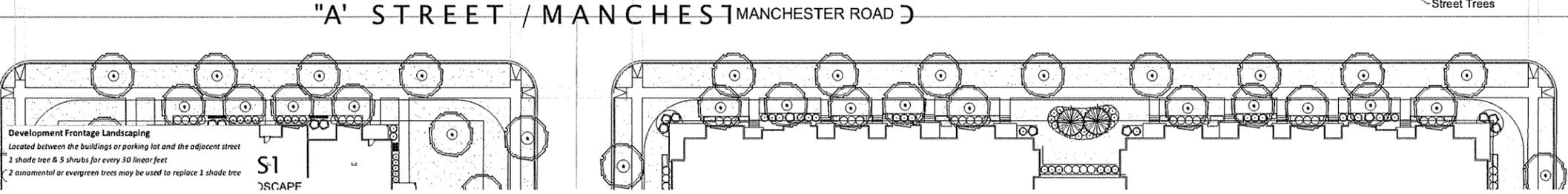
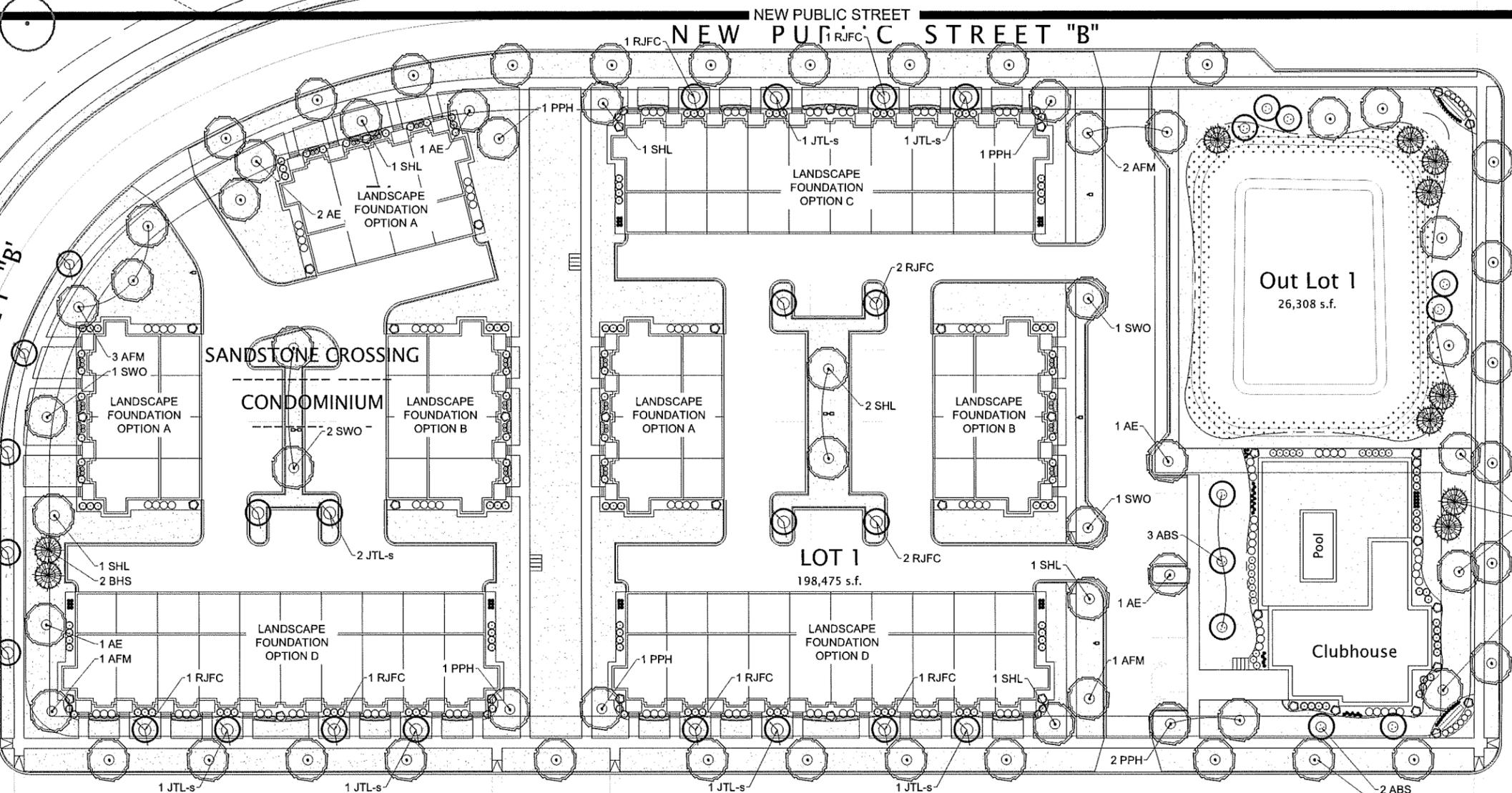
Required Landscape Points: 2,163 Points

Existing Plant Credits

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	0	0
Evergreen Tree	5-6' Tall	35	0	0
Ornamental Tree	1.5" Cal.	15	0	0
Specimen Tree	14"/inch	15	0	0
Total Existing Credits				0

Proposed Landscape Points

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	34	1,190
Evergreen Tree	5-6' Tall	35	4	140
Ornamental Tree	1.5" Cal.	15	22	330
Upright EG Shrub	3-4' Tall	10	0	0
Deciduous Shrub	12-24" (#3)	3	210	630
Evergreen Shrub	12-24" (#3)	4	160	640
Grass/Perennial	8-18" (#1)	2	380	760
Total Landscape Points Provided				3,690



LOT 1

Length of Frontage:	1,030 LF
Required Number of Trees:	34.3 Trees
Number of Trees Shown:	34 Trees
Required Number of Shrubs:	171.7 Shrubs
Number of Shrubs Shown:	197 Shrubs

Interior Parking Lot Landscaping

8% of parking area shall be devoted to interior landscape area
One (1) shade tree for every 160 SF of interior landscape area
2 ornamental trees may be used to replace 1 shade tree, max. 25%

Area of Parking Area:	23,940 SF
Required Landscape Area:	1,915.2 SF
Landscape Area Shown:	4,843 SF
Required Number of Trees:	12.0 Trees
Number of Trees Shown:	12 Trees

CODE REQUIREMENTS



OVERALL LANDSCAPE PLAN - LOT 1

Scale: 1" = 30'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry

NEW PUBLIC STREET "B"
NEW PUBLIC STREET "C"
NEW PUBLIC STREET "A"
NEW PUBLIC STREET "D"

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PROJECT
MAPLE GROVE MULTI-FAMILY

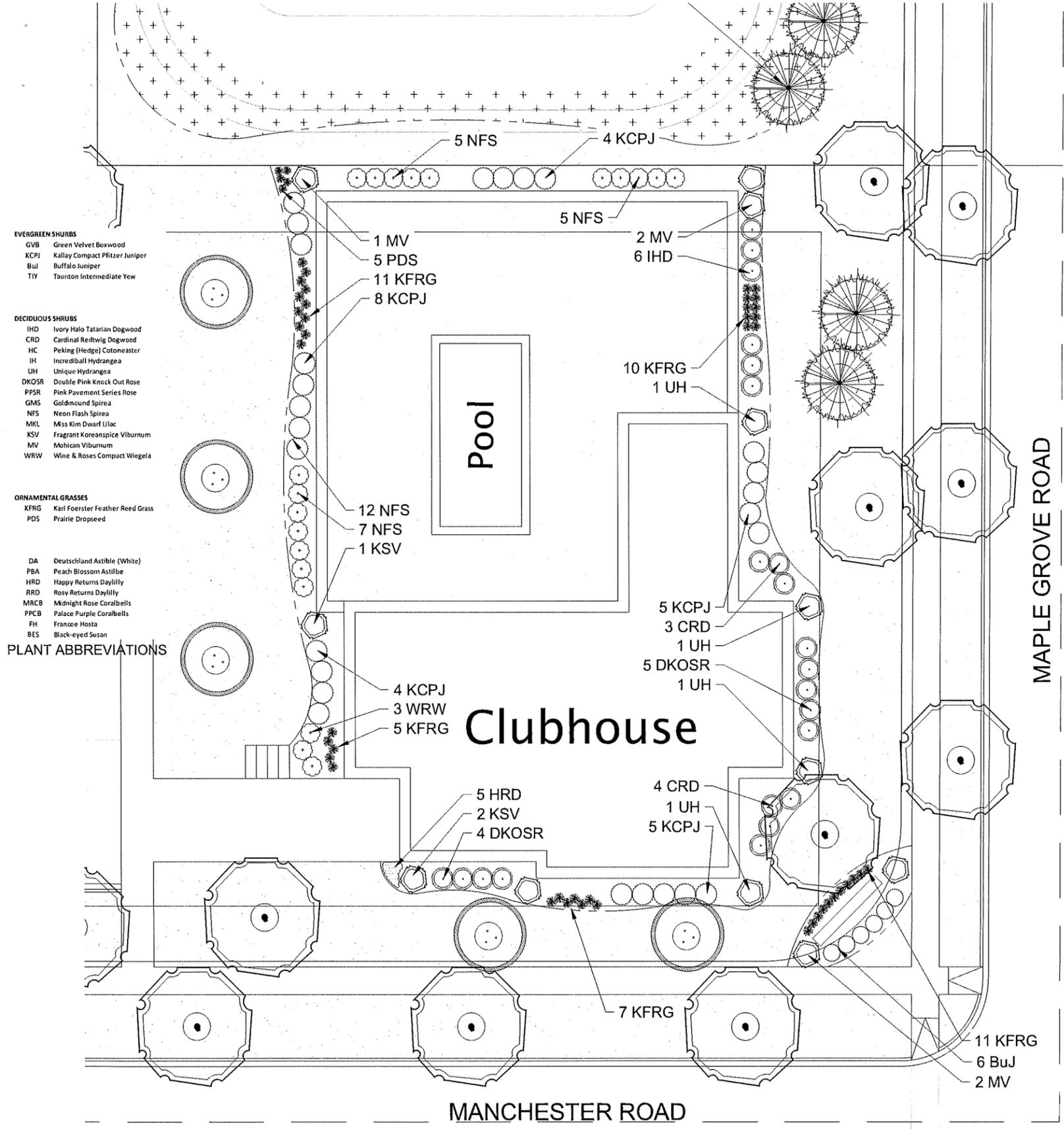
Maple Grove Road at Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

SHEET TITLE
OVERALL LANDSCAPE PLAN: LOT 1

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	



- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
 - KCPJ Kallay Compact Pfitzer Juniper
 - BuJ Buffalo Juniper
 - TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IHD Ivory Halo Tatarian Dogwood
 - CRD Cardinal Redtwig Dogwood
 - HC Peking (Hedge) Cotoneaster
 - IH Incredibleball Hydrangea
 - UH Unique Hydrangea
 - DKOSR Double Pink Knock Out Rose
 - PPSR Pink Pavement Series Rose
 - GMS Goldmound Spirea
 - NFS Neon Flash Spirea
 - MKL Miss Kim Dwarf Lilac
 - KSV Fragrant Koreanspice Viburnum
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed
- PLANT ABBREVIATIONS**
- DA Deutschland Astilbe (White)
 - PBA Peach Blossom Astilbe
 - HRD Happy Returns Daylily
 - RRD Rosy Returns Daylily
 - MRCB Midnight Rose Coralbells
 - PPCB Palace Purple Coralbells
 - FH Fraxea Hosta
 - BES Black-eyed Susan



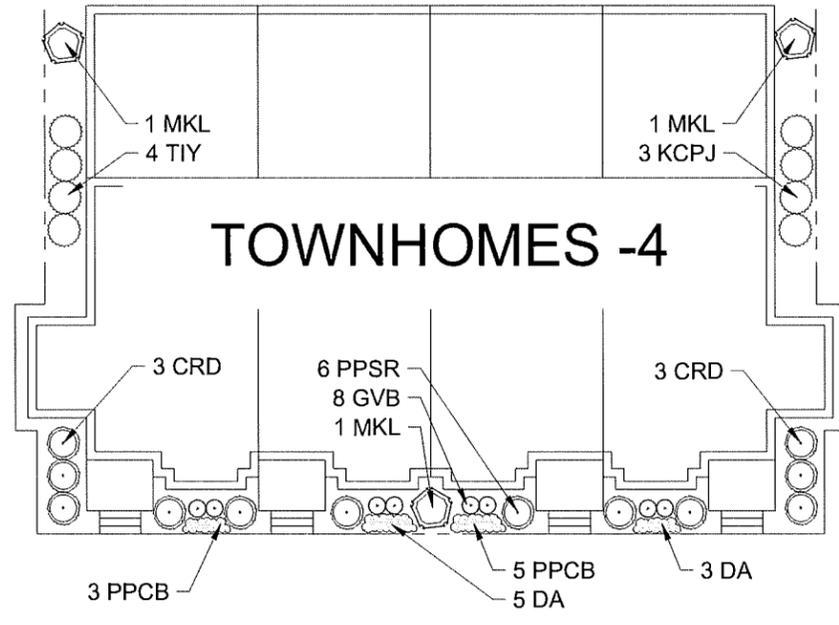
FOUNDATION LANDSCAPE PLAN - CLUBHOUSE

Scale: 1" = 10'0"

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES, BEFORE YOU DIG IN WISCONSIN

