



Hillcrest Dr, Standish Ct, & Alden Dr Construction 2021 Neighborhood Meeting

Public Information Meeting
by City of Madison Engineering Division
February 16, 2021

Presentation will begin at 6:05pm.



Presentation Overview

Thank You for Participating!

- ▶ Welcome (Hannah Mohelnitzky, Public Information Officer, City of Madison)
- ▶ Introduction (Alder Arvina Martin, District 11, Alder Shiva Bidar, District 5)
- ▶ Presentation (Andrew Zwieg)
- ▶ Q&A (facilitated by Andrew Zwieg)
 - Assisted by:
 - Hannah Mohelnitzky, Public Information Officer, City of Madison
 - Kyle Frank P.E., Sewer Designer, City of Madison
 - Adam Wiederhoeft P.E., Water Utility, City of Madison

Rules and Housekeeping Items for this Meeting

- ▶ All attendees will be muted during the presentation.
- ▶ Attendees will not be allowed to share their screens.
- ▶ You may use the “raise hand” option at the bottom if you have something that required immediate clarification.
- ▶ Use chat option if you are having technical issues. Chat will be disabled once presentation starts.
- ▶ Please use the “Q&A” option at the bottom of the screen to type your question. Questions will be answered at the end of the presentation. Inappropriate questions may be dismissed.
- ▶ If you cannot ask via typing your question, use the “raise hand” option and you will be unmuted when it is your turn.

This meeting is being recorded.

It is a public record subject to disclosure.

By continuing to be in the meeting, you are consenting to being recorded and consenting to this record being released to public record requestors.

How to Participate

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City of Madison

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Join Audio by Computer

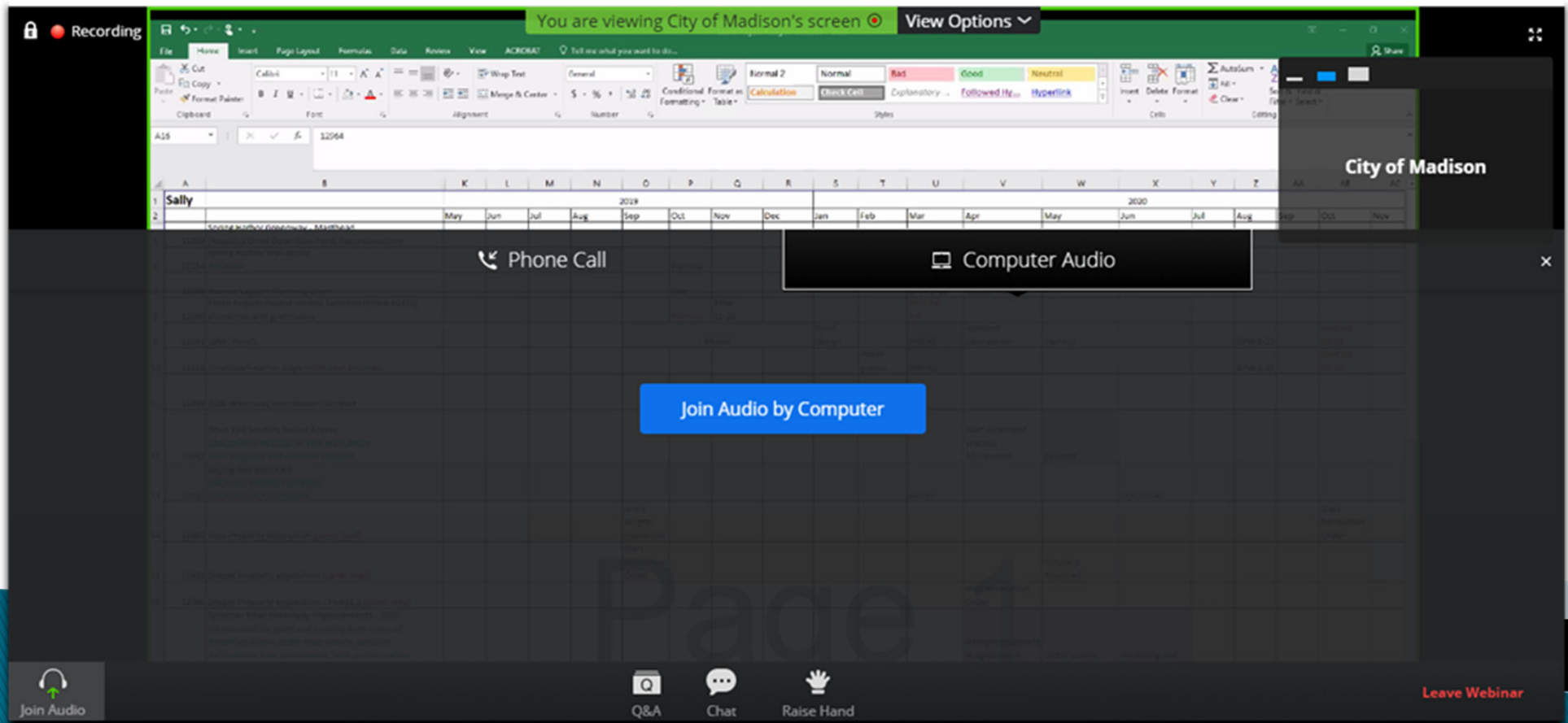
Join Audio

Q&A Chat Raise Hand

Leave Webinar

Join audio to ensure you will be able to hear the speaker

How to Participate



Raise your hand to be unmuted
For comments or ask additional questions.

