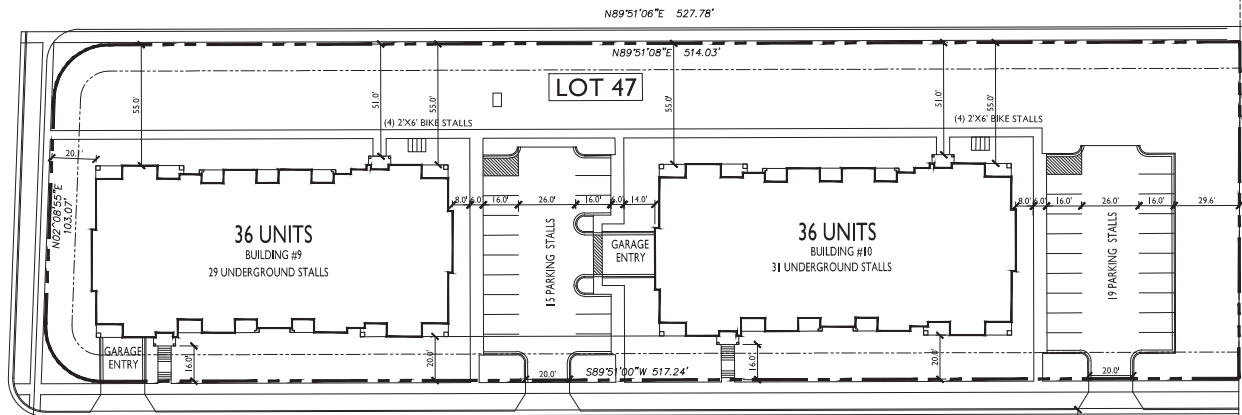
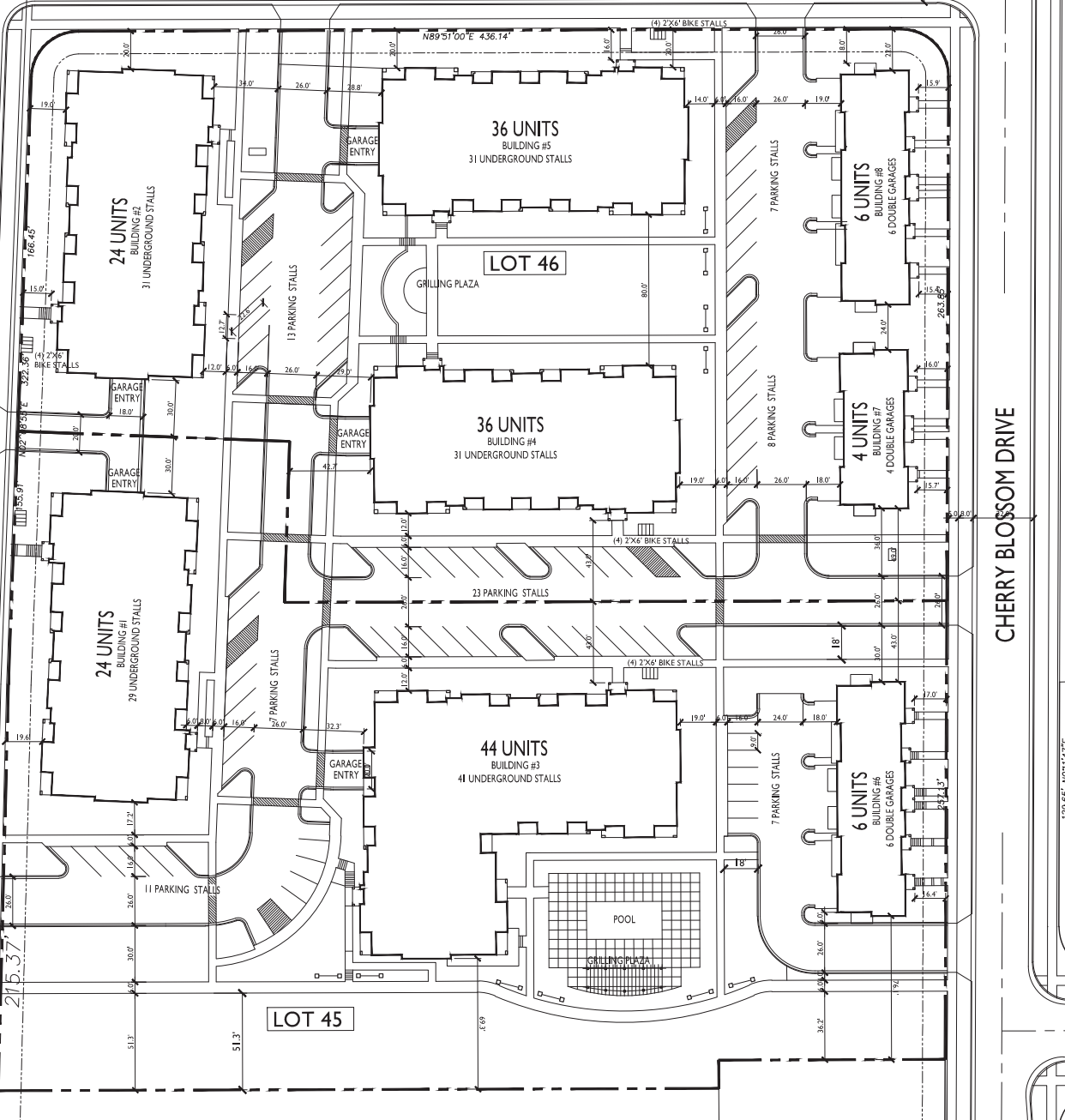


VALLEY VIEW ROAD



ANCIENT OAK LANE



SUGAR MAPLE LANE

CHERRY BLOSSOM DRIVE

SITE INDEX SHEET

- SITE
C-1.0 SITE PLAN
C-1.1 FIRE DEPARTMENT ACCESS PLAN
C-1.2 SITE LIGHTING PLAN
C-1.3 OPEN SPACE

C-2.1 GRADING AND EROSION CONTROL PLAN
C-2.2 GRADING AND EROSION CONTROL PLAN
C-2.3 SITE UTILITY PLAN
C-2.4 SITE UTILITY PLAN

L-1.0 OVERALL LANDSCAPE PLAN
L-1.1 UNIT LANDSCAPE PLANS

ARCHITECTURAL

- 1 BASEMENT PLAN - 24 UNIT BLDG 1&2
2 FIRST FLOOR PLAN - 24 UNIT BLDG 1&2
3 SECOND FLOOR PLAN - 24 UNIT BLDG 1&2
4 LOFT FLOOR PLAN - 24 UNIT BLDG 1&2
5 ELEVATIONS - 24 UNIT BLDG 1 (BLDG 2 SIM)
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7 BASEMENT PLAN - 44 UNIT BLDG 3
8 FIRST FLOOR PLAN - 44 UNIT BLDG 3
9 SECOND FLOOR PLAN - 44 UNIT BLDG 3
10 THIRD FLOOR PLAN - 44 UNIT BLDG 3
11 LOFT FLOOR PLAN - 44 UNIT BLDG 3
12 ELEVATIONS - 44 UNIT BLDG 3
13 ELEVATIONS - 44 UNIT BLDG 3
14 BASEMENT PLAN - 36 UNIT BLDG 4,5,9,10
15 FIRST FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
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17 THIRD FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
18 LOFT FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
19 ELEVATIONS - 36 UNIT BLDG 4 (5,9,10 SIM)
20 ELEVATIONS - 36 UNIT BLDG 4 (5,9,10 SIM)
21 FLOOR PLANS - 6 UNIT BLDG 6 & 8
22 ELEVATIONS - 6 UNIT BLDG 6 & 8 (BLDG 6 SIM)
23 FLOOR PLANS - 4 UNIT BLDG 7
24 ELEVATIONS - 4 UNIT BLDG 7

SITE DEVELOPMENT STATISTICS - LOT 45 & 46

LOT AREA 275,406 SF/ 6.32 ACRES
DWELLING UNITS 180 DU
LOT AREA/ D.U. 1,530 SF/DU
DENSITY 28.5 UNITS/ACRE
BUILDING HEIGHT 2-4 STORIES

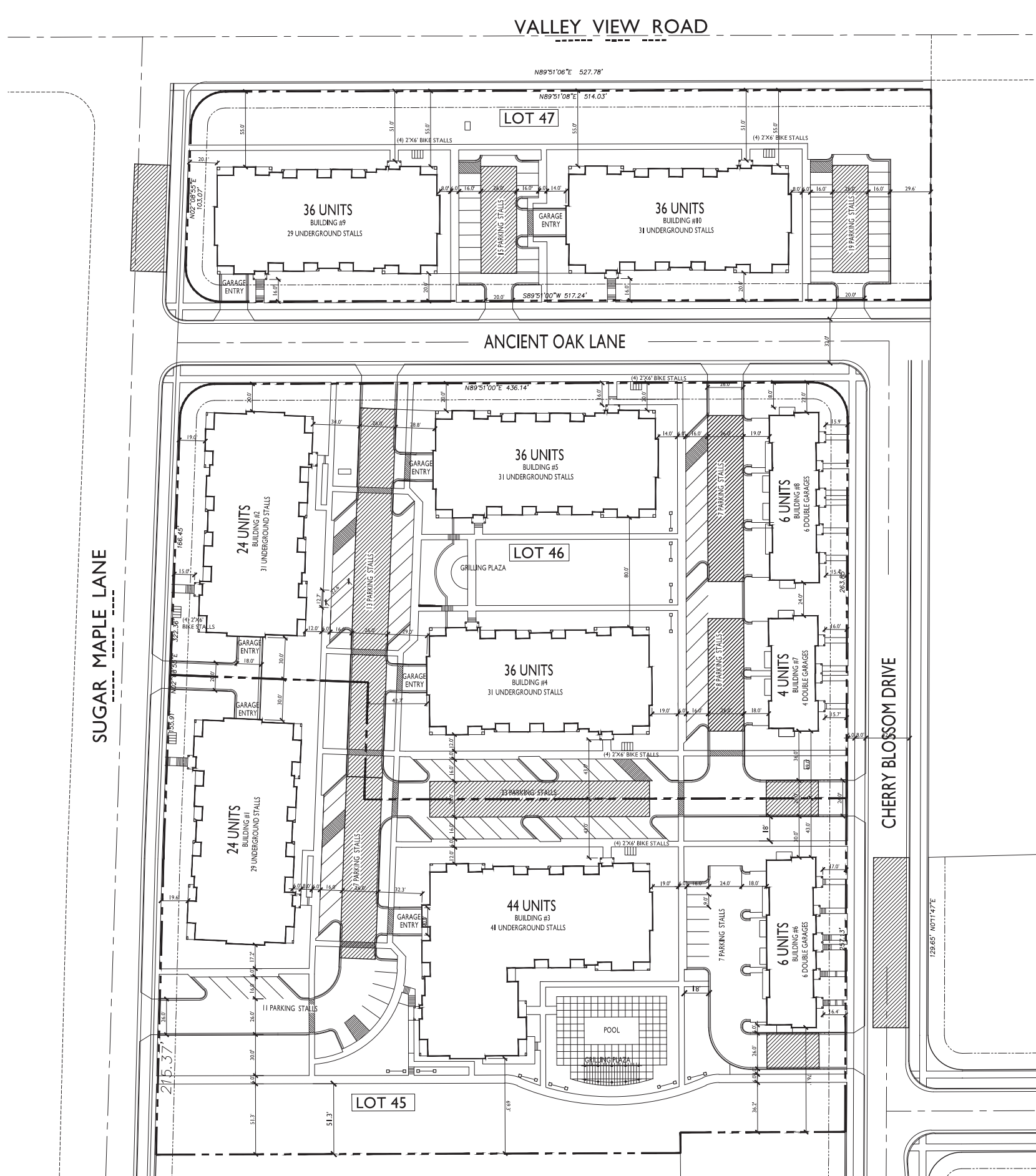
GROSS FLOOR AREA 285,543 SF INCLUDING GARAGE LEVEL
FLOOR AREA RATIO 1.04 INCLUDING GARAGE LEVEL

UNIT MIX	LOT 45	LOT 46
EFFICIENCY	6	14
STUDIO/LOFT	4	8
ONE BEDROOM	33	42
TWO BEDROOM	18	26
TWO BEDROOM LOFT	13	16
TOTAL	74	106
VEHICLE PARKING		
SURFACE	40	36
UNDERGROUND	69	93
GARAGE	6	10
TOTAL	115	139

