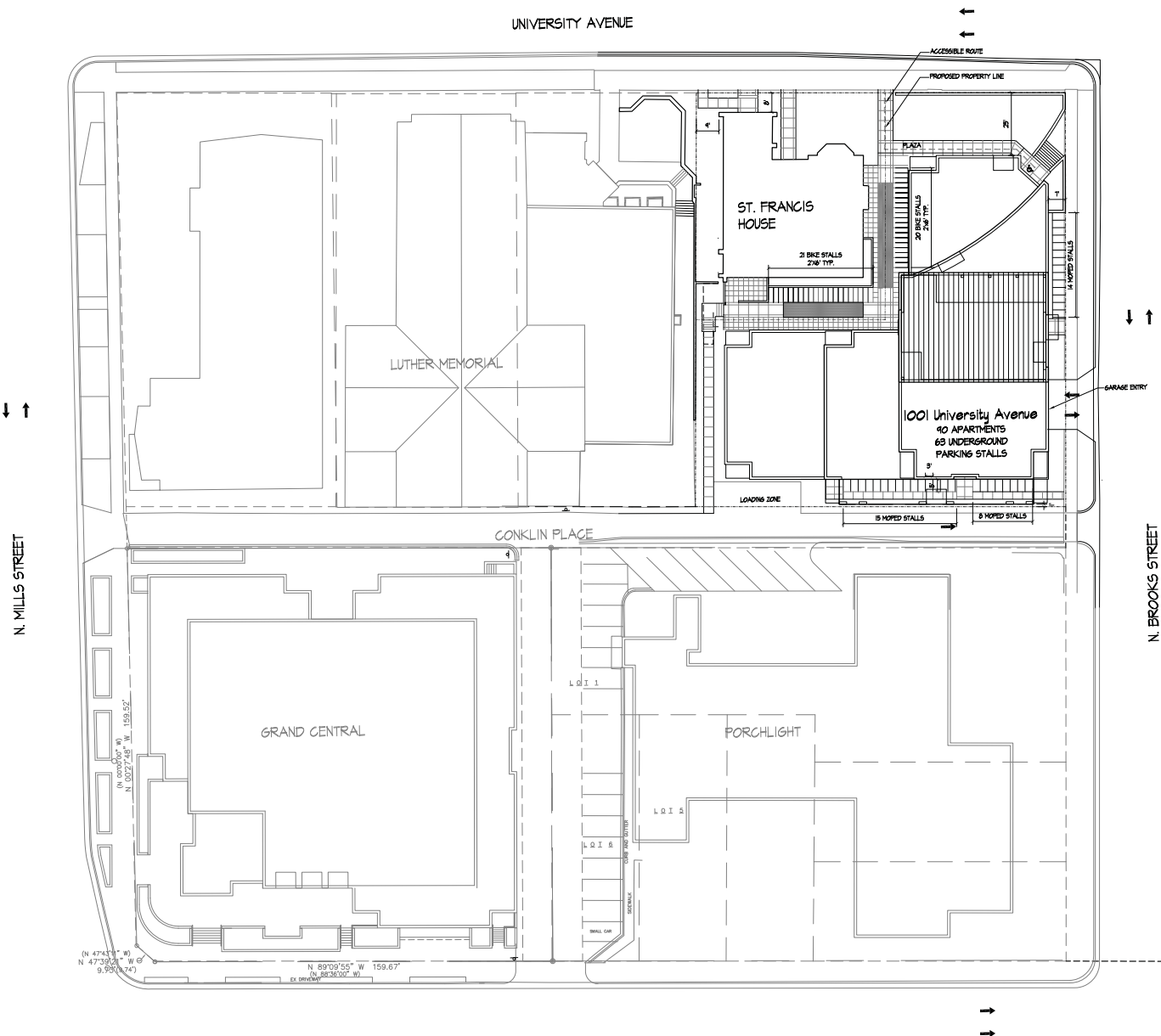




A SITE PLAN
7/20/07

SHEET INDEX
 C-1.1 OVERALL SITE PLAN
 C-1.2 TOPOGRAPHIC SURVEY
 C-1.3 SITE DEMOLITION PLAN
 C-1.4 GRADING AND EROSION CONTROL PLAN
 C-1.5 UTILITY PLAN
 C-1.6 SITE CONSTRUCTION DETAILS

L-1.1 SITE PLANTING PLAN
 L-1.2 PLANT SCHEDULE

A-1.1 PARKING LEVEL - TWO
 A-1.2 PARKING LEVEL - ONE
 A-1.3 FIRST FLOOR PLAN
 A-1.4 SECOND-FOURTH FLOOR PLAN
 A-1.5 FIFTH FLOOR PLAN
 A-1.6 SIXTH-EIGHTH FLOOR PLAN
 A-1.7 NINTH-TWELFTH FLOOR PLAN
 A-2.1 ELEVATION ALONG BROOKS STREET
 A-2.2 ELEVATION ALONG UNIVERSITY AVENUE
 A-2.3 WEST ELEVATION
 A-2.4 ELEVATION ALONG CONKLIN PLACE

SITE STATISTICS

Dwelling Unit Mix:	
Efficiency	3
One-Bedroom	12
Two-Bedroom	25
Three-Bedroom	19
Four-Bedroom	22
Five-Bedroom	4
Total Dwelling Units	40

Areas:	
Total Gross Floor Area	102,104 S.F.

Densities:	
Lot Area	24,661 or 57 acres
Lot Area / D.U.	274 S.F./unit
Density	150 units/acre

Building Height:	Twelve Stories
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Vehicle Parking:	
Underground-Residential	63 stalls

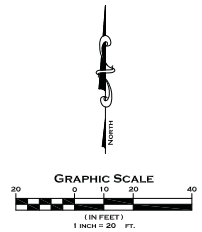
Bicycle Parking:	
Underground - standard 2'x6'	33 stalls
Surface - standard 2'x6'	41 stalls
Total	74 stalls (70 required)
Underground - wall hung	115 stalls