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We will answer after the presentation

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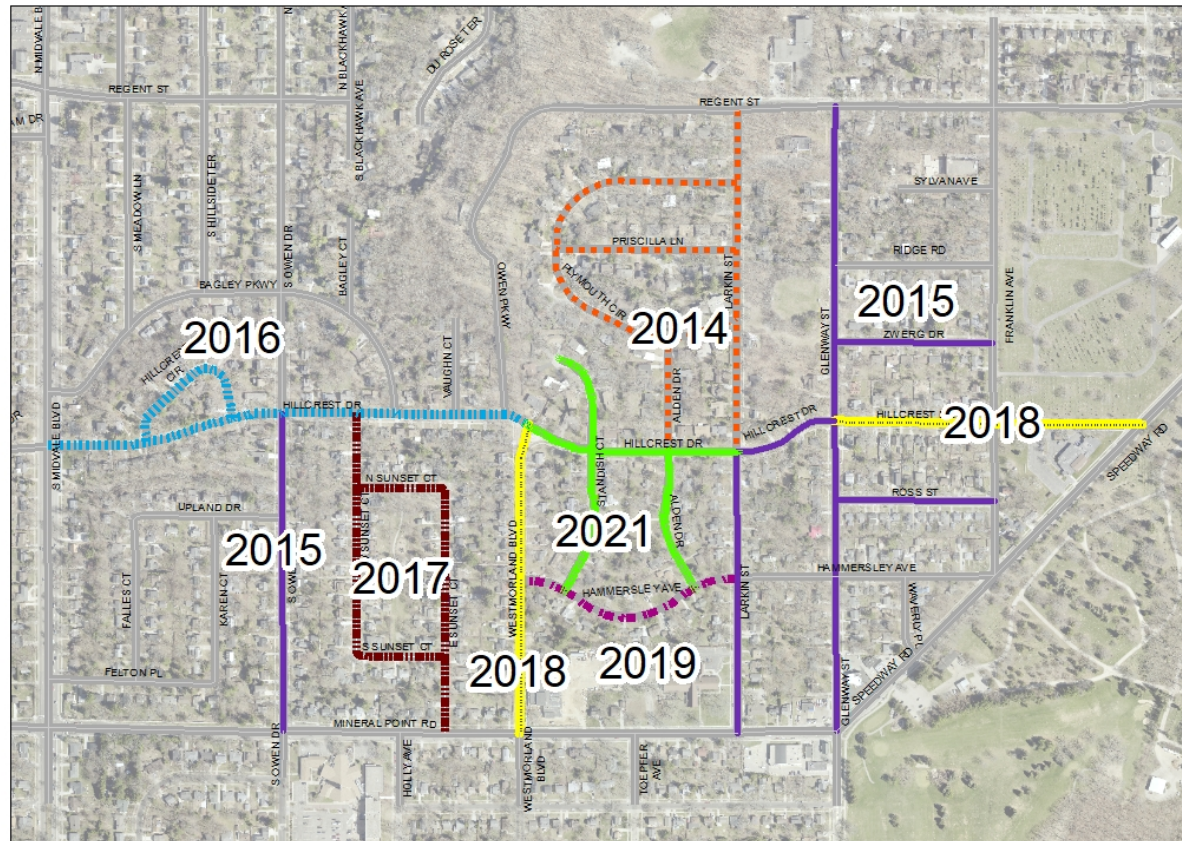
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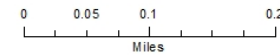
Presentation Overview

- ▶ Introduction
- ▶ Project Location
- ▶ Project Scope
- ▶ Existing Conditions
- ▶ Proposed Street & Utility Design
- ▶ Forestry Information
- ▶ Assessment Policy & Costs
- ▶ Project Approval Schedule
- ▶ Construction Schedule & Access
- ▶ Contact Information & Resources
- ▶ Q&A

Project Location



Sunset Village Neighborhood
Construction Schedule



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Project Scope

- ▶ Replace asphalt pavement & gravel base
- ▶ Replace existing curb & gutter
- ▶ Install new curb & gutter
- ▶ Spot replace sidewalk as needed
- ▶ Replace driveway aprons with concrete or asphalt
- ▶ Install new storm sewer
- ▶ Replace sanitary sewer and water main along Hillcrest Drive & Standish Court north of Hillcrest
- ▶ Relocate sanitary sewer & water main service laterals for properties along Standish Court & Alden Drive south of Hillcrest Drive