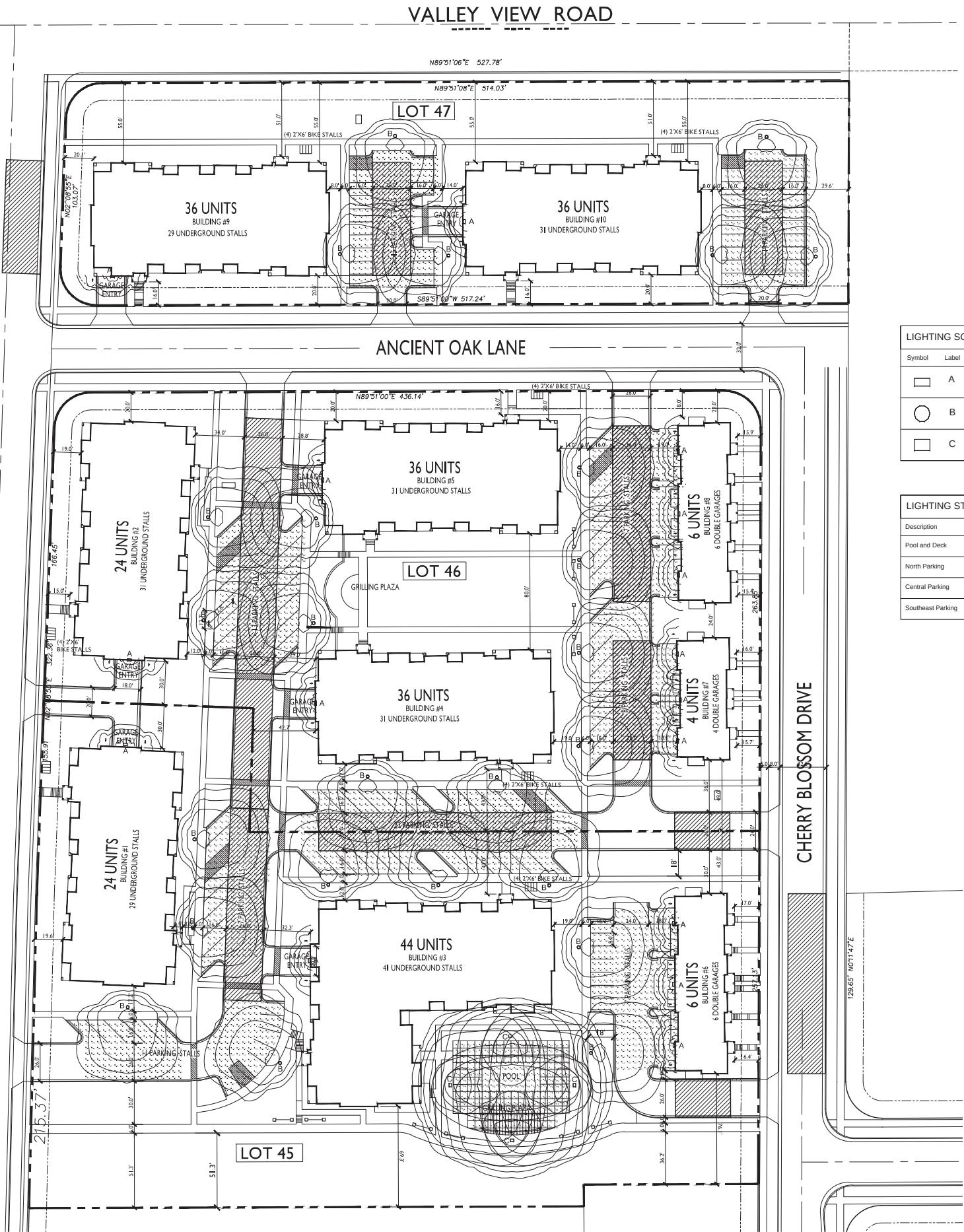
BIKE PARKING		
SURFACE - 2x6	8	12
GARAGE - Wall Hung	28	32
GARAGE - 2x6	52	65
TOTAL	88	109

1 SITE PLAN
C-1.0 SCALE: 1"=40'-0"





 FIRE ACCESS LANES



LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
	A	16	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50WATT MH	E8507.IES	8'-0" ABOVE GRADE ON SIDE OF BUILDING
	B	25	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE
	C	4	RUUD LIGHTING	AC440	16" AREA CUTOFF / FORWARD THROW	400 WATT MH	AC440.ies	20'-0" POLE ON 2'-0" TALL CONC. BASE

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Pool and Deck	+	11.5 fc	17.4 fc	3.2 fc	5.4:1	3.6:1
North Parking	+	1.6 fc	5.9 fc	0.4 fc	14.8:1	4.0:1
Central Parking	+	1.2 fc	5.8 fc	0.3 fc	19.3:1	4.0:1
Southeast Parking	+	1.2 fc	9.9 fc	0.3 fc	33.0:1	4.0:1

knothe & bruce
ARCHITECTS

Phone: 708.441.3696
708.441.3696

7081 University Ave., Ste 201
Morton, WI 53053

CONSULTANT

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Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SITE LIGHTING
PLAN

LOT 45 & 46
SHEET NUMBER

C-I.2

PROJECT NO. 1310
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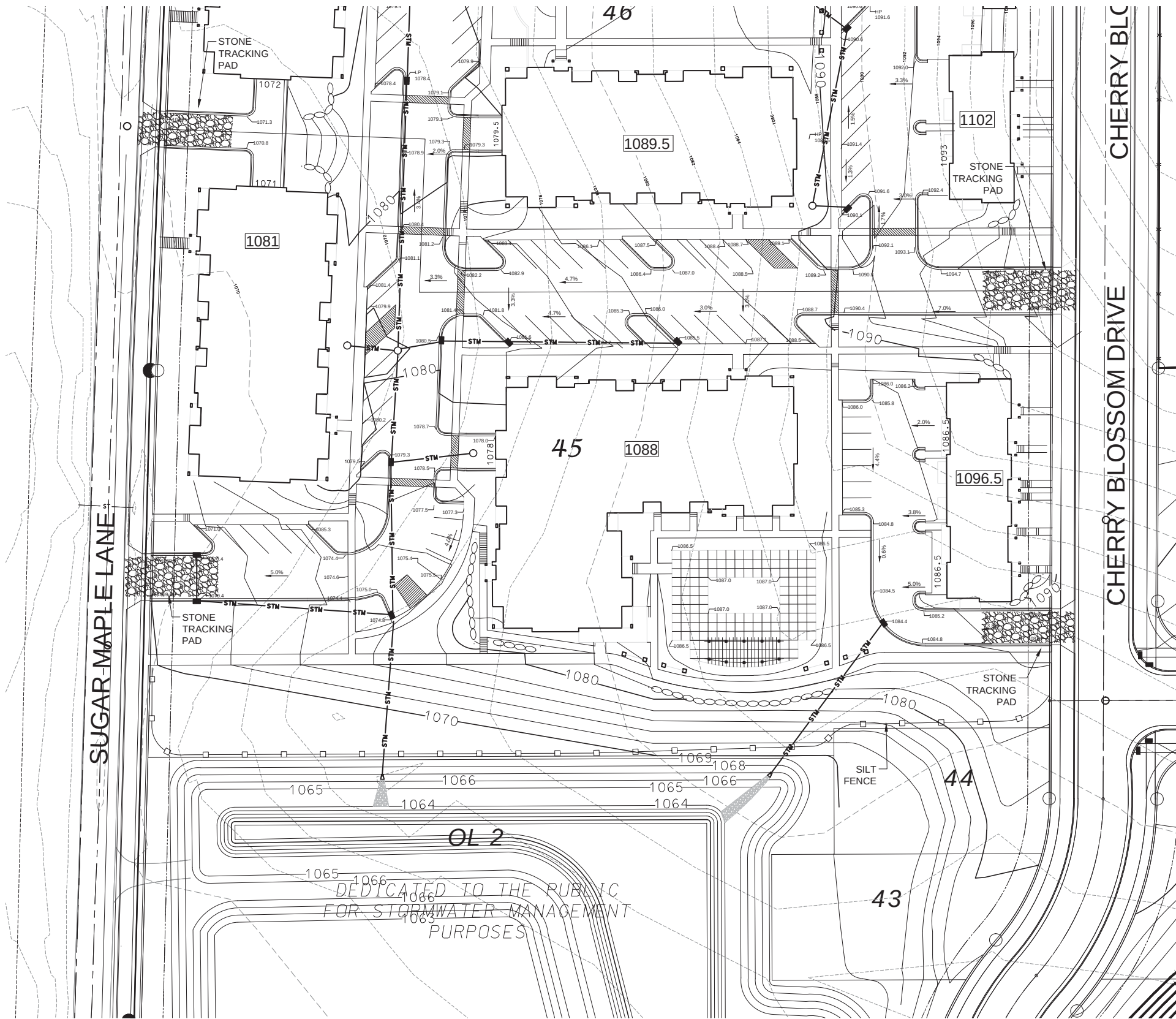


LOT 45
50,441 SF ON SITE
2340 SF DECKS AT 24 UNIT
3120 SF DECKS AT 44 UNIT

706 SF DECKS AT 6 UNIT
56,607 SF=TOTAL

LOT 46

32,505 SF ON SITE	
2340 SF DECKS AT 24 UNIT	
2286 SF DECKS AT 36 UNIT	
2286 SF DECKS AT 36 UNIT	
398 SF DECKS AT 4 UNIT	
706 SF DECKS AT 6 UNIT	
<u>40,521 SF = TOTAL</u>	



- SITE GRADING AND EROSION CONTROL NOTES
1. All site grading and erosion control shall conform to the City of Madison Chapter 37 Ordinance and any addendums prior to the contract bid date.
 2. Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 3. Areas disturbed within the Sugar Maple Lane right-of-way shall be restored with 4" topsoil, fertilizer, seed and mulch.
 4. Disturbed areas within the site shall be restored per the approved landscape plan.
 5. Sugar Maple Lane shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
 6. Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum that will be acceptable.
 7. The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 8. Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
 9. Type D inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned and maintained throughout construction and removed after a satisfactory stand of grass has been achieved.
 10. All slopes 4:1 or steeper shall be restored with 4" topsoil, fertilizer, seed and Class I, Type A erosion mat. Seed mix shall be consistent with the approved landscape plan.

GRADING AND EROSION CONTROL

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
MADISON, WI



SCALE: 1" = 30'
(PAGE SIZE: 24x36)

DATE: 05-07-14
REVISED:

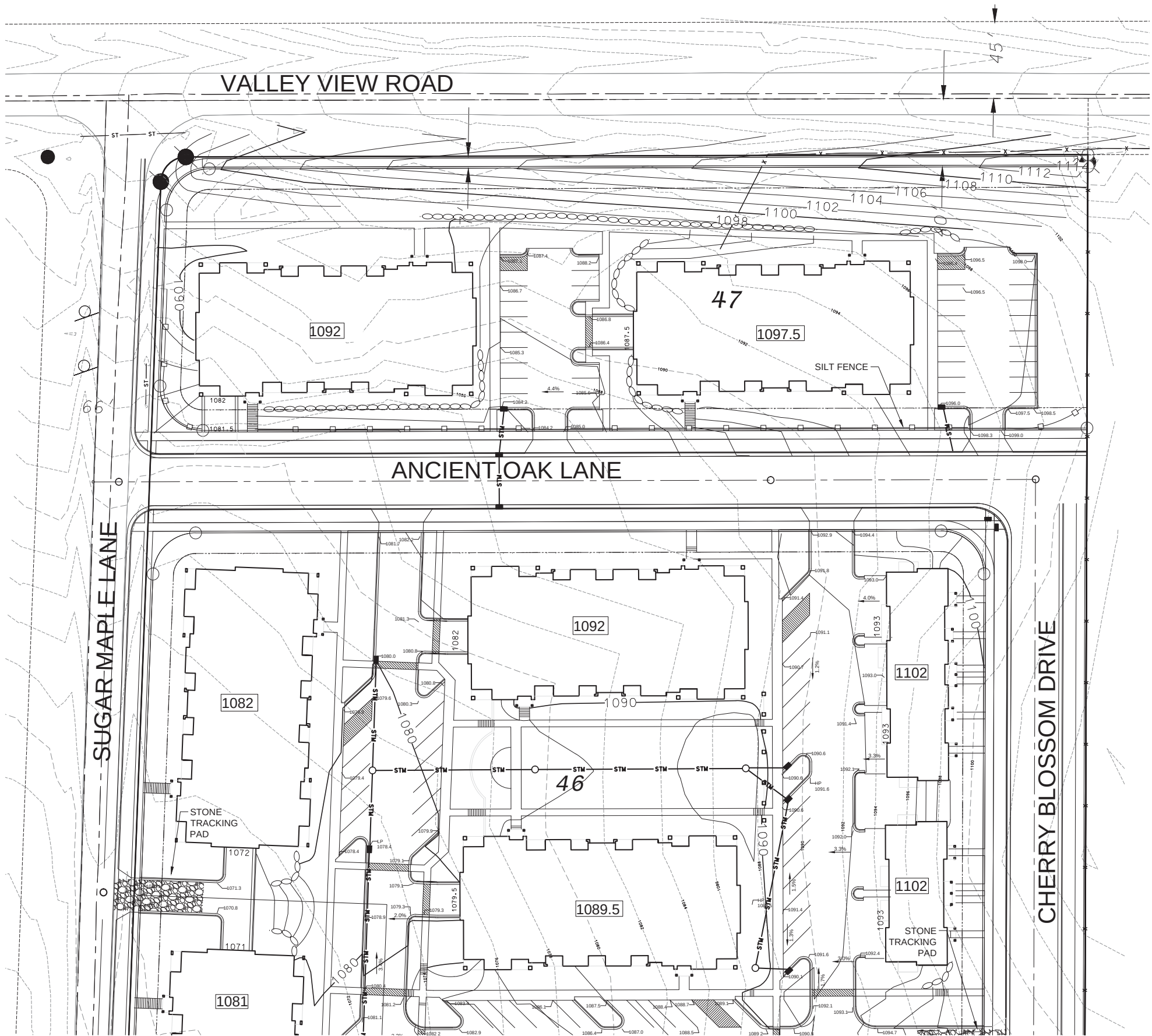
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FN: 14-05-101

Sheet Number:

C-2.1

D'ONDRA KOTTE AND ASSOCIATES, INC.
7750 Wisconsin Way, Madison, WI 53717
Phone: 608.489.7300 • Fax: 608.489.1000
YOUR NATURAL RESOURCES FOR LAND DEVELOPMENT



- SITE GRADING AND EROSION CONTROL NOTES
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GRADING AND EROSION CONTROL

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
MADISON, WI



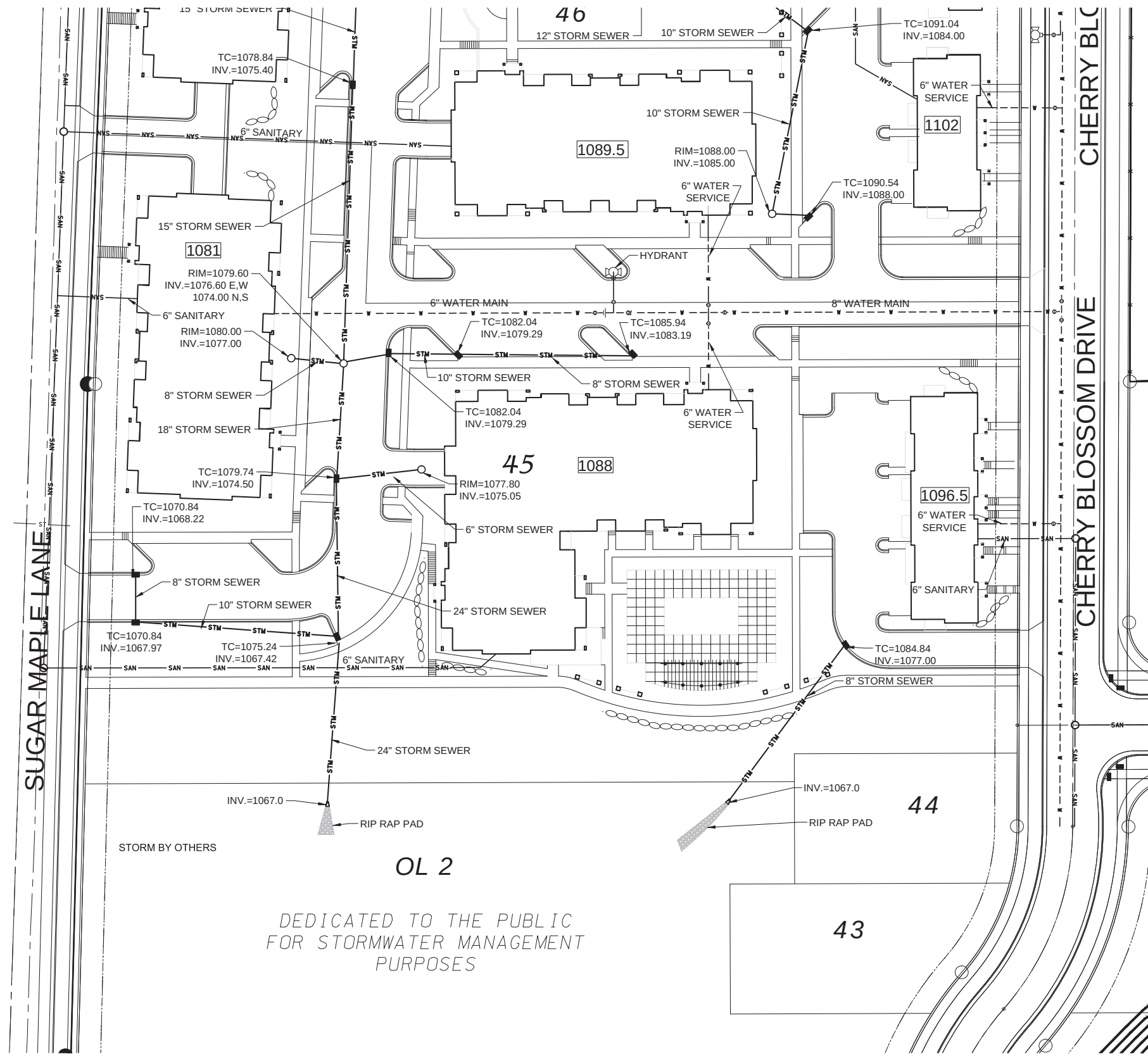
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(PAGE SIZE: 24x36)

DATE: 05-07-14
REVISED:

DRAWN BY: NGO

FN: 14-05-101

Sheet Number:
C-2.2



UTILITY NOTES:

1. All site utilities shall conform to the City of Madison Standard Specifications for Public Works Construction, latest edition.
2. The locations of existing utility installations as shown on this drawing were obtained from the records of municipality, local utility records and Diggers Hotline locations. The accuracy of these records or the locations by Diggers Hotline cannot be certified or guaranteed. There may be other underground utility installations within the project area that are not shown.
3. Contractor shall provide 6.5' of cover for the new water service.
4. Storm sewer shall be installed with water tight joints.
5. Sanitary sewer lateral shall be PVC, SDR-35.
6. 10. All utilities serving the proposed building shall be stubbed 5 feet inside of the building and marked using a 4" x 4" hardwood post.
7. Prior to connecting to existing storm sewer or sanitary sewer the contractor shall verify the existing inverts and notify project superintendent if discrepancies are found from plan grades.
8. Contractor to coordinate with the respective companies for gas, electric, telephone, cable extensions and/or abandonment.
9. Prior to storm sewer construction, the Utility Contractor shall obtain a connection and excavation permit from the City.
10. All proposed storm sewer, sanitary sewer and water services within Lots 45-47 are private except where labeled as public.

D'ONDRA KOTKE AND ASSOCIATES, INC.
7350 Wisconsin Way, Madison, WI 53717
Phone 608.839.7300 • Fax 608.839.1000
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE UTILITY PLAN

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
MADISON, WI



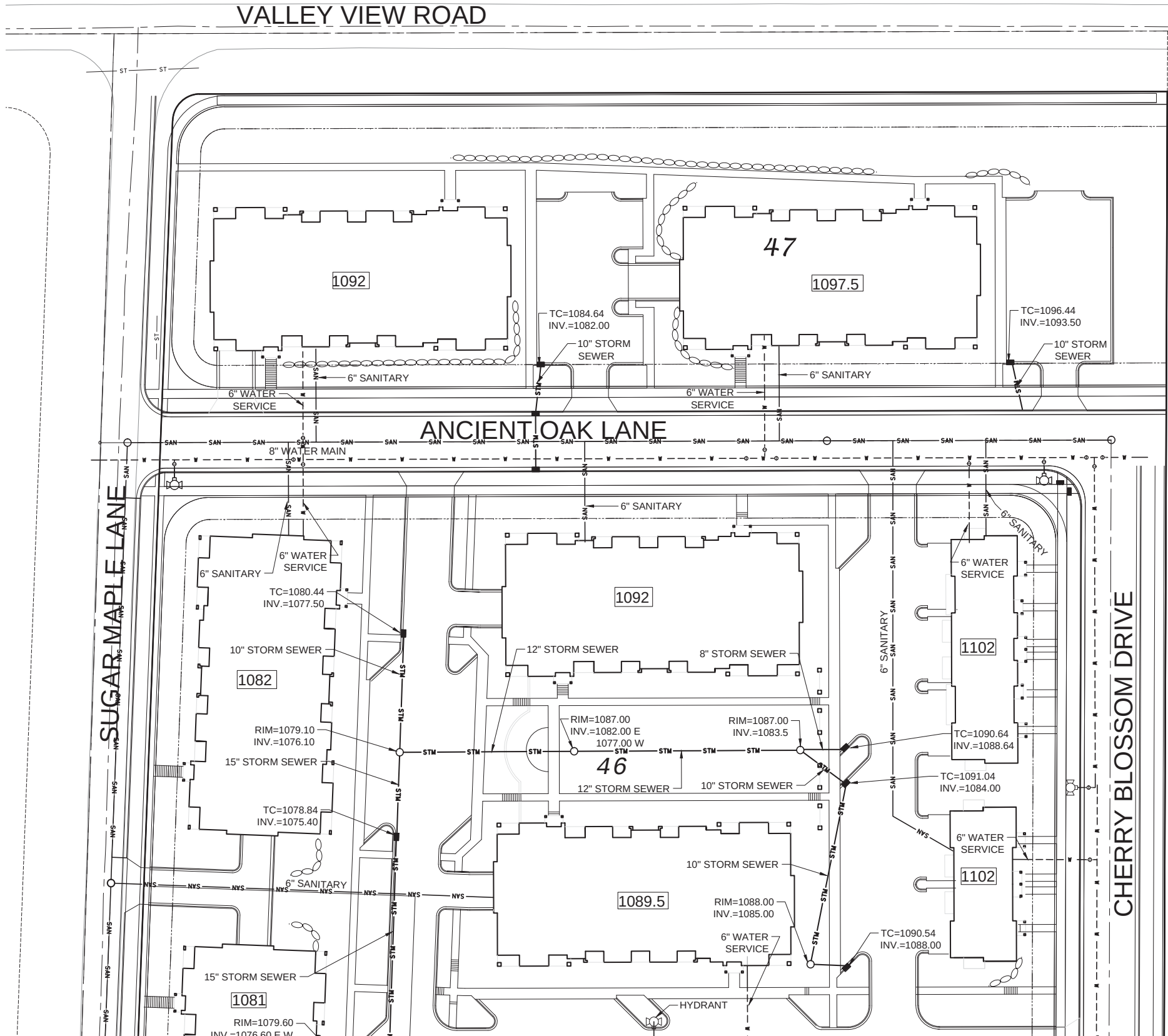
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(PAGE SIZE: 24x36)

DATE: 05-07-14
REVISED:

DRAWN BY: NGO

FN: 14-05-101

Sheet Number:
C-2.3



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D'ONDRAF KOTTKE AND ASSOCIATES, INC.
7380 Wisconsin Way, Madison, WI 53717
Phone 608.839.7300 • Fax 608.839.1000
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE UTILITY PLAN

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
MADISON, WI

SCALE: 1" = 30'
(PAGE SIZE: 24x36)

DATE: 05-07-14
REVISED:

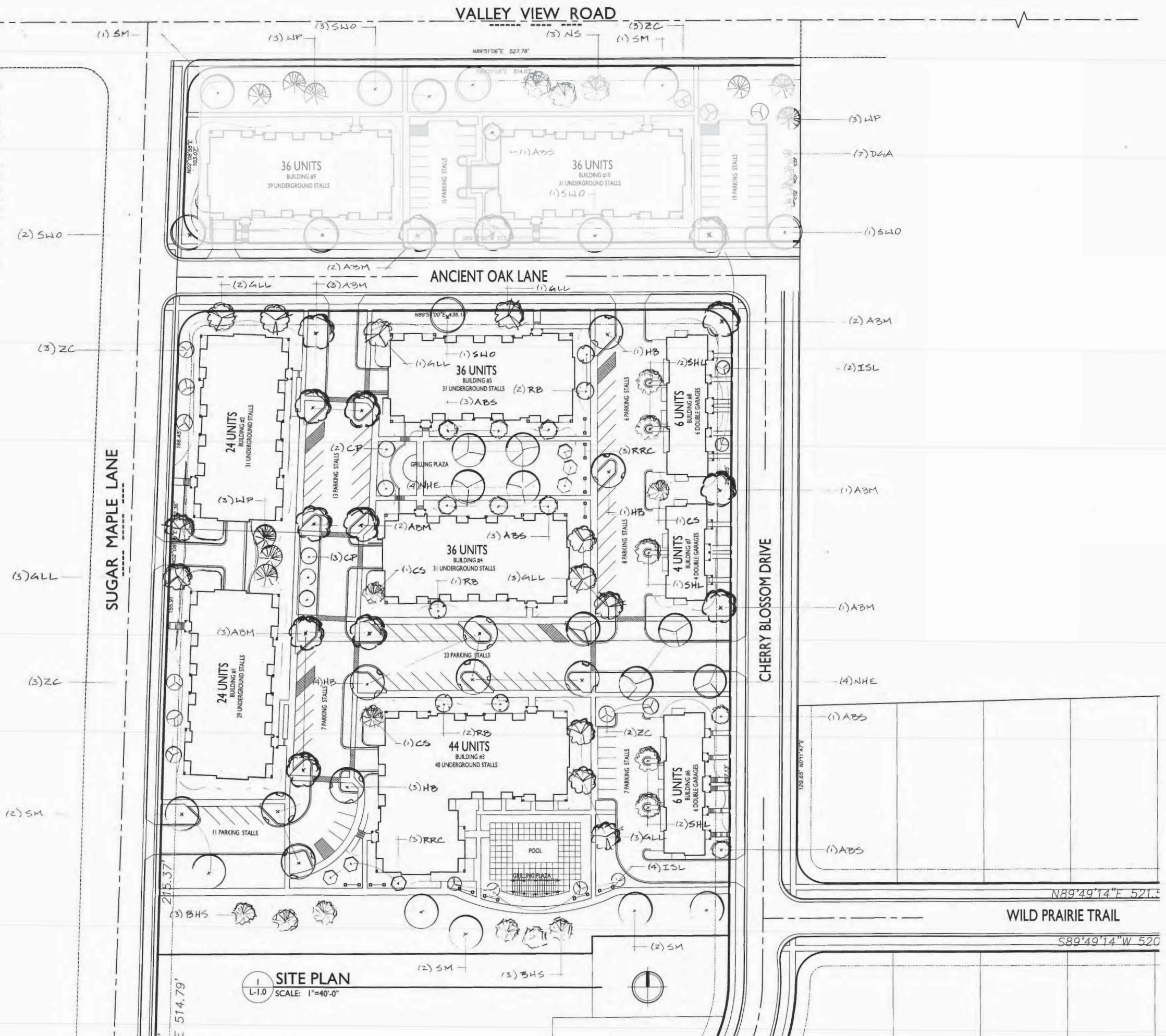
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FN: 14-05-101