KNOTHE & BRUCE ARCHITECTS

7601 University Avenue Suite 201
 Middleton, Wisconsin 53562
 608-836-3690 Fax 836-6934

Consultant

Notes



Revisions

City Plan Review - April 20, 2011

Project Title

1001 University Avenue
 Madison, WI

Drawing Title

Overall Site Plan

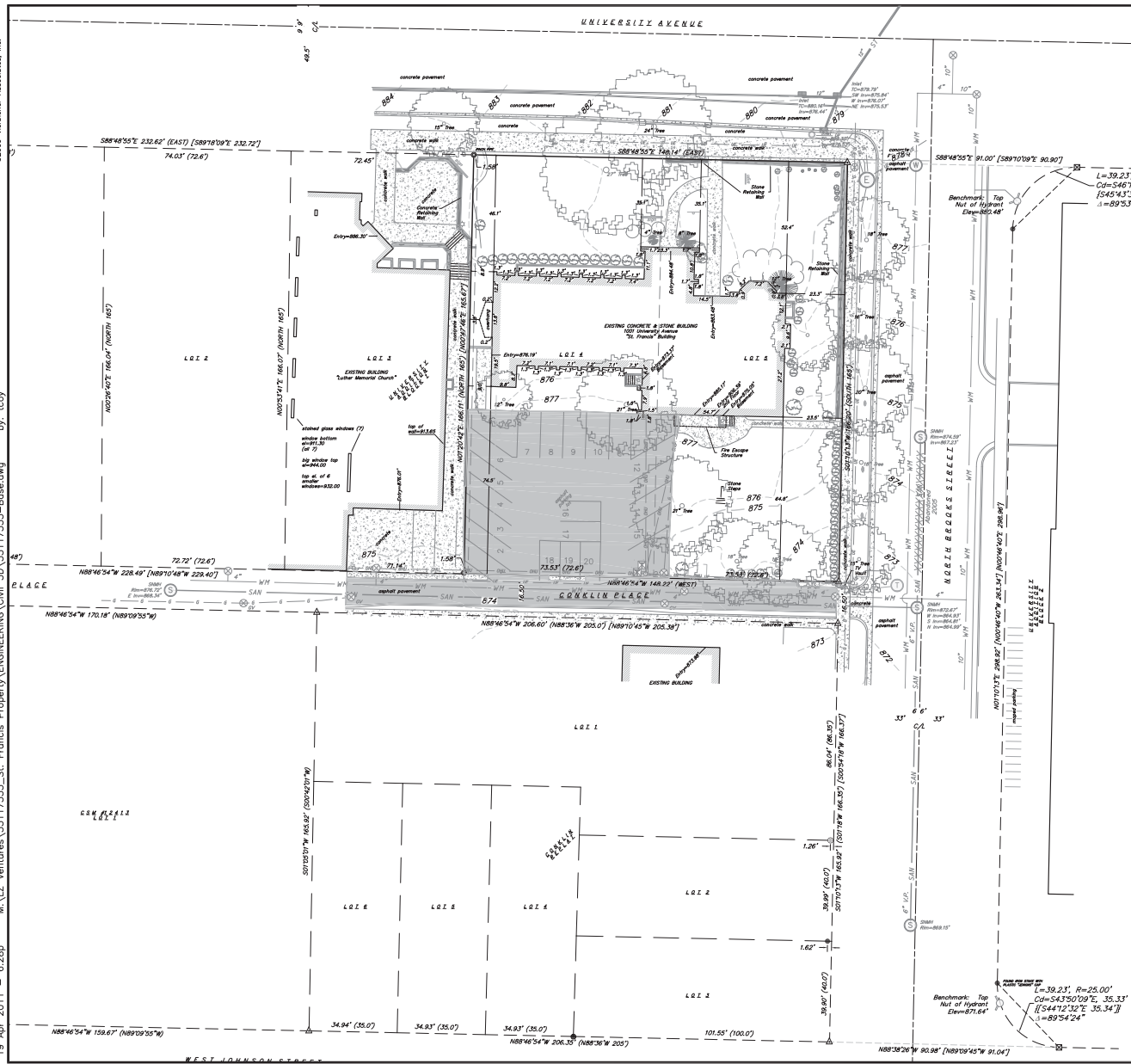
Project No.

1037

Drawing No.

C-1.0

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SURVEY LEGEND

- EXISTING 1"OUTSIDE dia. IRON PIPE
- EXISTING 1-1/4"dia. SOLID IRON ROD
- EXISTING 3/4"dia. SOLID IRON ROD
- ☒ EXISTING CUT CROSS IN CONCRETE
- ▲ SET MAG NAIL
- SET 3/4"x24" IRON RE-BAR, W/ 1.50lbs./lin.ft. MIN.
- [] RECORDED PER SURVEY #96-1123 BY DONALD L. PAULSON DATED 11-22-1996 OR PER SURVEY #94-0334 BY DONALD L. PAULSON DATED 04-07-1994
- { } RECORDED PER SURVEY BY FRANCIS E. THOUSAND DATED 07-09-1991
- () RECORDED INFORMATION PER CSM OR PLAT

EXISTING TOPOGRAPHIC LEGEND

- | | |
|---|--------------------------------------|
|  | EXISTING SANITARY SEWER (SIZE NOTED) |
|  | EXISTING WATER MAIN (SIZE NOTED) |
|  | EXISTING STORM SEWER (SIZE NOTED) |
|  | EXISTING GAS MAIN |
|  | EXISTING OVERHEAD UTILITIES |
|  | EXISTING CONTOURS |
|  | EXISTING PROPERTY LINE |
|  | EXISTING SANITARY MANHOLE |
|  | EXISTING SANITARY CLEANOUT |
|  | EXISTING SEPTIC VENT |
|  | EXISTING WATER MAIN VALVE |
|  | EXISTING WATER MANHOLE |
|  | EXISTING CURB STOP |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING CURB INLET |
|  | EXISTING FIELD INLET |
|  | EXISTING STORM MANHOLE |
|  | EXISTING UTILITY POLE |
|  | EXISTING LIGHT POLE |
|  | EXISTING ELECTRIC MANHOLE |
|  | EXISTING ELECTRIC PEDESTAL |
|  | EXISTING TRANSFORMER |
|  | EXISTING GAS VALVE |
|  | EXISTING TELEPHONE MANHOLE |
|  | EXISTING TELEPHONE PEDESTAL |
|  | EXISTING TV PEDESTAL |
|  | EXISTING FENCE |
|  | EXISTING CHAINLINK FENCE |
|  | EXISTING SIGN (TYPE NOTED) |
|  | LIMITS OF VEGETATION |
|  | EXISTING SHRUB |
|  | PARKING METER |



GRAPHIC SCALE FT



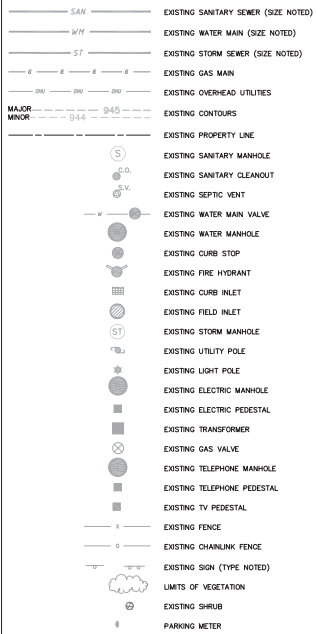
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TOPOGRAPHIC SURVEY
ST. FRANCIS PROPERTY
1001 UNIVERSITY AVENUE
MADISON, WI 53715

