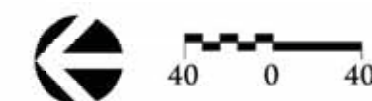




Legend:
 Project Boundary
 Viewshed

Viewshed Legend:

- 1 - View Looking West From Fish Hatchery Road
- 2 - Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West
- 3 - View Looking West From Fish Hatchery Road & S. Park St.
- 4 - View Looking North East from South Park Street
- 5 - View Looking East from South Park Street
- 6 - View Looking East from South Park Street
- 7 - View Looking South West from High Street
- 8 - View Looking South from Midland Street
- 9 - View Looking South West from Midland to Garden Street



PROPOSED WINGRA CLINIC SITE
FISH HATCHERY RD./SOUTH PARK ST.
MADISON, WI

06/20/2011
 FOR PLANNING PURPOSES ONLY

EXISTING CONDITIONS AERIAL

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners



View Looking West From Fish Hatchery Rd.



View Looking East from South Park Street



Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West



View Looking East from South Park Street



View Looking West From Fish Hatchery Rd. & S. Park St. Intersection



View Looking South West from High Street



View Looking North West from Intersection of Fish Hatchery Road and South Park Street



View Looking South From Midland Street



View Looking North East from South Park Street



View Looking South West From Midland to Garden Street

PLT DATE: 7/12/2011 10:25:55 AM



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
OR
920-438-8511 LOCAL
FOR THE LOCATION OF ANY UTILITIES
BEFORE YOU DIG

SANITARY SEWER MANHOLES									
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE	STRUCT. ID	RM ELEVATION	INVERT	ELEVATION
SAN-1	866.67	SW	849.27	8"	VCP	SAN-10	864.84	N	857.82
SAN-2	862.81	NE	849.52	8"	VCP	SAN-11	862.48	S	855.56
		SW	849.01	8"	VCP			W	855.69
		SE	851.31	12"	VCP			E	855.64
SAN-3	859.42	NW	848.91	12"	VCP	SAN-12	860.84	N	855.46
		SE	848.56	12"	VCP			E	852.88
		SW	850.22	6"	CI			SE	853.74
SAN-4	857.78	NW	848.52	12"	VCP	SAN-13	855.26	N	852.82
		SE	848.18	12"	VCP			S	847.26
		SW	849.38	6"	VCP			W	852.88
SAN-5	856.09	NW	848.18	12"	VCP	SAN-14	866.07	N	852.82
		SE	848.18	12"	VCP			S	852.88
		SW	849.38	6"	VCP			W	852.88
SAN-6	-	NW	848.18	12"	VCP	SAN-15	867.66	N	852.82
		SE	848.18	12"	VCP			S	852.88
		SW	849.38	6"	VCP			W	852.88
SAN-7	861.58	SE	852.38	8"	VCP	SAN-16	867.39	N	852.82
		NE	852.43	8"	VCP			S	852.88
		NW	852.51	8"	VCP			W	852.88
SAN-8	858.52	SE	849.19	8"	VCP	SAN-17	867.39	N	852.82
		NE	849.19	8"	VCP			S	852.88
		NW	849.19	8"	VCP			W	852.88
SAN-9	856.95	SE	847.96	8"	VCP	SAN-18	867.39	N	852.82
		NE	847.96	8"	VCP			S	852.88
		NW	847.96	8"	VCP			W	852.88

STORM SEWER MANHOLES									
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE	STRUCT. ID	RM ELEVATION	INVERT	ELEVATION
STM-1	862.36	SW	858.91	12"	RCP	STM-10	862.48	N	857.82
STM-2	859.12	NE	858.91	12"	RCP	STM-11	862.48	S	855.56
		SW	858.91	12"	RCP			W	855.69
		SE	854.90	12"	RCP			E	855.64
STM-3	855.85	NW	858.01	12"	RCP	STM-12	860.84	N	855.46
		SE	854.90	12"	RCP			E	852.88
		SW	855.40	12"	RCP			SE	853.74
STM-4	860.00	NW	854.87	12"	RCP	STM-13	855.26	N	852.82
		SE	854.87	12"	RCP			S	847.26
		SW	855.40	12"	RCP			W	852.88
STM-5	855.52	NW	856.75	10"	RCP	STM-14	866.07	N	852.82
		SE	856.75	10"	RCP			S	852.88
		SW	857.48	12"	VCP			W	852.88

STORM SEWER INLETS									
INLET ID	RM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE	INLET ID	RM ELEVATION	INVERT	ELEVATION
INL-1	862.77	N	859.87	12"	RCP	INL-6	860.21	N	857.96
INL-2	862.00	NW	859.60	12"	RCP	INL-7	859.43	NE	857.63
INL-3	858.35	NW	856.40	6"	PVC	INL-8	860.12	N	857.96
INL-4	860.21	N	857.96	12"	RCP	INL-9	860.12	N	857.96
INL-5	859.43	NE	857.63	12"	VCP	INL-10	860.12	N	857.96
CB-1	860.12	N	857.96	12"	VCP	INL-11	860.12	N	857.96
CB-2	-	N	-	10"	PVC	INL-12	860.12	N	857.96
		S	-	10"	PVC	INL-13	860.12	N	857.96

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	870.74	TOP NUT ON HYDRANT AT THE NORTHEAST CORNER OF FISH HATCHERY ROAD AND MIDLAND STREET
BM-2	854.21	TOP OF A 3/4" REBAR AT THE NORTHEAST LOT CORNER OF LOT 1, CSM 175
BM-3	857.39	CHISELED X IN FRONT OF THE DAIRY BUILDING, NEAR THE EAST PROPERTY LINE OF LOT 6, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON
BM-4	864.75	TOP OF A 3/4" REBAR AT THE SOUTH LOT CORNER OF LOT 14, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON
BM-5	860.56	CHISELED X IN BEHIND THE DAIRY BUILDING, NEAR THE WEST PROPERTY LINE OF LOT 9, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON

SURVEYOR'S CERTIFICATE
I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. 5-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, 5-1878
REGISTERED LAND SURVEYOR

PREPARED FOR:
GHODZI COMPANIES
2100 STEWART AVENUE, SUITE 300
WAUSAU, WI 54401

PROJECT NO. 11-4627
FILE NO. E-65
SURVEYED: MAD/JDS
F.B. NO/PG. 246/119
SHEET NO. 1 OF 1

EXISTING CONDITIONS SURVEY

LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, AND 16, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON, LOTS 1 THROUGH 5, PLANNED REPEAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