Sheet Number:
C-2.4

ORNAMENTAL TREES					
ABS	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5"	9	B&B
CP	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	1.5"	5	B&B
ISL	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5"	6	B&B
RB	<i>Cercis canadensis</i>	Redbud	1.5"	5	B&B
RRC	<i>Malus transitoria</i> 'Royal Raindrops'	Royal Raindrops Crabapple	1.5"	6	B&B
ZC	<i>Malus 'Zumi'</i>	Zumi Crabapple	1.5"	11	B&B

EVERGREEN TREES			
BHS	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	6 ft 6 B&D
CS	<i>Picea pungens</i> forma <i>glauca</i>	Blue Colorado Spruce	5 ft 3 B&D
DGA	<i>Thuja occidentalis</i> "Dark Green"	Dark Green Arborvitae	5 ft 7 B&B
NS	<i>Picea abies</i>	Norway Spruce	6 ft 3 B&B
WP	<i>Pinus strobus</i>	White Pine	6 ft 9 B&B



knothe & bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562
CONSULTANT

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Sugar Maple
PROJECT TITLE

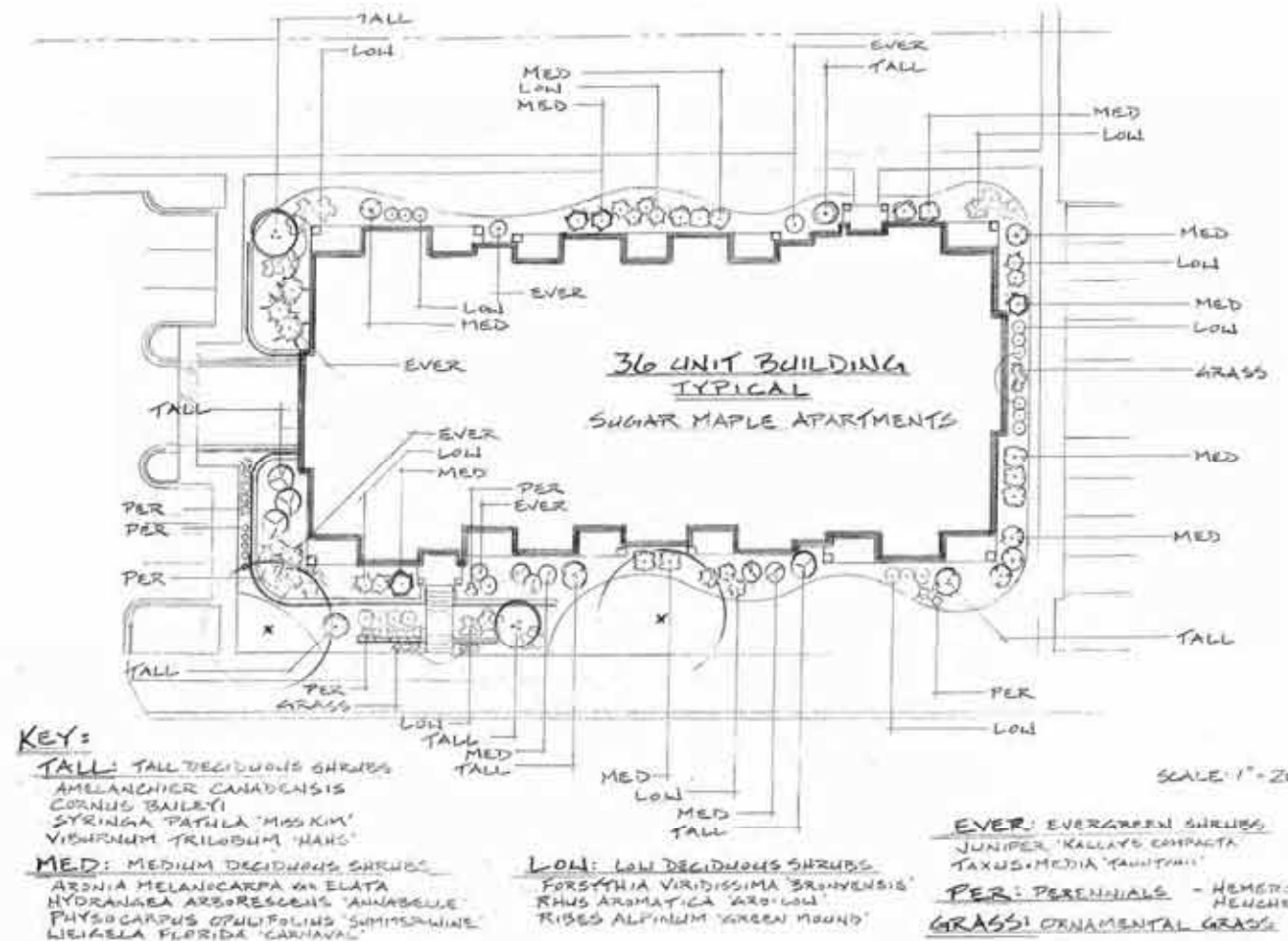
Madison, WI

SITE PLAN
SHEET TITLE

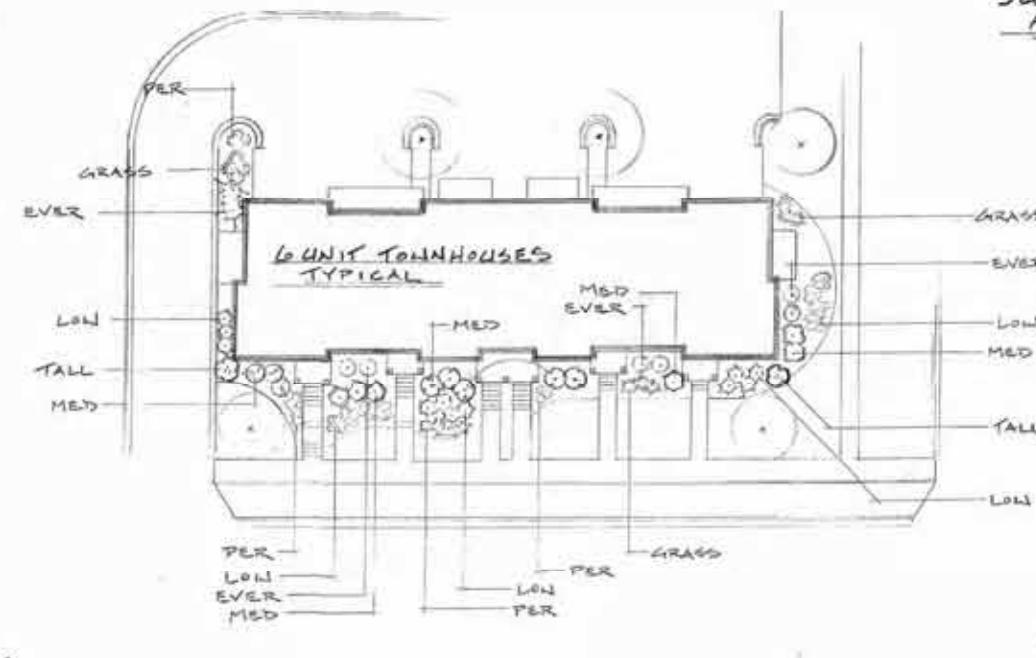
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L-1.0

1310



SUGAR MAPLE APARTMENTS



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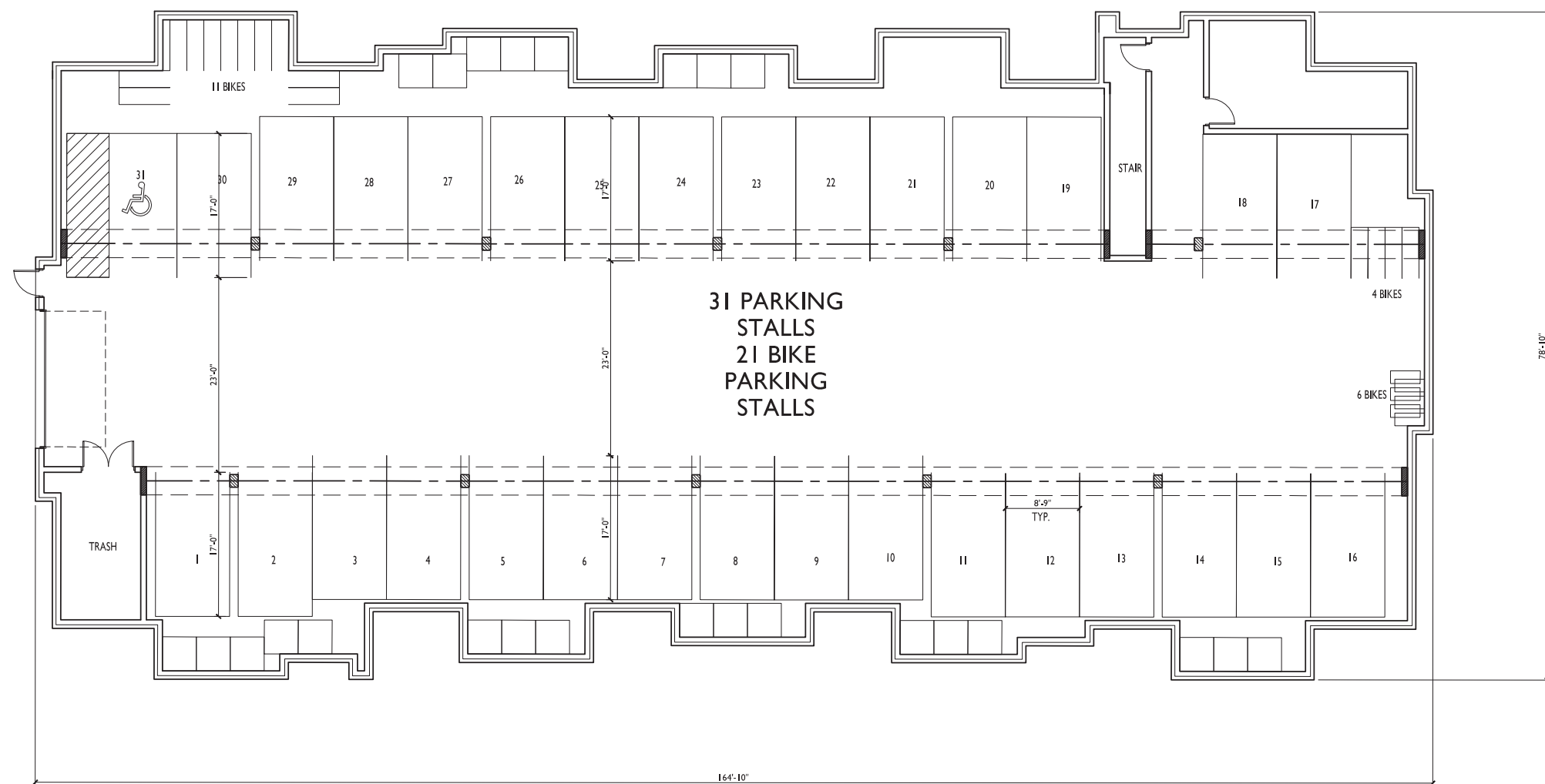
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER

L-1.1

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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
BASEMENT
PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

BASEMENT FLOOR PLAN - 24-UNIT
SCALE: 1/8"=1'-0"



