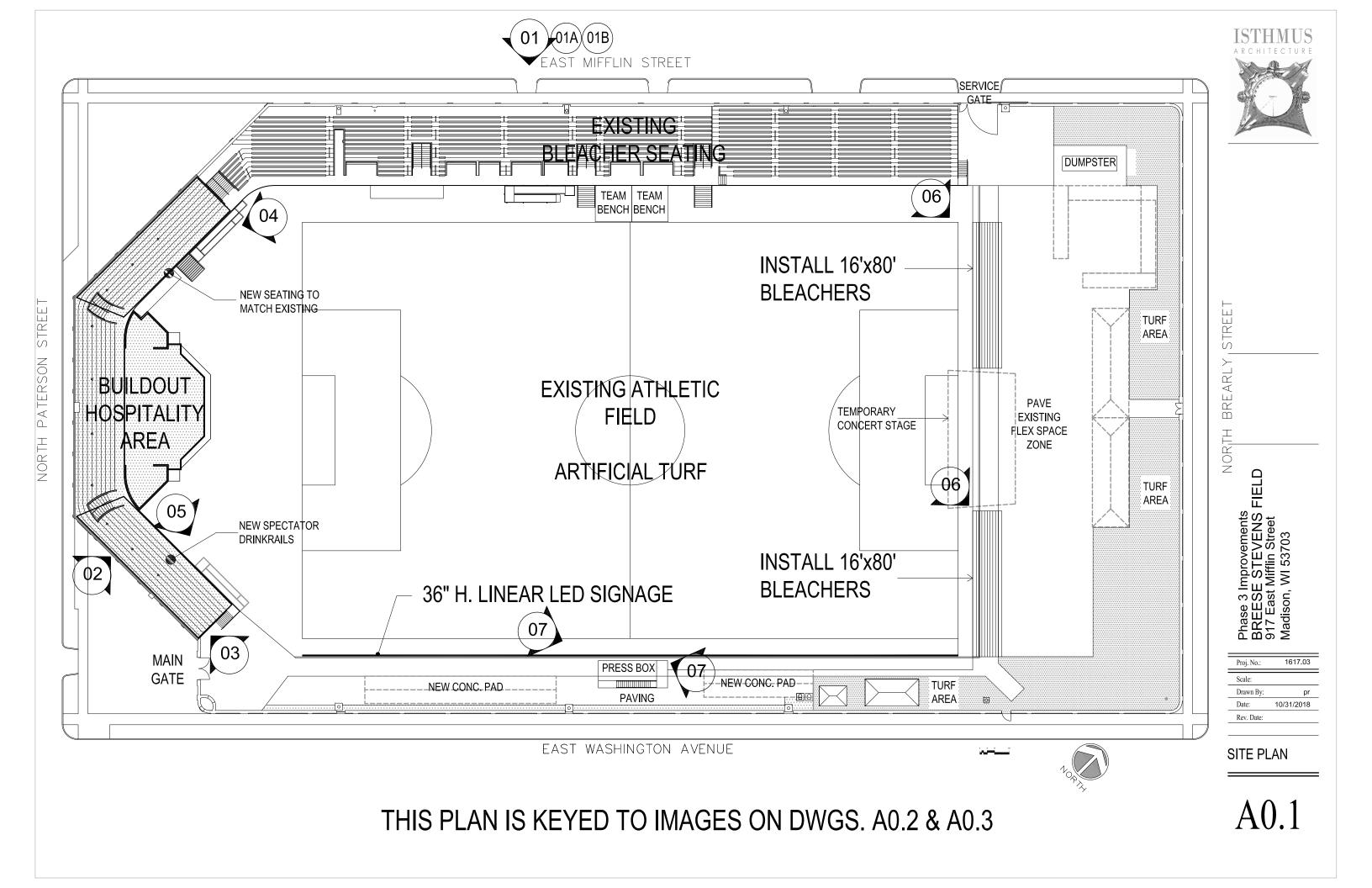
BREESE STEVENS FIELD PHASE 3 FACILITY IMPROVEMENTS

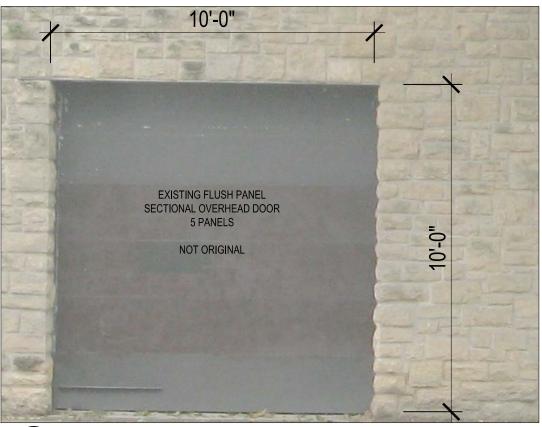




Phase 3 Improvements
BREESE STEVENS FIELD
917 East Mifflin Street

Proj. No.:	1617.03
Scale:	
Drawn By:	pr
Date:	10/31/2018
Rev. Date:	





(01) EXISTING OVERHEAD DOOR @ MIFFLIN









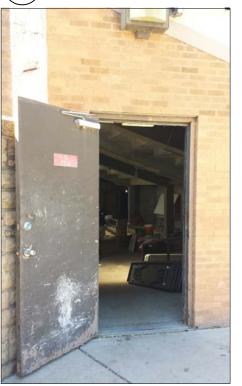
01A) (01B) PROPOSED DOOR REPLACEMENT

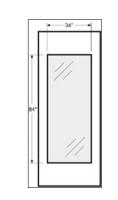




PROPOSED DOOR to LOWER LEVEL

(02) EXISTING DOOR to LOWER LEVEL





PROPOSED SERVICE DOOR to LOWER LEVEL (NO SIDELIGHTS)

Phase 3 Improvements BREESE STEVENS FIELD 917 East Mifflin Street Madison, WI 53703

Proj. No.:	1617.03
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Drawn By:	pr
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Rev. Date:	