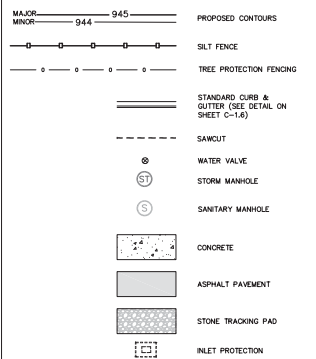
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SCALE
1"=20' (24X36) 1"=40' (11X17)
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04-20-11
DRAFTER
TCOY
CHECKED
JDOY
PROJECT NO.
33117535
SHEET
2 OF 5
DWG. NO.
C-1.3

EXISTING TOPOGRAPHIC LEGEND



PROPOSED LEGEND

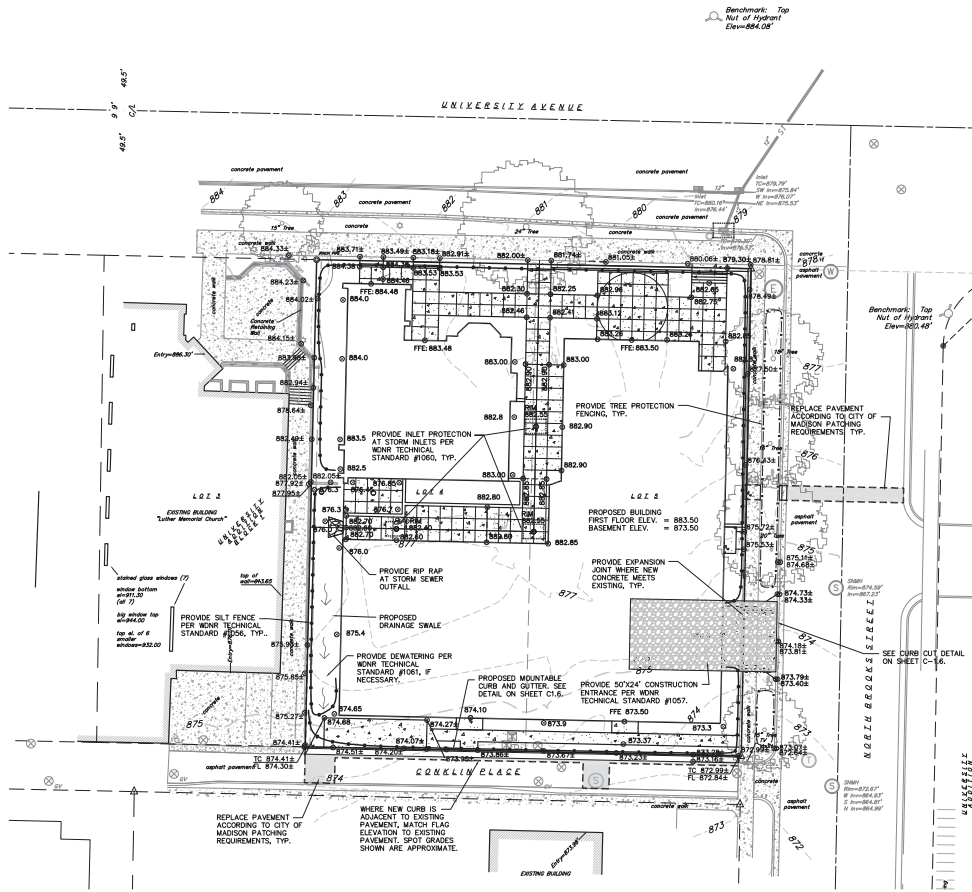


GENERAL NOTES:

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6. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON AT (608) 266-4751. A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wisconsin.gov/dnr/water/technical.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO MINOR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND, ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 14 CONSECUTIVE DAYS, WHETHER THAT BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TAPPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UNWORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE-BE-BE-HOLDING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY A FENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DRAINAGE RATE. WATER MUST NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY ONE TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEDERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. RIP-RAP SHALL BE NO SMALLER THAN 3" TO 4".
11. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS MEET WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BRODER COURSE OF ASPHALT.
12. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
13. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
16. EROSION MAT (TYPE 1 CLASS A PER WISCONSIN D.O.T. P.A.I.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
17. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 1:1 AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.I. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
18. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 3:1 AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
19. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
20. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
21. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
22. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
23. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
24. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
25. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
26. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.



SEEDING RATES:

TEMPORARY:
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

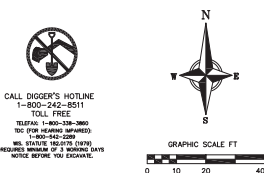
TEMPORARY AND PERMANENT:
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
 USE 3" TO 4" STRAW OR HAY MULCH, CRIMPED PER SECTION 407.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY
3. STRIP TOPSOIL
4. ROUGH GRADE FOR DRIVEWAYS/BUILDING PADS
5. CONSTRUCT UNDERGROUND UTILITIES
6. INSTALL INLET PROTECTION ON NEW INLETS
7. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
8. SEED/SOD PROPOSED GREEN SPACES.
9. REMOVE TRACKING PAD AND SILT FENCE AFTER DISTURBED AREAS ARE RESTORED



PRELIMINARY - NOT FOR CONSTRUCTION

veribier
planners | engineers | advisors
REBECCAH ANDERSON-PAARE DU CHEN
9700 W. WISCONSIN AVE. SUITE 200
MADISON, WI 53717

GRADING AND EROSION CONTROL PLAN

ST. FRANCIS PROPERTY
1001 UNIVERSITY AVENUE
MADISON, WI 53715

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SCALE: 1"=20' (2436)
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 PROJECT NO.: 33117535
 SHEET: 3 OF 5
 DWG. NO.: C-14

EXISTING TOPOGRAPHIC LEGEND

— SAN —	EXISTING SANITARY SEWER (SIZE NOTED)
— WM —	EXISTING WATER MAIN (SIZE NOTED)
— ST —	EXISTING STORM SEWER (SIZE NOTED)
— G —	EXISTING GAS MAIN
— OVI —	EXISTING OVERHEAD UTILITIES
MAJOR: 9-64	EXISTING CONTOURS
MINOR: 9-65	EXISTING CONTOURS
— S —	EXISTING PROPERTY LINE
— S.C. —	EXISTING SANITARY MANHOLE
— S.V. —	EXISTING SANITARY CLEANOUT
— S.V. —	EXISTING SEPTIC VENT
— S.V. —	EXISTING WATER MAIN VALVE
— S.V. —	EXISTING WATER MANHOLE
— S.V. —	EXISTING CURB STOP
— S.V. —	EXISTING FIRE HYDRANT
— S.V. —	EXISTING CURB INLET
— S.V. —	EXISTING FIELD INLET
— S.V. —	EXISTING STORM MANHOLE
— S.V. —	EXISTING UTILITY POLE
— S.V. —	EXISTING LIGHT POLE
— S.V. —	EXISTING ELECTRIC MANHOLE
— S.V. —	EXISTING ELECTRIC PEDESTAL
— S.V. —	EXISTING TRANSFORMER
— S.V. —	EXISTING GAS VALVE
— S.V. —	EXISTING TELEPHONE MANHOLE
— S.V. —	EXISTING TELEPHONE PEDESTAL
— S.V. —	EXISTING TV PEDESTAL
— S.V. —	EXISTING FENCE
— S.V. —	EXISTING CHAINLINK FENCE
— S.V. —	EXISTING SICK (TYPE NOTED)
— S.V. —	LIMITS OF VEGETATION
— S.V. —	EXISTING SHRUB
— S.V. —	PARKING METER