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Existing Conditions

| Item | Hillcrest Drive Existing Condition |
|--------------------------------------|--|
| Last Surfaced | 2006 (Asphalt Seal Coat) |
| Pavement Surface Evaluation & Rating | 4/10 – Structural Improvement Required, Over 50% of Pavement is Cracked & Deteriorated |
| Curb Rating | 7/10 |
| Width | Varies 28' – 34' |
| Surface | Asphalt |
| Sidewalk | South Side |
| Sanitary | 8" Clay 1941 and 1954 – Located in the Terrace |
| Water | 6" Spun Ductile Iron 1951 – Located in the Street |
| Storm | None |

Existing Conditions

| Item | Standish Court Cul-De-Sac Existing Condition |
|--------------------------------------|--|
| Last Surfaced | 2001 (Asphalt Seal Coat) |
| Pavement Surface Evaluation & Rating | 4/10 – Structural Improvement Required, Over 50% of Pavement is Cracked & Deteriorated |
| Curb Rating | 6/10 |
| Width | 32' |
| Surface | Asphalt |
| Sidewalk | None |
| Sanitary | 8" Clay 1954 – Located in the Street |
| Water | 6" Spun Ductile Iron 1954 – Located in the Street |
| Storm | None |

Existing Conditions

| Item | Standish Court & Alden Drive Existing Condition |
|--------------------------------------|--|
| Last Surfaced | 2001 (Standish Ct Asphalt Seal Coat) 2006 (Alden Dr Asphalt Seal Coat) |
| Pavement Surface Evaluation & Rating | 3/10 – Structural Improvement Required, Over 50% of Pavement is Cracked & Deteriorated |
| Curb Rating | No Curb & Gutter |
| Width | Varies 24' – 26' |
| Surface | Asphalt |
| Sidewalk | None |
| Sanitary | 6" Clay 1943 – Located in the Backyard |
| Water | 4" Spun Ductile Iron 1943 – Located in the Backyard |
| Storm | New 2019 Near Hammersley Avenue |

Proposed Street Design

▶ Hillcrest Drive

- Replace asphalt & gravel base
- Replace existing curb & gutter
- Install new 6" curb & gutter
- Replace driveway aprons
 - Driveway aprons will be replaced with concrete or asphalt depending on driveway material
- Spot replace sidewalk as needed
- New sidewalk along the north side will not be installed
- Street width 34' at the Westmorland Blvd. Intersection
- Street width 32' along Standish Court to Larkin Street
- New street lighting will not be installed



Proposed Street Design

- ▶ Standish Court Cul-De-Sac
 - Replace 2" of asphalt
 - Replace existing curb & gutter as needed
 - Driveway aprons to remain
 - New sidewalk along the street will not be installed
 - Street width 32'
 - New street lighting will not be installed



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Proposed Street Design

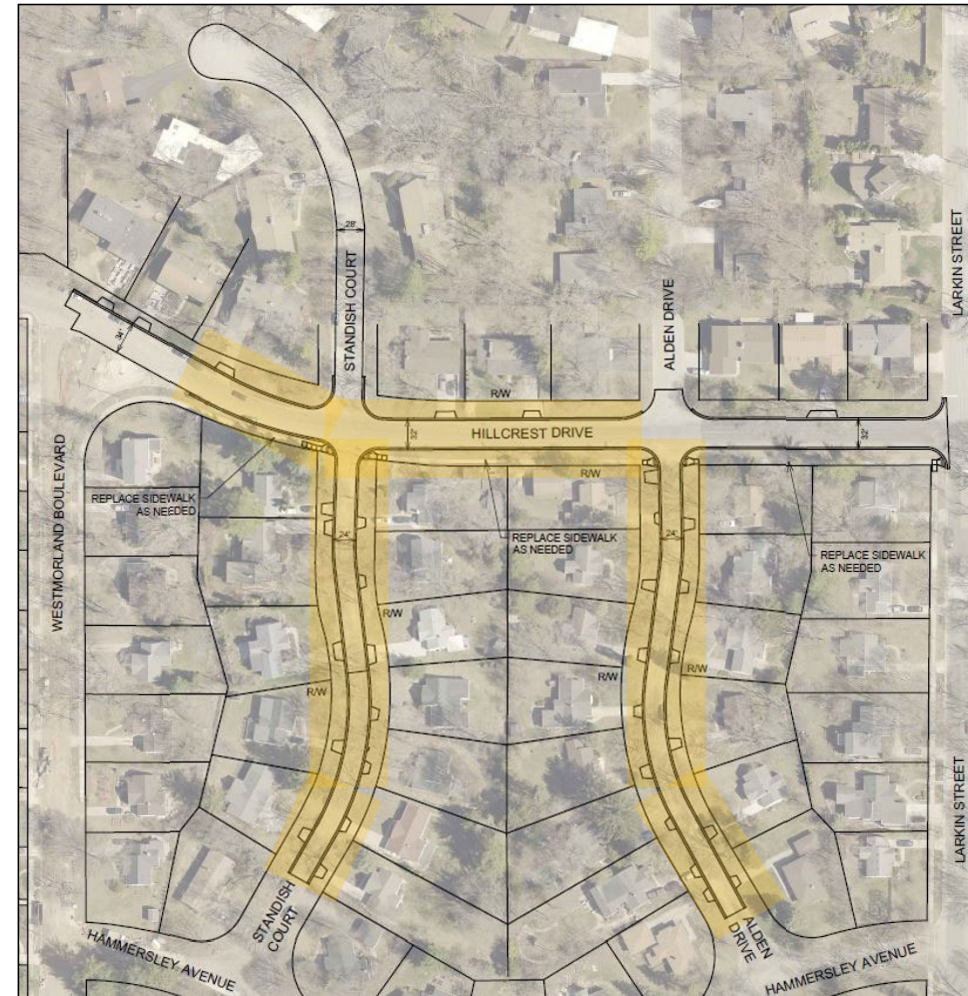
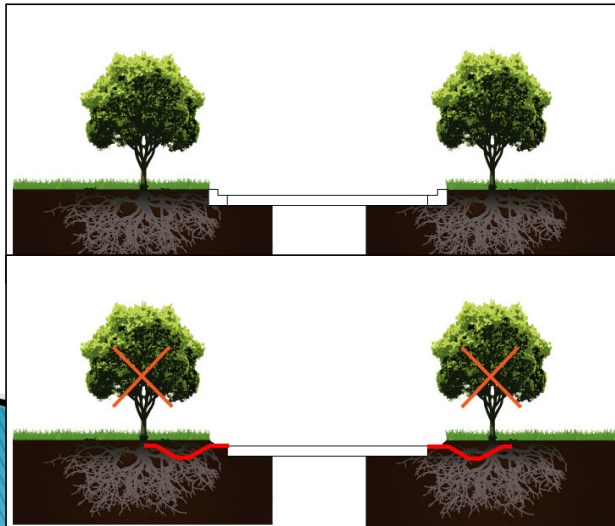
- ▶ Standish Court & Alden Drive
 - Replace asphalt & gravel base
 - Install new modified 4" rolled curb & gutter
 - Replace driveway aprons
 - Driveway aprons will be replaced with concrete or asphalt depending on driveway material
 - New sidewalk along the street will not be installed
 - Street width 24'
 - Parking on one side
 - New street lighting will not be installed