03 EXISTING SERVICE DOOR to LOWER LEVEL

EXTERIOR ENVELOPE MODIFICATIONS

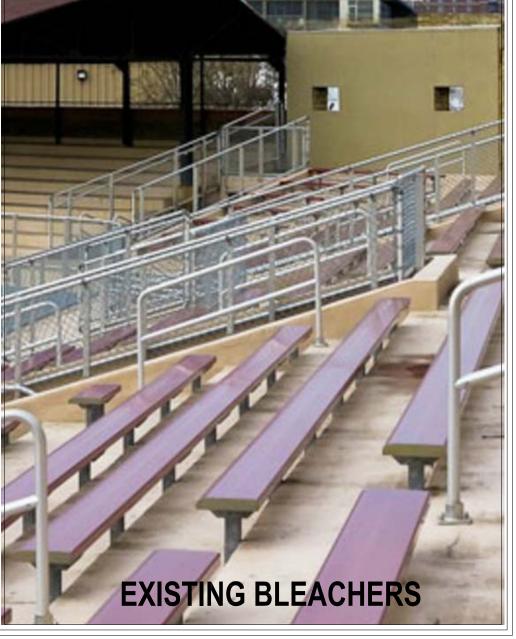
A0.2



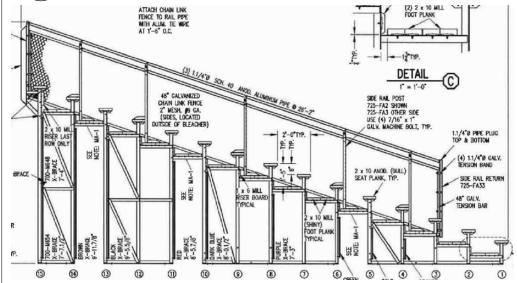
(04) INSTALL ADDITIONAL BLEACHERS TO MATCH



ig(${f 05}\,ig)$ INSTALL DRINK RAILS TO MATCH BLEACHERS



06) INSTALL TWO SPECTATOR BLEACHERS @ EAST END ZONE



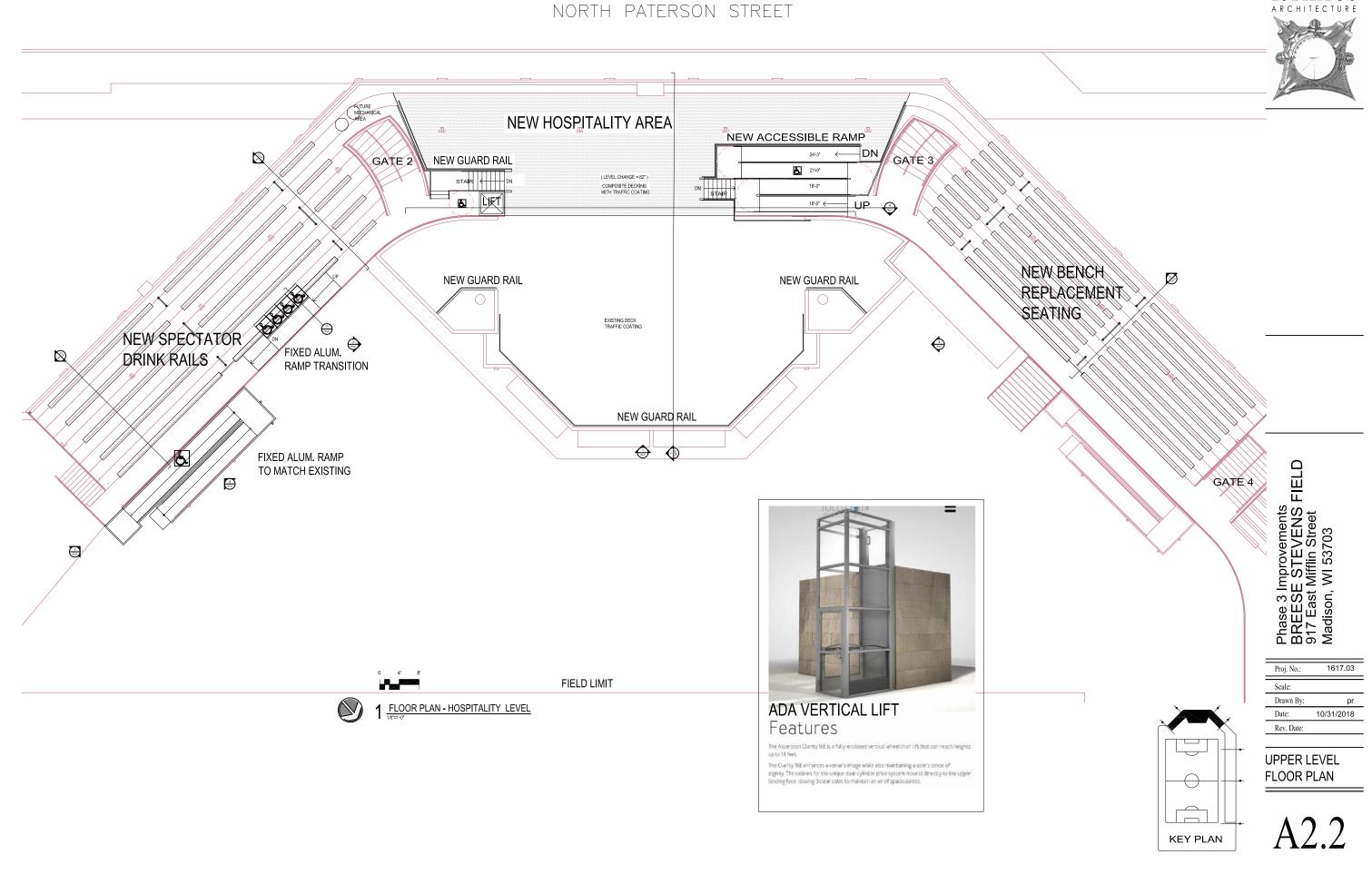
Phase 3 Improvements
BREESE STEVENS FIELD
917 East Mifflin Street