PROPOSED LEGEND

— WM —	WATER MAIN
— ST —	STORM SEWER
— SAN —	SANITARY SEWER
— S.V. —	SILT FENCE
— S.V. —	STANDARD CURB & GUTTER (SEE DETAIL ON SHEET C-1.6)
— S.V. —	SANICUT
— S.V. —	WATER VALVE
— S.V. —	STORM MANHOLE
— S.V. —	SANITARY MANHOLE
— S.V. —	WATER MAIN VALVE
— S.V. —	CONCRETE
— S.V. —	ASPHALT PAVEMENT
— S.V. —	STONE TRACKING PAD
— S.V. —	INLET PROTECTION

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7. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON AT (608) 266-4751. A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.

UTILITY NOTES:

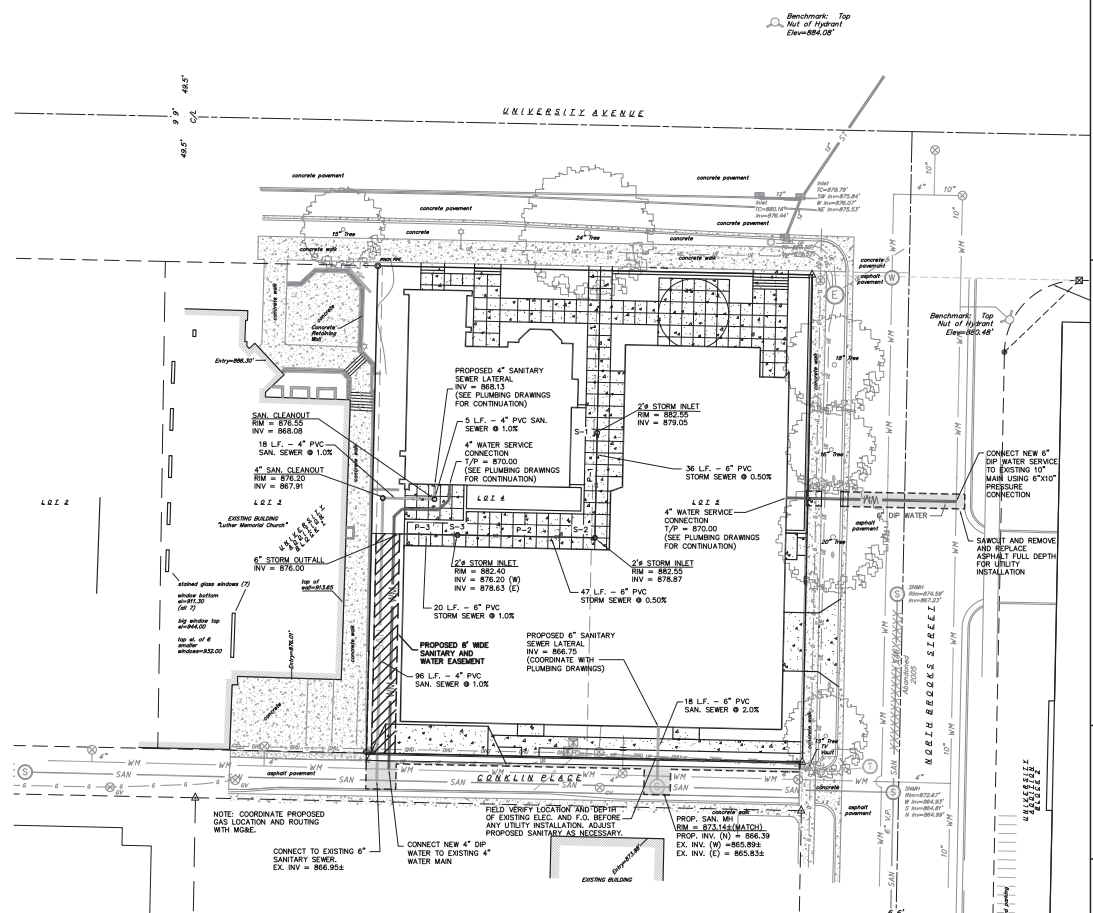
1. STORM SEWER PIPES P-1 THRU P-3 SHALL BE PVC, ASTM D3034 (OR EQUIVALENT) MATERIAL.
2. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52).
3. PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034 - SDR 35).
4. SITE CONTRACTOR SHALL LEAVE STORM, SANITARY, AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY, STORM, AND WATER LATERALS.
5. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
6. EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
7. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
8. ALL GARAGE CATCH BASINS SHALL BE PUMPED TO SANITARY SEWER AND INSTALLED PER DEPARTMENT OF COMMERCE GUIDELINES.
9. UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
11. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FORM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
12. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
13. ALL CLOSED MANHOLES SHALL HAVE NENAH R1713-B FRAME AND CLOSED LID OR APPROVED EQUAL.

STORM SEWER PIPE SCHEDULE

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH (FT)	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	DIAMETER OF PIPE (IN)
P-1	S-1	S-2	36	879.05	878.87	0.50	6
P-2	S-2	S-3	47	878.87	878.63	0.51	6
P-3	S-3	—	20	876.20	876.00	1.00	6

STORM SEWER STRUCTURE DETAIL

STRUCTURE NUMBER	TYPE	GRATE/LID TYPES	TOP OF CASTING	INVERT	DEPTH (FT)
S-1	2" DIAMETER INLET	2504-D	882.55	879.50	3.05
S-2	2" DIAMETER INLET	2504-D	882.55	878.87	3.68
S-3	2" DIAMETER INLET	2504-D	882.40	876.20	6.20



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEPHONE 1-800-338-3865
NEW YORK, NY 10017-1000
1-800-642-2289
NEW YORK, NY 10017-1000
REQUIRE MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE THE DATE OF THE

PRELIMINARY - NOT FOR CONSTRUCTION

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REBECCAH ANDERSON-REARER, DUCHE
WYOMING, WYOMING (WY) 83001
PHONE (307) 233-3333 FAX (307) 233-3333

UTILITY PLAN
ST. FRANCIS PROPERTY
1001 UNIVERSITY AVENUE
MADISON, WI 53715

REVISIONS	NO.	DATE	REMARKS

SCALE
1"=20' (2436)
1"=40' (11437)