Street Design

► Why Install Curb & Gutter?

- Maintenance of street
- Protects pavement edge
- Traffic safety
- Environmental benefits
 - Collect and convey storm water– minimize private property flooding
- Protects tree terrace from parked cars & plows



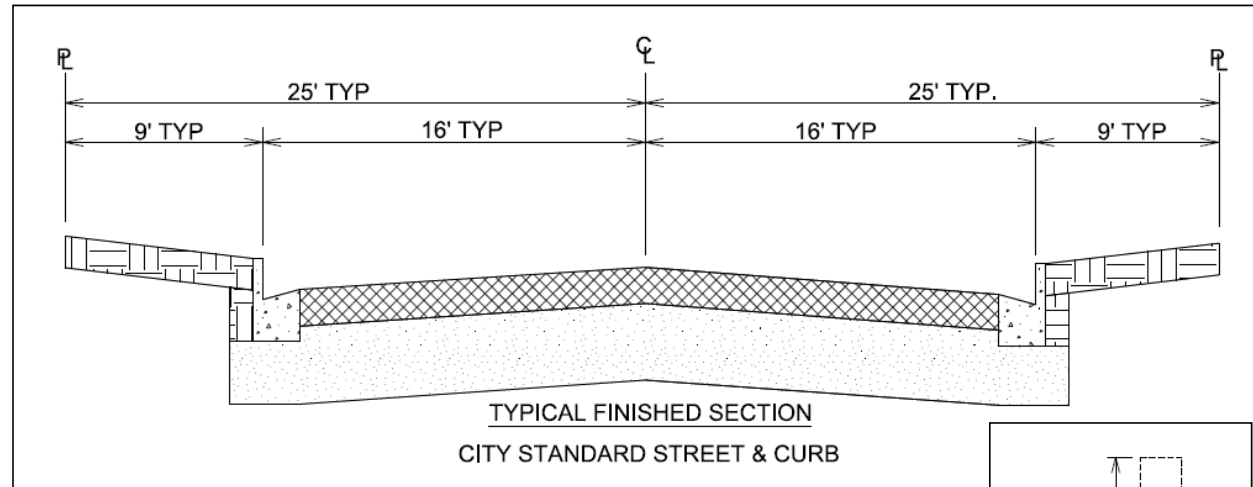
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Street Details

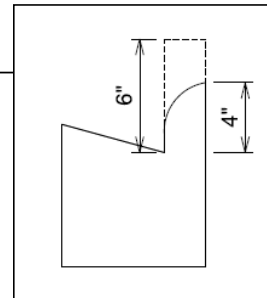
► City Standard Local Street – 32'