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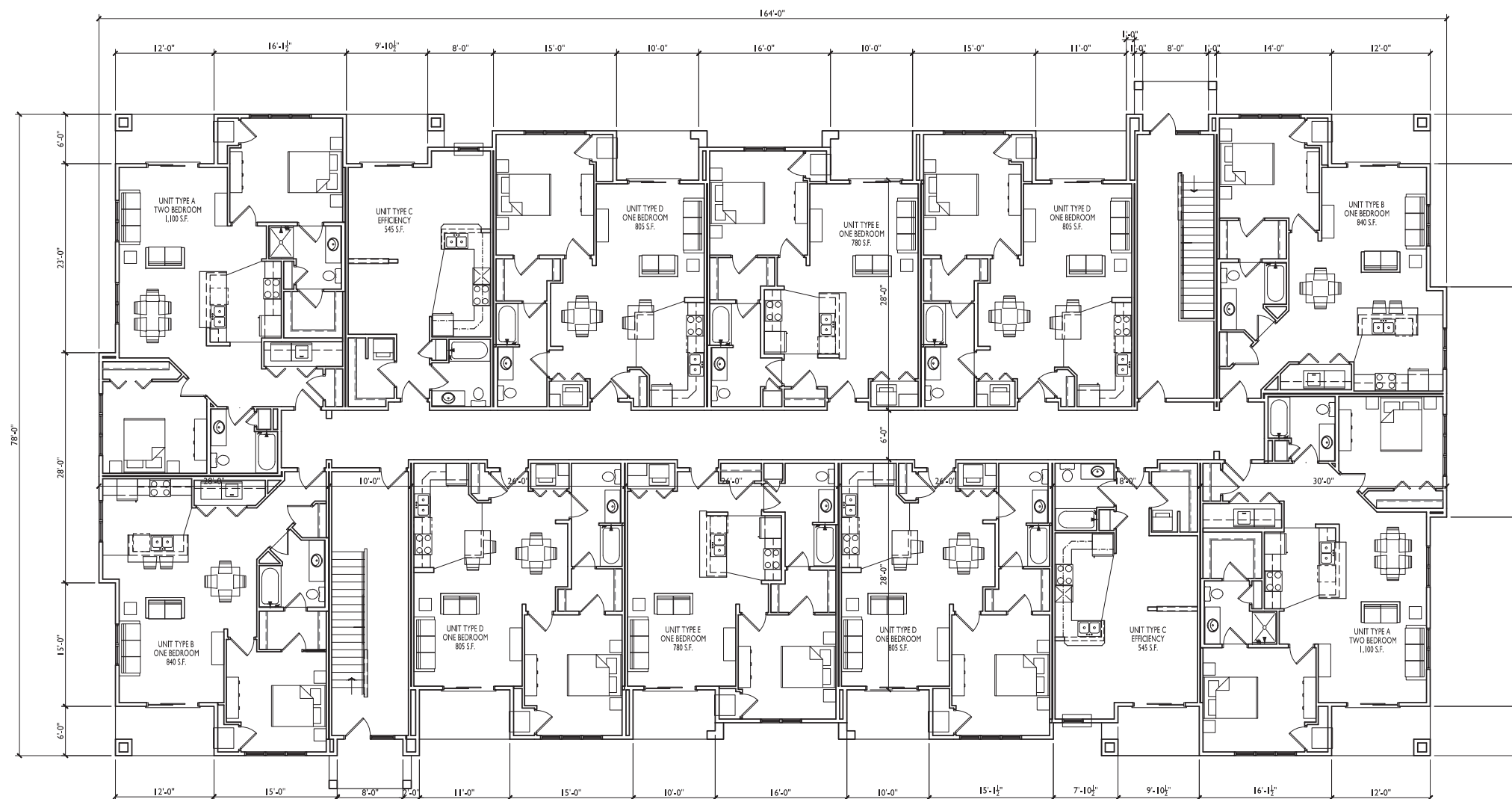
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FIRST FLOOR
PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

2

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1
2
FIRST FLOOR PLAN - 24-UNIT
SCALE: 1/8"=1'-0"



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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SECOND
FLOOR PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

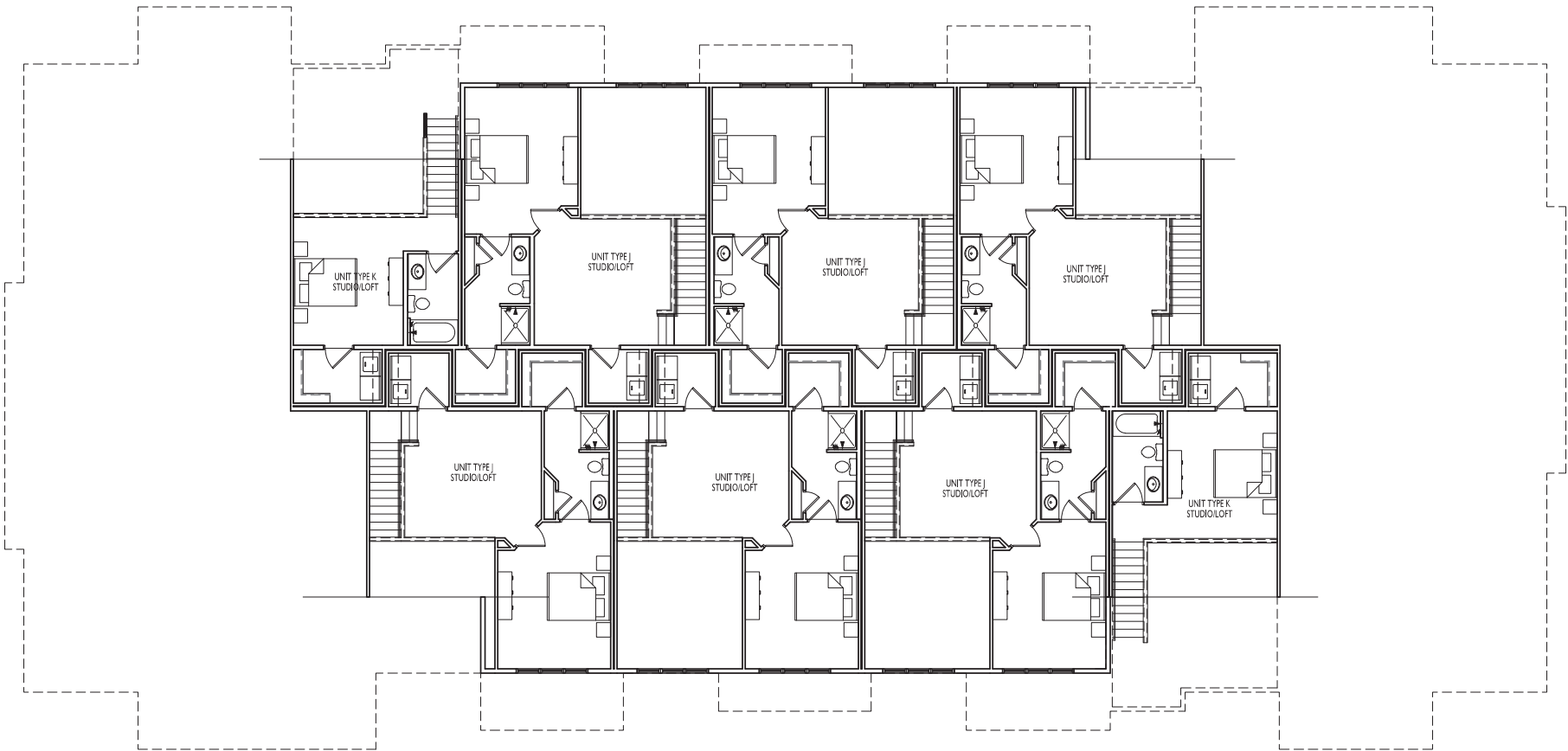
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1
3 SECOND FLOOR PLAN - 24-UNIT
SCALE: 1/8"=1'-0"





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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
LOFT FLOOR
PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

4



1 EAST ELEVATION - 24-UNIT
5 SCALE: 1/8"=1'-0"



2 NORTH ELEVATION - 24-UNIT
5 SCALE: 1/8"=1'-0"

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
24-UNIT
BLDG #1
(BLDG #2 SIM.)

SHEET NUMBER

5

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1 WEST ELEVATION - 24-UNIT
6 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - 24-UNIT
6 SCALE: 1/8"=1'-0"

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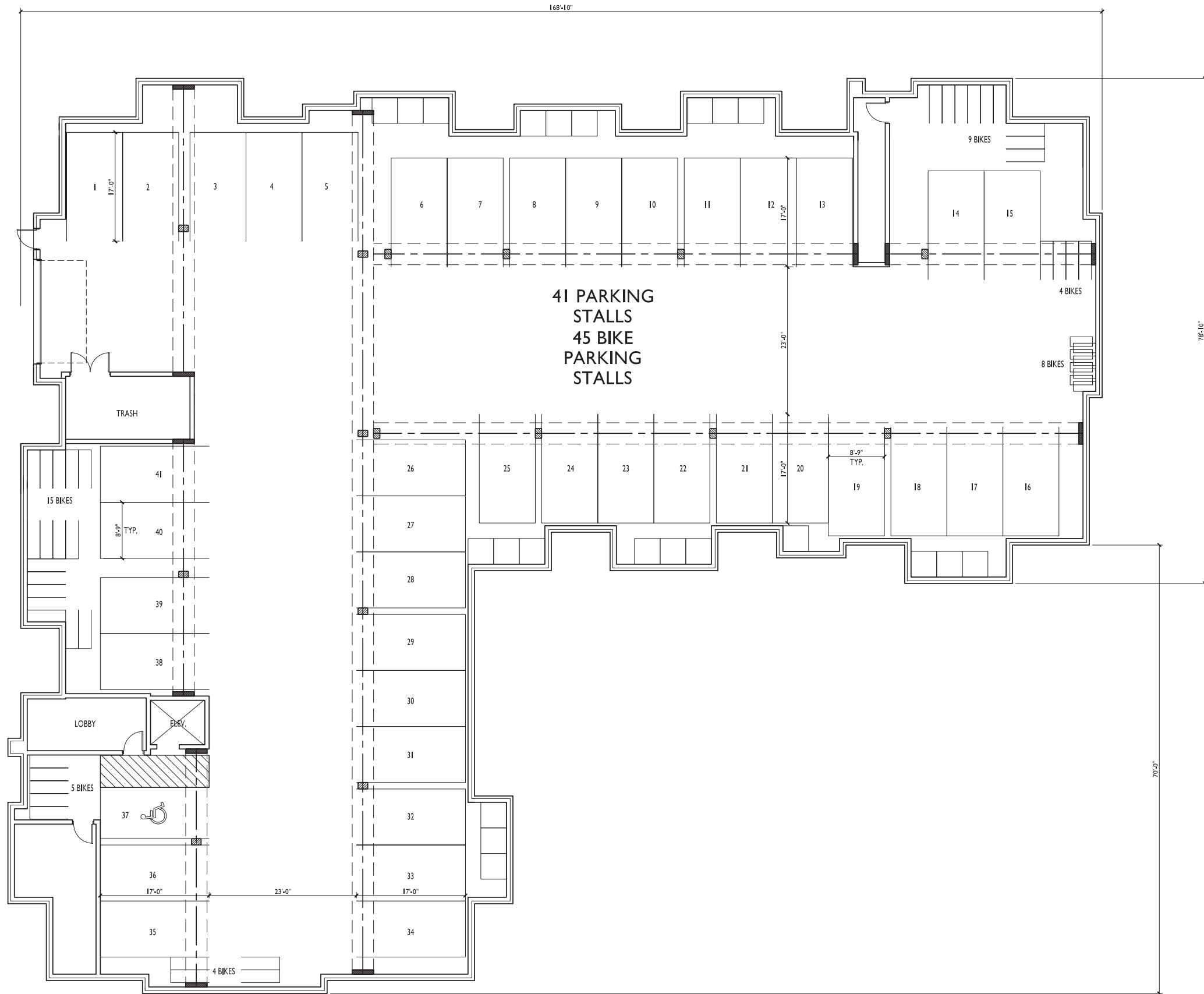
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Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
24-UNIT
BLDG #1
(BLDG #2 SIM.)

SHEET NUMBER

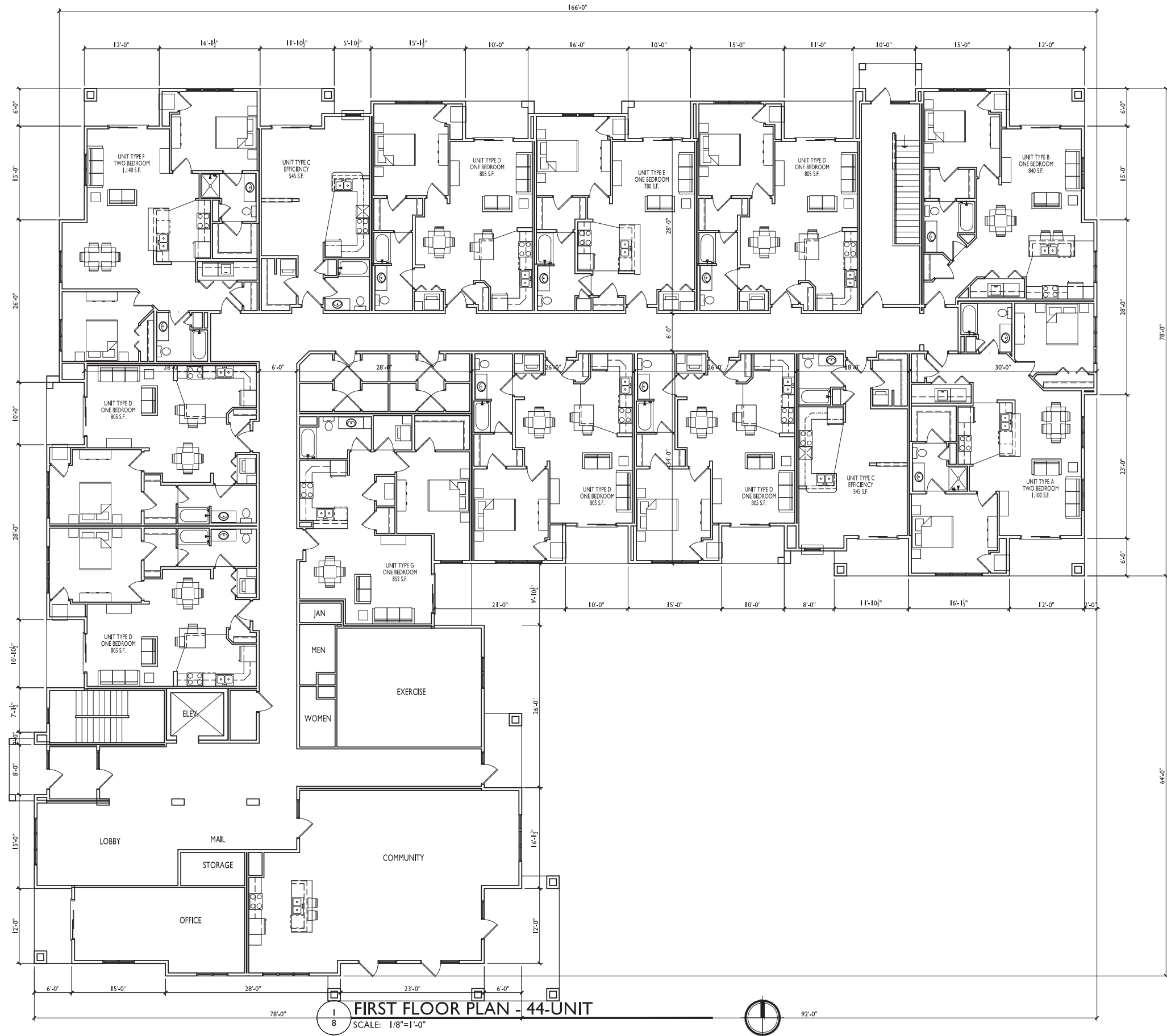
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1
7 **BASEMENT FLOOR PLAN - 44-UNIT**
SCALE: 1/8"=1'-0"