DATE
04-20-11

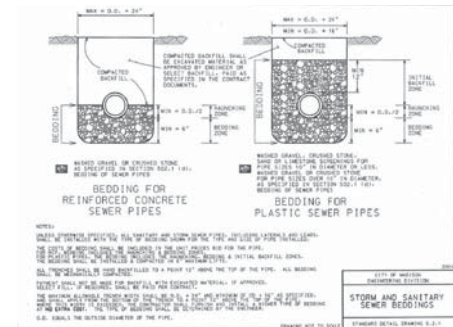
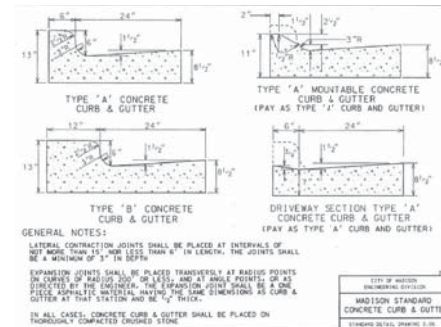
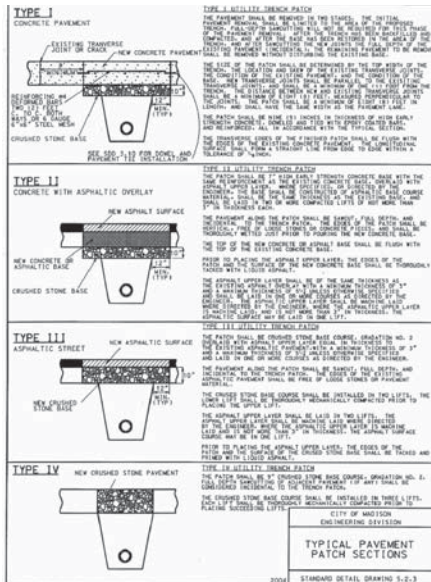
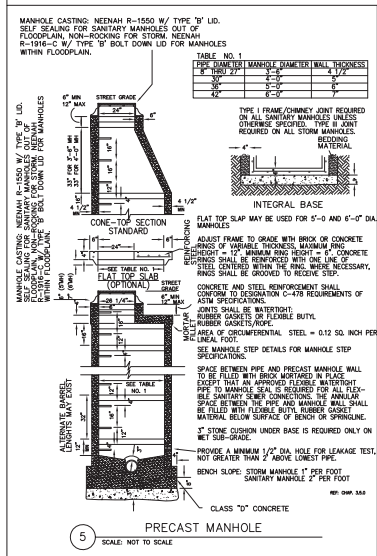
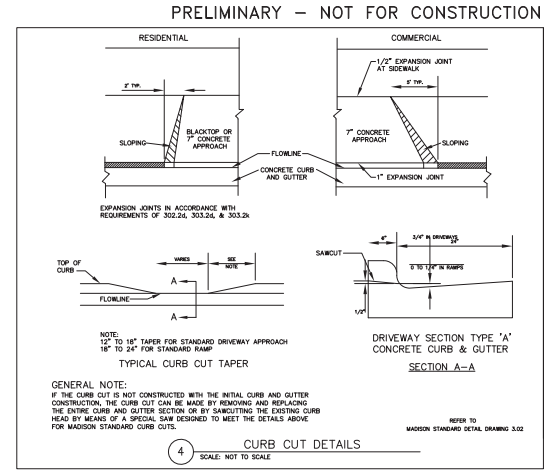
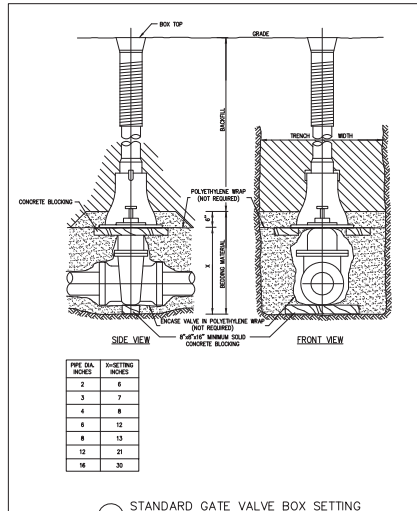
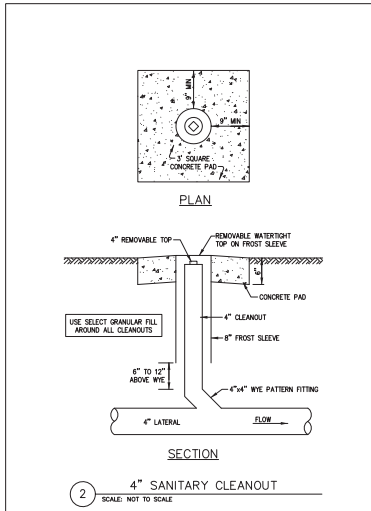
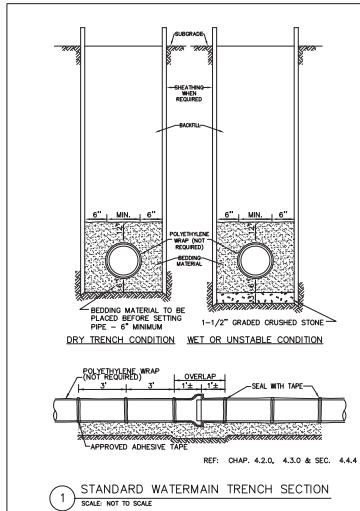
DRAWN
TOOY

CHECKED
BOY

PROJECT NO.
33117535

SHEET
4 OF 5

DWG. NO.
C-1.5

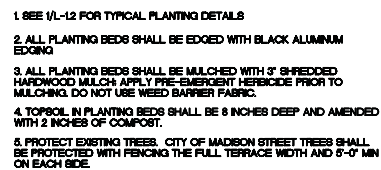


veribcher
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REIDBURG-HANSEN-HANSEN DU CHEN
9700 W. NATIONAL AVENUE, SUITE 200
MADISON, WISCONSIN 53717
TEL: 608.261.1317 FAX: 608.261.1318

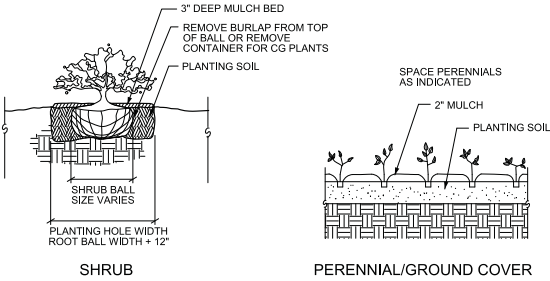
SITE CONSTRUCTION DETAILS
ST. FRANCIS PROPERTY
1001 UNIVERSITY AVENUE
MADISON, WI 53715