- Asphalt Pavement
- Curb & gutter with 6" curb head (flat face)
- Allow for 24' or 28' width in certain circumstances
 - Street Width – 24'
 - 24' width to be constructed on Standish Ct and Alden Dr south of Hillcrest Dr
 - Narrower than standard will help protect trees, keep speeds lower, and keep driveway slopes from becoming steep
 - Estimated 0 tree removals along Standish Ct
 - Estimated 0 tree removals along Alden Dr



• Street Width – 28'

- Estimated 10 tree removals along Standish Ct out of a total of 15
- Estimated 8 tree removals along Alden Dr out of a total of 15
- All the trees selected are in conflict with the proposed street construction



- Install new modified 4" rolled curb & gutter

Proposed Utility Design

▶ Hillcrest Drive

- Replace & relocate sanitary sewer within the street
 - 8" PVC
 - Replace sanitary sewer laterals from the new main to the property line
- Replace water main within the street
 - 12" ductile iron
 - Reconnect services to the new main



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Proposed Utility Design

- ▶ Standish Court Cul-De-Sac
 - Replace sanitary sewer
 - 8" PVC
 - Replace sanitary sewer laterals from the new main to the property line
 - Spot repairs of water main within the street



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Proposed Utility Design

▶ Standish Court & Alden Drive

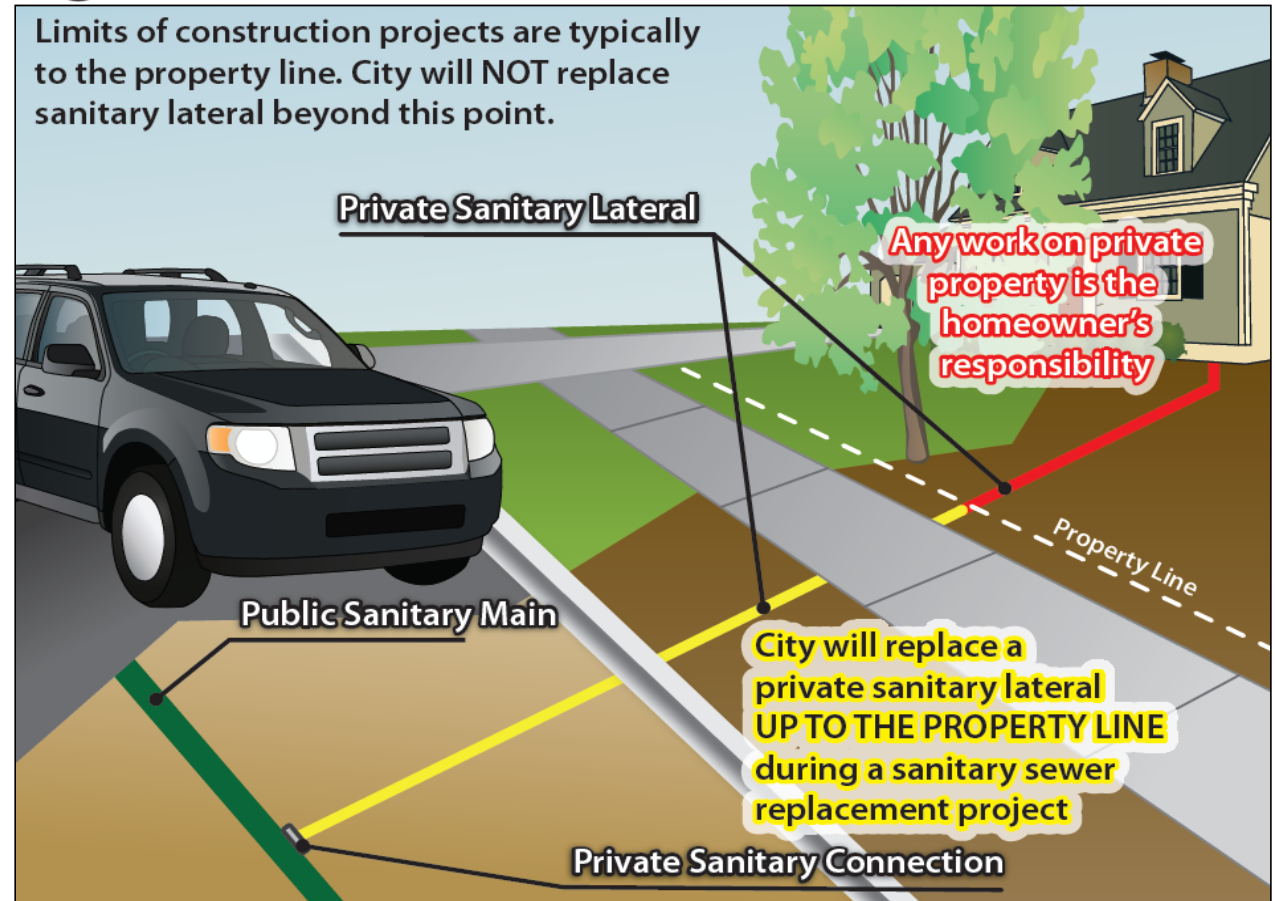
- Replace & relocate sanitary sewer within the street
 - 8" PVC
 - Relocate sanitary sewer laterals from the new main to the property line
- Replace water main within the street
 - 8" ductile iron
 - Relocate water services from the new main to the property line
- Install a new storm sewer system along the streets to Hillcrest Drive
 - Connect to the existing system along Hammersley Avenue