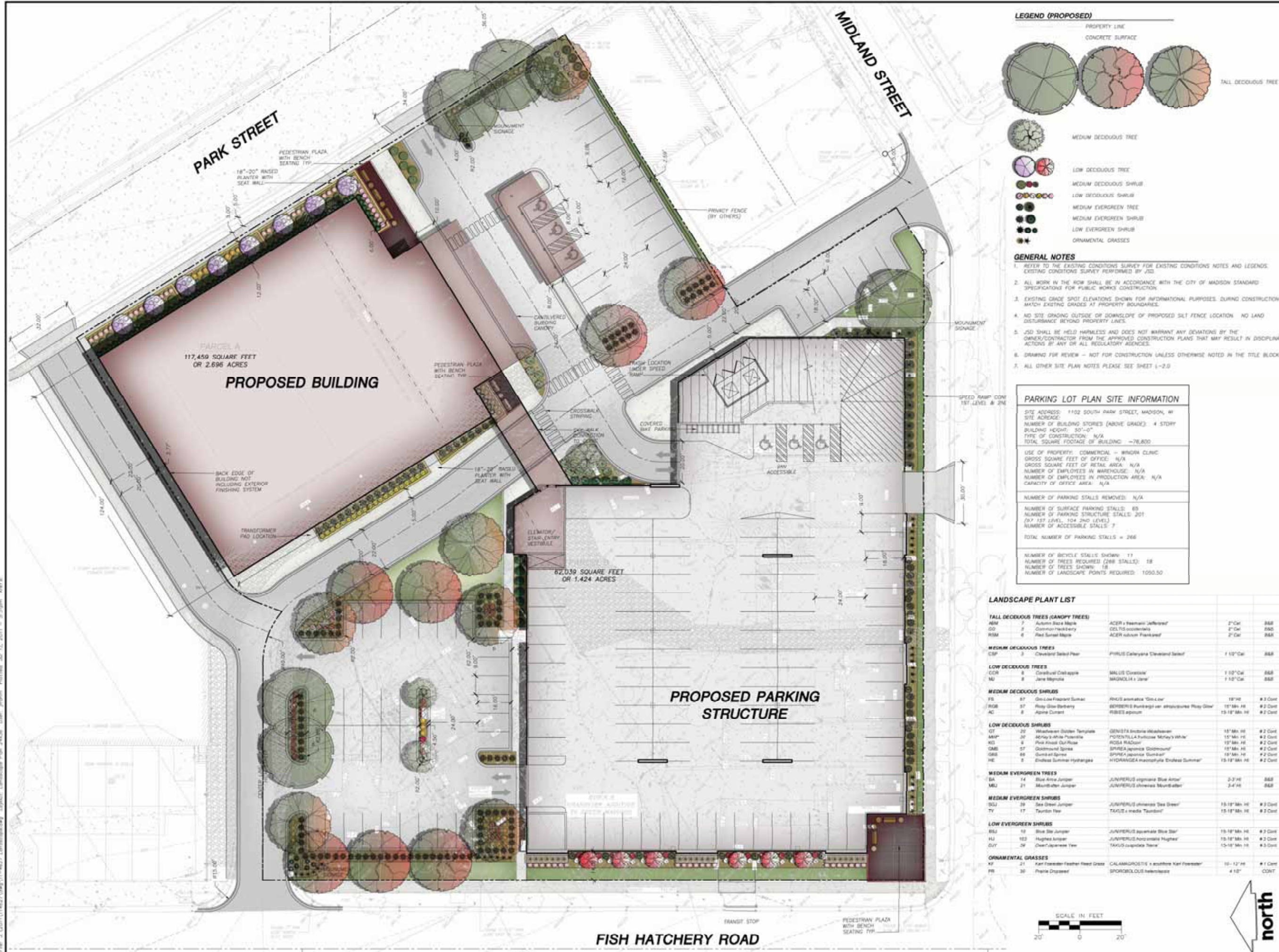


- LEGEND**
- 1/4" REBAR SET (1.50 LBS/LF)
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - 1 1/2" REBAR FOUND
 - 3/4" REBAR FOUND
 - REBAR FOUND (SIZE NOTED)
 - CHISELED 'X' FOUND
 - CHISELED 'Y' NOTCH FOUND
 - BENCHMARK
 - BOLLARD
 - POST
 - SIGN
 - DANE COUNTY WARNING SIREN
 - SATELLITE DISH
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER OR GAS VALVE
 - STORM MANHOLE
 - ROUND CASTED INLET
 - CURB INLET
 - STORM SEWER ACCESS
 - DOWNSPOUT
 - GAS REGULATOR/METER
 - MANHOLE
 - MOBE MANHOLE
 - ELECTRIC TRANSFORMER
 - POWER POLE W/GUY
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - PULL BOX
 - SIGNAL CONTROLLER BOX
 - VAULT
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - PARCEL BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - PLATTED LOT LINE
 - CHORD LINE
 - EASEMENT LINE
 - FENCE LINE
 - GUARD OR SAFETY RAIL
 - STONE WALL
 - LANDSCAPE LIMITS
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - EDGE OF GRAVEL
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - OVERHEAD TELEPHONE
 - UNDERGROUND TELEPHONE
 - FIBER OPTIC
 - OVERHEAD CABLE
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL OR ROCK
 - DISCONTINUED MAPPED PIPE LINE
 - RECORDED INFORMATION
 - TOP AND BOTTOM OF RETAINING WALL ELEVATIONS

- NOTES**
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. DURING THE WEEK OF APRIL 11TH, 2011.
 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE (WCDS DANE).
 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER OF SECTION 26, 17N, R9E, ELEVATION = 865.99'.
 4. CONTOUR INTERVAL IS ONE FOOT.
 5. SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES. LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NOS. 20111504227, 20111504213, 20111504405, 20111504277, 20111504311, 20111504257, 20111504235, 20111504199, 20111503058, 20111503489, 20111503473.
 7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 8. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 9. THIS PARCEL LIES IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP NO. 55025C04176, DATED JANUARY 02, 2009.
 10. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION:
PARCEL A:
LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, AND 16, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON EXCEPT THE 1/4" REBAR SET IN LOT 1 FOR SHORTEST IN USE FOR SOUTH PARK STREET RIGHT OF WAY, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
PARCEL B:
LOTS 1, 2, AND 3 OF BLOCK SIX 6, GRANDVIEW ADDITION TO SOUTH MADISON, AND LOTS 1, 2, 3, 4, AND 5, PLANNED REPEAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

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LEGEND (PROPOSED)

PROPERTY LINE
CONCRETE SURFACE

TALL DECIDUOUS TREE

MEDIUM DECIDUOUS TREE

LOW DECIDUOUS TREE

MEDIUM DECIDUOUS SHRUB

LOW DECIDUOUS SHRUB

MEDIUM EVERGREEN TREE

MEDIUM EVERGREEN SHRUB

LOW EVERGREEN SHRUB

ORNAMENTAL GRASSES

- GENERAL NOTES**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
 4. NO SITE DRAINING OUTSIDE OF DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES.
 6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET 1-2.0

PARKING LOT PLAN SITE INFORMATION	
SITE ADDRESS:	1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE:	2.696 ACRES
NUMBER OF BUILDING STORIES (ABOVE GRADE):	4 STORY
BUILDING HEIGHT:	50'-0"
TYPE OF CONSTRUCTION:	N/A
TOTAL SQUARE FOOTAGE OF BUILDING:	~76,800
USE OF PROPERTY:	COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE:	N/A
GROSS SQUARE FEET OF RETAIL AREA:	N/A
NUMBER OF EMPLOYEES IN WAREHOUSE:	N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA:	N/A
CAPACITY OF OFFICE AREA:	N/A
NUMBER OF PARKING STALLS REMOVED:	N/A
NUMBER OF SURFACE PARKING STALLS:	65
NUMBER OF PARKING STRUCTURE STALLS:	201
(5X 1ST LEVEL, 104 2ND LEVEL)	
NUMBER OF ACCESSIBLE STALLS:	7
TOTAL NUMBER OF PARKING STALLS:	266
NUMBER OF BICYCLE STALLS SHOWN:	11
NUMBER OF TREES REQUIRED (266 STALLS):	18
NUMBER OF TREES SHOWN:	18
NUMBER OF LANDSCAPE POINTS REQUIRED:	1050.50

LANDSCAPE PLANT LIST			
TALL DECIDUOUS TREES (CANOPY TREES)			
ABM	7	Ashken's Maple	2" Cal
GO	2	Common Hackberry	2" Cal
WMB	6	Red Smooth Maple	2" Cal
MEDIUM DECIDUOUS TREES			
CBP	3	Cleveland Select Pear	1 1/2" Cal
CCR	8	Cornell Red Apple	1 1/2" Cal
MD	8	Jane Magnolia	1 1/2" Cal
LOW DECIDUOUS TREES			
FB	67	Green-Low Fragrant Sumac	18" Ht
ROB	57	Rocky-Glow Barberry	15" Ht
AC	8	Alpine Currant	15" Ht
MEDIUM DECIDUOUS SHRUBS			
GT	20	Madroperia Golden-Temple	15" Ht
MSP	30	McKay's White Potentilla	15" Ht
MD	8	Pink Knock-Out Rose	15" Ht
DM	57	Goldmound Spruce	15" Ht
GRS	68	Gumball Spruce	15" Ht
HE	8	Endless Summer Hydrangea	15" Ht
LOW DECIDUOUS SHRUBS			
BA	14	Blue Star Juniper	3" Ht
MD	21	Munro's Juniper	3" Ht
MEDIUM EVERGREEN TREES			
BSJ	10	Blue Star Juniper	15" Ht
HJ	103	Hughes Juniper	15" Ht
CUT	26	Cover's Japanese Yew	15" Ht
LOW EVERGREEN SHRUBS			
BSJ	10	Blue Star Juniper	15" Ht
HJ	103	Hughes Juniper	15" Ht
CUT	26	Cover's Japanese Yew	15" Ht
ORNAMENTAL GRASSES			
KF	21	Karl Foerster Feather Reed Grass	10" Ht
PR	30	Prairie Dropseed	4" Ht



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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.948.5000 PHONE / 608.948.5255 FAX
MADISON & MILWAUKEE
KENDRA J. APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:
GHIDORZI COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:
WINGRA CLINIC
1102 SOUTH PARK ST.

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:
SEAL/SIGNATURE:

DESIGN: J.P. 09-29-11
DRAWN: J.P. 07-11-11
APPROVED:

PLAN MODIFICATIONS: DATE:

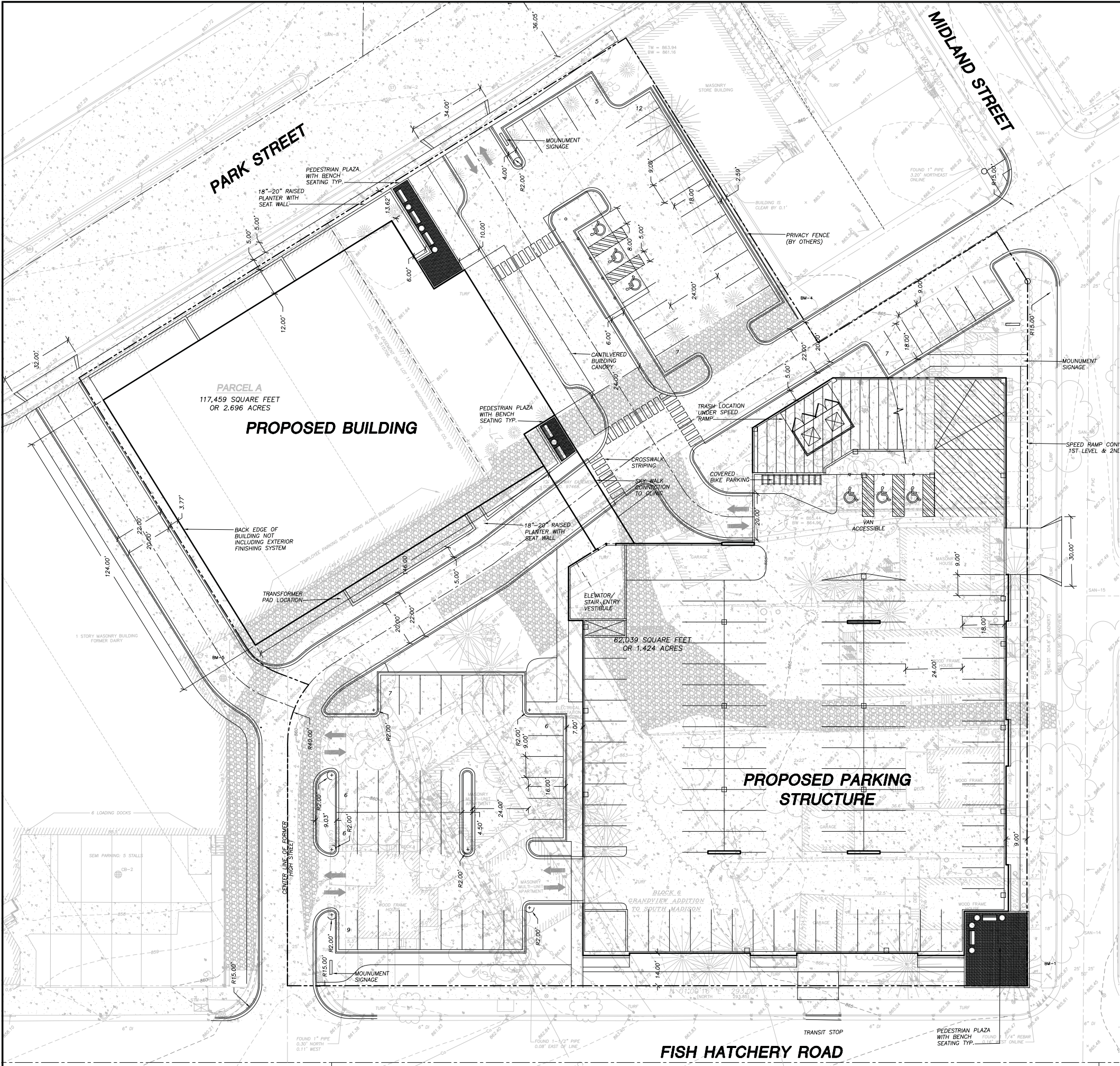
DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 255-1181
Hearing Impaired TDD (800) 542-2889
www.DiggersHotline.com