REVISIONS	NO.	DATE	REMARKS
1	04-20-11		
2	04-20-11		
3	04-20-11		
4	04-20-11		
5	04-20-11		
6	04-20-11		
7	04-20-11		
8	04-20-11		
9	04-20-11		
10	04-20-11		

DATE: 04-20-11
DRAWN: TOY
CHECKED: TOY
PROJECT NO.: 33117535
SHEET: 5 OF 5
DWG. NO.: C-1.6



PLANT LIST					
Key	Botanical Name	Common Name	Qty.	Size at Planting	Comments
Deciduous Shrubs					
Ag	<i>Amelanchier x grandiflora</i> 'Princess Diana'	Princess Diana Serviceberry	2	5' Ht/B&B	shrub form
Am	<i>Aronia melanocarpa</i> 'Iroquois Beauty'	Iroquois Beauty Aronia	20	18" Ht/Cont	
DI	<i>Diervilla lonicera</i>	Dwarf Bushhoneysuckle	22	18" Ht/Cont	
Hm	<i>Heptacodium miconioides</i>	Seven Son Flower	2	5' Ht/B&B	shrub form
Ha	<i>Hydrangea arborescens</i> 'Grandiflora'	Snowhill Hydrangea	4	18" Ht/Cont	
Evergreen Shrubs					
Tm	<i>Taxus x media</i> 'Everlow'	Everlow Yew	35	24" Spd./Cont	
Perennials/Ground Covers					
ac	<i>Asarum canadense</i>	Wild Ginger	415	2" pot	space 12" oncenter
cr	<i>Cimicifuga racemosa</i> 'Brunete'	Brunette Snakepot	8	1 gal. pot	
er	<i>Epimedium rubrum</i>	Red Barrenwort	17	2" pot	space 12" oncenter
hj	<i>Hosta x June</i>	June Hosta	16	1 gal. pot	

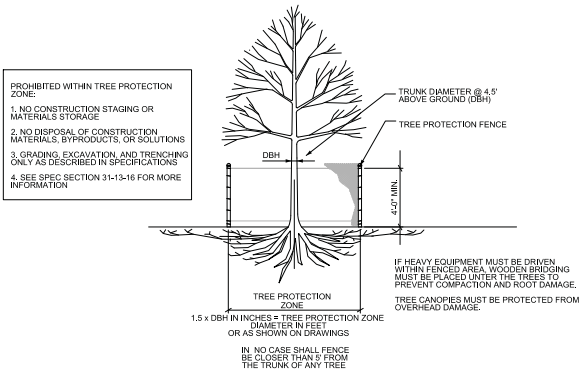
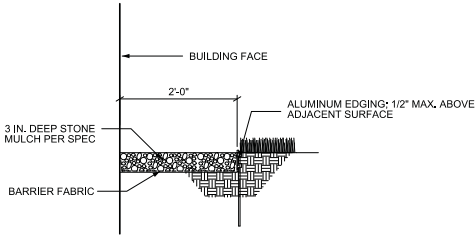


1 PLANT SCHEDULE

NO SCALE

2 TYPICAL PLANTING DETAILS

NO SCALE



3 STONE MAINTENANCE EDGE

1'-1'-0"

4 TREE PROTECTION DETAIL

3'-0"-0"