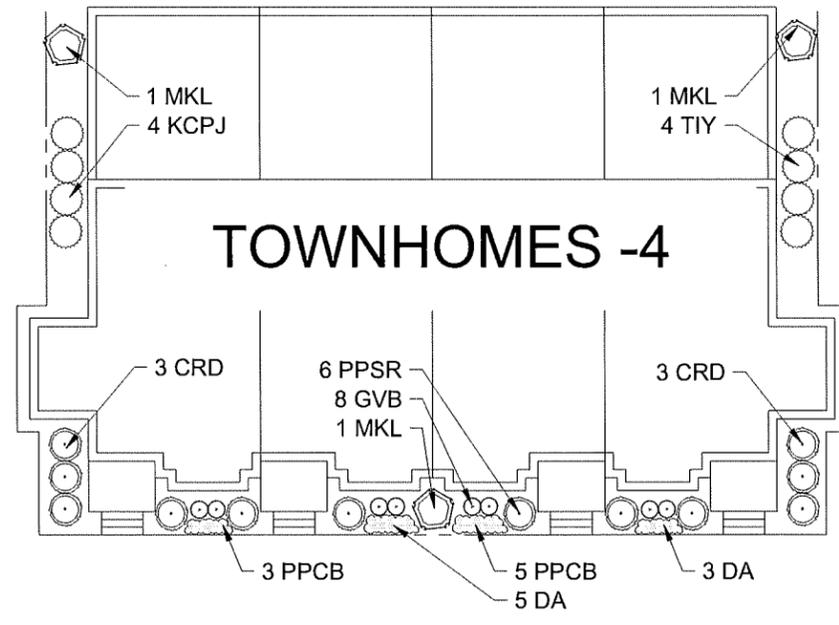
DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8011
MILWAUKEE AREA 259-1191
WIS. STATUTE 183.01(2)(b) (2011)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



FOUNDATION LANDSCAPE PLAN - OPTION "A"

Scale: 1" = 10'0"



FOUNDATION LANDSCAPE PLAN - OPTION "B"

Scale: 1" = 10'0"

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

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PROJECT
MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
FOUNDATION LANDSCAPE PLANS : CLUBHOUSE & TOWNHOUSE

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.17
SHEET NUMBER	

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	ROOT	SPECIFICATION / NOTES
Proposed Street Trees						
The City of Madison shall define the final locations, sizes & species of proposed street trees located in the City right-of-way.						
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ARM	10	Acer glabrum 'Amstrong'	Amstrong Red Maple	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
AGSM	2	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	8	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
AGM	8	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
SWD	6	Quercus bicolor	Swamp White Oak	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
GSL	12	Tilia cordata 'Greenspire'	Greenspire Linden	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
AE	8	Ulmus 'Morton' Acolade	Acolade Elm	2.5'	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
TFC	1	Malus sargentii 'Tina'	Tina Flowering Crabapple	7-8' H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVERGREEN TREES						
NS	2	Picea abies	Norway Spruce	8' H	B&B	Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS						
GBV	8	Buxus 'Green Velvet'	Green Velvet Boxwood	24"	Cont.	Full rounded well branched shrub
KCPJ	110	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24" w	Cont.	Full rounded well branched shrub
TIY	53	Taxus media 'Taynton'	Taynton Intermediate Yew	24" w	B&B	Full rounded well branched shrub
DECIDUOUS SHRUBS						
CRD	30	Cornus sericea 'Cardinal'	Cardinal Redtwig Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped
UH	40	Hydrangea arborescens 'Albetea'	Incrediball Hydrangea	45"	Cont.	Full, well rooted plant, evenly shaped
LH	6	Hydrangea paniculata 'Unique'	Unique Hydrangea	48"	Cont.	Full, well rooted plant, evenly shaped
GLS	12	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Smead	18-24"	Cont.	Full, well rooted plant, evenly shaped
PPSR	56	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont.	Full, well rooted plant, evenly shaped
AWS	11	Spiraea xbumalda 'Anthony Waterer'	Anthony Waterer Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
GMS	4	Spiraea xbumalda 'Goldmound'	Goldmound Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped
MKL	16	Springa patula 'Miss Kim'	Miss Kim Dwarf Lilac	35"	Cont.	Full, well rooted plant, evenly shaped
MV	18	Viburnum lantana 'Mollican'	Mollican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance
WRW	24	Wiegela florida 'Wine & Roses'	Wine & Roses Compact Wiegela	24"	Cont.	Full, well rooted plant, evenly shaped
ORNAMENTAL GRASSES						
KFRG	52	Calamagrostis scutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
HERBACEOUS PERENNIALS						
HRD	132	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
RRO	126	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
PPCB	48	Heuchera moranatha 'Palace Purple'	Palace Purple Coralbells	#1	Cont.	Full, well rooted plant, evenly shaped
PH	30	Hosta fortunei 'France'	France Hosta	#1	Cont.	Full, well rooted plant, evenly shaped
LAWN						
LAWN	60600	Lawn Establishment Area / Grading Area		SF		Reindeer's Deluxe 50 Seed Mix (800-785-3301)
	60600	Erosion Matting for sloped seeded areas	see plan for area delineation	SF		Ero'ee D575 Erosion Control Blanket (or approved equal)

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:

Reindeer's Deluxe 50 Seed Mix (800-785-3301):	Seed at rate of 150-200# per acre
20% Kentucky Bluegrass (Top Quality)	15% Quebec Perennial Ryegrass
15% Newport Kentucky Bluegrass	10% Fiesta III Perennial Ryegrass
15% Ken Blue Kentucky Bluegrass	
25% Creeping Red Fescue	

PLANT & MATERIAL SCHEDULE: LOT 2

Site Landscape Calculations
Five (5) landscape points per 300 SF of total developed area

LOT 2	
Gross Area of Lot:	210,912 SF 4.8 Acres
Less Building Footprints (at grade):	(79,848) SF
Less Structure (pool deck):	- SF
Less designated Open Space:	- SF
Less Undeveloped Area:	- SF
Total Developed Area:	131,064 SF
Required Landscape Points:	2,184 Points

Existing Plant Credits

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	0	0
Evergreen Tree	5-6' Tall	35	0	0
Ornamental Tree	1.5" Cal.	15	0	0
Specimen Tree	14"/inch	0	0	0
Total Existing Credits		0		0

Proposed Landscape Points

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	54	1,890
Evergreen Tree	5-6' Tall	35	2	70
Ornamental Tree	1.5" Cal.	15	0	0
Upright EG Shrub	3-4' Tall	10	0	0
Deciduous Shrub	12-24" (#3)	3	226	678
Evergreen Shrub	12-24" (#3)	4	147	588
Grass/Perennial	8-18" (#1)	2	444	888
Total Landscape Points Provided		4,114		4,114

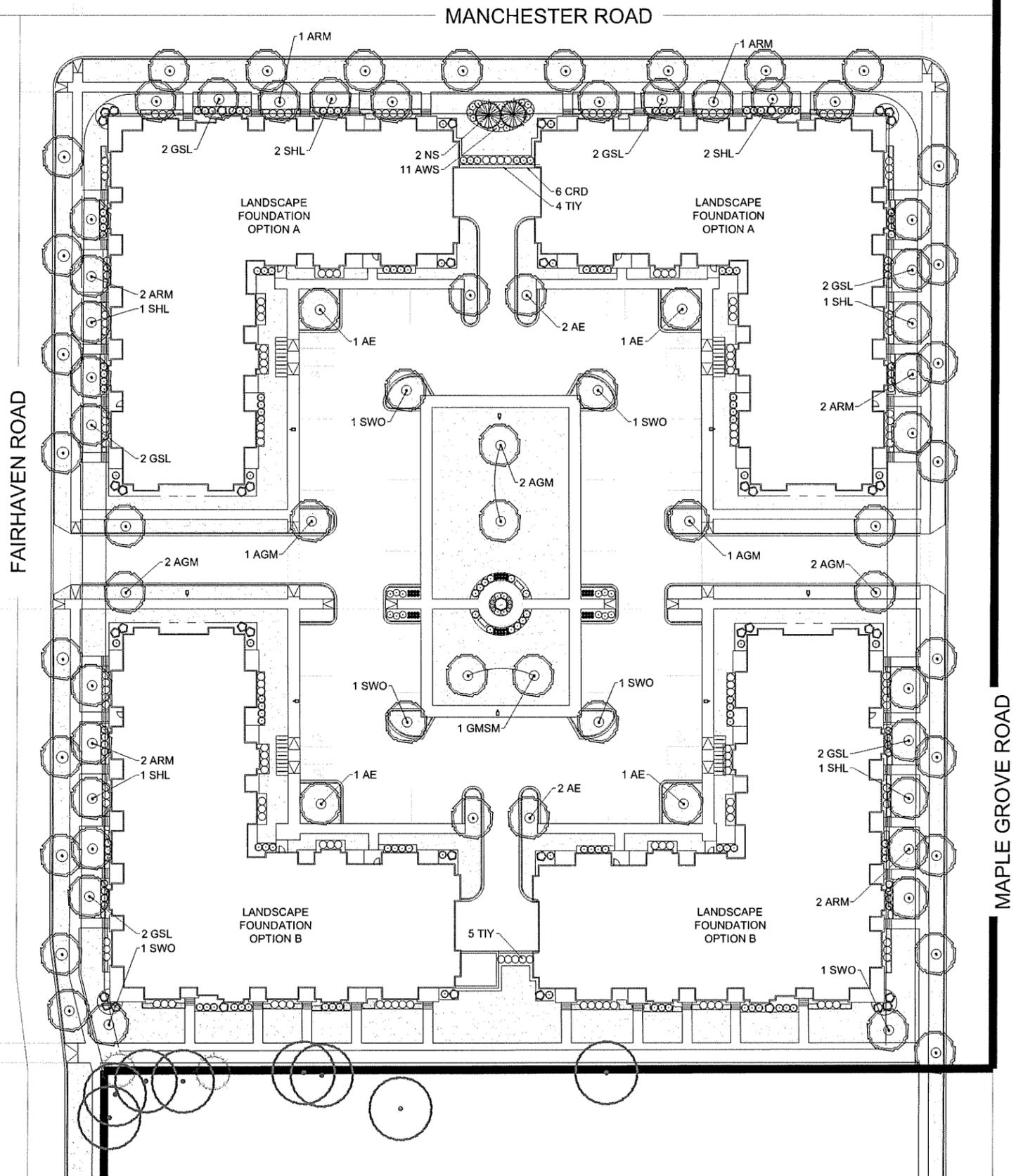
Development Frontage Landscaping
Located between the buildings or parking lot and the adjacent street
1 shade tree & 5 shrubs for every 30 linear feet
2 ornamental or evergreen trees may be used to replace 1 shade tree

Interior Parking Lot Landscaping
8% of parking area shall be devoted to interior landscape area
One (1) shade tree for every 160 SF of interior landscape area
2 ornamental trees may be used to replace 1 shade tree, max. 25%

Length of Frontage:	1,086 LF
Required Number of Trees:	36.2 Trees
Number of Trees Shown:	37 Trees
Required Number of Shrubs:	181.0 Shrubs
Number of Shrubs Shown:	181 Shrubs

Area of Parking Area: 35,274 SF
Required Landscape Area: 2,821.9 SF
Landscape Area Shown: 14,886 SF
Required Number of Trees: 17.6 Trees
Number of Trees Shown: 18 Trees

CODE REQUIREMENTS



LOT 2 OVERALL LANDSCAPE PLAN

Scale: 1" = 30'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry

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PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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12.17.19	SUBMITTAL

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SHEET TITLE

OVERALL LANDSCAPE PLAN: LOT 2

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	





CALL DIGGERS HOTLINE
811 or 1-800-242-0511
MUN. AREA 258-1101
WS. STATUTE 48-0175(174)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

EVERGREEN SHRUBS

- GVB Green Velvet Boxwood
- KCPJ Kallay Compact Pflizer Juniper
- TIY Taunton Intermediate Yew

DECIDUOUS SHRUBS

- CRD Cardinal Redtwig Dogwood
- AROS Aphrodite Rose of Sharon
- IH Incredible Hydrangea
- UH Unique Hydrangea
- GLS Gro Low Fragrant Sumac
- PPSR Pink Pavement Series Rose
- AWS Anthony Waterer Spirea
- GMS Goldmound Spirea
- MKL Miss Kim Dwarf Ulac
- MV Mohican Viburnum
- WRW Wine & Roses Compact Wiegela

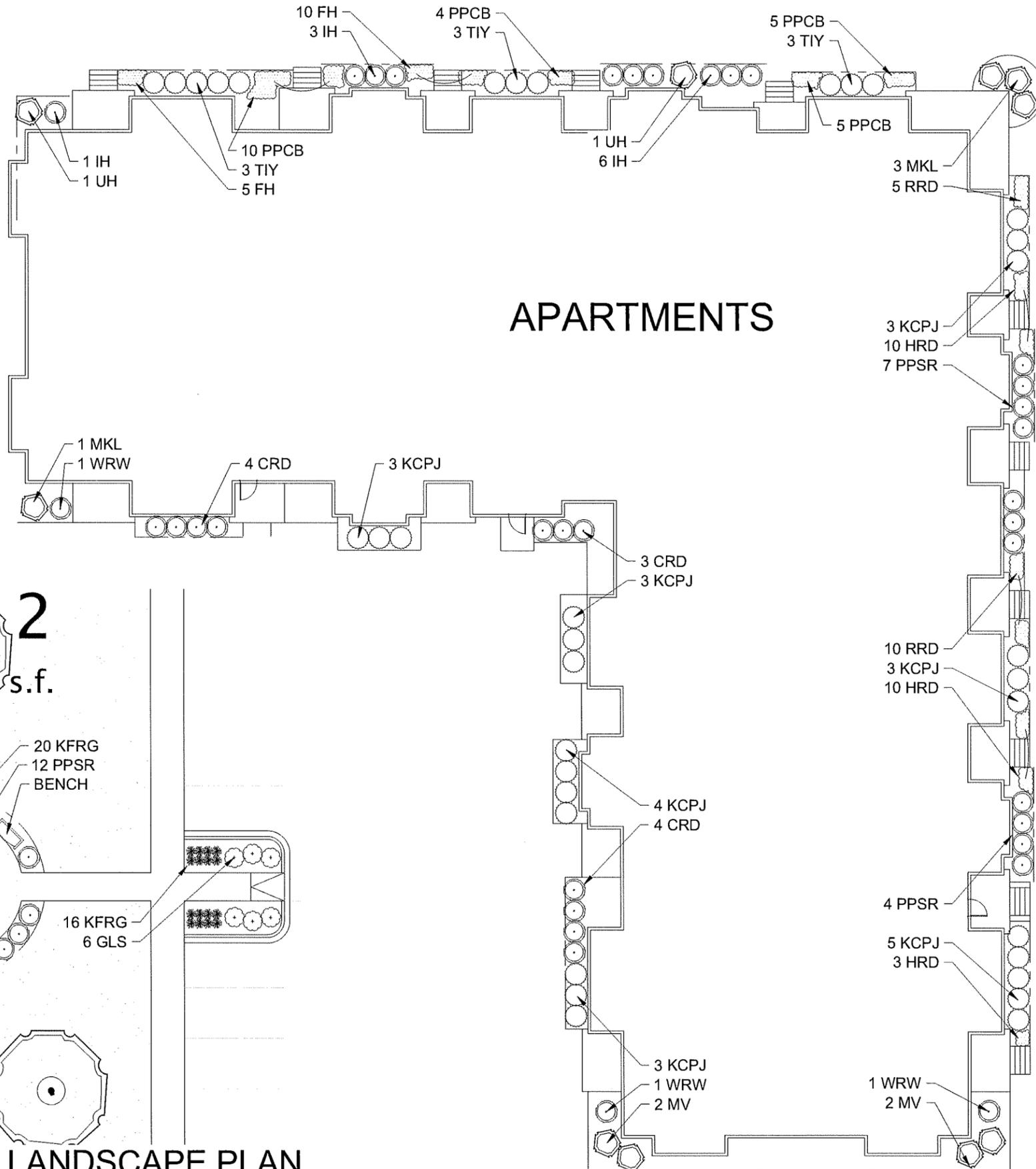
ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass

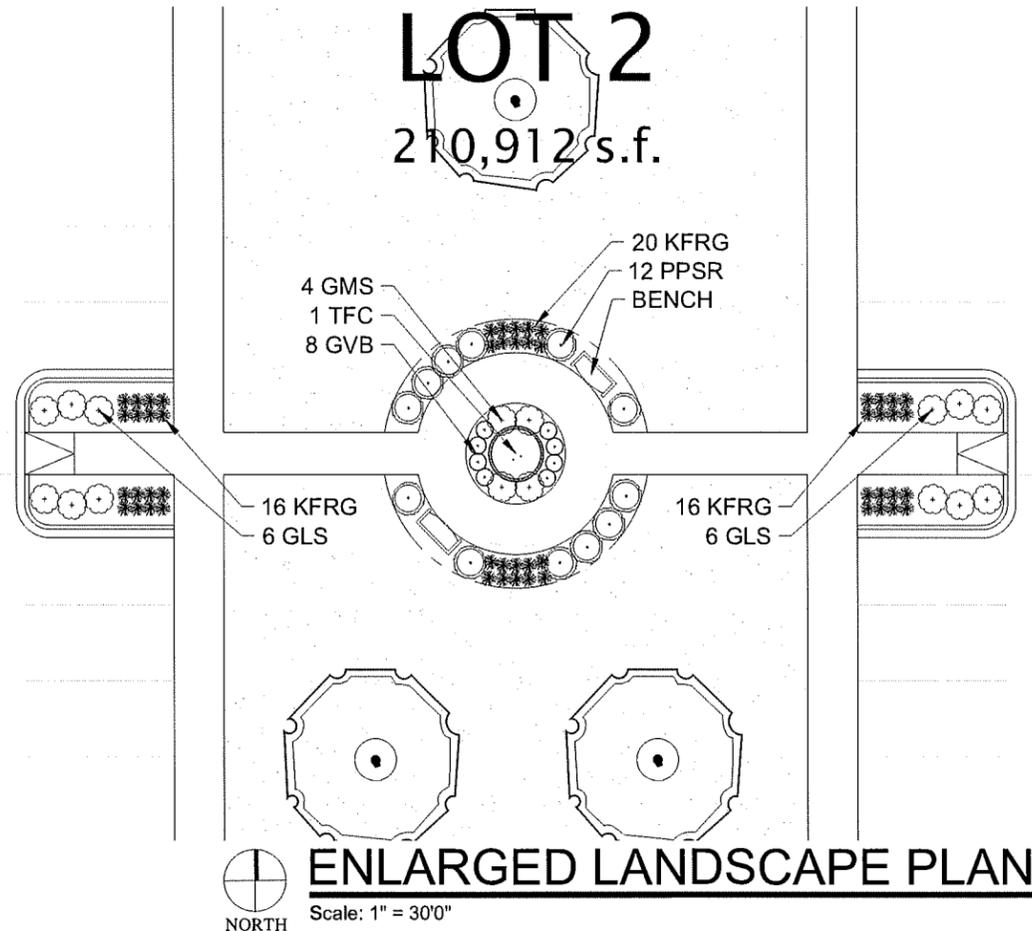
HERBACEOUS PERENNIALS

- HRD Happy Returns Daylily
- RRD Rosy Returns Daylily
- PPCB Palace Purple Coralbells
- FH Francee Hosta

PLANT ABBREVIATIONS



APARTMENTS



ENLARGED LANDSCAPE PLAN
Scale: 1" = 30'0"

FOUNDATION LANDSCAPE PLAN - OPTION "A"
Scale: 1" = 10'0"



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PROJECT
MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

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SHEET TITLE
ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION "A"

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	

L 1.6

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		ROOT	SPECIFICATION / NOTES
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAULIPER or HEIGHT	ROOT
Proposed Street Trees					
	29	Shade Trees			The City of Madison shall Define the final locations, sizes & species of proposed street trees located in the City right-of-way
	2	Ornamental Trees			
Proposed Landscape Materials					
SHADE TREES (DECIDUOUS)					
GMSM	6	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5"	B&B Straight central leader, full and even crown. Prune only after planting
PPH	8	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B Straight central leader, full and even crown. Prune only after planting
AGM	7	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5"	B&B Straight central leader, full and even crown. Prune only after planting
GSL	7	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	B&B Straight central leader, full and even crown. Prune only after planting
EVERGREEN TREES					
BHS	2	Picea glauca 'densata'	Black Hills Spruce	8' H	B&B Evenly shaped tree with branching to the ground
EVERGREEN SHRUBS					
KCPJ	36	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24" w	Cont. Full rounded well branched shrub
TYI	18	Taxus xmedia 'Tautoni'	Tautoni Intermediate Yew	24" w	B&B Full rounded well branched shrub
DECIDUOUS SHRUBS					
HI	12	Hydrangea arborescens 'Abetwo'	Incredible Hydrangea	#5	Cont. Full, well rooted plant, evenly shaped
UH	8	Hydrangea paniculata 'Unique'	Unique Hydrangea	48"	Cont. Full, well rooted plant, evenly shaped
SIW	30	Hypericum kalmianum	St. Johnswort	24"	Cont. Full, well rooted plant, evenly shaped
PPSR	20	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont. Full, well rooted plant, evenly shaped
AWS	16	Spiraea xbumaldii 'Anthony Waterer'	Anthony Waterer Spirea	24"	Cont. Full, well rooted plant, evenly shaped
MKL	8	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	36"	Cont. Full, well rooted plant, evenly shaped
KSV	8	Viburnum carlesii	Fragrant Koreanspice Viburnum	36"	Cont. Full, well rooted plant, evenly shaped
WRW	4	Wiegela florida 'Wine & Roses'	Wine & Roses Compact Wiegela	24"	Cont. Full, well rooted plant, evenly shaped
ORNAMENTAL GRASSES					
PDS	72	Sporobolus heterolepis	Prairie Dropseed	#1	Cont. Full, well rooted plant
LAWN					
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE	SPECIFICATION / NOTES
	27800	Lawn Establishment Area / Grading Area		5F	Reinder's Deluxe 50 Seed Mix (800-785-3301)
	27800	Erosion Matting for sloped seeded areas		5F	Ero'ex D575 Erosion Control Blanket (or approved equal)
Hardscape Materials					
46		Shredded Hardwood Mulch (3" depth)	5,150SF of Bed Area	CY	Bark Mulch; apply Preemergent after installation of mulch
30		Soil Amendments (2" depth)	5,150SF of Bed Area	CY	
86		Pulverized Topsoil (Lawn Area)	27,800SF	CY	
30		Pulverized Topsoil (2" over bed areas)	5,150SF of Bed Area	CY	

*Landscape counts & quantities are provided as a service to the landscape contractor; Landscape contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.

Seed Compositions:	Seed at rate of 150-200# per acre
Reinder's Deluxe 50 Seed Mix (800-785-3301):	
20% Kentucky Bluegrass (Sod Quality)	15% Quebec Perennial Ryegrass
15% Newport Kentucky Bluegrass	10% Fiesta III Perennial Ryegrass
15% Ken Blue Kentucky Bluegrass	
15% Creeping Red Fescue	

PLANT & MATERIAL SCHEDULE: LOT 3

Site Landscape Calculations
Five (5) landscape points per 300 SF of total developed area

LOT 3	
Gross Area of Lot:	71,092 SF 1.6 Acres
Less Building Footprints (at grade):	(22,692) SF
Less Structure (pool deck):	- SF
Less designated Open Space:	- SF
Less Undeveloped Area:	- SF
Total Developed Area:	48,400 SF

Required Landscape Points: 807 Points

Existing Plant Credits

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	0	0
Evergreen Tree	5-6' Tall	35	0	0
Ornamental Tree	1.5" Cal.	15	0	0
Specimen Tree	14"/inch		0	0
Total Existing Credits		0		

Proposed Landscape Points

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	28	980
Evergreen Tree	5-6' Tall	35	2	70
Ornamental Tree	1.5" Cal.	15	0	0
Upright EG Shrub	3-4' Tall	10	0	0
Deciduous Shrub	12-24" (#3)	3	91	273
Evergreen Shrub	12-24" (#3)	4	60	240
Grass/Perennial	8-18" (#1)	2	60	120
Total Landscape Points Provided		1,683		

Development Frontage Landscaping
Located between the buildings or parking lot and the adjacent street
1 shade tree & 5 shrubs for every 30 linear feet
2 ornamental or evergreen trees may be used to replace 1 shade tree

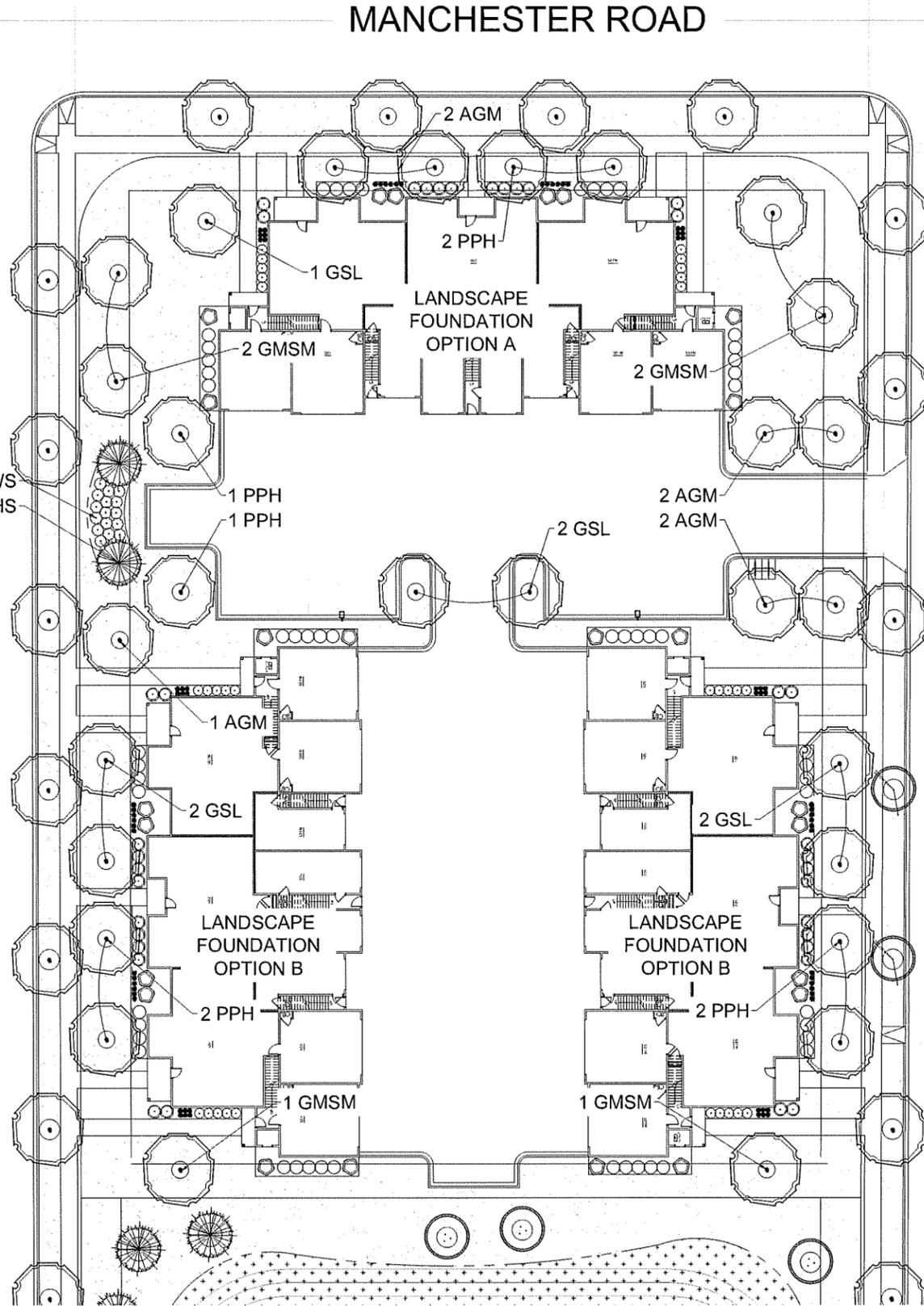
LOT 3	
Length of Frontage:	785 LF
Required Number of Trees:	26.2 Trees
Number of Trees Shown:	26 Trees
Required Number of Shrubs:	130.9 Shrubs
Number of Shrubs Shown:	131 Shrubs

Interior Parking Lot Landscaping
8% of parking area shall be devoted to interior landscape area
One (1) shade tree for every 160 SF of interior landscape area
2 ornamental trees may be used to replace 1 shade tree, max. 25%

Area of Parking Area:	5,055 SF
Required Landscape Area:	404.4 SF
Landscape Area Shown:	408 SF
Required Number of Trees:	2.5 Trees
Number of Trees Shown:	3 Trees