SHEET TITLE:
**SITE PLAN
LANDSCAPE PLAN**

SHEET NUMBER:

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File: J:\2011\114627\wing\11-4627 Site Plan.dwg Layout: Site Plan 24x36 User: jfram Plotted: Jul 12, 2011 - 4:55pm Xref's



LEGEND (PROPOSED)

PROPERTY LINE
CONCRETE SURFACE

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD IN MAY 2011.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

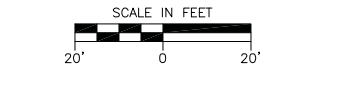
SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE:
NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800

USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A

NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 65
NUMBER OF PARKING STRUCTURE STALLS: 201
(97 1ST LEVEL, 104 2ND LEVEL)
NUMBER OF ACCESSIBLE STALLS: 7
TOTAL NUMBER OF PARKING STALLS = 266

NUMBER OF BICYCLE STALLS SHOWN: 11
NUMBER OF TREES REQUIRED (266 STALLS): 18
NUMBER OF TREES SHOWN: 18
NUMBER OF LANDSCAPE POINTS REQUIRED: 1050.50

- SITE PLAN NOTES**
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND CONSTRUCTED BY THE CITY OF MADISON AND UNDER SEPARATE CONTRACT EXCEPT AS SHOWN.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB AND GUTTER IS 18" CURB AND GUTTER UNLESS OTHERWISE NOTED.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL MARKINGS TO BE YELLOW OR WHITE PAINT PER CITY OF MADISON STANDARDS. HANDICAP SYMBOL TO BE BLUE PAINT.
 - SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.



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SERVICES PROVIDED TO:
GHIDORZI COMPANIES

**2100 STEWAT AVE, SUITE 300
WAUSAU, WI 54401**

PROJECT:
**WINGRA CLINIC
1102 SOUTH PARK ST.**

PROJECT LOCATION:
**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JLF 06-29-11
DRAWN: JLF 07-11-11
APPROVED:

PLAN MODIFICATIONS: **DATE:**

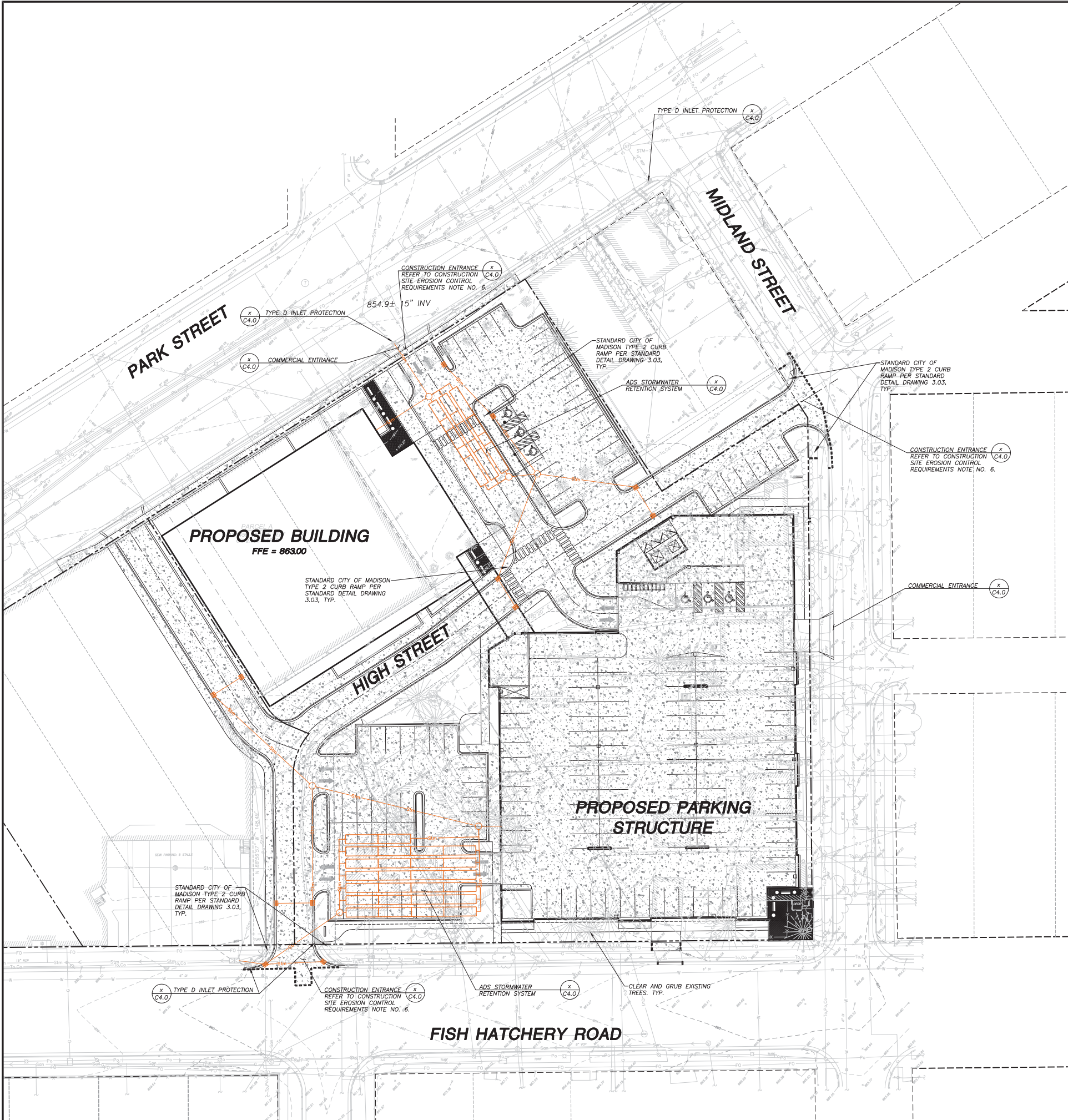
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SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1.0

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LEGEND (PROPOSED)

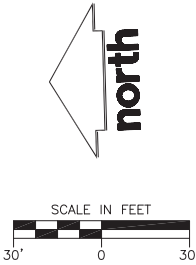
- PROPERTY LINE
- UNDERGROUND STORM WATER MANAGEMENT
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- CONCRETE PAVEMENT

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
- ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER, PER ENGINEERING PROJECT NO. XXXXXX.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OF THE PROPERTY UNLESS SPECIFIED.
- THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC FOR PAVEMENT DESIGN AND CULVERT DETAILS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WISDOT FDM FOR RESPECTIVE DETAILS.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES EXCEEDING 4:1 (25%) SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR AND WDCOMM REQUIREMENTS.



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161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE 608.848.2255 FAX
MADISON MILWAUKEE
KENOSHA APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

GHIDORZI
COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:

UW HEALTH -
WINGRA CREEK
FAMILY MEDICAL
CENTER

PROJECT LOCATION:

CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE
IN PREPARING THESE PLANS AND CHECKING
THEM FOR ACCURACY, THE CONTRACTOR
AND SUBCONTRACTORS MUST CHECK ALL
DETAIL AND DIMENSIONS OF THEIR TRADE
AND BE RESPONSIBLE FOR THE SAME.

DESIGN: DOS 6-20-2011
DRAWN: DOS 6-20-2011
APPROVED: WPW -

PLAN MODIFICATIONS:	DATE:

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:

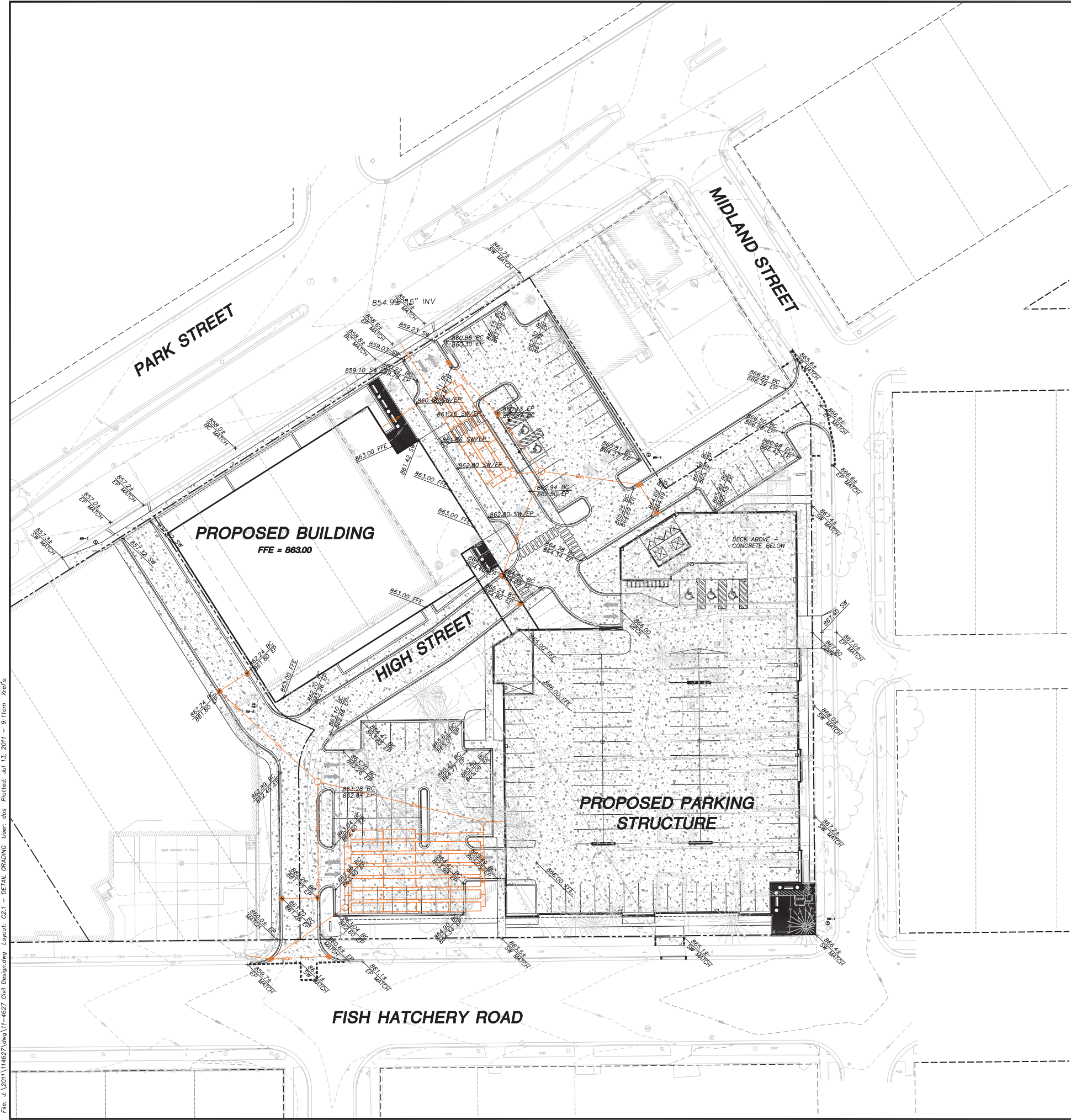
EROSION CONTROL
PLAN

SHEET NUMBER:

C2.0

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

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LEGEND (PROPOSED)

---	PROPERTY LINE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
-o-o-	SILT FENCE
- - -	EDGE OF PAVEMENT
----	SAWCUT
=====	18" CONCRETE CURB & GUTTER
=====	18" REJECT CONCRETE CURB & GUTTER
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
SPOT ELEVATION	
BC	BACK OF CURB
EP	EDGE OF PAVEMENT
RM	STRUCTURE RIM
EC	EDGE OF CONCRETE
FG	FINAL GRADE
HP	HIGH POINT

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
2. ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER CITY TRAFFIC ENGINEER, PER ENGINEERING PROJECT NO. 5382278.
4. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
5. NO SITE GRADING OUTSIDE OF THE CONSTRUCTION LIMIT LINE.
6. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDNR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
7. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
8. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
9. REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC FOR PAVEMENT DESIGN AND CULVERT DETAILS.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE BIORETENTION AND RAIN GARDEN AREAS JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
7. EXCESS MATERIAL TO BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.

SERVICES PROVIDED TO:

GHIDORZI
COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:

UW HEALTH -
WINGRA CREEK
FAMILY MEDICAL
CENTER

PROJECT LOCATION:

CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE
IN PREPARING THESE PLANS AND CHECKING
THEM FOR ACCURACY, THE CONTRACTOR
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AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	DOS	6-20-2011
DRAWN:	DOS	6-20-2011
APPROVED:	WPW	-

PLAN MODIFICATIONS:	DATE:

SHEET TITLE:

DETAIL GRADING
PLAN

SHEET NUMBER:

C2.1

- MADISON REGIONAL OFFICE**
161 HORIZON DRIVE, SUITE 101
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Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
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SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C3.0



- 
 PROPERTY LINE
 UNDERGROUND STORMWATER MANAGEMENT
 STORM SEWER
 SANITARY SEWER
 WATER MAIN
 ASPHALT PAVEMENT

DEMOLITION NOTES

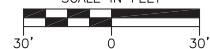
1. THIS DEMOLITION PLAN SHOULD NOT BE CONSIDERED ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION TO COMPLETE THE PROPOSED IMPROVEMENTS.
2. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
5. THE CONTRACTOR TO PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES, USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
6. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
7. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - * EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS, ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - * VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - * NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - * NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
13. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH ARTICLE 501 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
14. REMOVE ALL EXISTING BOLLARDS ALONG THE SOUTH SIDE OF THE NORTH DRAINAGE DITCH.

UTILITY NOTES

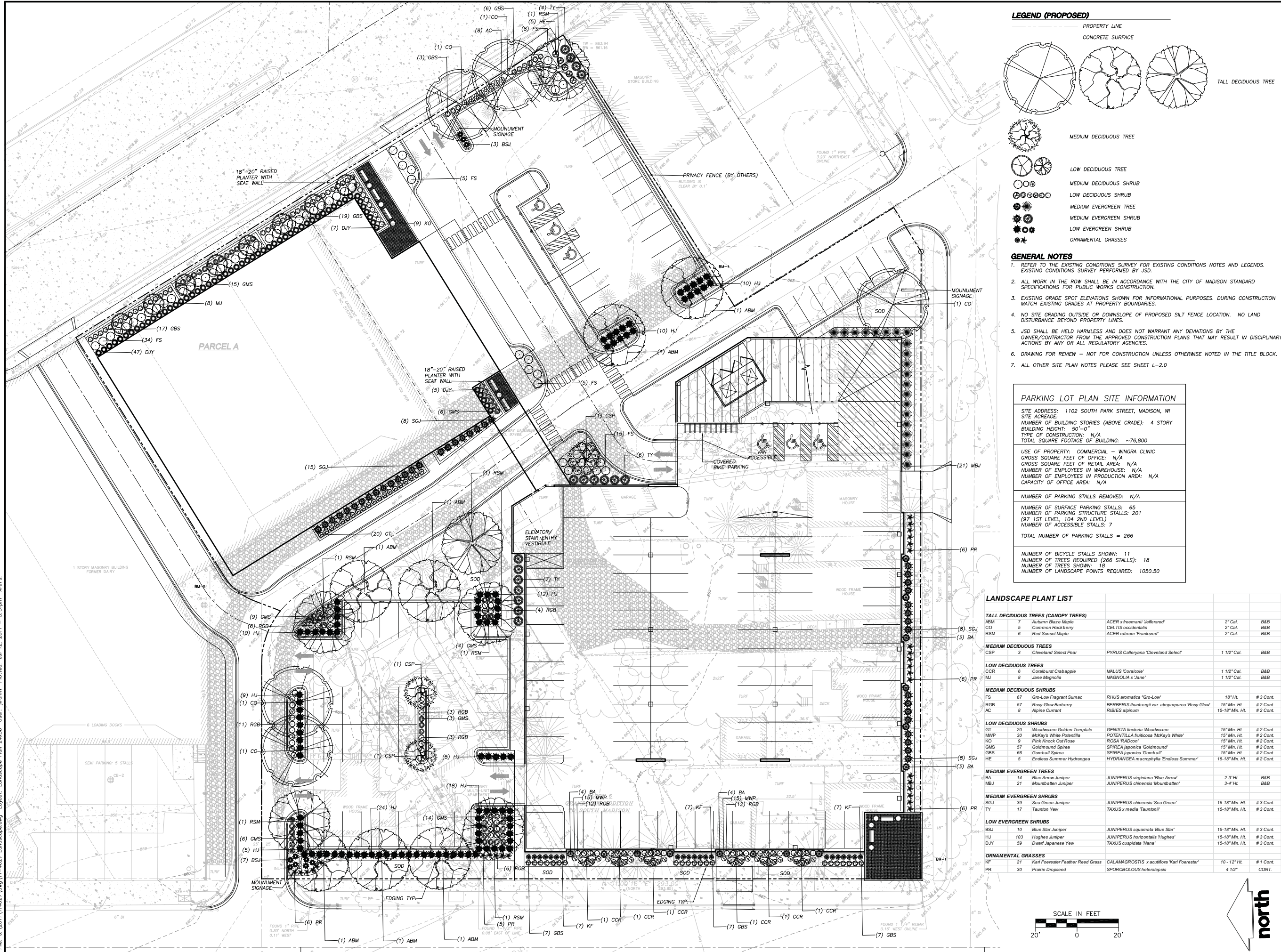
1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. SANITARY SEWER MAIN IS PUBLICLY OWNED. DESIGN OF THE MAIN IS PROVIDED BY THE CITY OF MADISON PER PROJECT NO. XXXX. INSTALLATION NOT IN CONTRACT.
5. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
6. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
7. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WIDCOMM, AND WDMR.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - * EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - * OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - * VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - * NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - * NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30, TABLE 84.30-6.
17. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CHAPTER VII. CONTACT CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO CONSTRUCTION.
18. ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
19. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30, TABLE 84.30-6.