Proposed Utility Design – Sewer Lateral

► Sanitary Sewer Lateral Installation

- Replace to property line
- Work beyond the property line is the homeowner's responsibility

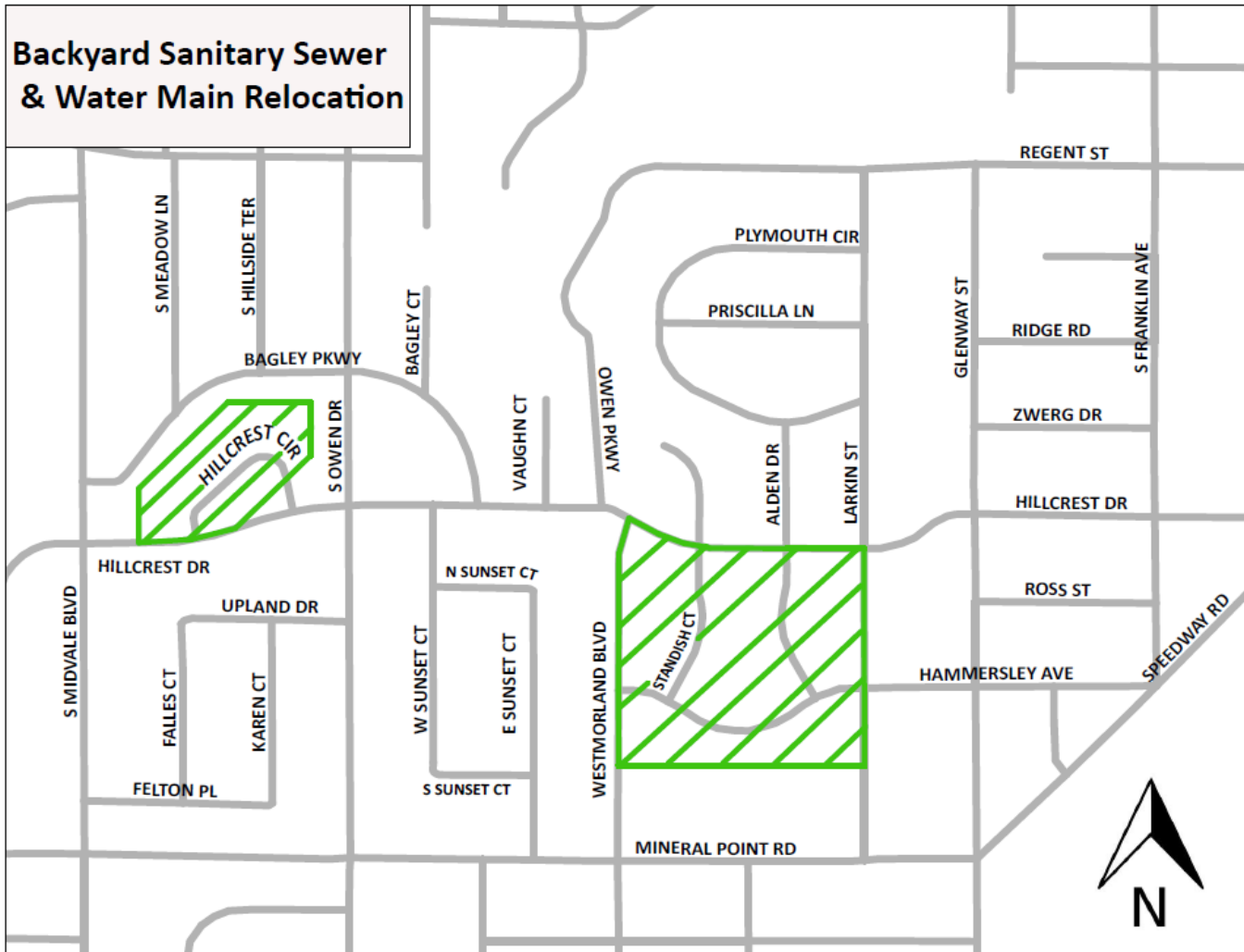


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Rear/Side Yard Utility Relocations