CODE REQUIREMENTS

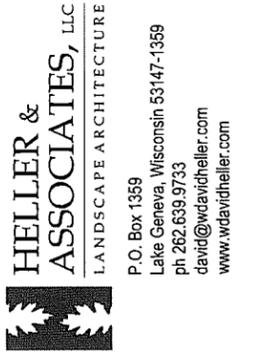
NEW PUBLIC STREET



LOT 3 OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry



PROJECT MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE OVERALL LANDSCAPE PLAN: LOT 3

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	





- EVERGREEN SHRUBS**
- KCPJ Kallay Compact Pfitzer Juniper
 - TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
 - UH Unique Hydrangea
 - PPSR Pink Pavement Series Rose
 - AWS Anthony Waterer Spirea
 - MKL Miss Kim Dwarf Lilac
 - KSV Fragrant Koreanspice Viburnum
 - WRW Wine & Roses Compact Wiegala

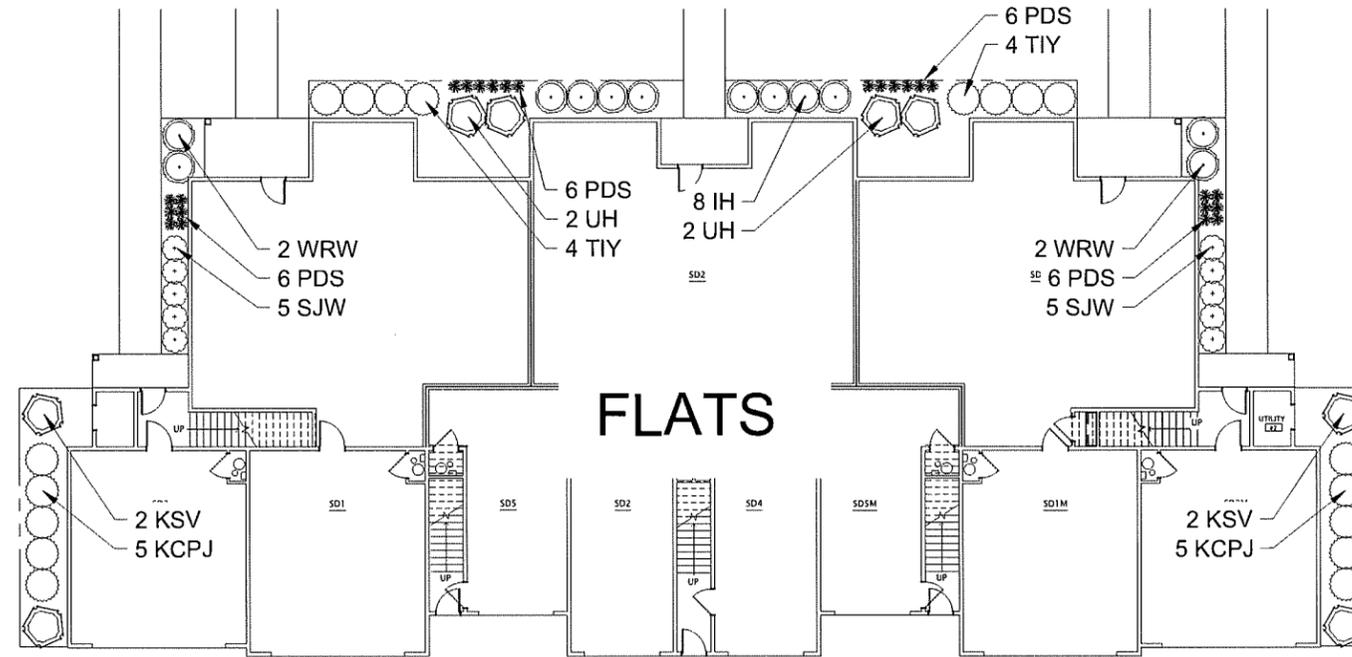
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

PLANT ABBREVIATIONS

1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - 260.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burp and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burp and remove the twine. Provide three slow release fertilizer for each tree planted.
7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 6"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
 - Per 100 SF of bed area (Soil Amendment composition):
 - 3/4 CY Peat Moss or Mushroom Compost
 - 3/4 CY blended/pulverized Topsoil
 - 1/4 CY composted manure

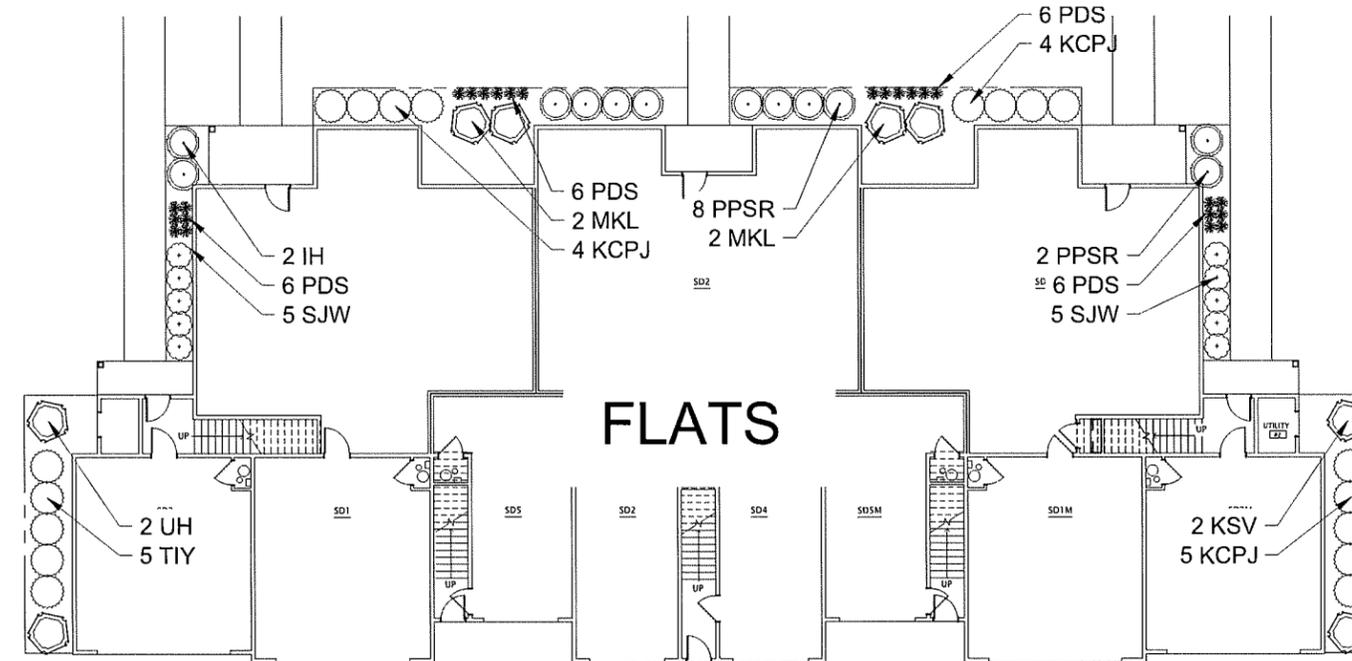
In roto-tilled beds only, also include in above mixture:
2 lbs Starter Fertilizer
12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly and to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
 - An acceptable quality seed installation is defined as having:
 - No bare spots larger than one (1) square foot
 - No more than 10% of the total area with bare areas larger than one (1) square foot
 - A uniform coverage through all turf areas
14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES



LANDSCAPE FOUNDTION - OPTION "A"

Scale: 1" = 10'0"



LANDSCAPE FOUNDTION - OPTION "B"

Scale: 1" = 10'0"



PROJECT
MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

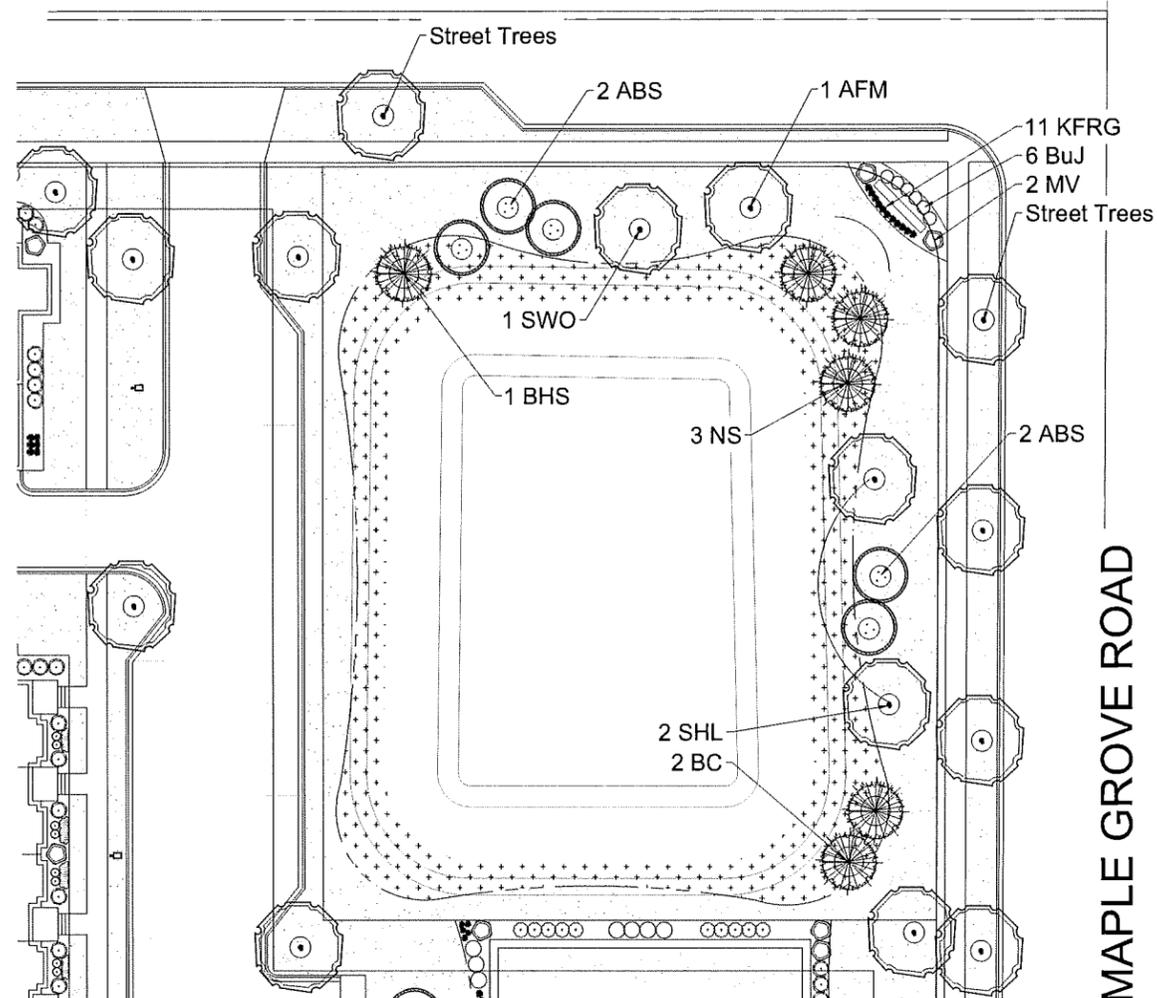
Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE
OVERALL LANDSCAPE PLAN: LOT 3

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 or 1-800-242-6511
 MILWAUKEE AREA 253-1101
 WIS. STATUTE 182.0175(174)
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



ENLARGED LANDSCAPE PLAN

Scale: 1" = 20'0"

Cardno Native Plant Nursery
 www.cardnonativeplantnursery.com
 128 Sunset Drive
 Walkerton, Indiana 46574
 Ph: 574-585-2412

Stormwater Seed Mix
 For Use on Stormwater Management Ponds (SMP) side slopes to High Water Line (HWL)

Botanical Name	Common Name	PLS Ounces/Acre
<i>Carex cristatella</i>	Crested Oval Sedge	1.00
<i>Carex frankii</i>	Bristly Cattail Sedge	1.00
<i>Carex lurida</i>	Bottlebrush Sedge	2.00
<i>Carex sparganoides v. cephalodes</i>	Rough-Clustered Sedge	2.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Elymus virginicus</i>	Illinoi Spike Rush	0.50
<i>Glyceria striata</i>	Virginia Wild Rye	12.00
<i>Juncus effusus</i>	Fowl Manna Grass	1.25
<i>Juncus torreyi</i>	Common Rush	1.00
<i>Leersia oryzoides</i>	Torrey's Rush	0.25
<i>Panicum virgatum</i>	Rice Cut Grass	1.00
<i>Scirpus atrovirens</i>	Switch Grass	2.00
<i>Scirpus cyperinus</i>	Dark Green Rush	1.00
<i>Scirpus fluitans</i>	Wool Grass	0.50
<i>Scirpus validus</i>	River Bulrush	6.25
	Great Bulrush	0.20
Total		45.75

Temporary Cover:	Common Name	PLS
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	116.00
Total		476.00

Forbs:	Common Name	PLS
<i>Allisma spp.</i>	Water Plantain (Various Mix)	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens spp.</i>	Bidens (Various Mix)	2.00
<i>Helenium autumnale</i>	Sneezeweed	3.00
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Pentstemon sedoides</i>	Ditch Stonecrop	0.50
<i>Polygonum pennsylvanicum</i>	Pinkweed	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Sagittaria latifolia</i>	Broad-Leaf Arrowhead	1.00
<i>Senna hebecarpa</i>	Wild Senna	1.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
Total		21.25