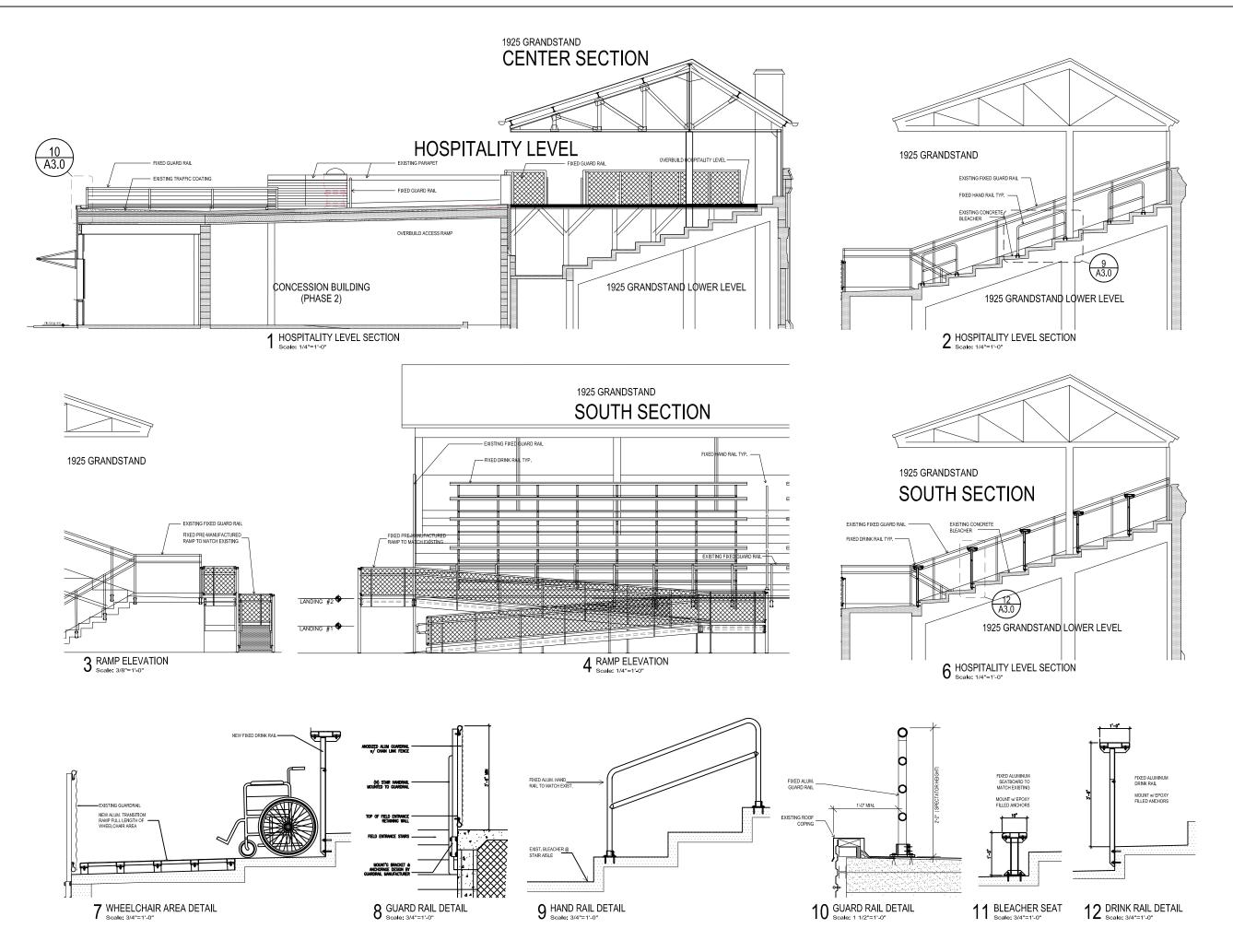


GRANDSTAND & FIELD MODIFICATIONS

Scale:	
Drawn By:	pr
Date:	10/31/2018
Rev. Date:	

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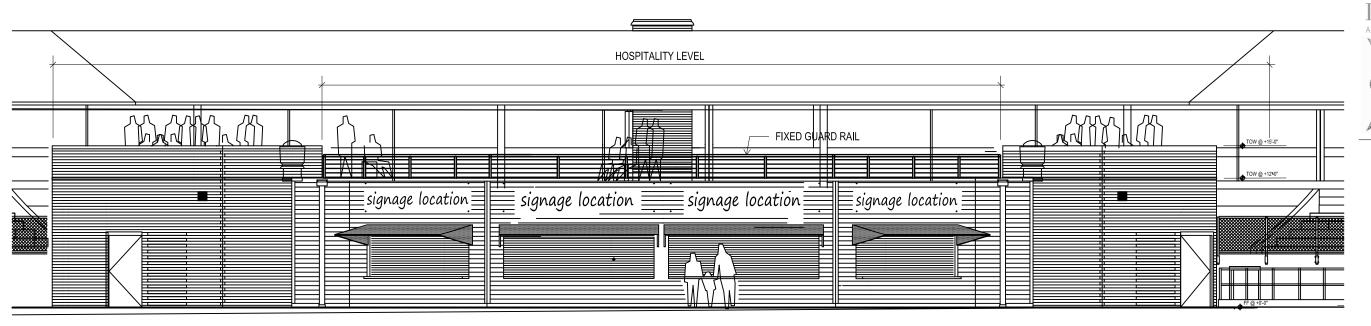


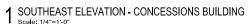
Phase 3 Improvements BREESE STEVENS FIELD 917 East Mifflin Street Madison, WI 53703