Backyard Sanitary Sewer
& Water Main Relocation



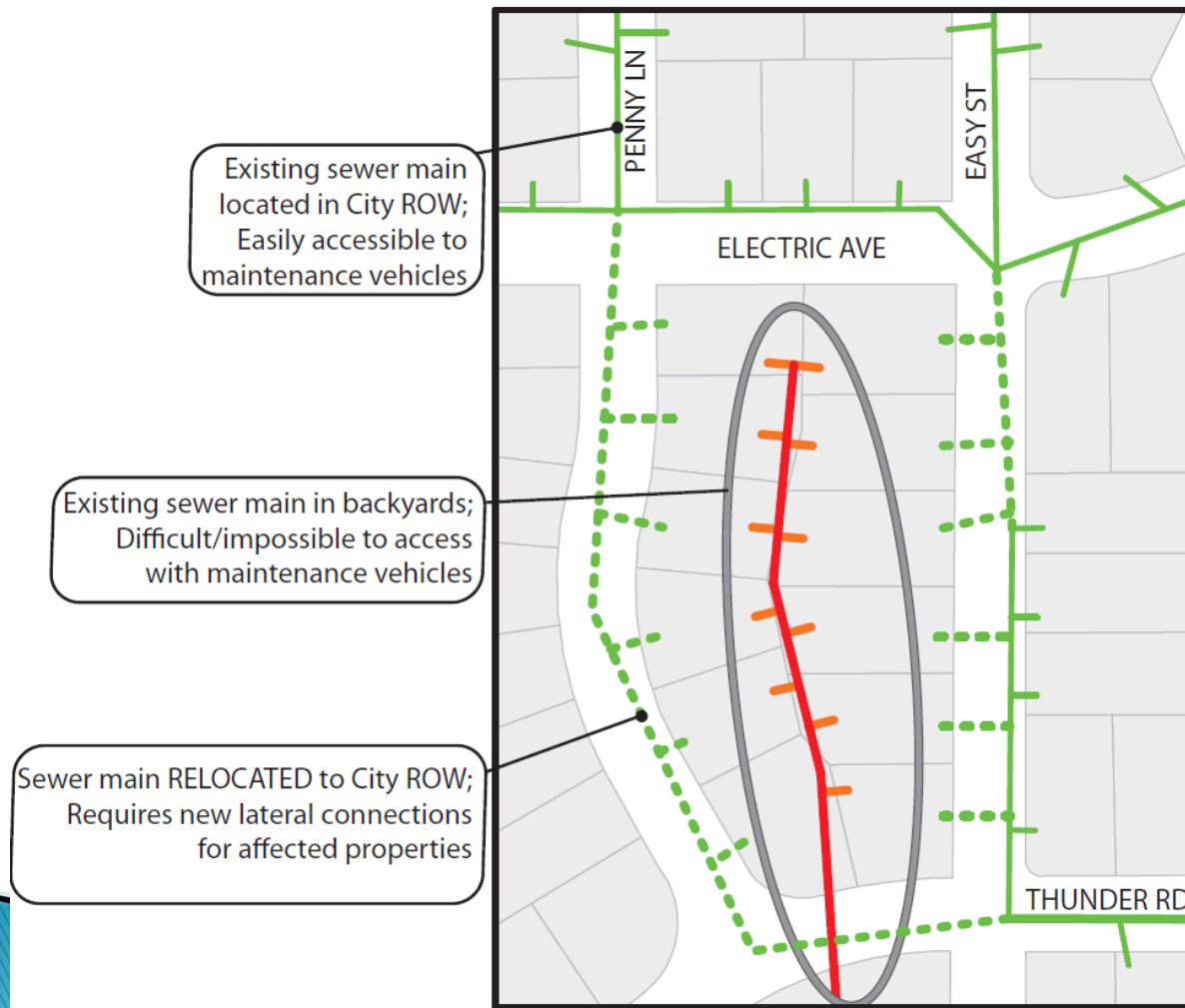
Properties on Standish Court & Alden Drive Include:

| | |
|-----------------|-----------------|
| 201 Standish Ct | 201 Alden Drive |
| 202 Standish Ct | 202 Alden Drive |
| 206 Standish Ct | 206 Alden Drive |
| 207 Standish Ct | 207 Alden Drive |
| 214 Standish Ct | 214 Alden Drive |
| 215 Standish Ct | 215 Alden Drive |
| 221 Standish Ct | 222 Alden Drive |
| 224 Standish Ct | 223 Alden Drive |
| 233 Standish Ct | 228 Alden Drive |
| 236 Standish Ct | 233 Alden Drive |
| 239 Standish Ct | 234 Alden Drive |
| | 238 Alden Drive |

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Utility Relocation Example



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Utility Relocation Reimbursements

(sanitary sewer and water laterals policy – legistar #39194)

► Sanitary Sewer Laterals

- 100% reimbursement up to \$9,000 for work completed by June 1, 2022 after City construction
 - If work over, \$9,000 - additional reimbursement (up to \$12,750 possible cost share)
 - 75% (\$9,000 - \$12,000)
 - 50% (\$12,000 - \$15,000)
 - 0% (over \$15,000)
- If property owner work not complete by June 1, 2022 – reimbursement deductions
 - Work completed after June 1, 2022 – 5% reduction each month
 - Work completed after June 1, 2023 – No cost share