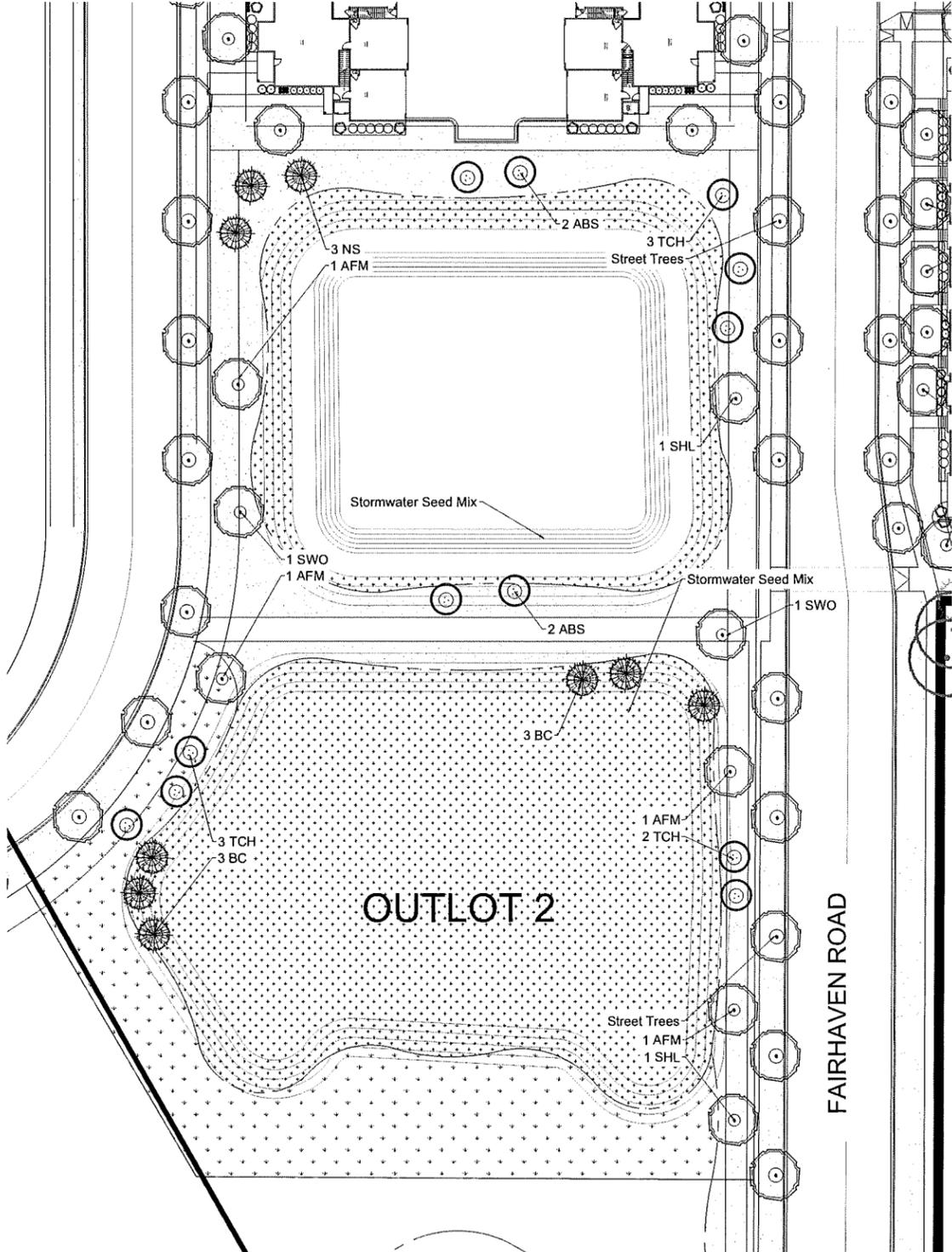
STORMWATER SEED MIX

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	HEIGHT	ROOT	SPECIFICATION / NOTES
Proposed Street Trees	19	Shade Trees		2.5'	DBB	Straight central leader, full and even crown. Prune only after planting
SHADE TREES (DECIDUOUS)						
AFM	5	Acer fraxinifolium 'Autumn Fantasy'	Autumn Fantasy Maple	2.5'	DBB	Straight central leader, full and even crown. Prune only after planting
SHL	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5'	DBB	Straight central leader, full and even crown. Prune only after planting
SWO	3	Quercus bicolor	Swamp White Oak	2.5'	DBB	Straight central leader, full and even crown. Prune only after planting
BC	8	Taxodium distichum	Bald Cypress	2.5'	DBB	Straight central leader, full and even crown. Prune only after planting
ORNAMENTS TREES (DECIDUOUS)						
ABS	8	Aster lamifolius 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8'H	DBB	Well balanced multi-stemmed tree with minimum four canes, and full appearance
TCH	8	Cotinus coccinea 'Tromps'	Thornless Coccinifer Hawthorn	7-8'H	DBB	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVERGREEN TREES						
NS	6	Picea abies	Norway Spruce	8'H	DBB	Evenly shaped tree with branching to the ground
BIS	1	Picea glauca 'Sensational'	Black Hills Spruce	8'H	DBB	Evenly shaped tree with branching to the ground
SHRUBS						
PL	6	Juniperus sabina 'Buffalo'	Buffalo Juniper	18"	Cont.	Full rounded well branched shrub
DECIDUOUS SHRUBS						
VB	2	Viburnum lentago 'Muhlenbergii'	Muhlenberg Viburnum	4'	DBB	Full, well rounded plant with moist corolla and healthy appearance
CONTAINERS						
KFRG	11	Calamagrostis australis 'Karl Foerster'	Karl Foerster Feather Reed Grass	91"	Cont.	Full, well rooted plant
LAWN	41090	Lawn Establishment Area / Grading Area		SF		Reinder's Deluxe 50 Seed Mix (900-785-3301)
SWSM	12	Stormwater Seed Mix	see spec for area delineation	Acre		Cardno Native Plant Nursery (574-585-2412)
MULCH						
MS	13	Standard Hardwood Mulch (1" depth)	L 400 SF Bed Areas		CY	Dark Mulch, apply Preemergent after installation of mulch
SA	9	Soil Amendments (12" depth)	L 400 SF Bed Areas		CY	
TS	291	Pulverized Topsoil (Lawn Area)	42,000 SF Bed Areas		CY	
TS	9	Pulverized Topsoil (2" over bed area)	L 400 SF Bed Areas		CY	

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between the schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted thereon shall govern.

Seed Compositions:
 Reinder's Deluxe 50 Seed Mix (900-785-3301):
 20% Kentucky Bluegrass (5ml Quality) 15% Quebec Perennial Ryegrass
 15% Kentucky Bluegrass 10% Fiesta II Perennial Ryegrass
 15% Ken Blue Kentucky Bluegrass
 25% Creeping Red Fescue
 Seed at rate of 150-200# per acre

PLANT & MATERIAL SCHEDULE: OUTLOTS 1 & 2



ENLARGED LANDSCAPE PLAN

Scale: 1" = 30'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE
 P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@wdavidheller.com
 www.wdavidheller.com

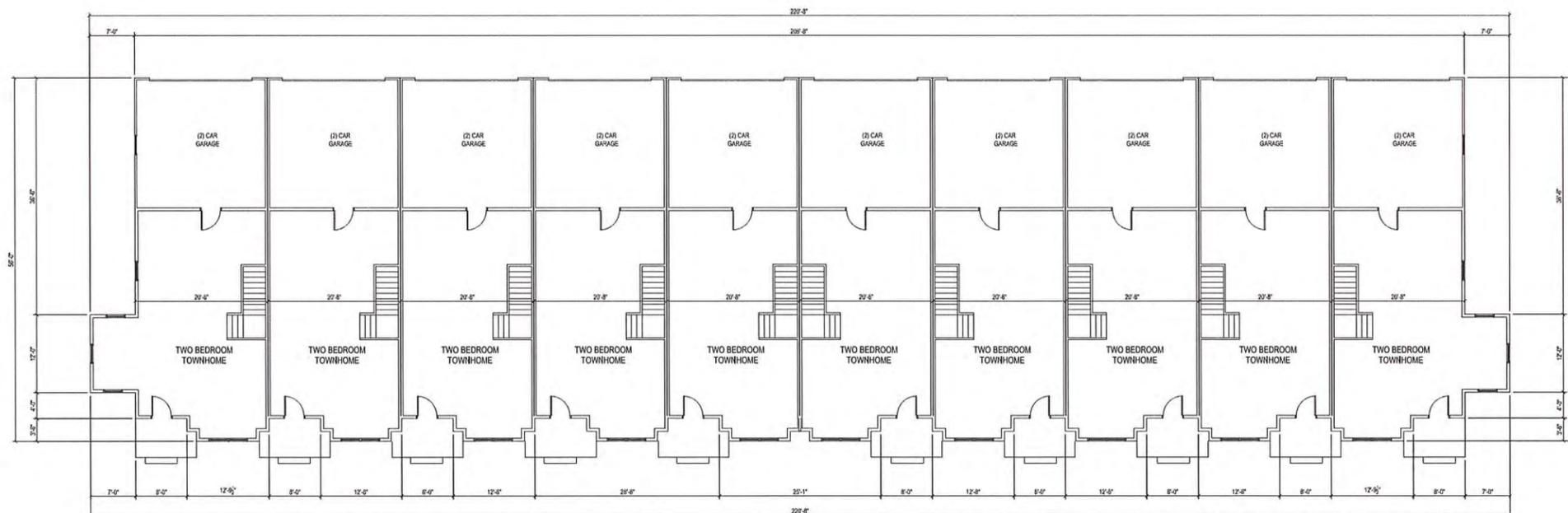
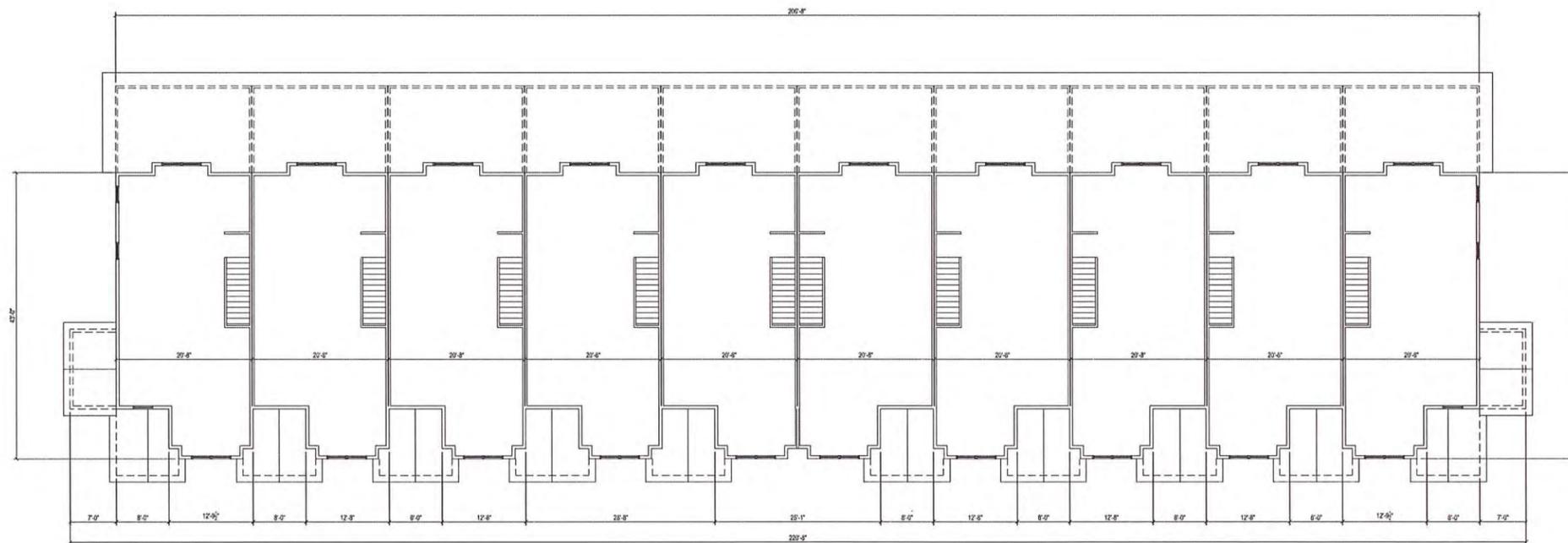
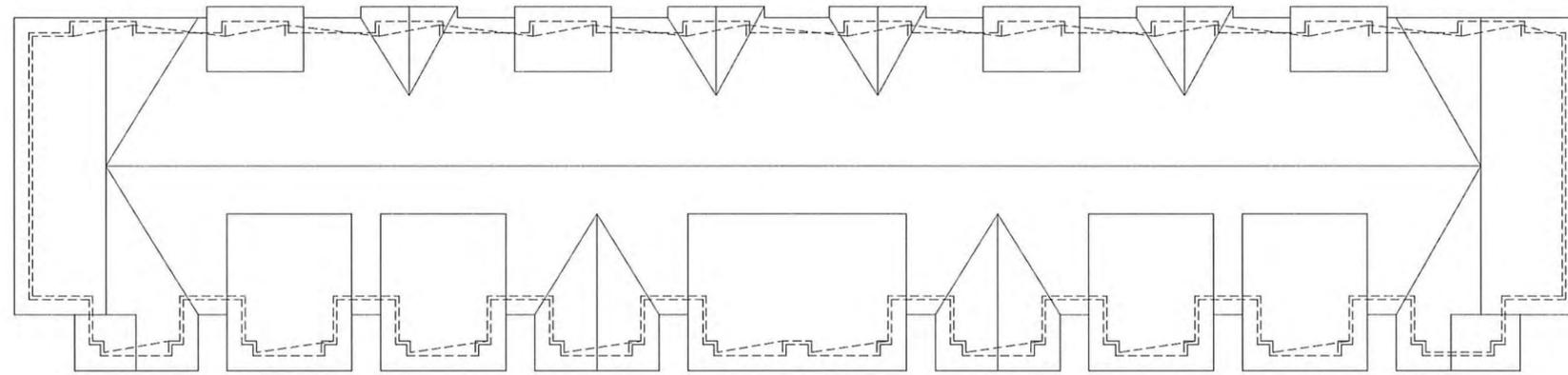
PROJECT MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
 Madison, WI

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
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SHEET TITLE OVERALL LANDSCAPE PLAN: OUTLOTS 1 & 2