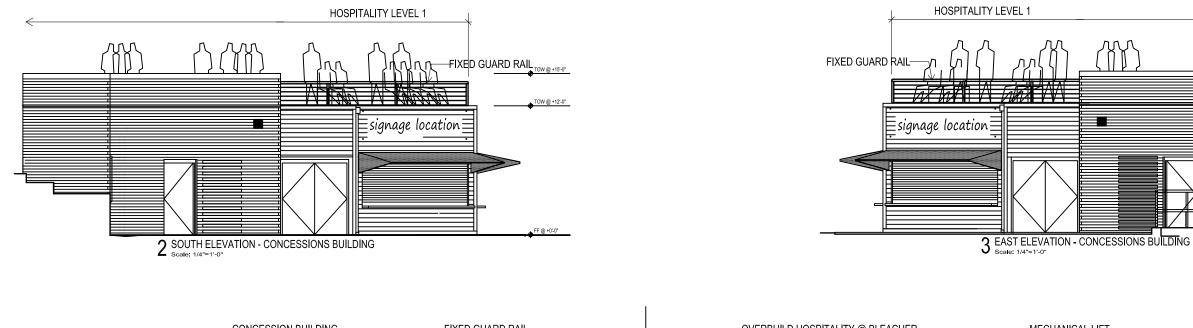
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Drawn By:	pr
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Rev. Date:	

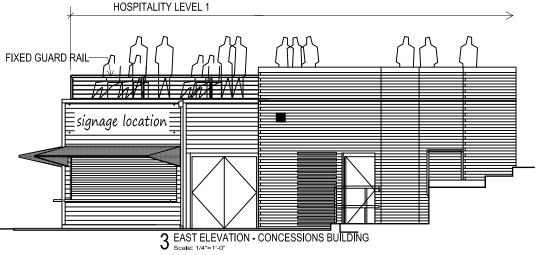
SECTION & ELEVATIONS

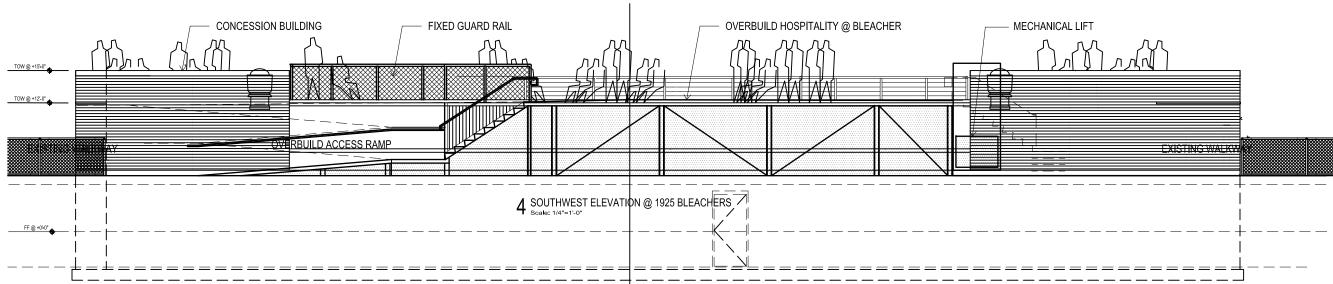
A3.0







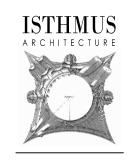


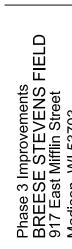


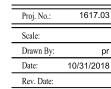
Phase 3 Improvements BREESE STEVENS FIELD 917 East Mifflin Street Madison, WI 53703

Proj. No.:	1617.03
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ELEVATIONS









GUARD RAIL

PERSPECTIVE VIEW OF HOSPITALITY LEVEL looking SW

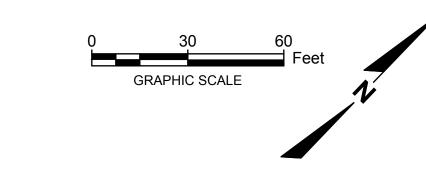
<u>GENERAL</u>

- 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY— EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON ANY ESTIMATE PROVIDED BY ENGINEER.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE TESTING AGENCY.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.

- 7. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE REDESIGN.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- 10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- 11. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- 12. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS

ADDITIONAL NOTES:

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION, ELEVATION, AND CONDITION OF ALL UTILITIES. THIS MAY REQUIRE TELEVISING AND/OR DYE TESTING EXISTING LINES TO VERIFY THE INTEGRITY AND CONNECTIVITY OF ANY LINE (CONDITION TO BE DETERMINED BY CITY OF MADISON). IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. COST FOR THE VERIFICATION OF EXISTING UTILITY CONNECTIONS IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE BID PRICES.



LEGEND

— — — PROPERTY LINE

LIMITS OF WORK (36,793 SF / 0.84 AC)

GRAVEL REMOVAL



ASPHALT REMOVAL

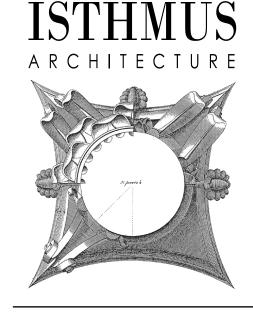


STORM SEWER INLET PROTECTION

Parks Utility Inventory may not be complete, current or accurate. The City makes no representation about the accuracy of these records and shall not be liable for any damages. Call Diggers Hotline (811) & Parks Div. (266-4711) before digging, driving stakes,

DEMOLITION PLAN NOTES

- 1. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING, DRIVES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER RECOMMENDATIONS OF THE TESTING AGENCY.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- 4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES, IF REQUIRED. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- 6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES (IF ALLOWED—CHECK WITH LOCAL UTILITY) BEFORE PROCEEDING WITH THE WORK AS APPLICABLE. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING (COORDINATE WITH TESTING AGENCY).
- 7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED, IF REQUIRED, SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTINUOUS ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC.
- 9. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- 10. CONTRACTOR MAY LIMIT SAW—CUT & PAVEMENT REMOVAL OR ARTIFICIAL TURF REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, TURF, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. CONTRACTOR SHOULD ALSO NOTE THAT IT MAY BE NECESSARY THAT ADDITIONAL PAVEMENT OR TURF REMOVAL IS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED IMPROVEMENTS, TO PROMOTE PROPER DRAINAGE, AND/OR TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED CONDITIONS, TO MEET ADA COMPLIANCE (SEE GRADING PLAN) OR TO PROVIDE A MORE UNIFORM LOOK TO THE AFFECTED AREA. THE COST OF THIS ADDITIONAL PAVEMENT OR TURF REMOVAL IS CONSIDERED INCIDENTAL, AND SHALL BE INCLUDED IN THE BID PRICES.