Consultant

Notes

Revisions
City Plan Review - April 20, 2011

Project Title
1001 University Avenue
Madison, WI

Drawing Title
Parking Level - Two

Project No.	Drawing No.
1037	A-1.1

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Notes

Revisions

City Plan Review - April 30, 2018

Project Title

1001 University Avenue
Madison, WI

Drawing Title

First Floor Plan

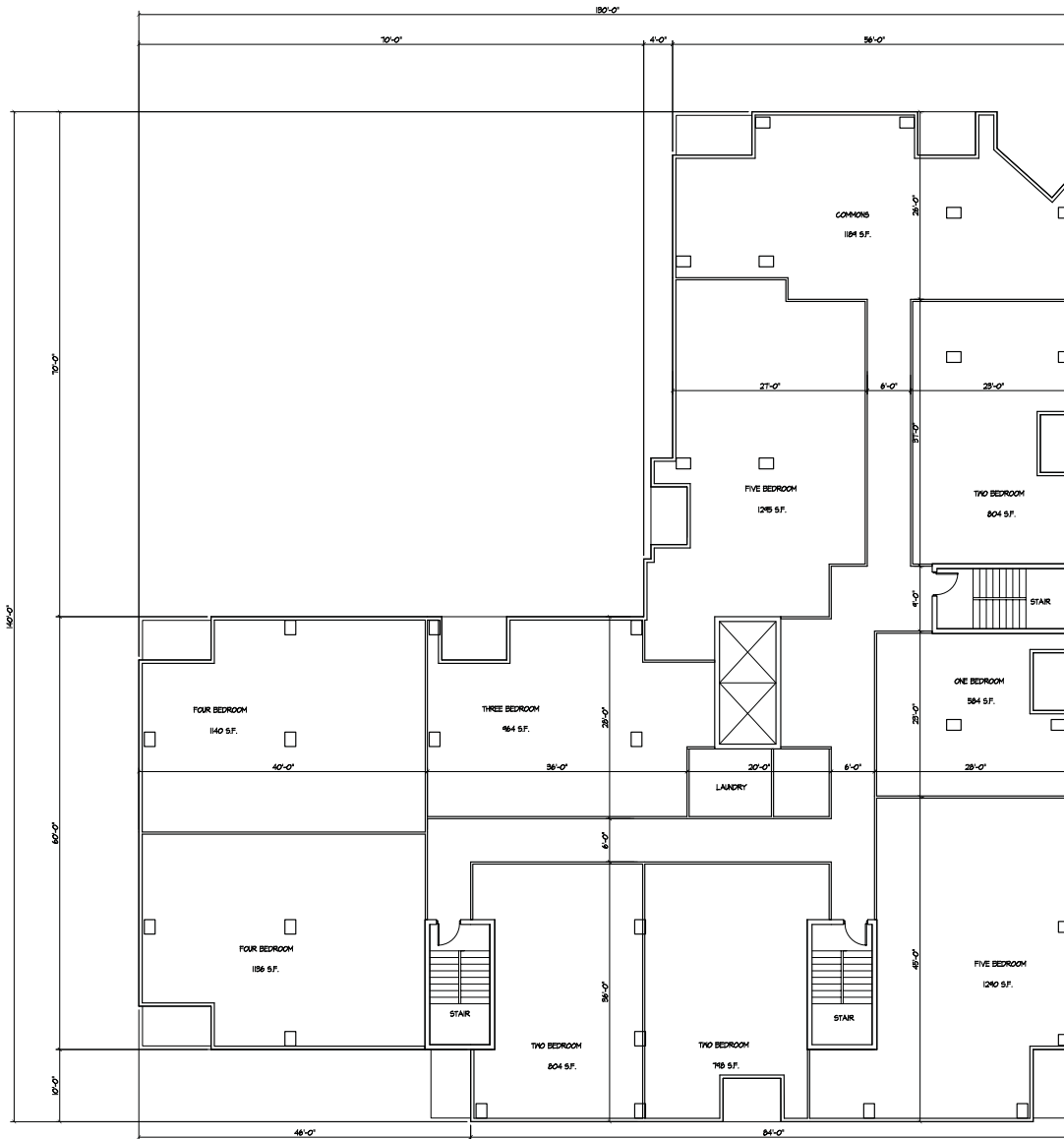
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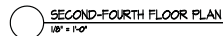
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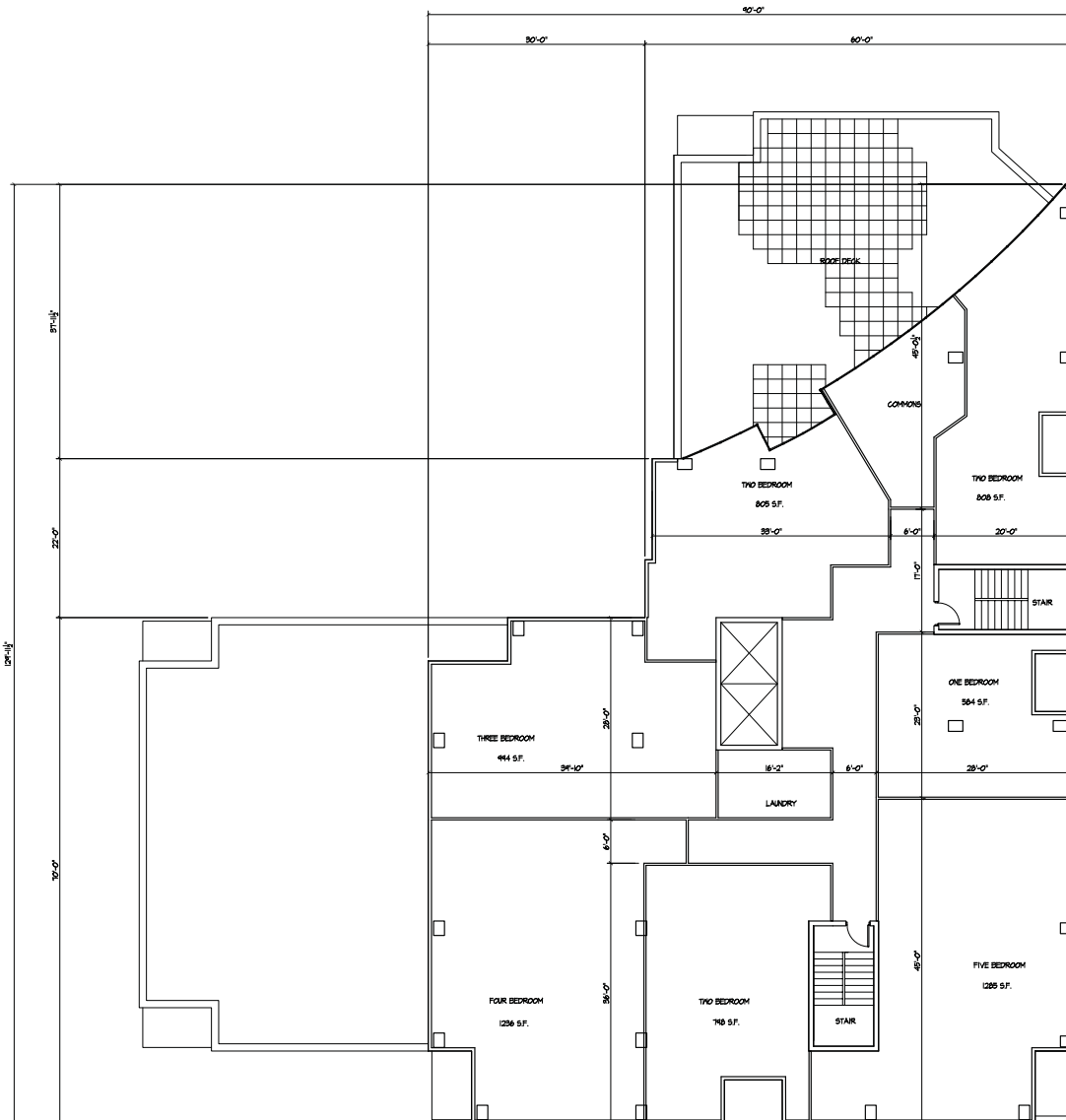
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A-1.3

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FIFTH FLOOR PLAN
1/8" = 1'-0"



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Notes

TYPICAL MATERIALS:

ALUMINUM PARAPET

ALUMINUM HEADER

ALUMINUM WINDOWS

METAL PANEL

PRECAST OR STONE PANELS

PRECAST OR STONE BASE

Revisions

City Plan Revision - April 30, 2018

Project Title

1001 University Avenue
Madison, WI



ELEVATION ALONG BROOKS STREET
1/8" = 1'-0"

Drawing Title

Elevation Along
Brooks Street

Project No.