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-1018



MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

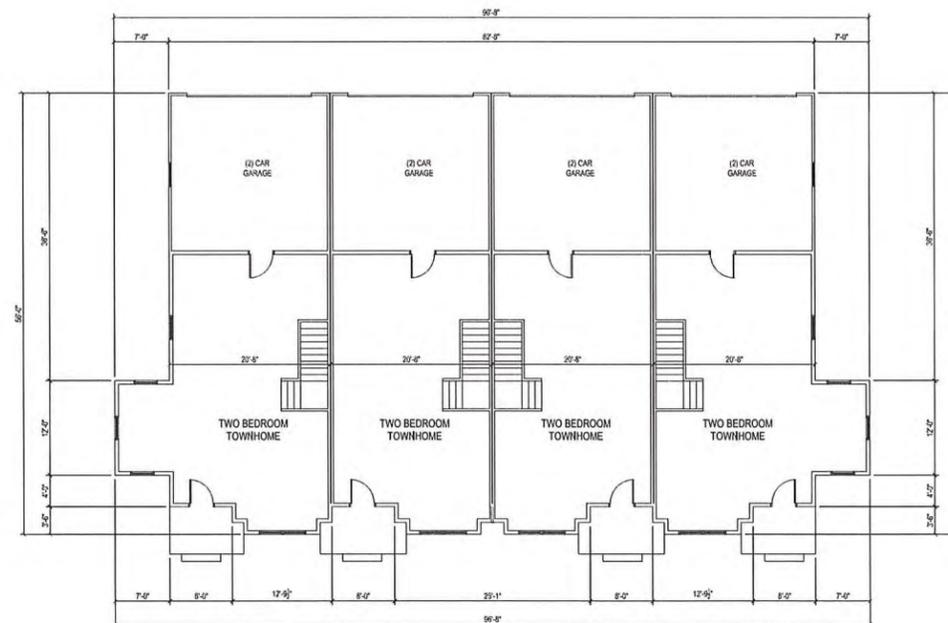
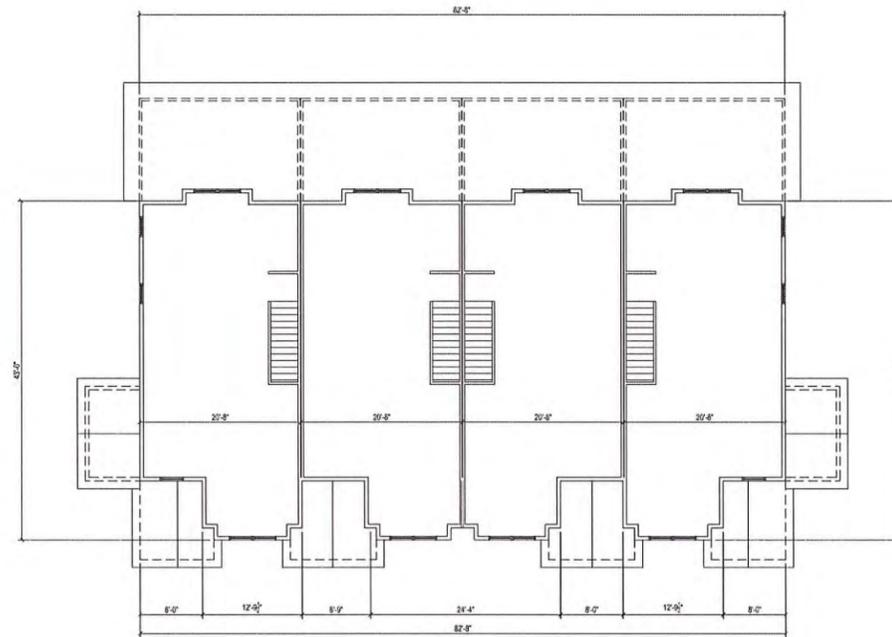
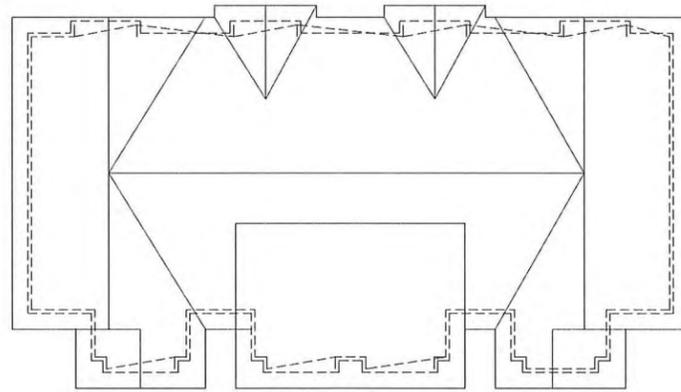
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FLOOR PLANS

SHEET NUMBER
T-101



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-1018



MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FLOOR PLANS

SHEET NUMBER
T-102



6 WEST ELEVATION
1/8" = 1'-0"



8 4 UNIT SOUTH ELEVATION
1/8" = 1'-0"



16 10 UNIT SOUTH ELEVATION
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

XXX

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE MONTH DATE, YEAR

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

T-A200



⑥ EAST ELEVATION
1/8" = 1'-0"



⑧ 4 UNIT NORTH ELEVATION
1/8" = 1'-0"



⑩ 10 UNIT NORTH ELEVATION
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

T-A201



6 PERSPECTIVE NE
1/8" = 1'-0"



16 PERSPECTIVE SW
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

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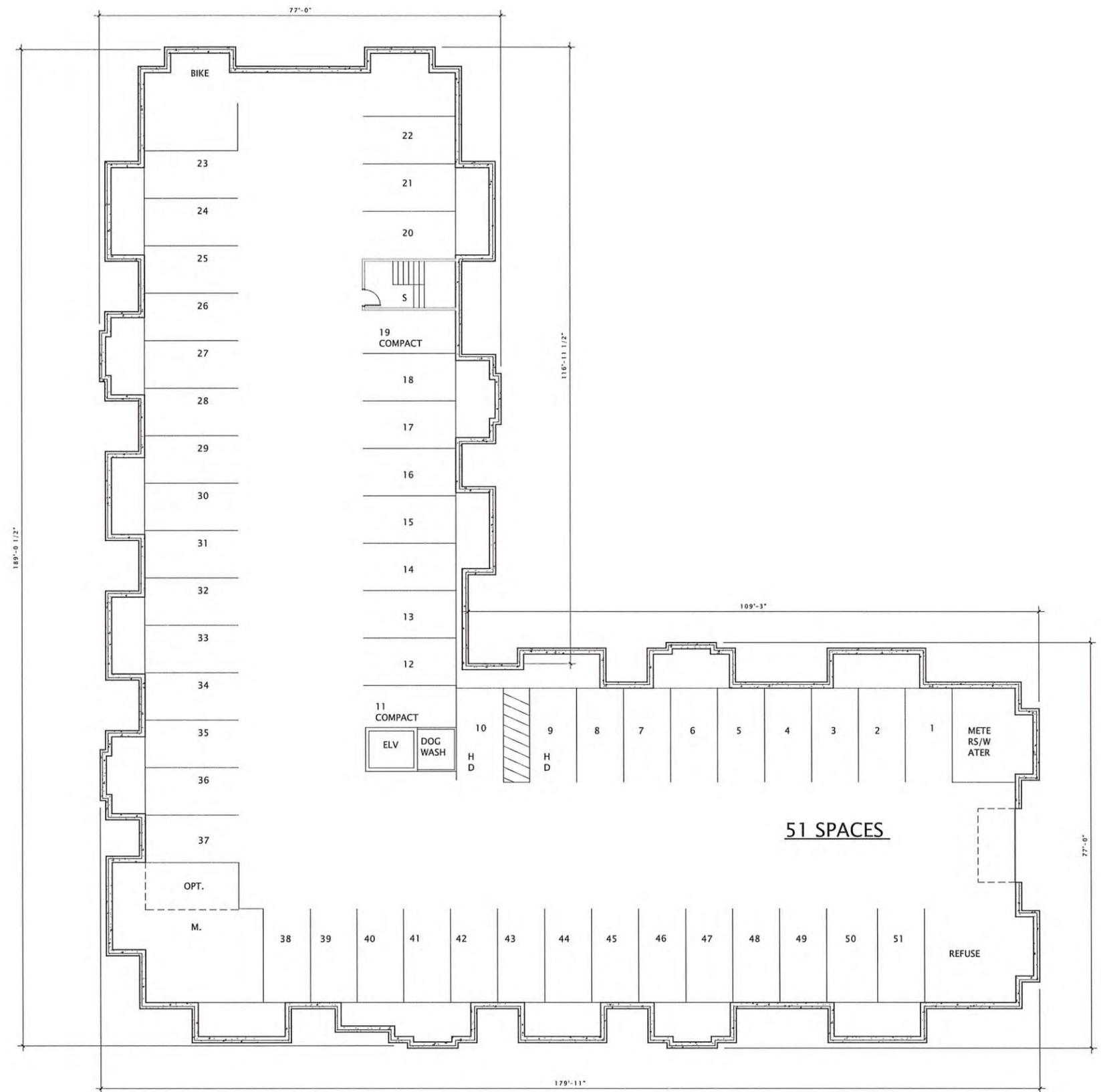
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

T-A202



1 LOWER LEVEL Single Lines
3/32" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

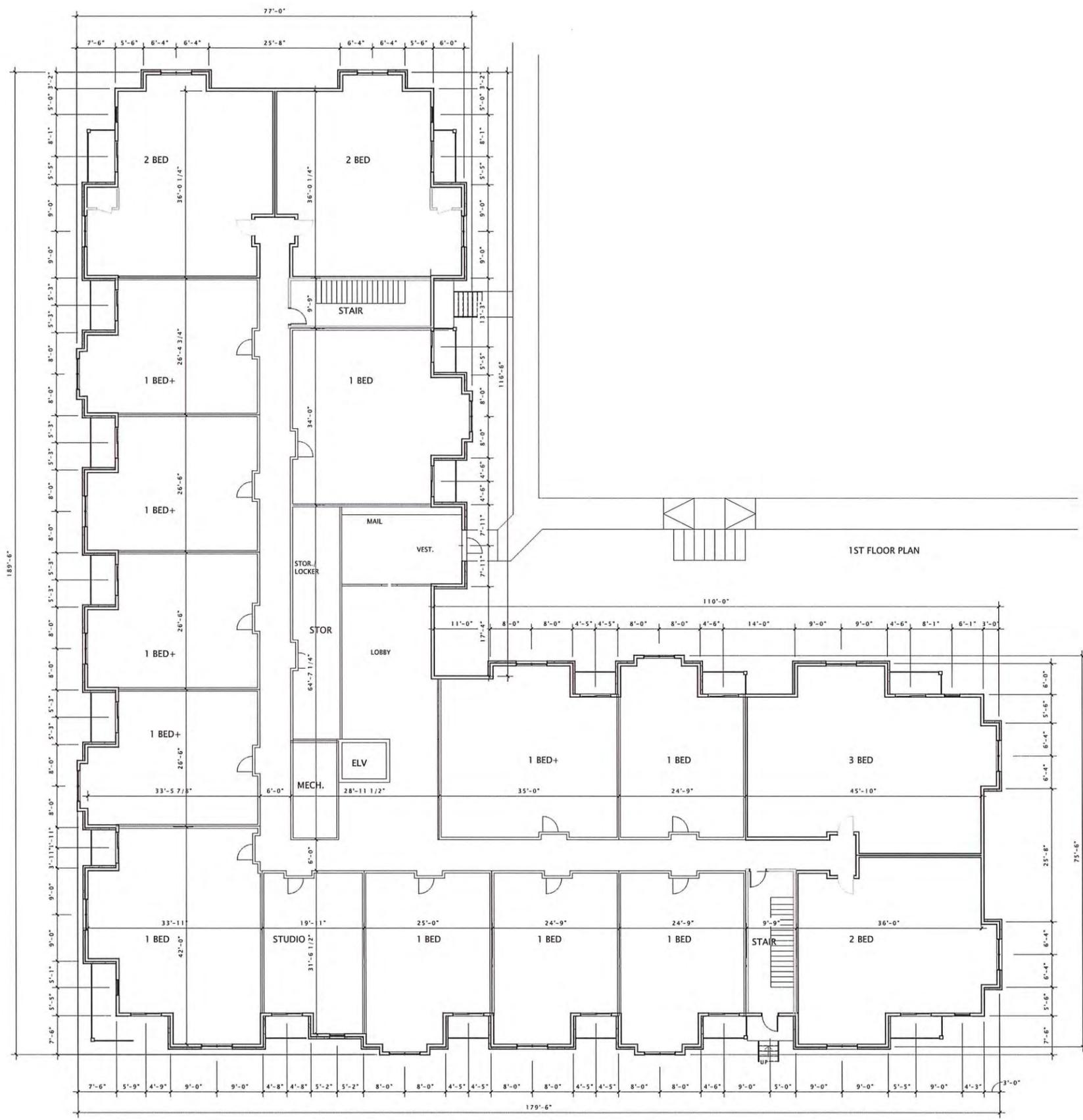
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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
LOWER LEVEL PLAN

SHEET NUMBER
A-A100



UNIT METRIX				
	1	2	3	TOTAL
STUDIO	1	1	1	3
1 BED	4	7	7	18
1 BED +	4	4	4	12
1 BED/DEN	2	1	3	4
2 BED	4	4	4	12
3 BED	1	1	1	3
	16	18	18	52