► Water Service Laterals

- 50%/50% cost share with a \$1,500 maximum reimbursement

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Forestry Information

- ▶ City Engineering has reviewed the project with City Forestry & a Forestry rep will work with the contractor & inspector during construction
- ▶ Trees will be pruned prior to construction to provide required clearance above street
- ▶ Locations of known removals: 202 Larkin St (Serviceberry), 110 Standish Ct (Pine)
- ▶ Reason for removal include:
 - Poor condition/health
- ▶ Methods of tree protection include:
 - Realignment/design of street
 - Curb construction, style, methods and instruction
 - Bends & limits of work for sewer laterals
- ▶ After project completion, Forestry will evaluate terrace for potential tree planting locations

Assessment Policy & Costs

- ▶ Special charge for work being done that has a direct benefit to the property
- ▶ Preliminary assessment mailed during design phase
 - Based on estimated prices & quantities
- ▶ Assessments can be paid in lump sum or typically over 8 years with 2% interest
- ▶ Final assessment billed after project completion
 - Based on bid prices & measured quantities
 - Summer 2022

Assessment Policy & Costs

| Item | Property Owner Share | City Share |
|--------------------------------------|----------------------|------------|
| Rural to Urban (4' Pavement & Curb)* | 100% | 0% |
| Curb & Gutter Replacement* | 50% | 50% |
| Sidewalk Replacement | 50% | 50% |
| Driveway Apron | 50% | 50% |
| Intersection Curb & Pavement | 0% | 100% |
| Sanitary Sewer Main | 0% | 100% |
| Sanitary Laterals to Property Line | 25% | 75% |
| Water Main | 0% | 100% |
| Water Main Laterals | 0% | 100% |
| Storm Sewer Main | 0% | 100% |
| Private Storm Connections (if any) | 100% | 0% |

•*Curb & pavement assessed per linear ft. of frontage

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Assessment Policy & Costs

- ▶ Approximate property owner costs for items
 - Driveway apron replacement approx. \$2,000 each
 - Curb & 4' of pavement approximately \$60 per ft.
 - 50% discount for corner lots
 - Sewer lateral replacement approx. \$3,000 each
 - For 60' of lot frontage estimate: \$8,600
 - Frontages vary 60'-134'

Project Approval Schedule

▶ Approving Geometry

- March 5, 2021: Mail Estimated Assessment & Public Hearing Notice
- March 17, 2021: Board of Public Works Public Hearing
- March 30, 2021: Common Council Public Hearing

Construction Schedule & Access

- ▶ Road closed during project, local traffic only
- ▶ Street parking removed during working hours (7am-7pm) for project duration
- ▶ Residential driveways accessible for most of project but closed up to a cumulative total of 20 days, residents are notified before
 - Not accessible when contractor is working directly in front
 - Closed when curb and driveway apron installed
- ▶ Average 2 planned water shutoffs
 - Minimum 48 hours notice prior; more notice given when possible
 - Emergency shut-offs possible, notify affected properties ASAP
 - Up to 8 hours, usually 4 hours each
 - Connecting new main to existing
 - Connecting existing service to new main

Construction Schedule & Access

- ▶ No disruptions to sewer service
- ▶ Approximately 4 months to complete work
- ▶ Early April 2021: Advertise for Bids
- ▶ July 2021 – October 2021: Construction
- ▶ Potential opportunity for installing rain gardens with the project within the terrace (area between curb and property line) as a cost share between the City and property owner
 - Contact Carissa Wegner of City Engineering, cwegner@cityofmadison.com, 261-9822 by March 9, 2021

Construction Schedule & Access

- ▶ Existing timber, brick or stone walls & landscaping plantings along the street or within the right-of-way will likely be impacted if it conflicts with curb & gutter or sanitary and water main installation
 - If you wish to save any landscaping, it should be removed prior to the start of work in the summer of 2021
- ▶ Stone or brick pavers within the right-of-way on or adjacent to your driveway that you wish to save should be removed prior to construction and reinstalled by you after construction is complete
- ▶ After construction, disturbed areas will be covered with 6 inches of topsoil, erosion mat and seed
 - The contractor is responsible for 10 days of watering. After 10 days, it will be up to the resident to continue to water and mow in order for healthy grass to establish

Contact Information & Resources

- ▶ Engineering
 - Project Manager, Andrew Zwieg, 266-9219, azwieg@cityofmadison.com
 - Public Information Officer, Hannah Mohelnitzky, 669-3560, hmohelnitzky@cityofmadison.com
 - Sewer Designer, Kyle Frank, 266-4098, kfrank@cityofmadison.com
 - Water Utility, Adam Wiederhoeft, 266-9121, awiederhoeft@madisonwater.org
 - Rain Garden Questions, Carissa Wegner, 261-9822, cwegner@cityofmadison.com
- ▶ Project Website: <https://www.cityofmadison.com/engineering/projects/sunset-village>
 - Sign-up for project email updates on the website
 - A PDF of the presentation, design information, & construction progress will be posted to the project website
- ▶ Facebook – City of Madison Engineering
- ▶ Twitter – @MadisonEngr
- ▶ Everyday Engineering Podcast – search “Everyday Engineering” on Apple iTunes or GooglePlay

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Thank You for Attending!

► Questions

- Please use the **“Q&A”** option at the bottom of the screen to type a question.
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