north

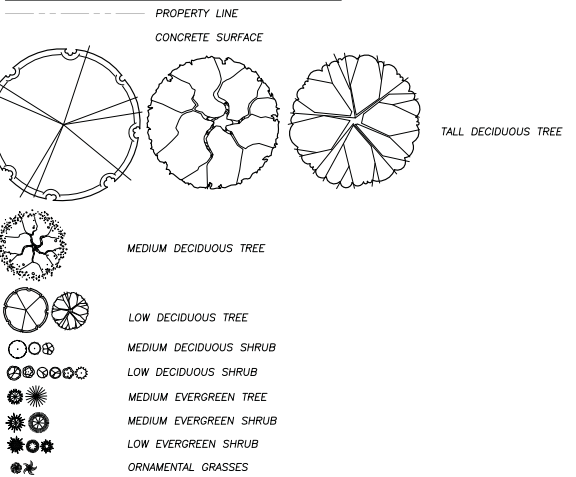
SCALE IN FEET



File: J:\2011\14627\wing\1-4627 Landscape.dwg Layout: Landscape Plan 24x36 User: jfahm Plotted: Jul 12, 2011 - 5:51pm Xref's:



LEGEND (PROPOSED)



GENERAL NOTES

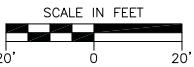
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE:
NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800
USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A
NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 65
NUMBER OF PARKING STRUCTURE STALLS: 201
(97 1ST LEVEL, 104 2ND LEVEL)
NUMBER OF ACCESSIBLE STALLS: 7
TOTAL NUMBER OF PARKING STALLS = 266
NUMBER OF BICYCLE STALLS SHOWN: 11
NUMBER OF TREES REQUIRED (266 STALLS): 18
NUMBER OF TREES SHOWN: 8
NUMBER OF LANDSCAPE POINTS REQUIRED: 1050.50

LANDSCAPE PLANT LIST

TALL DECIDUOUS TREES (CANOPY TREES)					
ABM	7	Autumn Blaze Maple	ACER x Freemanii 'Jeffersred'	2" Cal.	8&B
CO	5	Common Hackberry	CELTIS occidentalis	2" Cal.	8&B
RSM	6	Red Sunset Maple	ACER rubrum 'Franksred'	2" Cal.	8&B
MEDIUM DECIDUOUS TREES					
CSP	3	Cleveland Select Pear	PYRUS Calleryana 'Cleveland Select'	1 1/2" Cal.	8&B
LOW DECIDUOUS TREES					
CCR	6	Coralburst Crabapple	MALUS 'Coralcole'	1 1/2" Cal.	8&B
MJ	8	Jane Magnolia	MAGNOLIA x 'Jane'	1 1/2" Cal.	8&B
MEDIUM DECIDUOUS SHRUBS					
FS	67	Gr-Low Fragrant Sumac	RHUS aromatica 'Gr-Low'	18" Ht.	# 3 Cont.
RGB	57	Rosy Glow Barberry	BERBERIS thunbergii var. atropurpurea 'Rosy Glow'	15" Min. Ht.	# 2 Cont.
AC	8	Alpine Currant	RIBES alpinum	15-18" Min. Ht.	# 2 Cont.
LOW DECIDUOUS SHRUBS					
GT	20	Woodwaxen Golden Template	GENISTA tinctoria-Woodwaxen	15" Min. Ht.	# 2 Cont.
MWP	30	McKay's White Potentilla	POTENTILLA fruticosa 'McKay's White'	15" Min. Ht.	# 2 Cont.
KO	9	Pink Knock Out Rose	ROSA 'RADcon'	15" Min. Ht.	# 2 Cont.
GMS	57	Goldmound Spirea	SPIREA japonica 'Goldmound'	15" Min. Ht.	# 2 Cont.
GBS	66	Gumball Spirea	SPIREA japonica 'Gumball'	15" Min. Ht.	# 2 Cont.
HE	5	Endless Summer Hydrangea	HYDRANGEA macrophylla 'Endless Summer'	15-18" Min. Ht.	# 2 Cont.
MEDIUM EVERGREEN TREES					
BA	14	Blue Arrow Juniper	JUNIPERUS virginiana 'Blue Arrow'	2-3' Ht.	8&B
MBJ	21	Mountain Juniper	JUNIPERUS chinensis 'Mountain'	3-4' Ht.	8&B
MEDIUM EVERGREEN SHRUBS					
SGJ	39	Sea Green Juniper	JUNIPERUS chinensis 'Sea Green'	15-18" Min. Ht.	# 3 Cont.
TY	17	Taunton Yew	TAXUS x media 'Taunton'	15-18" Min. Ht.	# 3 Cont.
LOW EVERGREEN SHRUBS					
BSJ	10	Blue Star Juniper	JUNIPERUS squamata 'Blue Star'	15-18" Min. Ht.	# 3 Cont.
HJ	103	Hughes Juniper	JUNIPERUS horizontalis 'Hughes'	15-18" Min. Ht.	# 3 Cont.
DJY	59	Dwarf Japanese Yew	TAXUS cuspidata 'Nana'	15-18" Min. Ht.	# 3 Cont.
ORNAMENTAL GRASSES					
KF	21	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10-12" Ht.	# 1 Cont.
PR	30	Prairie Dropseed	SPOROBOLUS heterolepis	4 1/2"	CONT.



north

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PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JLF 06-29-11
DRAWN: JLF 07-11-11
APPROVED:

PLAN MODIFICATIONS: DATE:

DIGGERS HOTLINE

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Milwaukee Area (414) 259-1181
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www.DiggersHotline.com

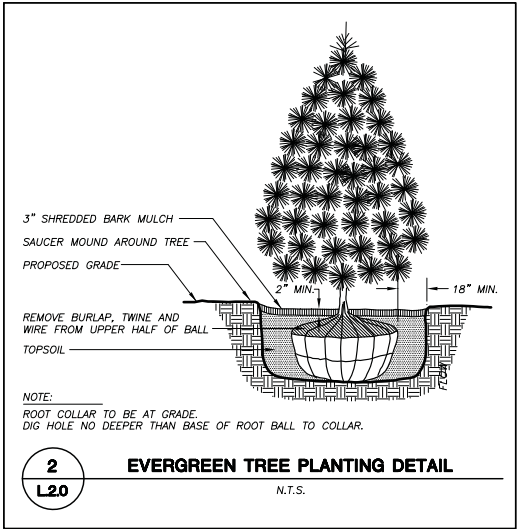
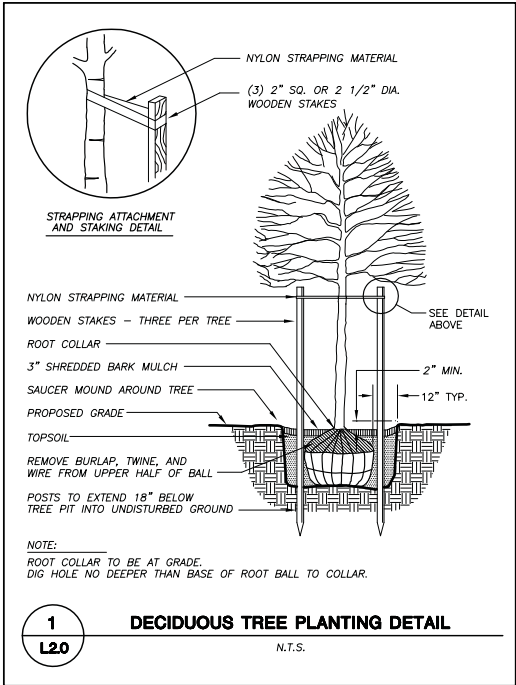
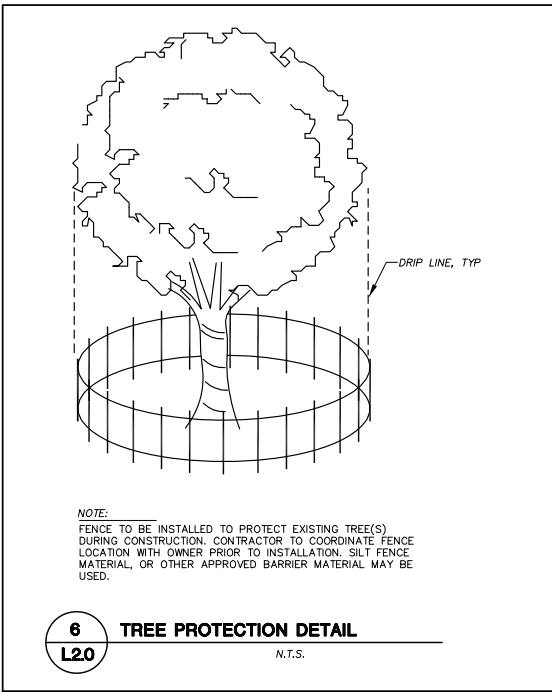
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

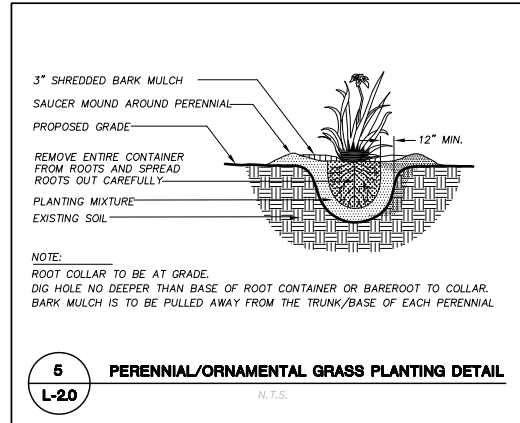
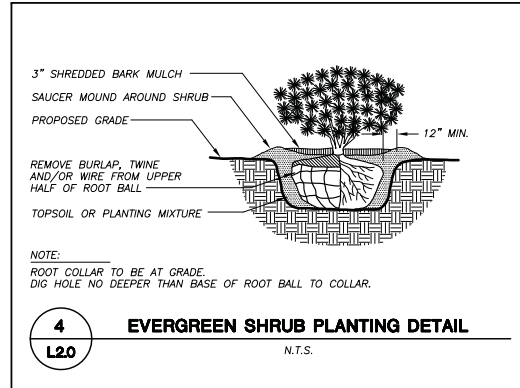
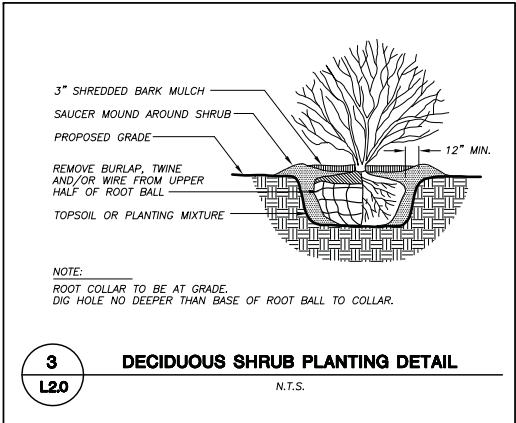
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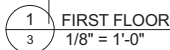


LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- SEEDING: ALL DISTURBED AREAS SHALL BE SEEDED AS SPECIFIED IN THESE NOTES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. SEEDED AREAS = 7"
 2. TREE RINGS AND PITS = SEE DETAILSPLANTING SOIL TO BE A MINIMUM 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - FERTILIZER AND MULCH: ALL TREE RINGS RECEIVE 3" OF MUSHROOM COMPOST, TILLED INTO THE TOP 12" OF ALL PLANTING BEDS. TREE RINGS SHALL AND BIORETENTION AREA SHALL RECEIVE 3" DEPTH, FINELY SHREDDED, WEED FREE, CEDAR BARK MULCH (DYE-FREE) OVER ENTIRE BED, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH ROCK COUNTY AND STATE OF WISCONSIN REQUIREMENTS. ALL TREE RINGS SHALL BE AT LEAST 6" IN DIAMETER.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING EXCEPT FOR TREE RINGS. ALL DECIDUOUS, ORNAMENTAL, AND EVERGREEN TREES NOT WITHIN EDGED LANDSCAPE BEDS SHALL BE INSTALLED WITH A 6' DIAMETER TREE RING WITH SHOVEL EDGING.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS: SOD ALL DISTURBED AREAS AS SPECIFIED IN THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.
- CONTRACTOR TO PRESERVE AND PROTECT ALL EXISTING VEGETATION. REFER TO TREE PROTECTION DETAIL FOR SPECIFIC REQUIREMENTS.



LANDSCAPE WORKSHEET					
Parking Lots, Storage Areas and Loading Areas (Section 28.34 Madison General Ordinance)					
Project Location: 1102 SOUTH PARK ST.					
Name of Project: WINGRA CLINIC					
Owner: CHUCK GHIDORZI					
Address: 3550 ANDERSON ST., P.O. BOX 7906, MADISON, WI 53704					
FOR PARKING LOTS WITH GREATER THAN 25 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT					
A. Number of Trees Required The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)					
Number of Parking Stalls				266	
Total Square Footage of the Storage Area (Divided by Three Hundred (300) Square Feet)				0	
Number of Existing Shade Trees Preserved (1" = 10' Caliper) (See Schedule on reverse side)				18	
TOTAL				266	
B. Number of Landscape Points Required The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 400 points are required for 10 stalls. A point is defined as: (1) or less may be designated, while a fraction is rounded up (2) must be counted as one point. Thus, 40.5 points would be rounded upward to 41 points required.)					
Number of points required for existing areas (175 points for each existing lawn) (See Schedule on reverse side)				0	
TOTAL				1050.50	
Number of Points Required (See Schedule on reverse side): 1050.50					
Tabulation of Points and Credits Indicate below the quantity and points for all pertinent landscape elements. Also credit information for landscape elements and any existing elements to be retained.					
Element	Point Value	Quantity	Points	Quantity	Points
Existing Tree 2" - 2.99"	10	18	0		
Existing Tree 3" - 4.99"	20	179	636		
Existing Tree 5" - 6.99"	30	228	684		
Existing Tree 7" - 7.99"	40				
Existing Tree 8" - 8.99"	50				
Existing Tree 9" - 9.99"	60				
Existing Tree 10" - 10.99"	70				
Existing Tree 11" - 11.99"	80				
Existing Tree 12" - 12.99"	90				
Existing Tree 13" - 13.99"	100				
Existing Tree 14" - 14.99"	110				
Existing Tree 15" - 15.99"	120				
Existing Tree 16" - 16.99"	130				
Existing Tree 17" - 17.99"	140				
Existing Tree 18" - 18.99"	150				
Existing Tree 19" - 19.99"	160				
Existing Tree 20" - 20.99"	170				
Existing Tree 21" - 21.99"	180				
Existing Tree 22" - 22.99"	190				
Existing Tree 23" - 23.99"	200				
Existing Tree 24" - 24.99"	210				
Existing Tree 25" - 25.99"	220				
Existing Tree 26" - 26.99"	230				
Existing Tree 27" - 27.99"	240				
Existing Tree 28" - 28.99"	250				
Existing Tree 29" - 29.99"	260				
Existing Tree 30" - 30.99"	270				
Existing Tree 31" - 31.99"	280				
Existing Tree 32" - 32.99"	290				
Existing Tree 33" - 33.99"	300				
Existing Tree 34" - 34.99"	310				
Existing Tree 35" - 35.99"	320				
Existing Tree 36" - 36.99"	330				
Existing Tree 37" - 37.99"	340				
Existing Tree 38" - 38.99"	350				
Existing Tree 39" - 39.99"	360				
Existing Tree 40" - 40.99"	370				
Existing Tree 41" - 41.99"	380				
Existing Tree 42" - 42.99"	390				
Existing Tree 43" - 43.99"	400				
Existing Tree 44" - 44.99"	410				
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Existing Tree 177" - 177.99"	1740				
Existing Tree 178" - 178.99"	1750				
Existing Tree 179" -					



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ARCHITECTURAL RENDERING



PARK ST. FRONT ENTRY OVERVIEW

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FISH HATCHERY RD. MIDLAND ST. OVERVIEW

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PARK ST. MIDLAND ST. OVERVIEW

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INTERIOR DRIVE LOOKING EAST OVERVIEW

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FISH HATCHERY RD. STREETScape OVERVIEW

PLEASE NOTE: OVERVIEW DEPICTS RIGHT OF WAY ACQUISITION OF 6'-0" FROM EXISTING RIGHT OF WAY



MIDLAND ST. STREETScape OVERVIEW

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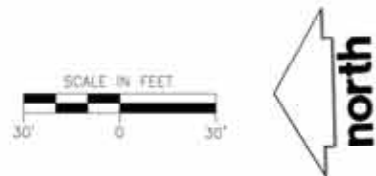
CLARK ST. CONCEPTUAL FUTURE MASSING PLAN

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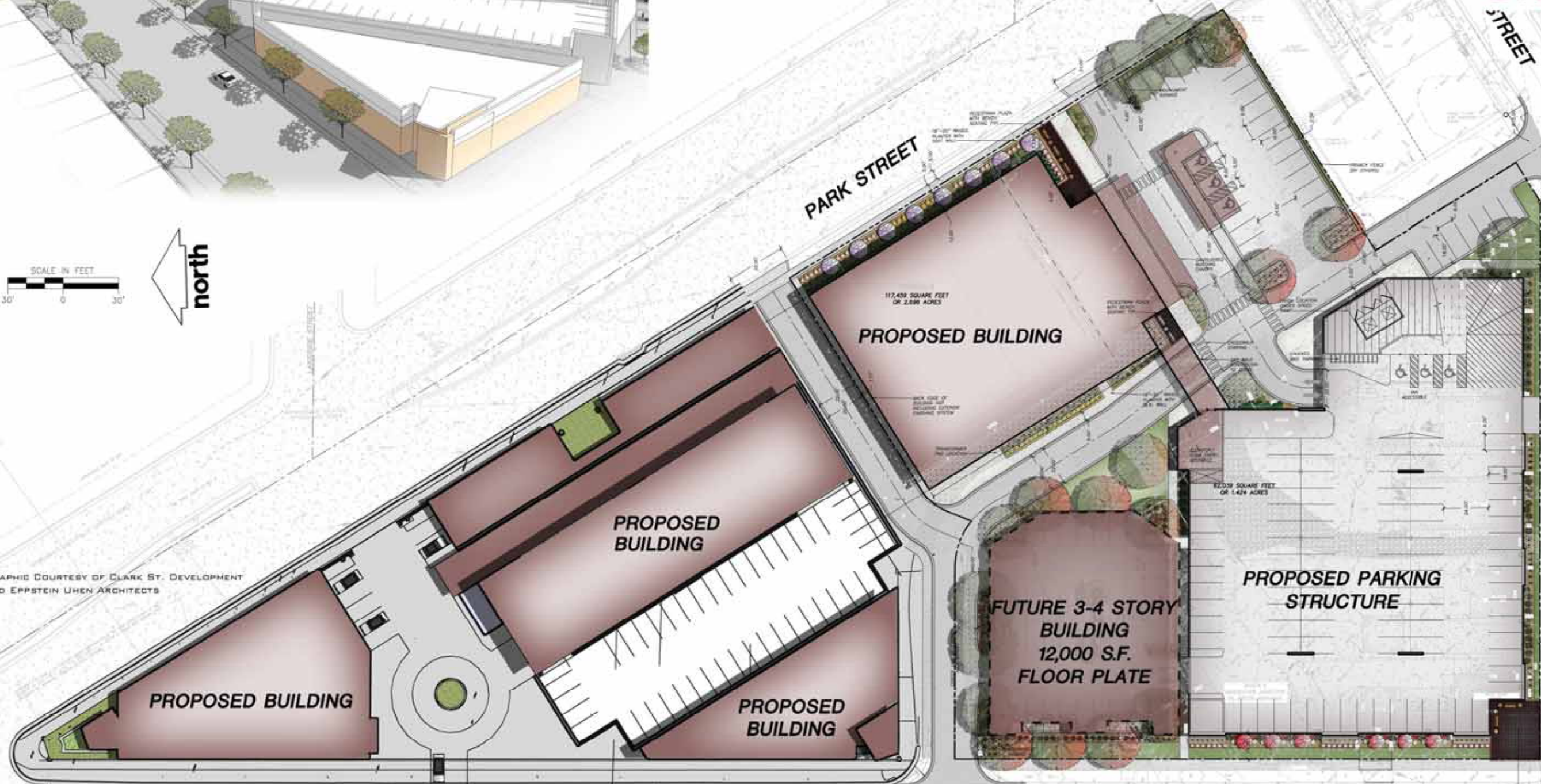
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WINGRA CLINIC SITE PLAN/CLARK ST. DEVELOPMENT