rasmith

CREATIVITY BEYOND ENGINEERING

5250 E. Terrace Dr., Ste. 108

Madison, WI 53718-8345

(608) 467-3034

rasmith.com

Project Number:1160426

EVEN FOR TON CONSTRUCTION

DEMOLITION PLAN

Phase 3 Improvements
BREESE STEVENS FIELE
917 East Mifflin Street
Madison, WI 53703

Proj. No.: 1617.03

Scale: 1"=30'

Drawn By: RJH

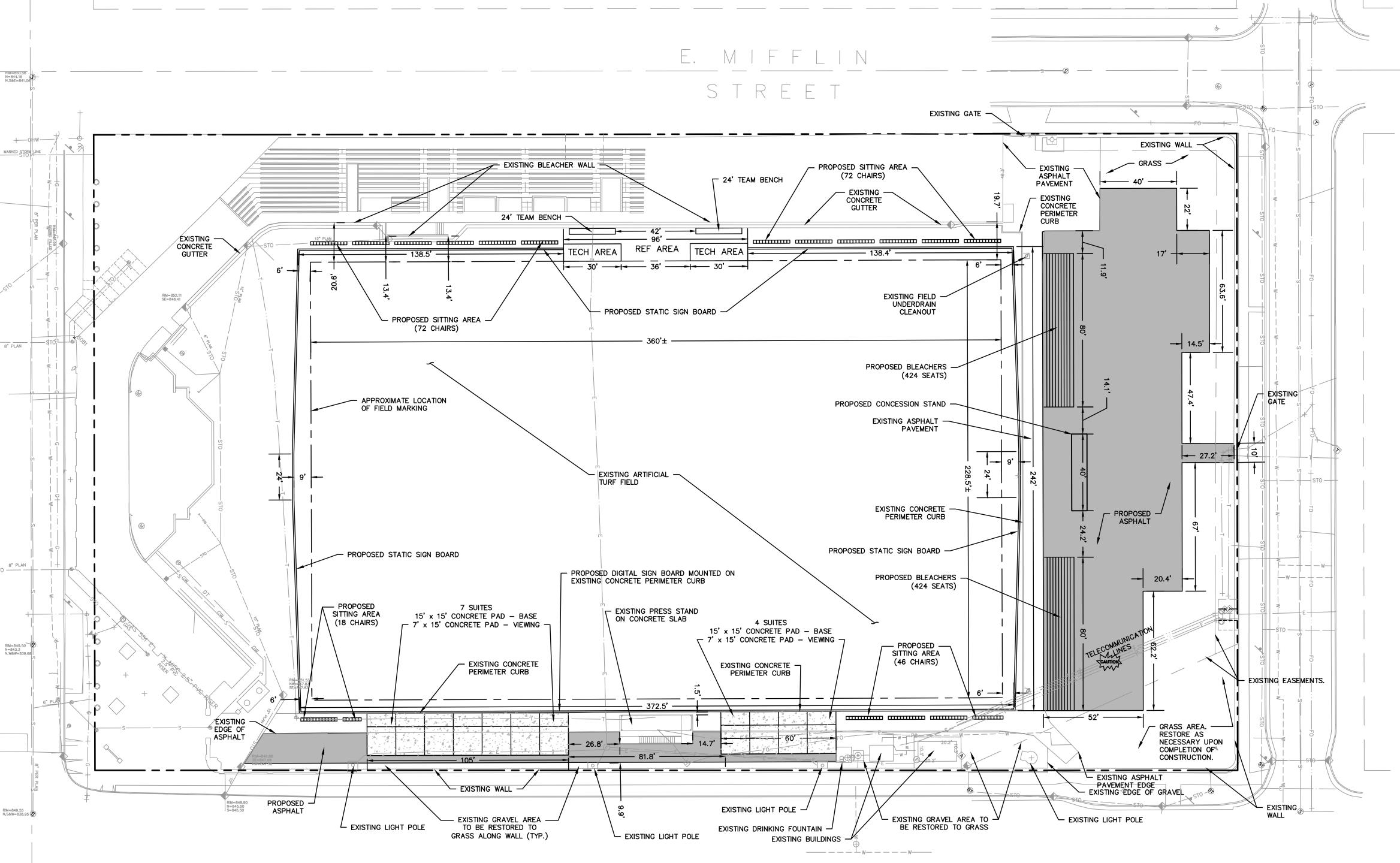
Date: 10/30/2018

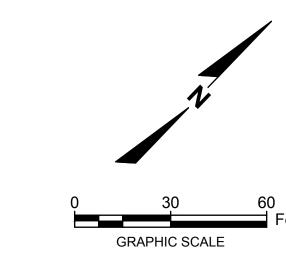
Rev. Date:



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

C100





LEGEND

PROPERTY LINE PROPOSED ASPHALT PAVEMENT

PROPOSED CONCRETE PAVEMENT

Project Number:1160426

CREATIVITY BEYOND ENGINEERING rasmith.com

raSmith | 5250 E. Terrique Gr., Clos. 132 | Madison, WI 53718-8345 | (608) 467-3034

5250 E. Terrace Dr., Ste. 108

NOTE: REFER TO ARCHITECTURAL PLANS (AND OTHER APPLICABLE PLANS) FOR ALL FIXTURING AND SITE AMENITIES INCLUDING BUT NOT LIMITED TO:

- SEATS IN DESIGNATED SITTING AREAS AND TEAM BENCHES TECH AND REF AREAS
- SUITE FINISHES
- STATIC SIGN BOARDS AND MOUNTING DETAILS
 DIGITAL SIGN BOARD AND MOUNTING DETAILS BLEACHERS
- CONCESSION STAND (EAST END)

SITE PLAN

Proj. No.:	1617.03
Scale:	1"=30'
Drawn By:	RJH
Date:	10/30/2018
Rev. Date:	

ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS AND PER RECOMMENDATIONS OF THE TESTING AGENCY OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY.

- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE PAVEMENT SHALL BE PER RECOMMENDATIONS OF THE TESTING AGENCY OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY.
- 8. CONCRETE CONSTRUCTION FOR WALKS AND NON-FLOOR SLABS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT AND SECTION 602 FOR CONCRETE SIDEWALKS, RECOMMENDATIONS OF THE TESTING AGENCY, OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY. AT A MINIMUM ALL CONCRETE PAVEMENT SHALL BE REPLACED IN KIND. IF ADDITIONAL MATERIAL IS REQUIRED BY MUNICIPALITY OR AS DETERMINED BY GEOTECHNICAL ENGINEER, THESE COSTS SHALL BE CONSIDERED INCIDENTAL TO BID AND SHALL BE INCLUDED IN
- TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- 11. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

- <u>GENERAL</u>
- 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON ANY ESTIMATE PROVIDED BY ENGINEER.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE TESTING AGENCY.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.

- 7. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE REDESIGN.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- 10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- 11. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- 12. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE

NOTE: DEFER ALL PAVING QUESTIONS OR SUBMITTALS TO THE TESTING AGENCY

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND CITY OF MADISON ORDINANCES AND SPECIFICATIONS THE MORE STRINGENT OF THE TWO SHALL APPLY.
- 2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE PER RECOMMENDATIONS OF GEOTECHNICAL ENGINEER OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY. AT A MINIMUM ALL AGGREGATE BASE SHALL BE REPLACED IN KIND. IF ADDITIONAL MATERIAL IS REQUIRED BY MUNICIPALITY OR AS DETERMINED BY GEOTECHNICAL ENGINEER, THESE COSTS SHALL BE CONSIDERED INCIDENTAL TO BID AND SHALL BE INCLUDED IN BID PRICE.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE PER RECOMMENDATIONS OF GEOTECHNICAL ENGINEER OR PER CITY OF MADISON REQUIREMENTS THE MORE STRINGENT OF THE TWO SHALL APPLY. AT A MINIMUM ALL ASPHALT PAVEMENT SHALL BE REPLACED IN KIND. IF ADDITIONAL MATERIAL IS REQUIRED BY MUNICIPALITY OR AS DETERMINED BY GEOTECHNICAL ENGINEER, THESE COSTS SHALL BE CONSIDERED INCIDENTAL TO BID AND SHALL BE INCLUDED IN BID PRICE.

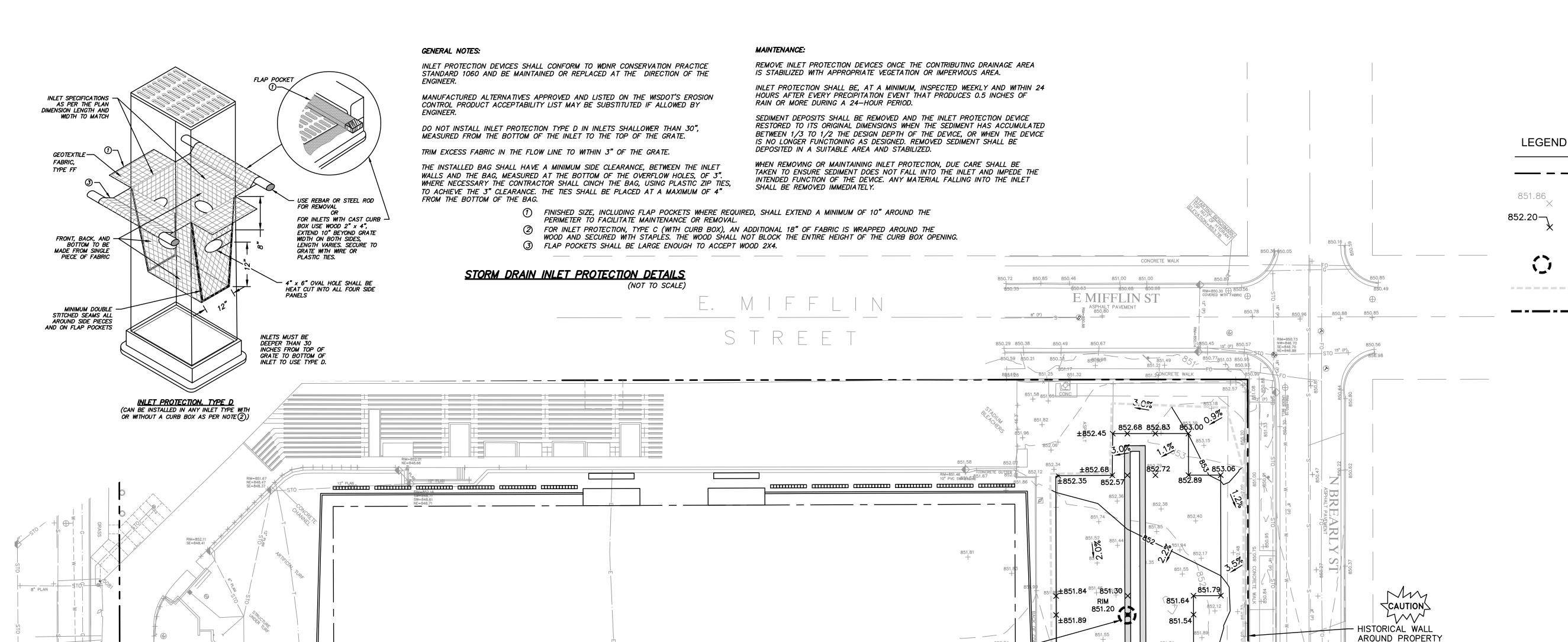
7. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS.