1
8
FIRST FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"

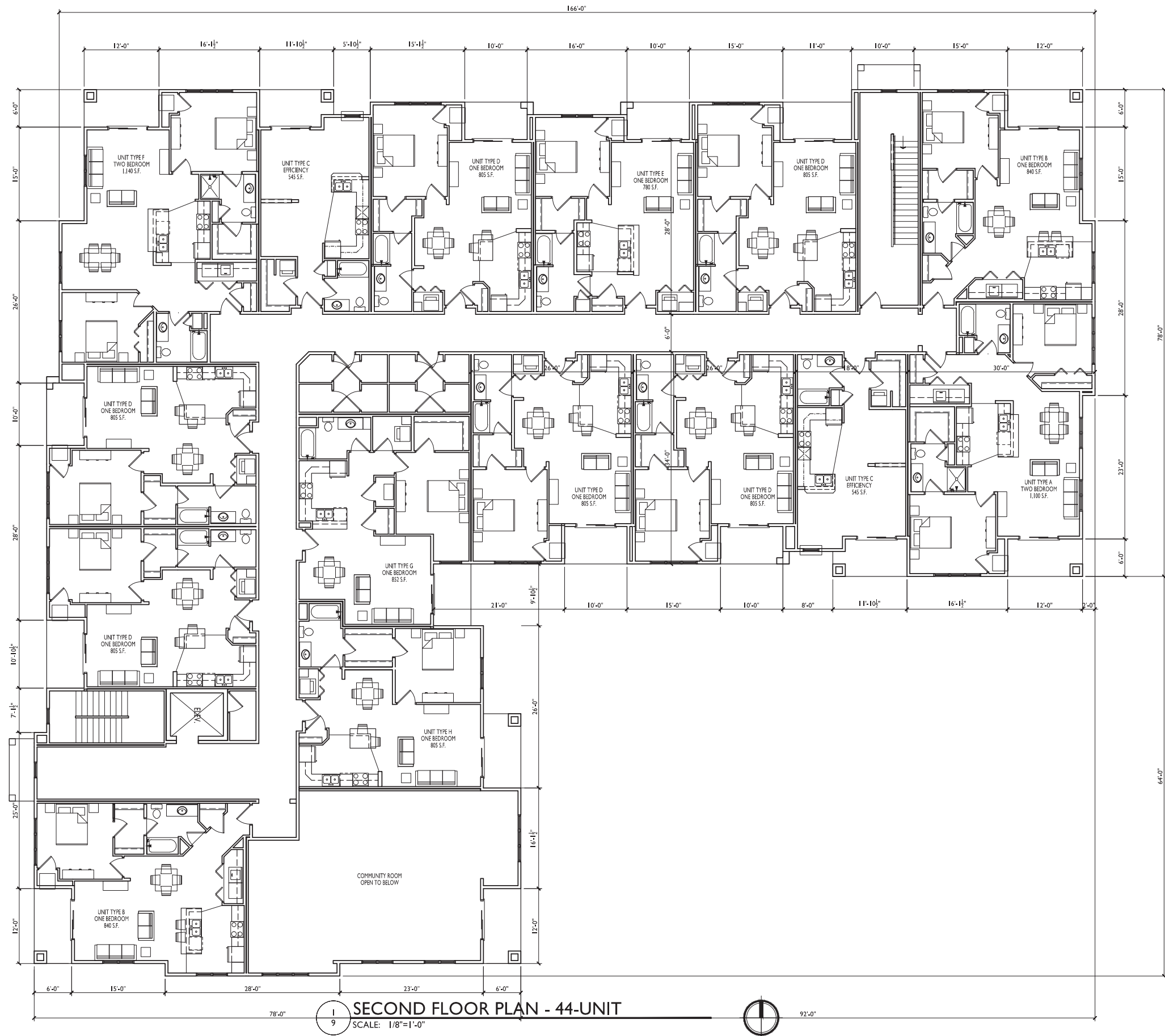
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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FIRST FLOOR
PLAN
44-UNIT
BLDG #3

SHEET NUMBER

8



1
9
SECOND FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"

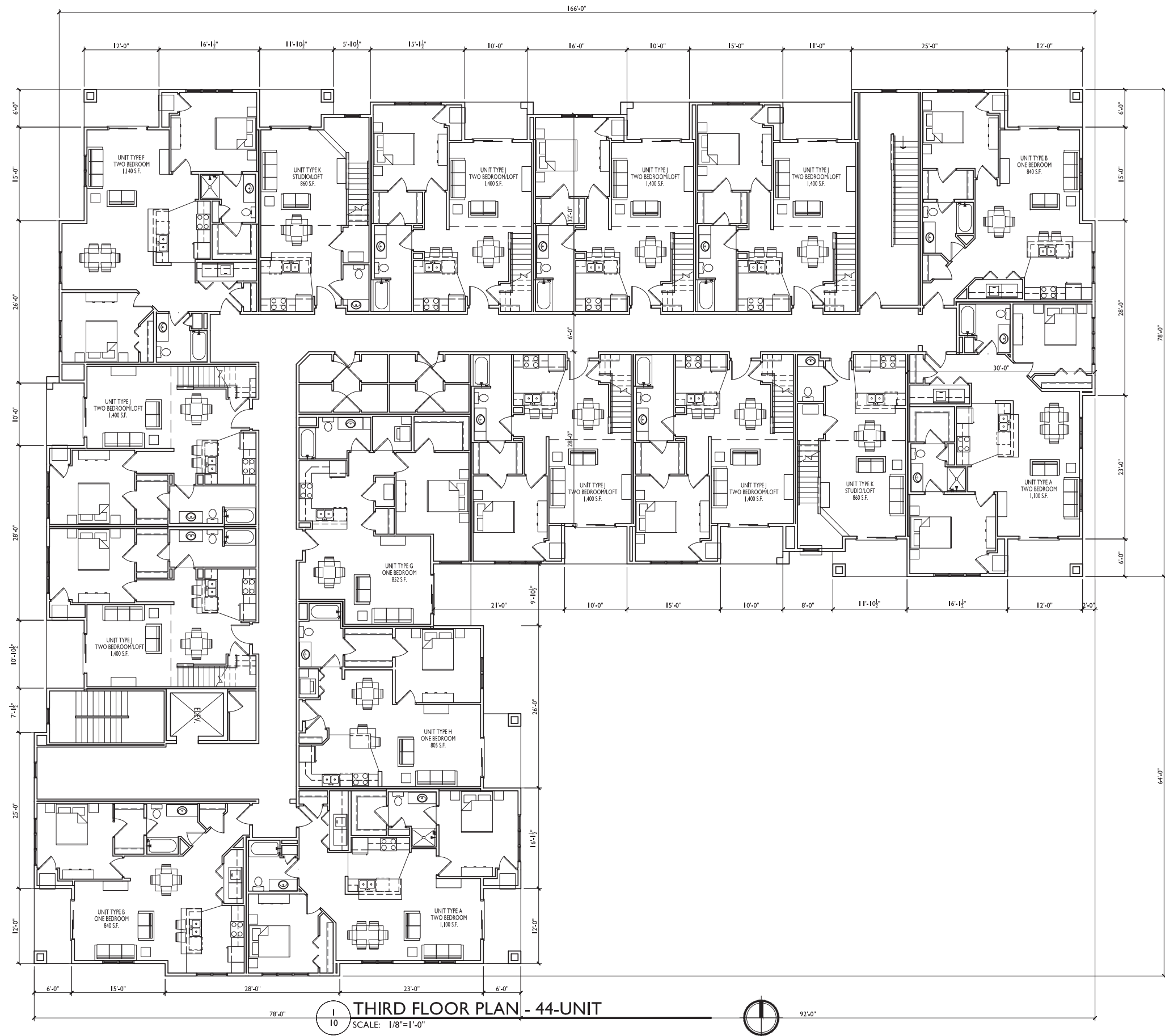
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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SECOND
FLOOR PLAN
44-UNIT
BLDG #3

SHEET NUMBER

9





LOFT FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"

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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
LOFT FLOOR
PLAN
44-UNIT
BLDG #3

SHEET NUMBER

11



1 NORTH ELEVATION - 44-UNIT
12 SCALE: 1/8"=1'-0"



2 WEST ELEVATION - 44-UNIT
12 SCALE: 1/8"=1'-0"

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
44-UNIT
BLDG #3

SHEET NUMBER

12

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1
13 SOUTH ELEVATION - 44-UNIT
SCALE: 1/8"=1'-0"



1
13 EAST ELEVATION - 44-UNIT
SCALE: 1/8"=1'-0"

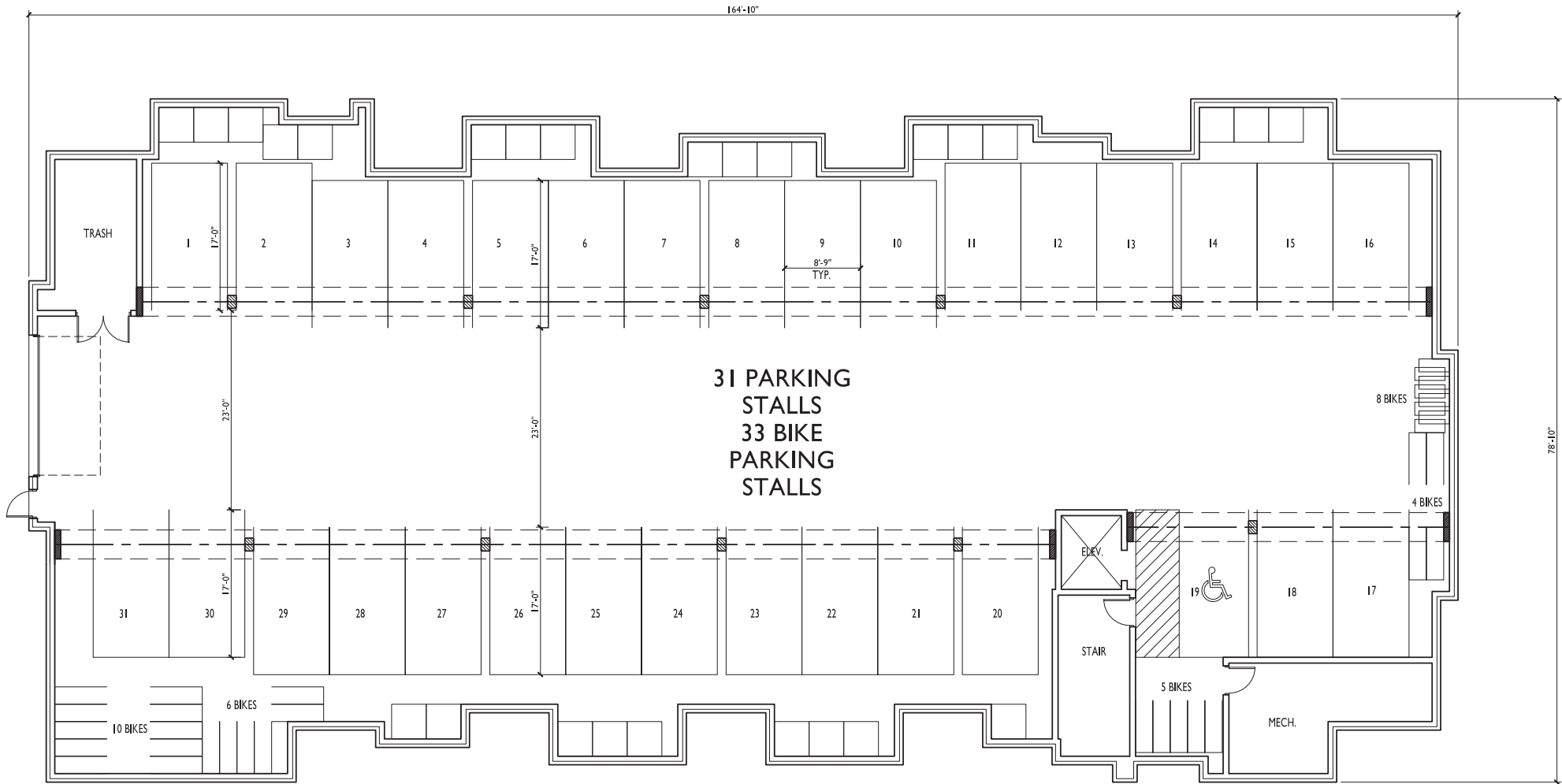
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
44-UNIT
BLDG #3