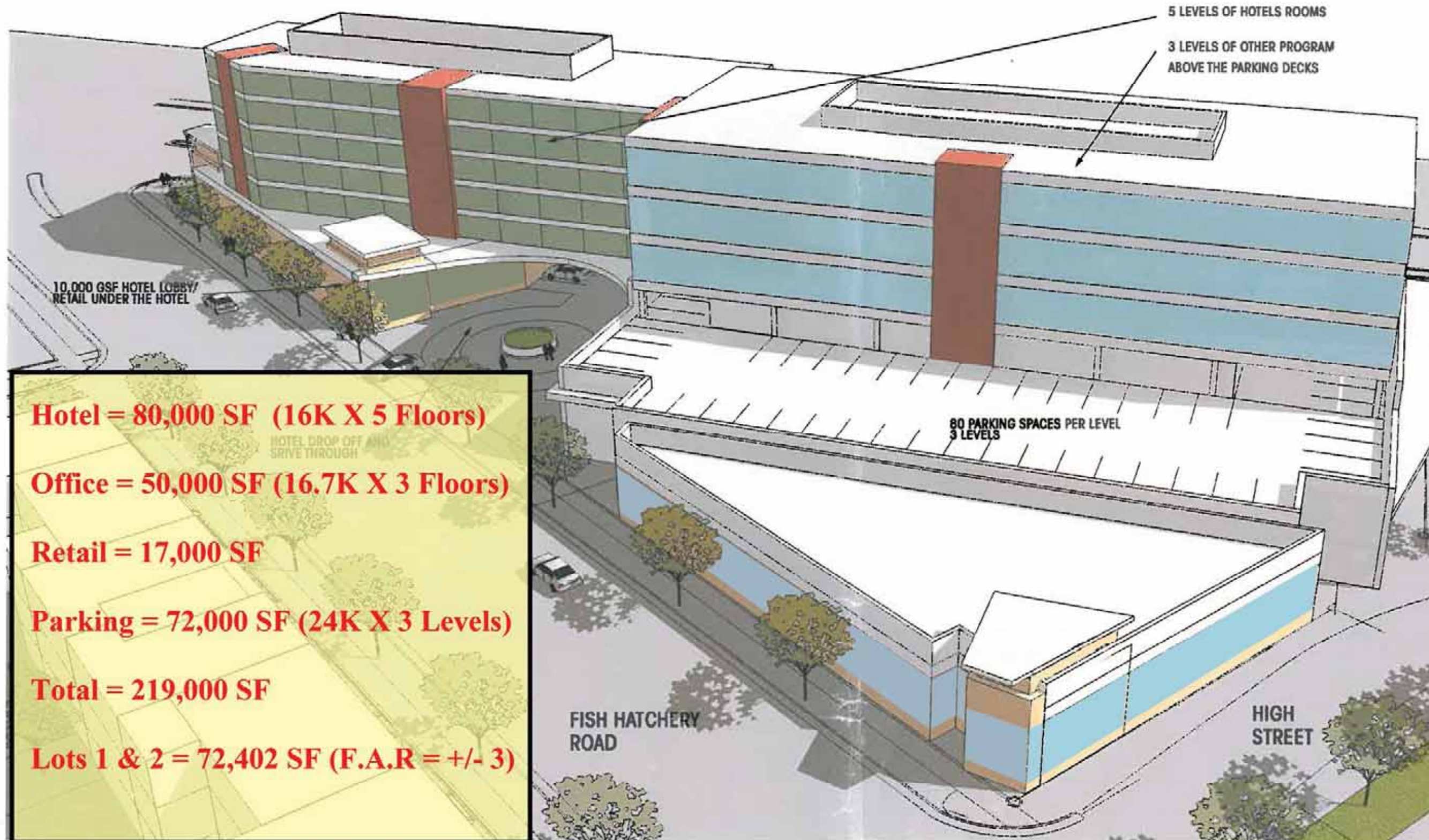
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CLARK ST./EPPSTEIN UHEN ARCHITECTS

UW HEALTH WINGRA CLINIC CONCEPT

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PROPOSED WINGRA CLINIC
FISH HATCHERY RD./SOUTH PARK ST.
MADISON, WI

06/27/2011
FOR PLANNING PURPOSES ONLY



Hotel = 80,000 SF (16K X 5 Floors)

Office = 50,000 SF (16.7K X 3 Floors)

Retail = 17,000 SF

Parking = 72,000 SF (24K X 3 Levels)

Total = 219,000 SF

Lots 1 & 2 = 72,402 SF (F.A.R = +/- 3)

TOTAL PARKING SPACES ON SITE = 247+12 ADDITIONAL SURFACE = 259 TOTAL

RETAIL SPACE UNDER HOTEL = 10,000 GSF

PARK STREET RETAIL = 5,900 GSF

FISH HATCHERY ROAD RETAIL = 7,000 GSF

HOTEL ROOMS = 105

BUILDING PROGRAM ABOVE PARKING DECKS = 16,700/FLR (50,100 GSF)

Wingra Market Study and Conceptual
Redevelopment Plan Summary Report



City of Madison, Department of Planning and Development, Planning Unit
June, 2005

VIEW LOOKING SOUTH

Corner of South Park St. and Fish Hatchery



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APPENDIX IV: SUMMARY OF LONG-TERM AND SHORT-TERM REVITALIZATION STRATEGIES BY SUBAREA

The information contained in this section summarizes the long-term and short-term revitalization strategies by subarea.

Subarea 1: Post Office and Madison Labor Temple Sites

Subarea 2: **Copps Food Center and 1244 Plaza**

Subarea 3: Dean Clinic Site

Subarea 4: St. Marys and Strand Associates Sites

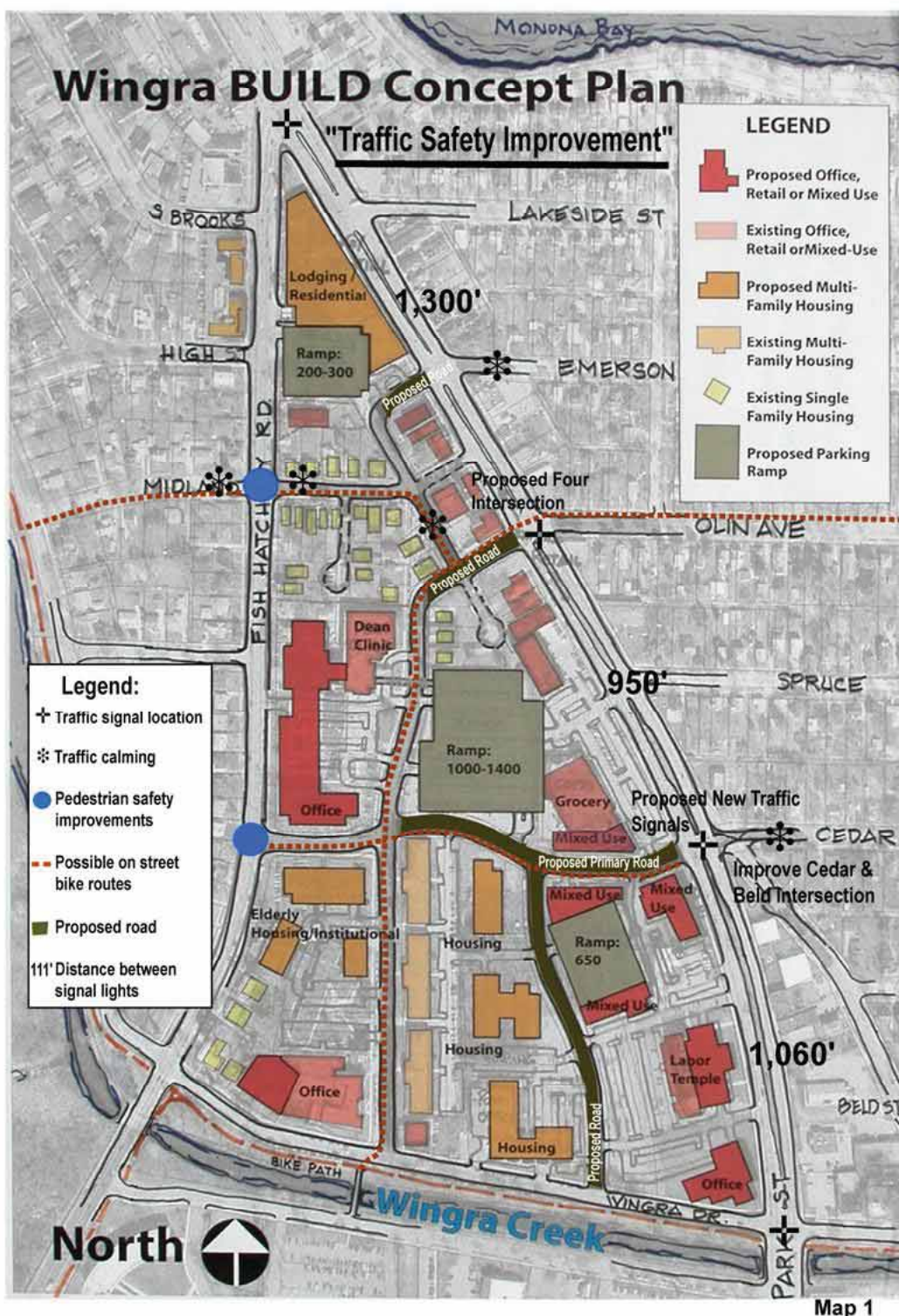
Subarea 5: Dean/Morningstar Dairy Site

Subarea 6: Neighborhood Residential Infill

Subarea 7: Park Street Commercial



Map 8: Wingra Creek Target: Subareas



Wingra Markert Study and Conceptual Development Plan Summary Report
Transportation Supplement
02/16/2006