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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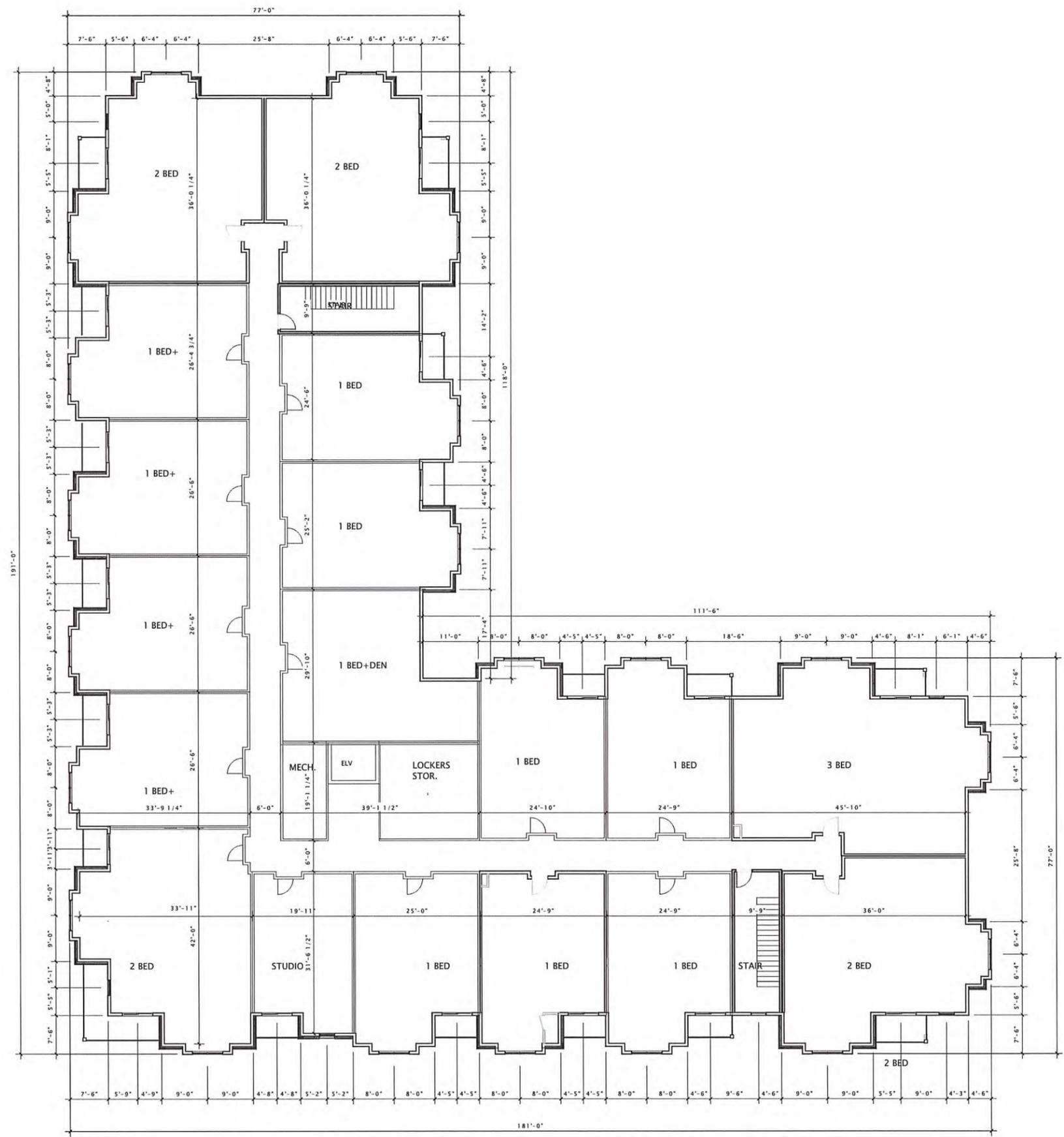
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-A101

1 FIRST FLOOR Single Lines
3/32" = 1'-0"

12/18/2019 8:04:22 AM



1 SECOND FLOOR Single Lines
3/32" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

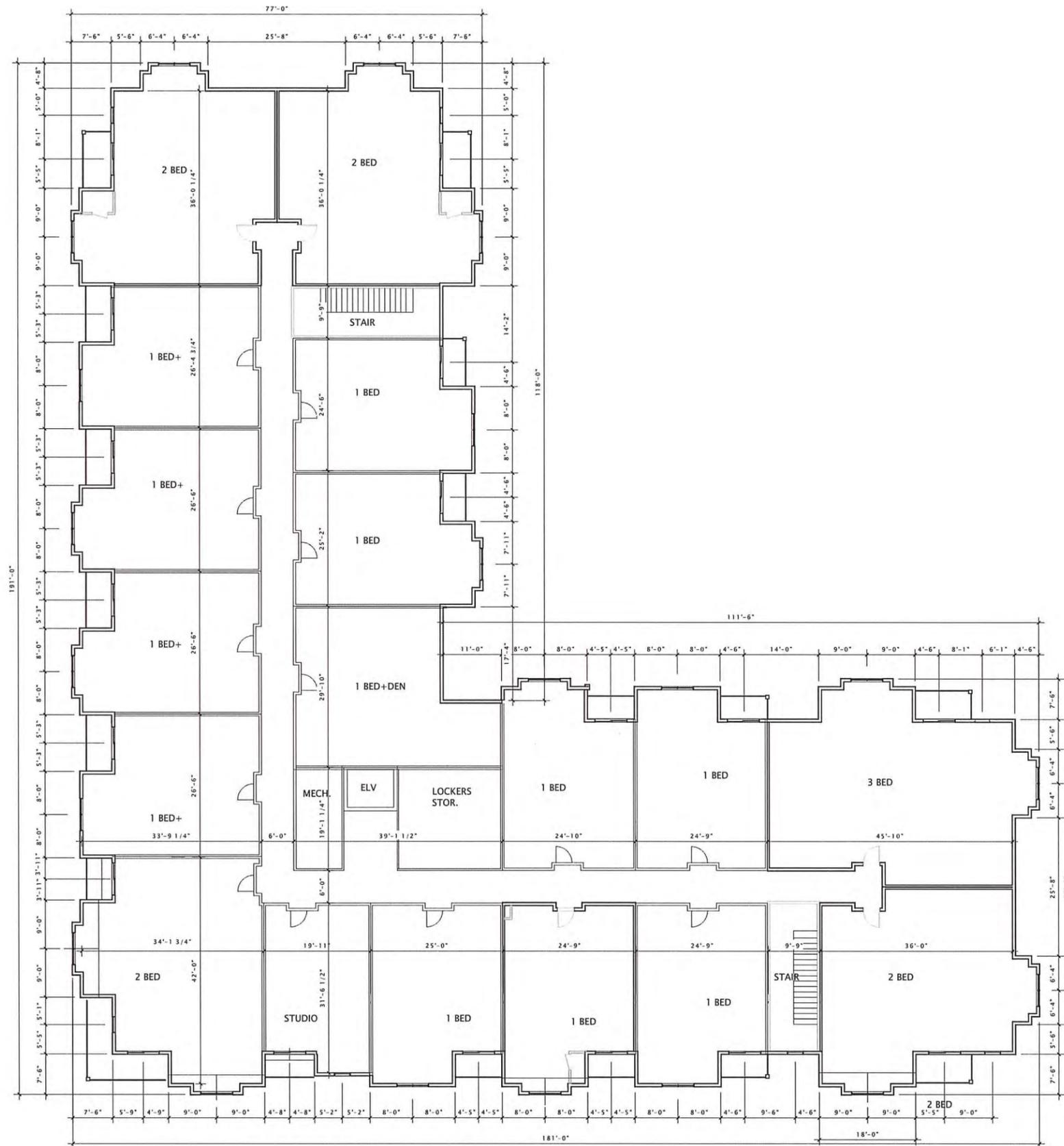
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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**SECOND FLOOR
PLAN**

SHEET NUMBER
A-A102



1 THIRD FLOOR Single Lines
3/32" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A-A103



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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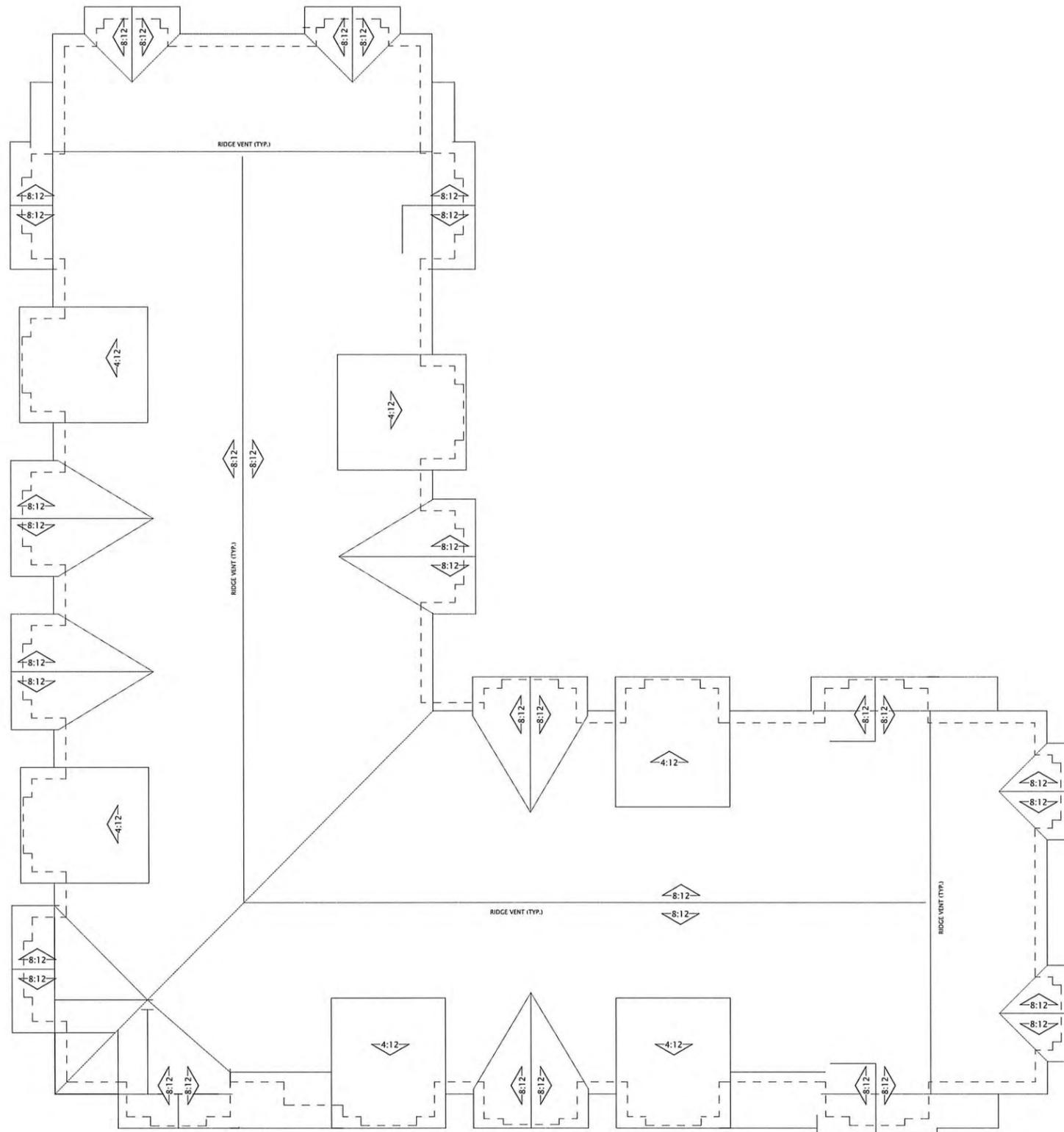
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A-A104





6 Elevation South
1/8" = 1'-0"



16 Elevation West
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

A-A200



⑥ Elevation North
1/8" = 1'-0"



⑩ Elevation East
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

A-A201



6 PERSPECTIVE NE
1/8" = 1'-0"



16 PERSPECTIVE SW
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

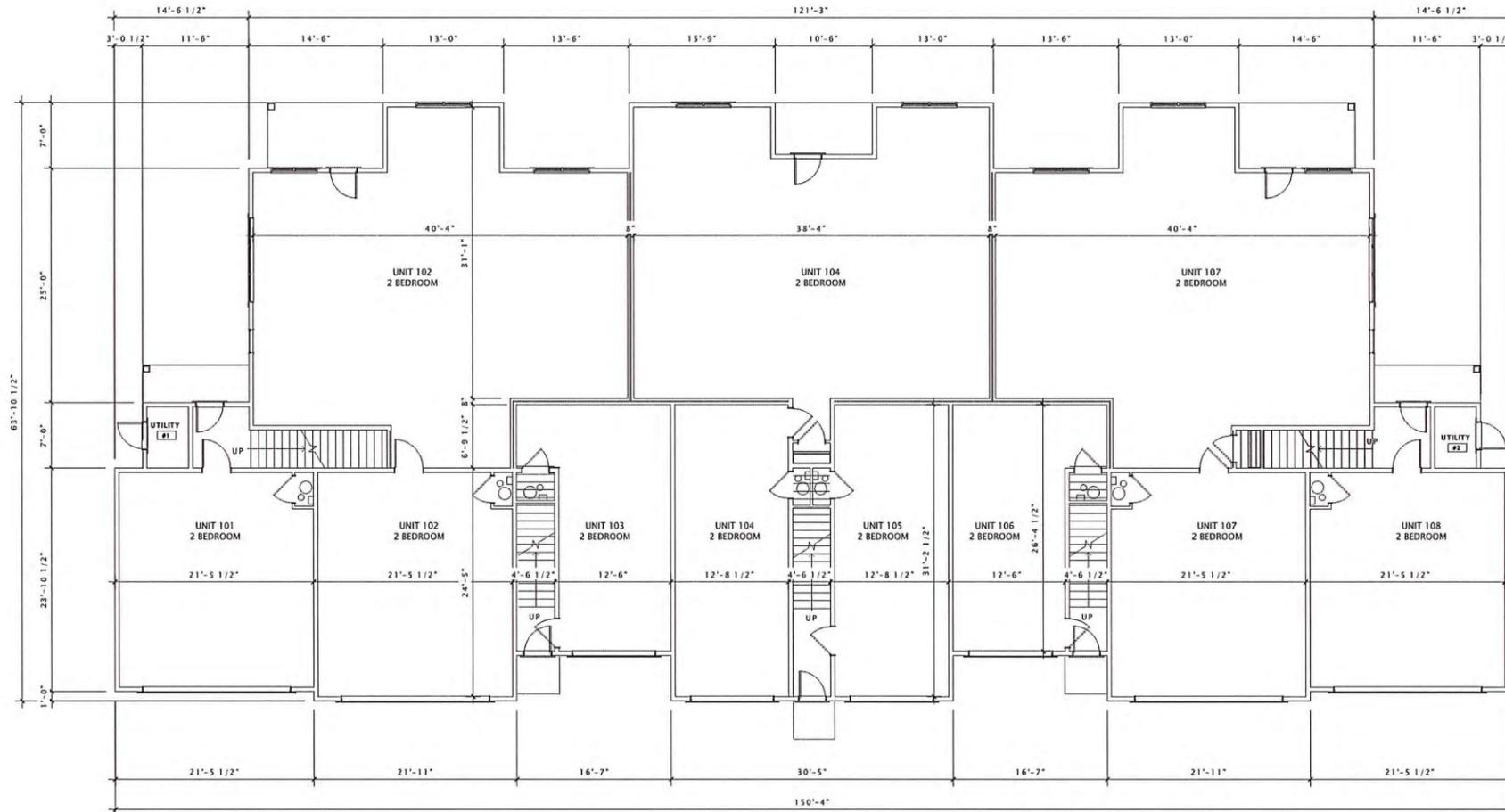
A-A202



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

S-A101

① FIRST FLOOR PLAN
1/8" = 1'-0"