SHEET NUMBER

13

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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
BASEMENT
PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

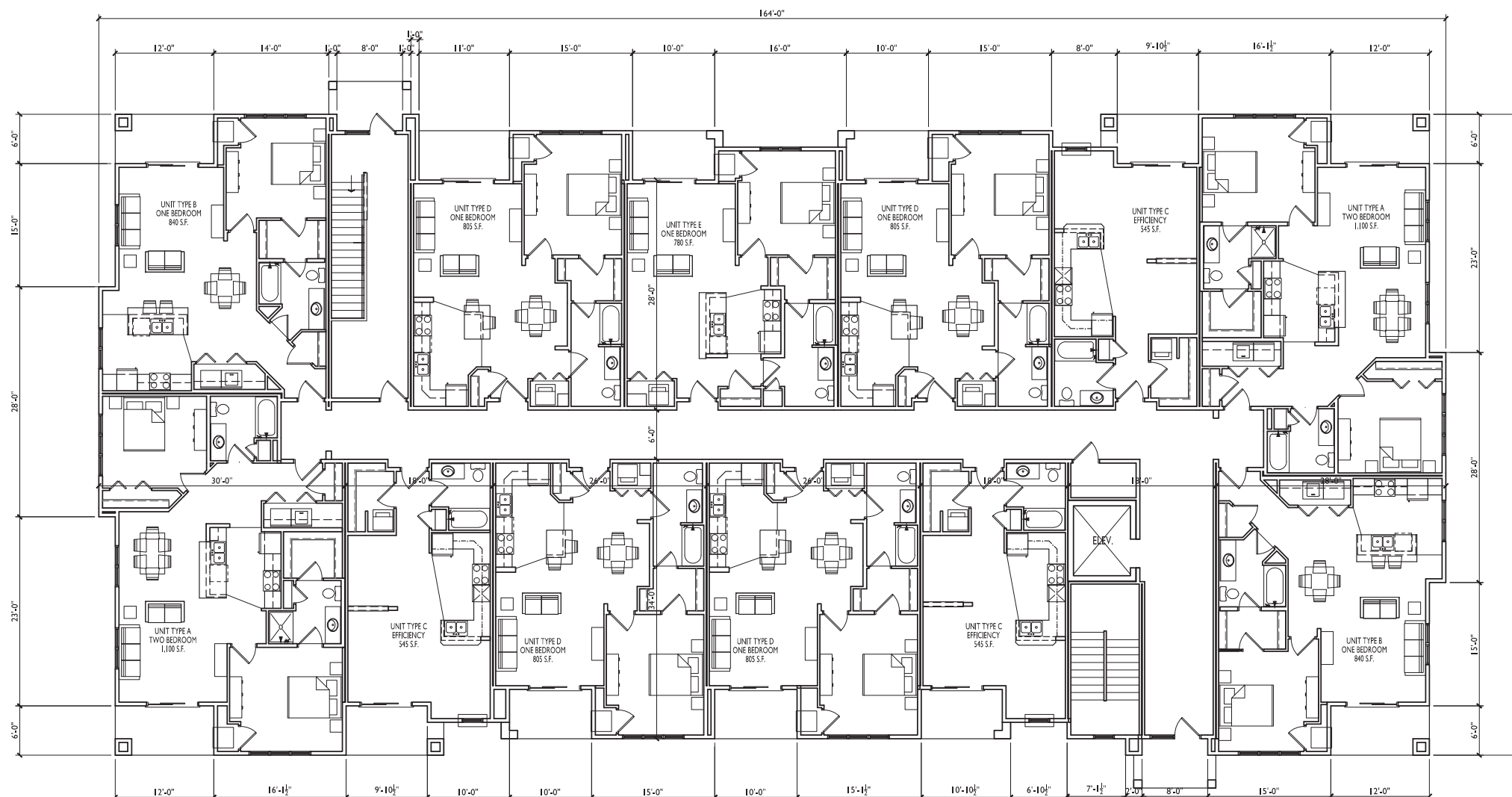


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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FIRST FLOOR
PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

PROJECT NO. 1310
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1
15
FIRST FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"



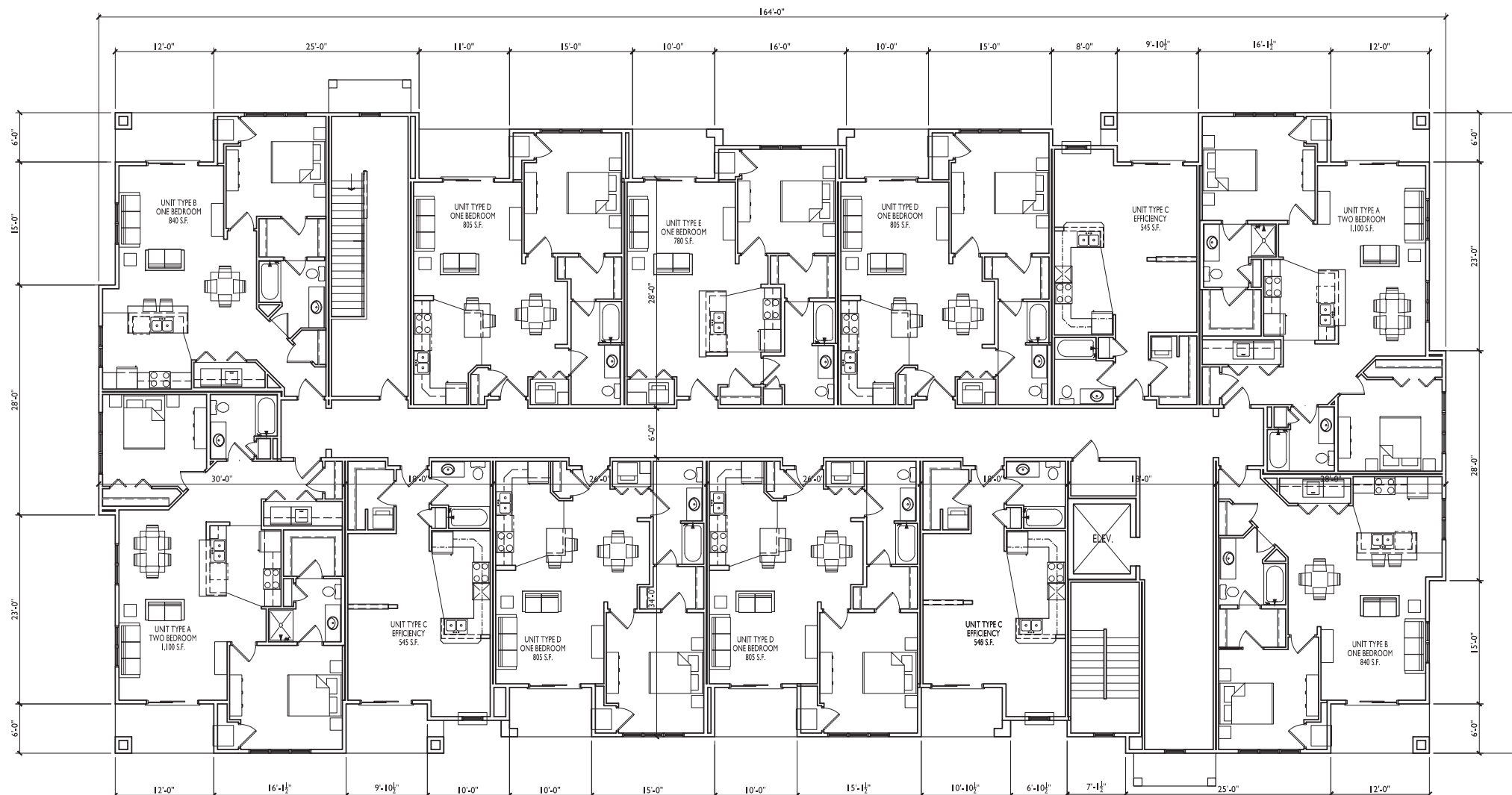
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Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SECOND
FLOOR PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

16

PROJECT NO. 1310
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1
16 SECOND FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"



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PROJECT TITLE
Sugar Maple

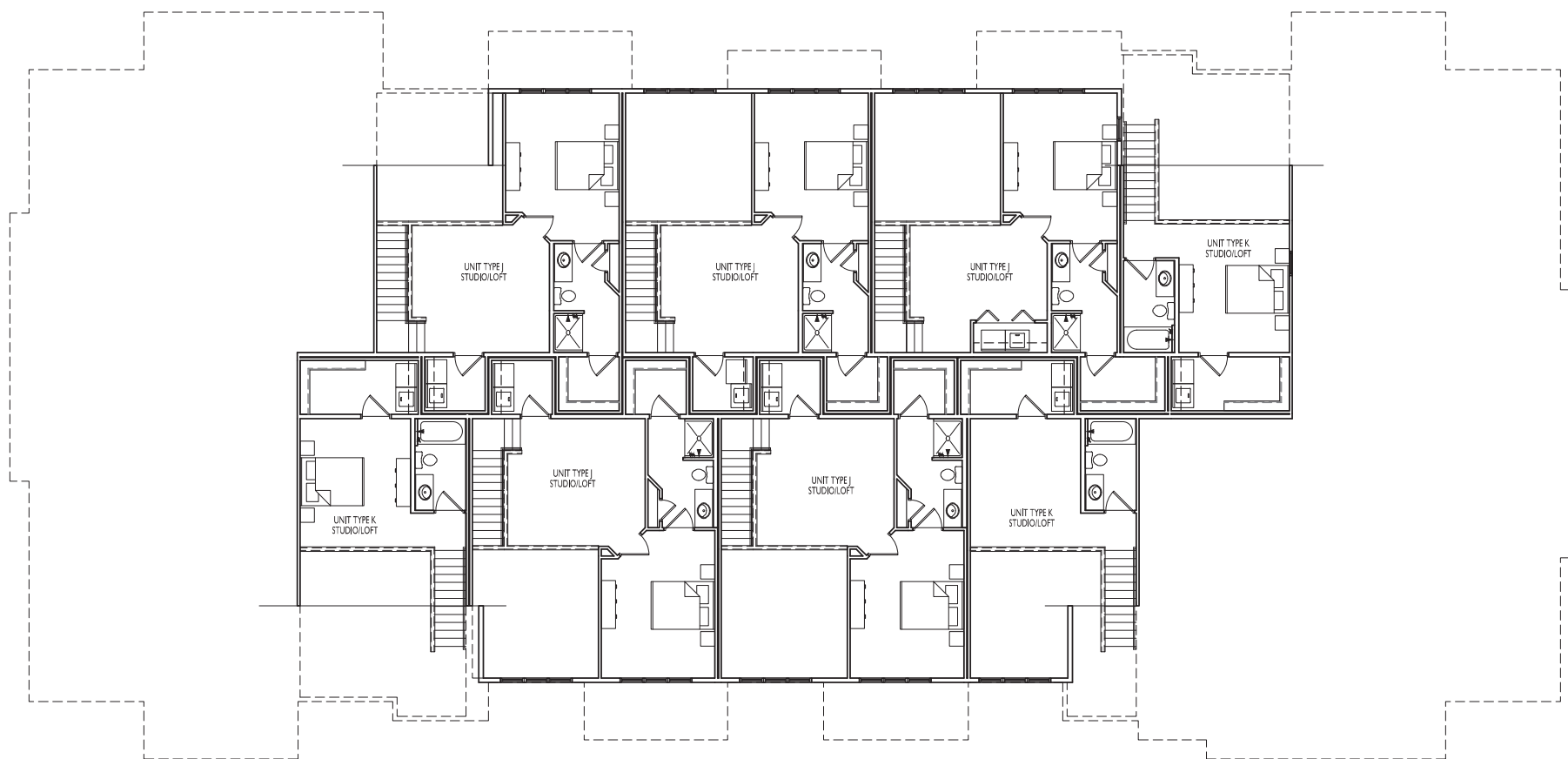
Madison, WI
SHEET TITLE
**THIRD FLOOR
PLAN**
36-UNIT
**BLDG #4, #5,
#9, & #10**
SHEET NUMBER

PROJECT NO. **1310**
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1
17 **THIRD FLOOR PLAN - 36-UNIT**
SCALE: 1/8"=1'-0"





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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
LOFT FLOOR
PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

1
18
LOFT FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"



18

PROJECT NO. 1310
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1
19 NORTH ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"



2
19 WEST ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
36-UNIT
BLDG #4
(BLDG #5, #9,
& #10 SIM.)
SHEET NUMBER