1037

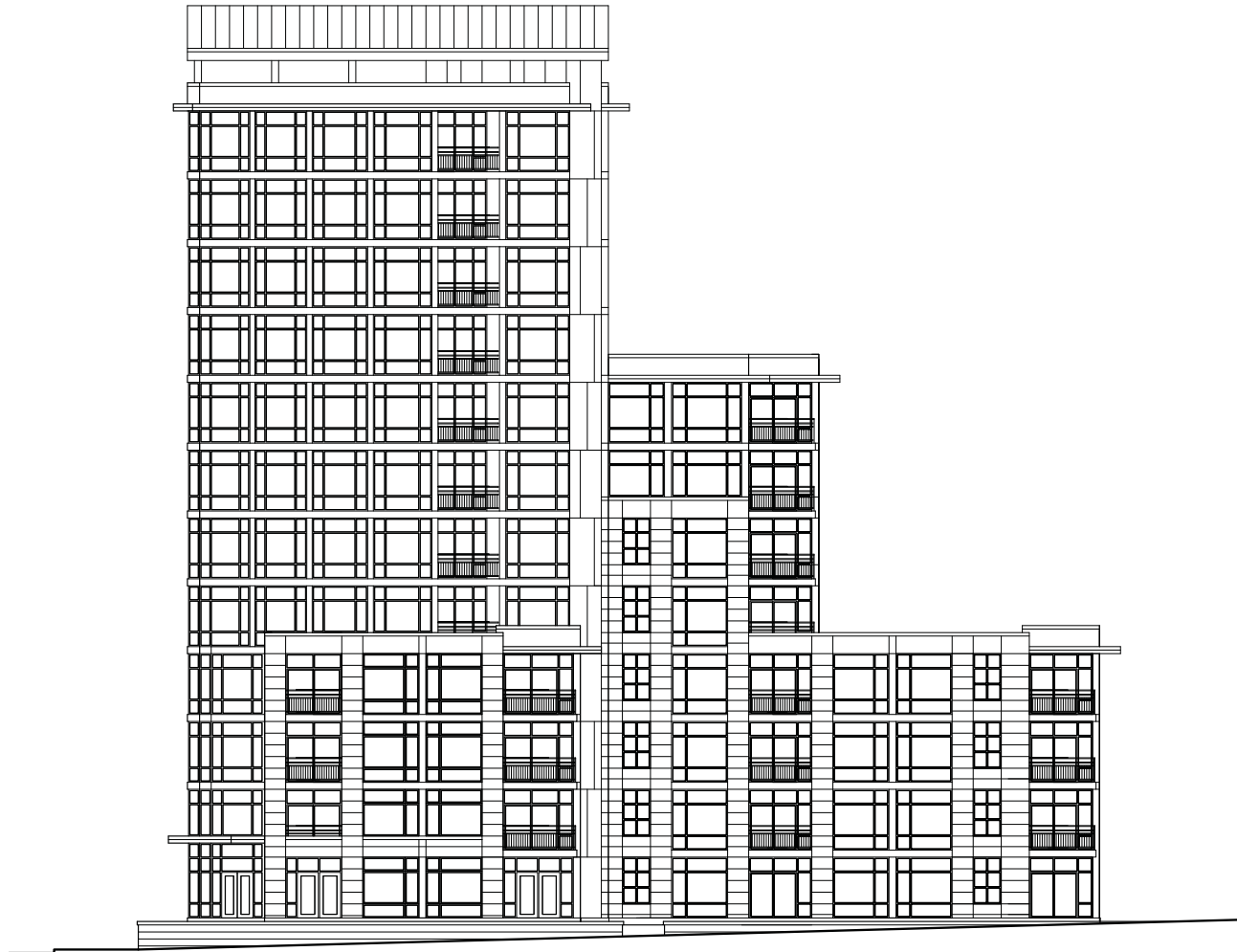
Drawing No.

A-2.1

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Notes



ELEVATION ALONG UNIVERSITY
1/8" = 1'-0"

Revisions
City Plan Review - April 30, 2018

Project Title
1001 University Avenue
Madison, WI

Drawing Title
Elevation Along
University Ave.

Project No.

1037

Drawing No.

A-2.2

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Notes

Revisions

City Plan Review - April 30, 2018

Project Title

1001 University Avenue
Madison, WI

Drawing Title

West Elevation

Project No.

1037

Drawing No.

A-2.3

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WEST ELEVATION
1/8" = 1'-0"

Consultant

Notes

Revisions

City Plan Review - April 30, 2018

Project Title

1001 University Avenue
Madison, WI

Drawing Title

Elevation Along
Conklin Place

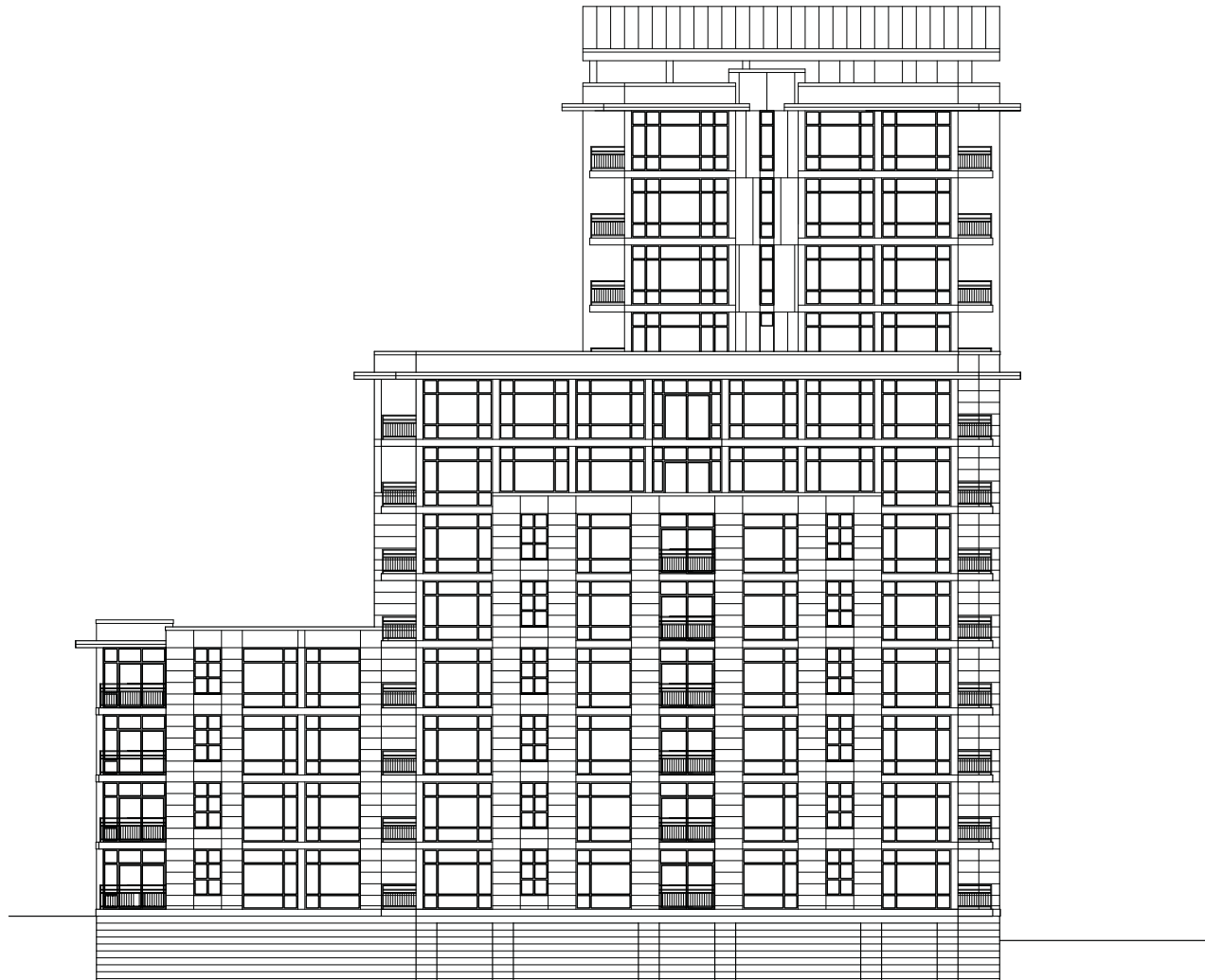
Project No.

1037

Drawing No.

A-2.4

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ELEVATION ALONG CONKLIN PLACE
1/8" = 1'-0"