BID PRICE.

9. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148,

10. CONTRACTOR SHALL DETERMINE LOCATION OF ALL CONSTRUCTION AND EXPANSION JOINTS AS APPLICABLE.

Milwaukee Area (414) 259-118 Hearing Impaired TDD (800) 542-2289 www.Diggeral-lottine.com



GRAPHIC SCALE

LEGEND

EXISTING SPOT GRADE 851.86

> PROPOSED SPOT GRADE MATCH = TIE INTO EXISTING GRADE CONTRACTOR TO VERIFY

PROPOSED INLET PROTECTION

PROPOSED LIMITS OF DISTURBANCE

PROPOSED TEMPORARY EROSION CONTROL EELS

5250 E. Terrace Dr., Ste. 108 rasmith Madison, WI 53718-8345 (608) 467-3034 CREATIVITY BEYOND ENGINEERING rasmith.com Project Number: 1160426

GRADING AND EROSION CONTROL PLAN

FIEL

36,793± SF

Proj. No.:	1617.03
Scale:	1"=30'
Drawn By:	RJH
Date:	10/30/2018
Rev. Date:	

Hearing Impaired TDD (800) 542-2289

ADDITIONAL IMPERVIOUS AREA AFTER IMPROVEMENTS 16,369± SF

ESTIMATED TOTAL LIMITS OF DISTURBANCE

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

GRADING AND EROSION CONTROL

acksim INLET PROTECTION, TYP.

E WASHINGTON AVE

(A.K.A. STH "151")

- |- - - |- - |- - - - -

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS OF THE TESTING AGENCY - REFER TO SECTION 014000 OF THE PROJECT SPECIFICATIONS.

- PROPOSED TEMPORARY EROSION "EELS", REQUIRED DURING REMOVAL OF ASPHALT AREAS AND CONCRETE INSTALLATION; DO NOT STAKE IN THE

CAUTION

ARTIFICIAL TURF FIELD

- 2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INCLUDING BUT NOT LIMITED TO R/W PERMIT AND EROSION CONTROL PERMITS. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- 4. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- 5. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WONR TECHNICAL STANDARD 1068.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- 7. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE

THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. <u>PLACE SILT FENCE AT PERIMETER OF</u> CONSTRUCTION IN ALL DOWNSTREAM AREAS. THE PROJECT IS PRIMARILY LOCATED IN PAVEMENT — THE USE OF EROSION EELS™ AND/OR GUTTER EELS™ (OR EQUIVALENT) IN LIEU OF SILT FENCE IS ALLOWED IF ACCEPTABLE TO CITY OF MADISON.

INLET PROTECTION, TYP.

852.18

851.90 +

TELECOMMUNICATION -

CAUTION LINES TO REMAIN

INLET PROTECTION, TYP.

INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

INLET PROTECTION, TYP.

851,87

851.35

E WASHINGTON AVE

(A.K.A. STH "151"

851.66

- 8. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH APPLICABLE WDNR TECHINCAL STANDARDS AND CITY OF MADISON REQUIREMENTS.
- 9. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- 10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE. CONTRACTOR SHALL PREPARE AND SUBMIT DEWATERING PLAN TO MUNICIPALITY AND WDNR AS REQUIRED.
- 11. CONTRACTOR OR ITS SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORM SEWER DRAINAGE SYSTEMS DEPOSITED PRIOR TO STABILIZATION OF THE SITE.
- 12. SOIL STOCKPILE (AND BORROW AREAS IF APPLICABLE) SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES.
- 13. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

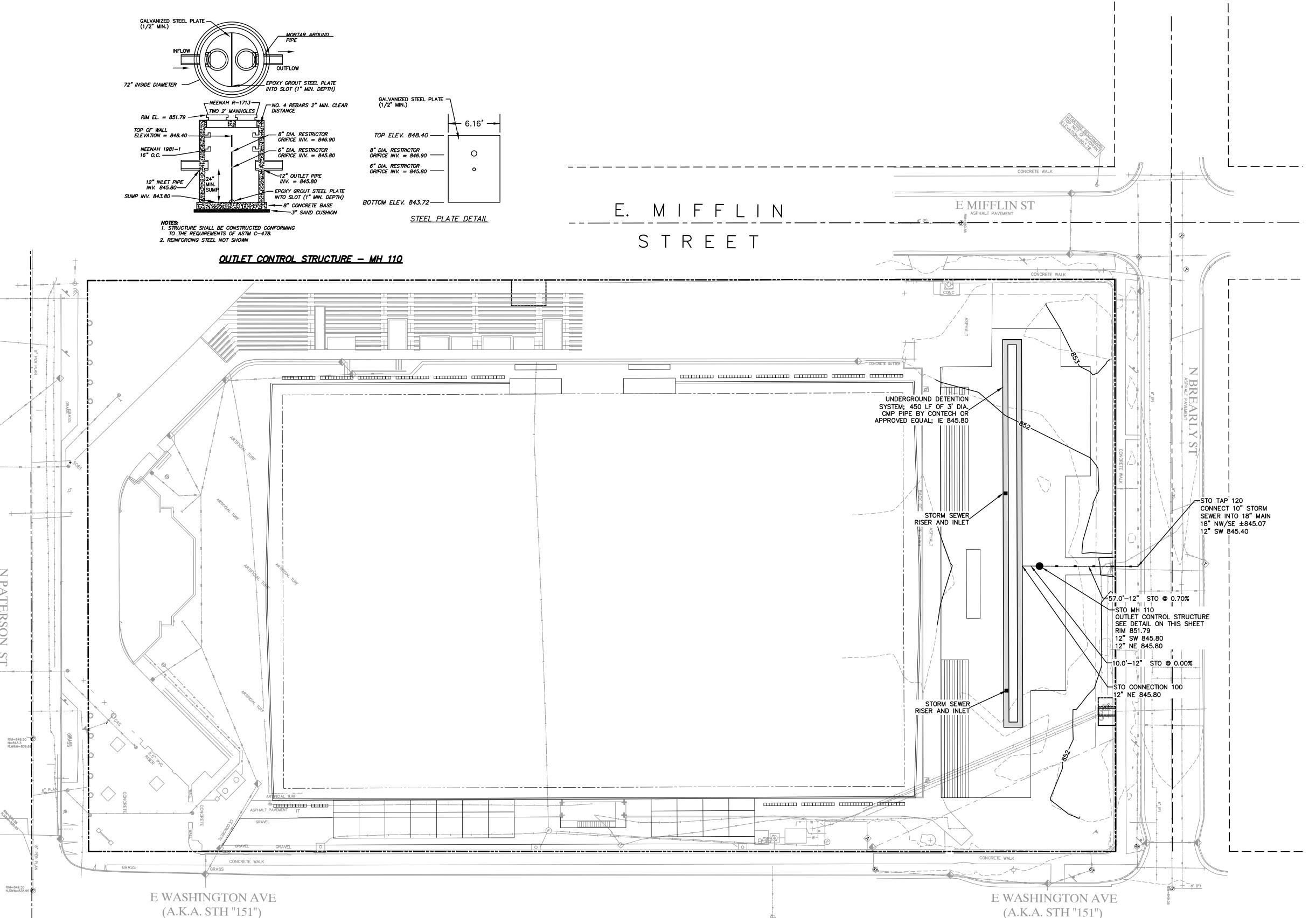
14. GRADING SHALL CONSIST OF REMOVAL OF EXISTING PAVEMENT, FOUNDATIONS, OR UNSUITABLE FILL (AS DETERMINED BY TESTING AGENCY), IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE.