19

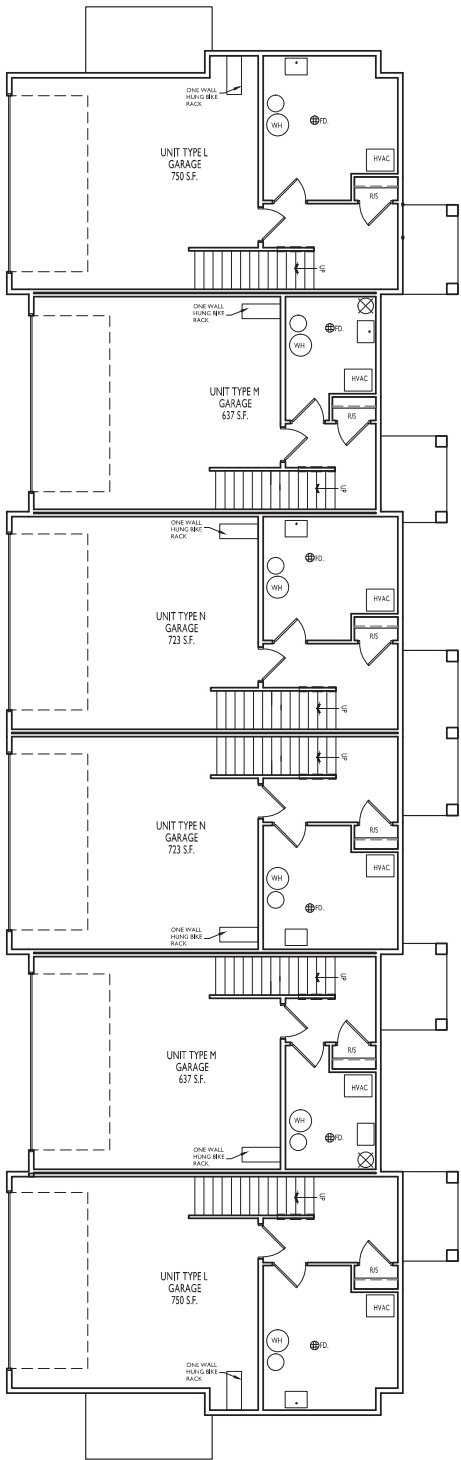
PROJECT NO. 1310
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1
20 SOUTH ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"



2
20 EAST ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"

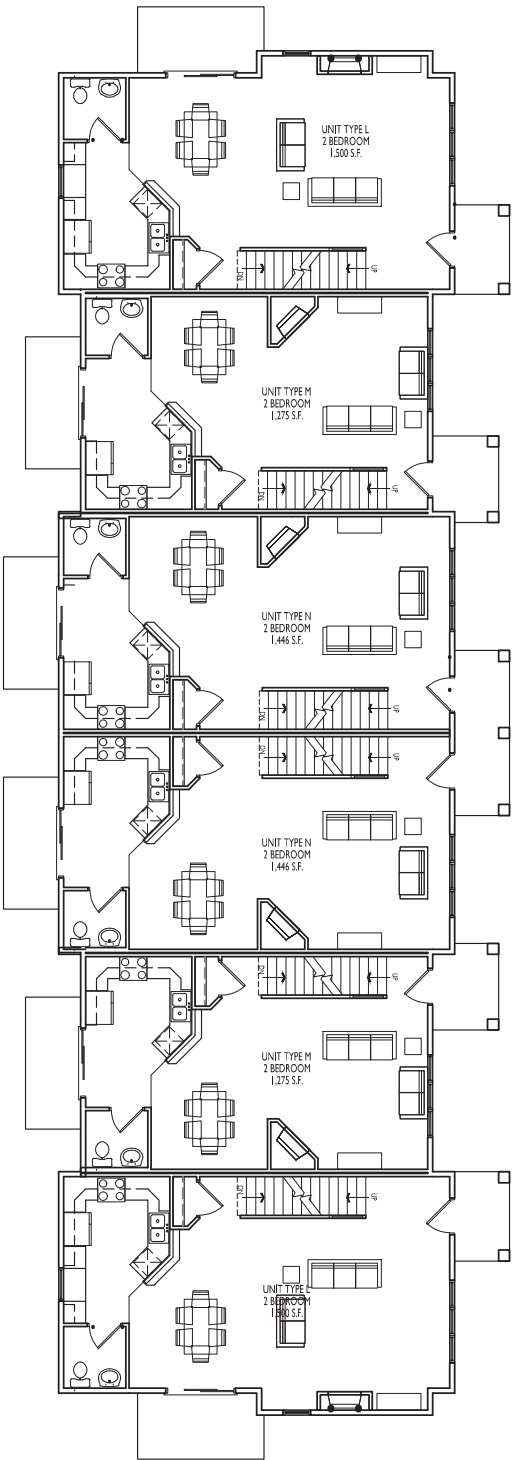


1

21

BASEMENT PLAN - 6-UNIT

SCALE: 1/8"=1'-0"

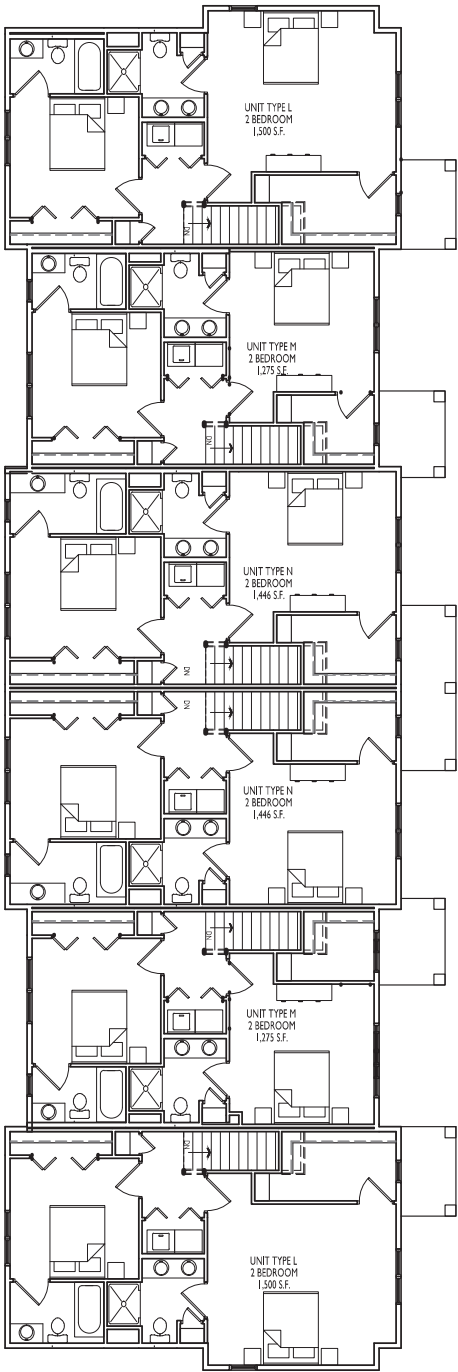


2

21

FIRST FLOOR PLAN - 6-UNIT

SCALE: 1/8"=1'-0"



3

21

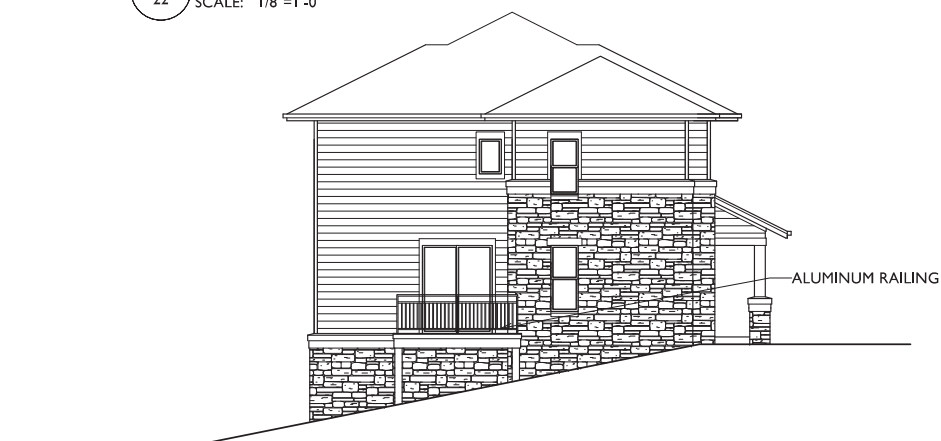
SECOND FLOOR PLAN - 6-UNIT

SCALE: 1/8"=1'-0"





1
22
EAST ELEVATION - 6-UNIT
SCALE: 1/8"=1'-0"



2
22
SOUTH ELEVATION - 6-UNIT (NORTH ELEV. MIRROR IMAGE)
SCALE: 1/8"=1'-0"



3
22
WEST ELEVATION - 6-UNIT
SCALE: 1/8"=1'-0"

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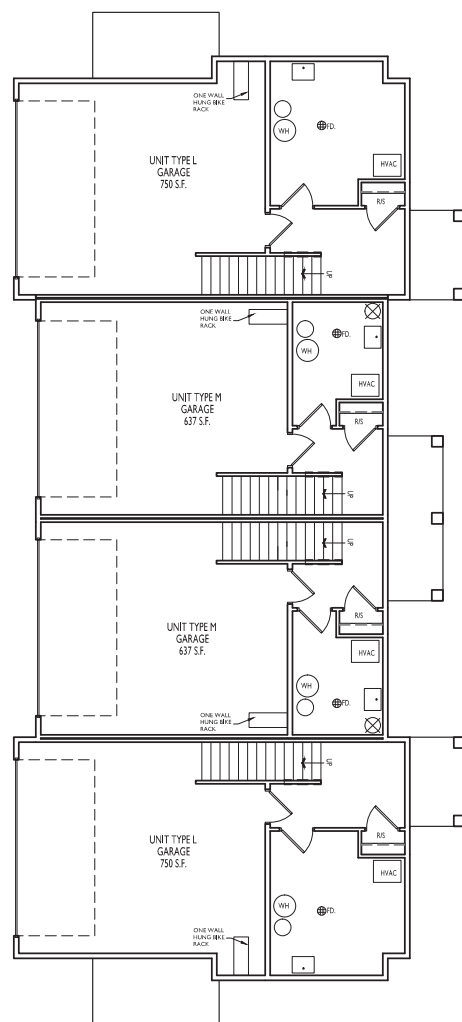
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
6-UNIT
BLDG #8
(BLDG #6 SIM.)

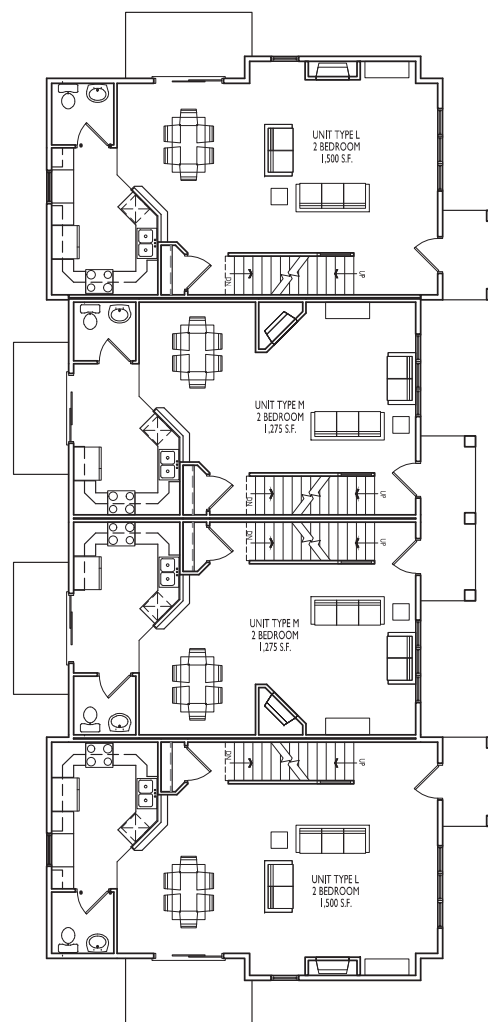
SHEET NUMBER

22

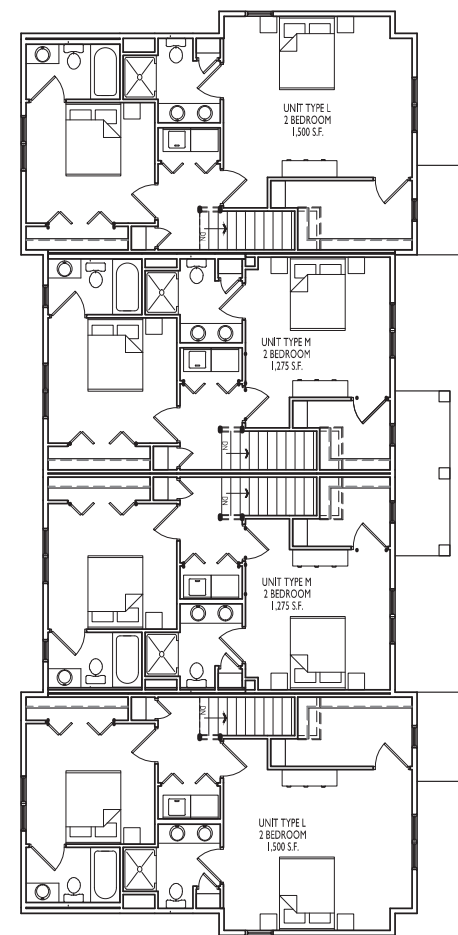
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1
23
BASEMENT PLAN - 4-UNIT
SCALE: 1/8"=1'-0"



2
23
FIRST FLOOR PLAN - 4-UNIT
SCALE: 1/8"=1'-0"



3
23
SECOND FLOOR PLAN - 4-UNIT
SCALE: 1/8"=1'-0"



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PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FLOOR PLANS
4-UNIT
BLDG #7

SHEET NUMBER

23

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1 EAST ELEVATION - 4-UNIT
24 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - 4-UNIT (NORTH ELEV. MIRROR IMAGE)
24 SCALE: 1/8"=1'-0"



3 WEST ELEVATION - 4-UNIT
24 SCALE: 1/8"=1'-0"