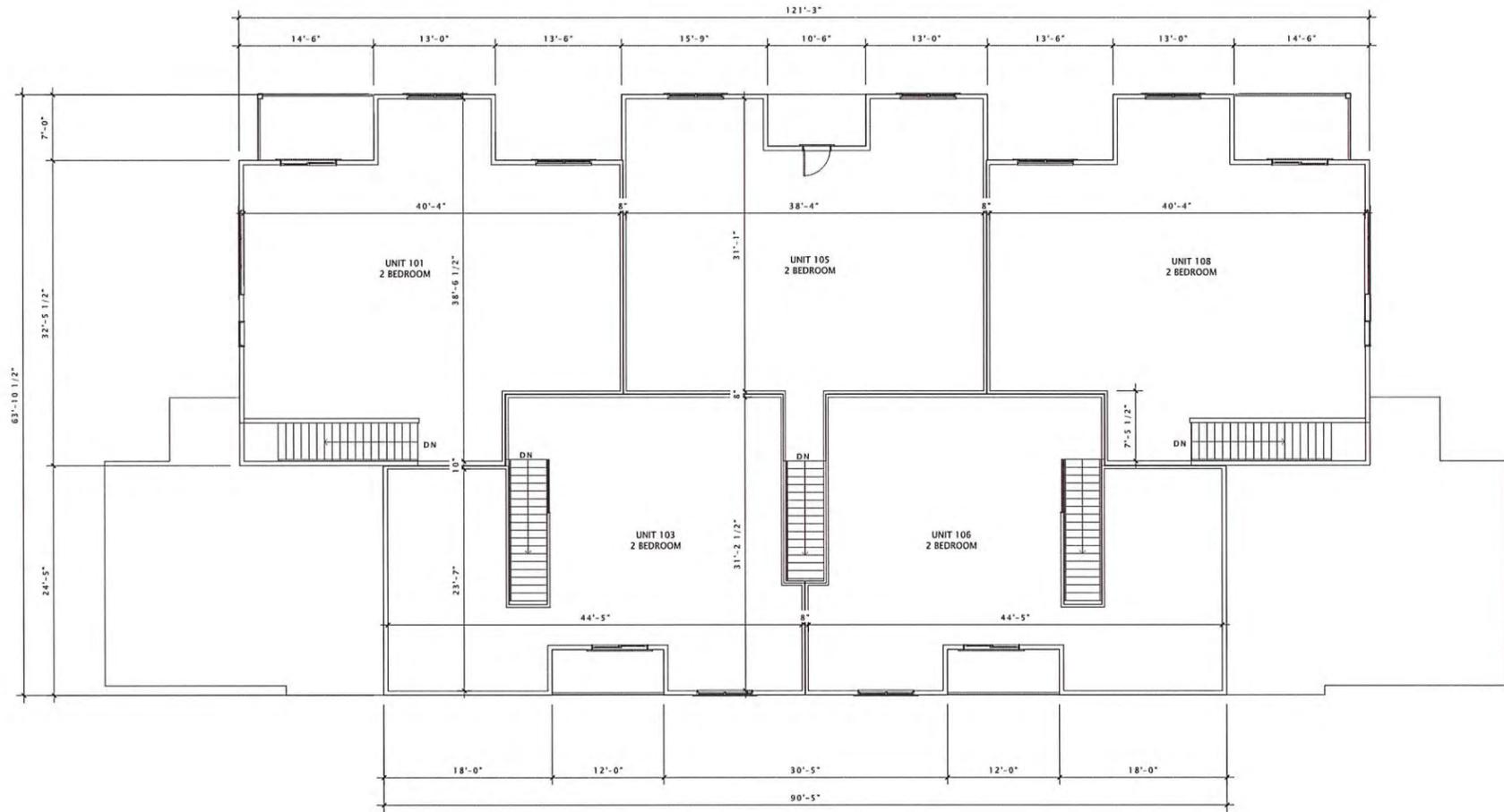




JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR
PLAN

SHEET NUMBER

S-A102

1 SECOND FLOOR PLAN
1/8" = 1'-0"



2017/2018/10/25/29/00



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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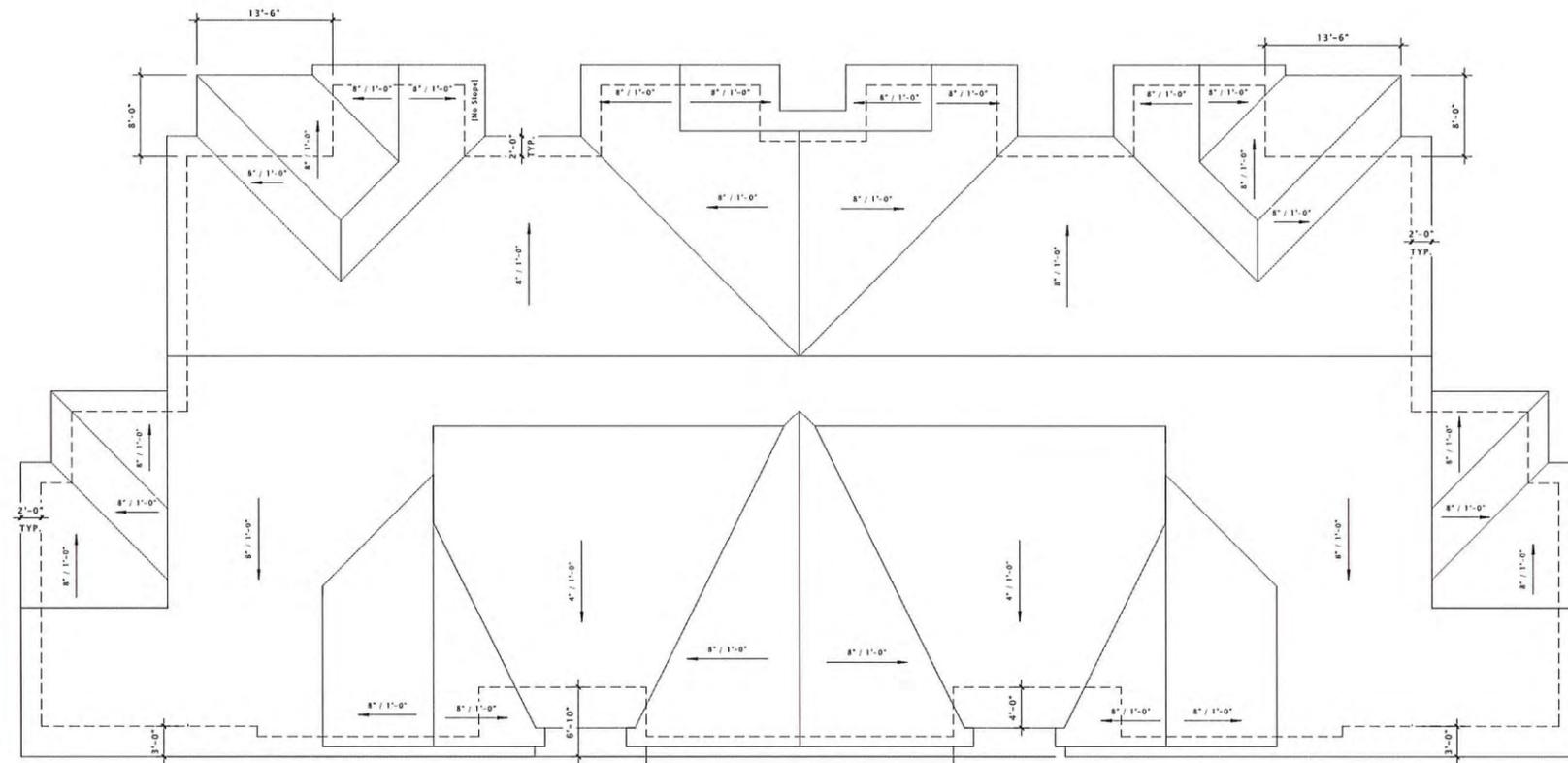
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

S-A103



① ROOF PLAN
1/8" = 1'-0"





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



6 SOUTH ELEVATION
3/16" = 1'-0"

XXX

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

S-A200



16 WEST ELEVATION
3/16" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



⑥ NORTH ELEVATION
3/16" = 1'-0"



⑩ EAST ELEVATION
3/16" = 1'-0"

MAPLE GROVE DRIVE
RESIDENTIAL
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

S-A201



⑥ PERSPECTIVE NE
1/8" = 1'-0"



⑩ PERSPECTIVE SW
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVE

SHEET NUMBER

S-A202



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE CLUBHOUSE

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

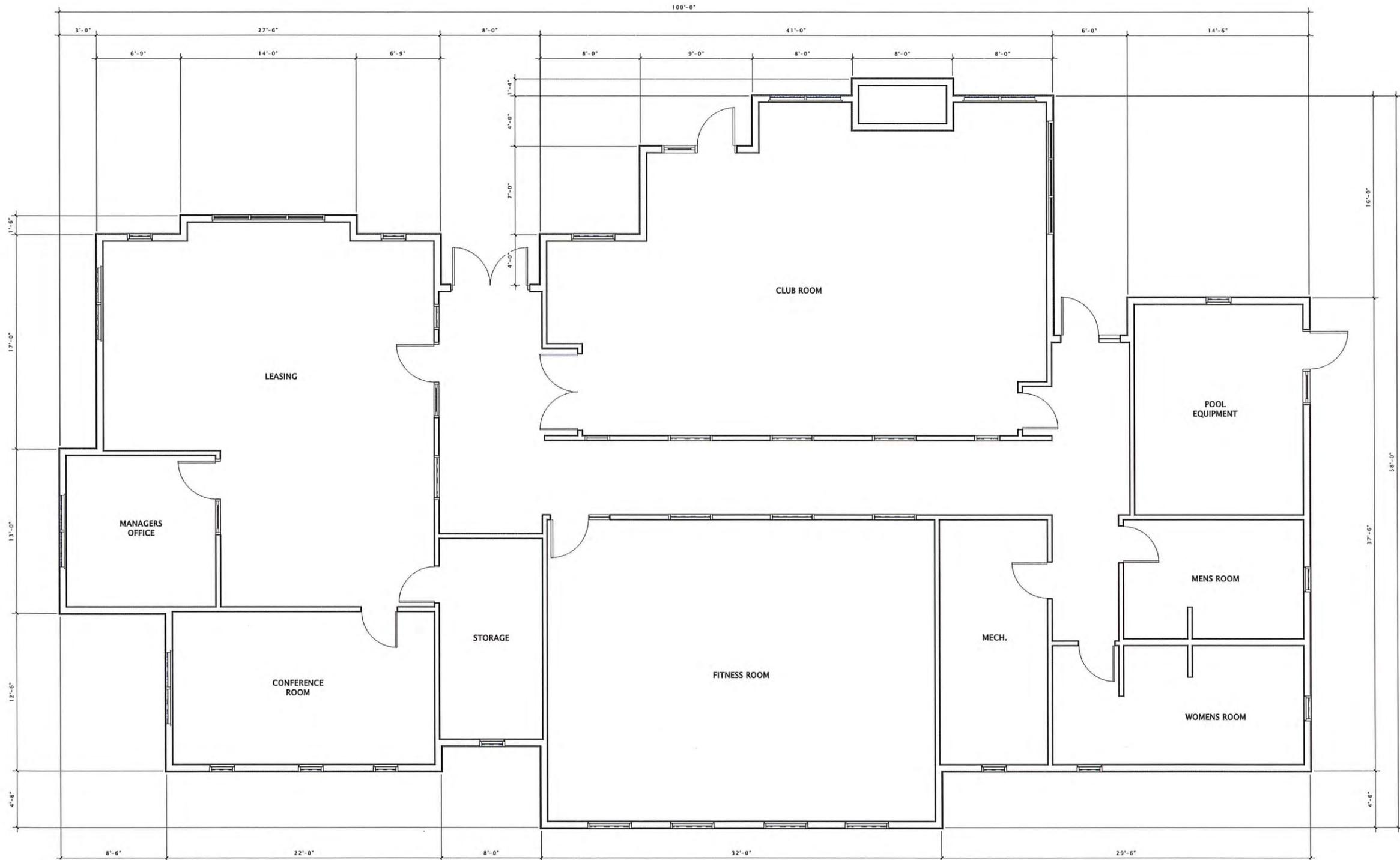
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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER
CH-A101



16 FIRST FLOOR PLAN
1/4" = 1'-0"





JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



⑥ Elevation South Club House
3/16" = 1'-0"



⑩ Elevation West Club House
3/16" = 1'-0"

MAPLE GROVE DRIVE
CLUBHOUSE

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

CH-A200



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX



⑥ Elevation North Club House
3/16" = 1'-0"



⑩ Elevation East Club House
3/16" = 1'-0"

MAPLE GROVE DRIVE
CLUBHOUSE

LAND USE APPLICATION

PROGRESS DOCUMENTS

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

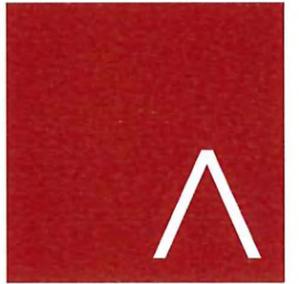
CH-A201



6 PERSPECTIVE Club House NE
1/8" = 1'-0"



16 PERSPECTIVE Club House SW
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
CLUBHOUSE

LAND USE APPLICATION

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

CH-A202