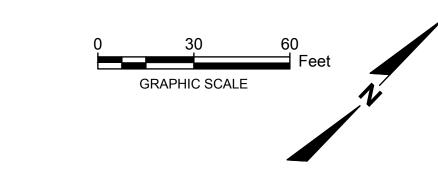
MU\$T BE PRESERVED

- 15. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF—ROLLED AND INSPECTED BY THE TESTING AGENCY BEFORE ANY MATERIAL IS PLACED.
- 16. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL (AS DETERMINED BY THE TESTING AGENCY) AND SHALL BE PLACED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE TESTING AGENCY.

17. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON

THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR. CONTRACTOR SHOULD ALSO NOTE THAT IT MAY BE NECESSARY THAT ADDITIONAL PAVEMENT IS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED IMPROVEMENTS, TO PROMOTE PROPER DRAINAGE, TO MEET EROSION CONTROL REQUIREMENTS, AND/OR TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND PROPOSED CONDITIONS. THE COST OF THIS ADDITIONAL PAVEMENT REMOVAL IS CONSIDERED INCIDENTAL, AND SHALL BE INCLUDED IN THE BID PRICES.





LEGEND

————— PROPERTY LINE

PRIVATE UTILITIES

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO CITY OF MADISON PLUMBING CODE, WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382 AND SPS 384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE CITY OF MADISON SPECIFICATIONS, THE MORE STRINGENT Project Number:1160426 SHALL APPLY.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES (SEE DEMOLITION PLAN FOR ADDITIONAL FIELD VERIFICATION REQUIREMENTS). IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. SEE DEMOLITION SHEET FOR ADDITIONAL INFORMATION ON EXISTING UTILITY VERIFICATION.
- ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS, UNLESS OTHERWISE SPECIFIED BY PLUMBING CODE REQUIERMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS TO DETERMINE APPROPRIATE, APPROVABLE CONNECTION BETWEEN DISSIMILAR MATERIAL TYPES.
- 4. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS:

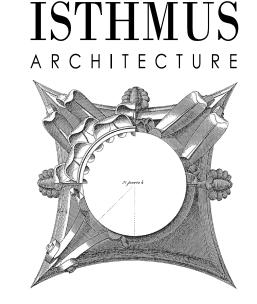
UNLESS OTHERWISE REQUIRED BY CITY OF MADISON, STORM SEWER PIPE 24" OR LESS SHALL

- A) HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12 (WITHIN THE FIELD).
- B) POLYVINYL CHLORIDE (PVC) PIPE, ASTM D-3034, SDR 35, WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D-3212 (CONNECTIONS TO PUBLIC MAIN OR LATERALS).

TRENCH SECTION SHALL BE CLASS C FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS. FOR WORK WITHIN THE R/W, SLURRY BACKFILL IS REQUIRED.

INLETS/MANHOLES AND ASSOCIATED CASTINGS SHALL BE BE REPLACED IN KIND.

- 5. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- 6. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGE MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- 8. PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN TO THE CENTER OF MANHOLES & INLETS.
- 9. WHEN APPLICABLE, CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN PRIVATE WATER SERVICE CROSSES UNDER SANITARY SEWER, AND 6" MINIMUM UNDER STORM SEWER. PROVIDE 2" INSULATION BETWEEN WATER MAIN AND SEWER CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 2.0'.



rasmith (A08) 467 3034 (608) 467-3034

UTILITY PLAN

Pha BRE 917

1617.03 Proj. No.: Scale: 1"=30' Drawn By: 10/30/2018 Date: Rev. Date:

GENERAL

Milwaukee Area (414) 259-118

Hearing Impaired TDD (800) 542-2289

www.Diggeral-lotline.com

R.A.SMITH, INC.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR

DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN

WITHOUT THE EXPRESSED WRITTEN CONSENT OF

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.

2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

- 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON ANY ESTIMATE PROVIDED BY ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE TESTING AGENCY.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.

- 7. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE REDESIGN.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- 10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- 11. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- 12. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

Parks Utility Inventory— may not be complete, current or accurate. The City makes no representation about the accuracy of these records and shall not be liable for any damages. Call Diggers Hotline (811) & Parks Div. (266—4711) before digging, driving stakes,

(A.K.A. STH "151")

SUBMITTALS ARE NOT REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MATERIALS IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ASSOCIATED SPECIFICATIONS.