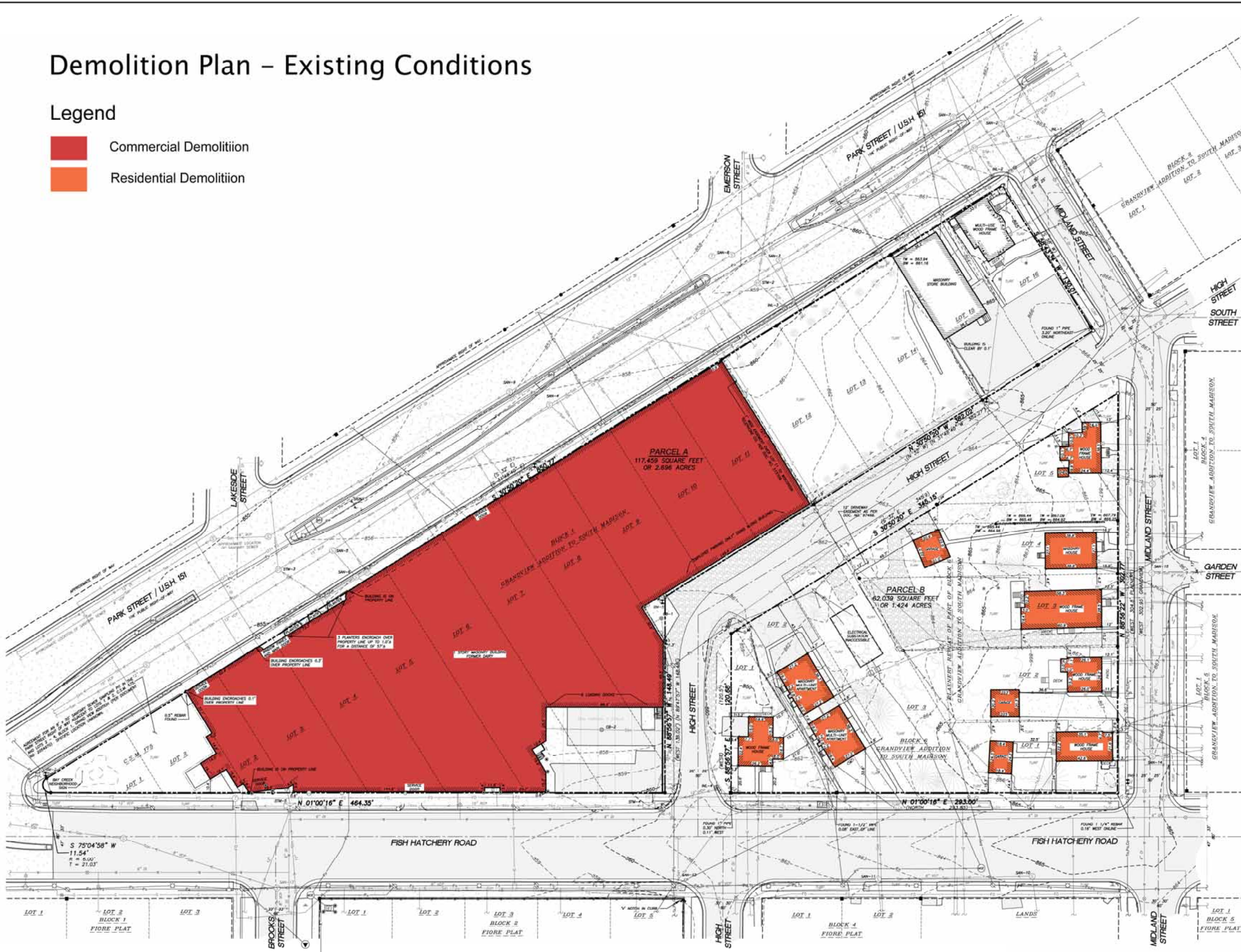
Map at Right: Illustrates Wingra Clinic Location in relationship to conceptual planning of Wingra Market Study. Uses incorporate a 4-story building approximately 76,000 square feet of 1st and 2nd floor clinic, 3rd floor academic classroom and office and 4th floor hospital expansion. A 213 stall parking deck as well as 72 stall surface stalls gain a total of 285 parking stalls for the defined uses. The plan closely aligns with development concepts produced for the remainder of the property located to the north between S. Park St. and Fish Hatchery Road. A Lodging/Residential use would compliment traffic and circulation design in the rear of the proposed Wingra Clinic building. The proposed parking deck would also accommodate vertical expansion for future parking needs



Demolition Plan – Existing Conditions

Legend

- Commercial Demolition
- Residential Demolition



- LEGEND**
- 1/2" REBAR SET (1.50 LBS/LF)
 - 1" IRON PIPE FOUND
 - 2" IRON PIPE FOUND
 - 1 1/2" REBAR FOUND
 - 3/4" REBAR FOUND
 - REBAR FOUND (SIZE NOTED)
 - CHISELED "X" FOUND
 - CHISELED "V" NOTCH FOUND
 - BENCHMARK
 - BOLLARD
 - POST
 - SIGN
 - DANE COUNTY WARNING SIGN
 - SATELLITE DISH
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER OR GAS VALVE
 - STORM MANHOLE
 - ROUND CASTED INLET
 - CURB INLET
 - STORM SEWER ACCESS
 - DOWNSPOUT
 - GAS REGULATOR/METER
 - MANHOLE
 - MSAE MANHOLE
 - ELECTRIC TRANSFORMER
 - POWER POLE W/OLY
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - PULL BOX
 - SIGNAL CONTROLLER BOX
 - VAULT
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - PARCEL BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - PLATTED LOT LINE
 - CHORD LINE
 - EASEMENT LINE
 - FENCE LINE
 - GUARD OR SAFETY RAIL
 - STONE WALL
 - LANDSCAPE LIMITS
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - EDGE OF GRAVEL
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - OVERHEAD TELEPHONE
 - UNDERGROUND TELEPHONE
 - FIBER OPTIC
 - OVERHEAD CABLE
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL OR ROCK
 - DISCONTINUED MAPPED PIPE LINE
 - RECORDED INFORMATION
 - TOP AND BOTTOM OF RETAINING WALL ELEVATIONS

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. DURING THE WEEK OF APRIL 11TH, 2011.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE (WCCS DANE).
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER OF SECTION 26, 17N, 10E, ELEVATION = 865.99'.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES. LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NOS. 20111504227, 20111504213, 20111504405, 20111504277, 20111504311, 20111504257, 20111504235, 20111504199, 20111503508, 20111503460, 20111503473.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL LIES IN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FLOOD INSURANCE RATE MAP NO. 50025C04176, DATED JANUARY 02, 2008.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION:

PARCEL A:
LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, AND 16, BLOCK 1, GRANDVIEW ADDITION TO SOUTH MADISON, EXCEPT THE 1/4" REBAR SET IN LOT 1 FOR SOUTH PARK STREET RIGHT OF WAY, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL B:
LOTS 1, 2, AND 3 OF BLOCK SIX 6, GRANDVIEW ADDITION TO SOUTH MADISON, AND LOTS 1, 2, 3, 4, AND 5, PLANNET REPEAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, DAVE M. JENKINS, WISCONSIN REGISTERED LAND SURVEYOR NO. 9,255, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE M. JENKINS, S-2255
REGISTERED LAND SURVEYOR

DATE _____

PROJECT NO. 11-4627

FILE NO. E-65

SURVEYED: MAD/JDS

F.B. NO/PG. 246/119

SHEET NO. 1 OF 1

PREPARED FOR:
GRANDVIEW COMPANIES
2100 STEWART AVENUE, SUITE 300
WAUSAU, WI 54481

SANITARY SEWER MANHOLES					STORM SEWER MANHOLES				
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE	STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
SAN-1	866.67	SW	849.27 8"	VCP	SAN-10	864.84	N	857.82 8"	VCP
		NE	849.52 8"	VCP			N	857.82 8"	VCP
SAN-2	862.81	SW	849.01 8"	VCP	SAN-11	862.48	S	855.56 8"	VCP
		SE	853.31 12"	VCP			E	855.69 8"	VCP
SAN-3	858.42	NW	848.91 12"	VCP	SAN-12	860.04	N	855.46 8"	VCP
		SE	846.50 12"	VCP			E	853.68 8"	VCP
SAN-4	857.78	SW	849.30 6"	VCP	SAN-13	855.26	N	852.82 8"	VCP
		NW	848.52 12"	VCP			W	847.26 8"	VCP
SAN-5	856.09	SE	848.18 12"	VCP	SAN-14	866.07	N	852.82 8"	VCP
		NW	846.72 12"	VCP			N	852.82 8"	VCP
SAN-6		NW	846.72 12"	VCP	SAN-15	867.00	N	852.82 8"	VCP
		SE	846.72 12"	VCP			N	852.82 8"	VCP
SAN-7	861.58	SE	852.38 8"	VCP	SAN-16	867.39	N	852.82 8"	VCP
		NE	852.43 8"	VCP			N	852.82 8"	VCP
SAN-8	858.52	NW	849.19 8"	VCP			N	852.82 8"	VCP
		SE	849.19 8"	VCP			N	852.82 8"	VCP
SAN-9	856.95	SE	847.96 8"	VCP			N	852.82 8"	VCP
		NW	847.96 8"	VCP			N	852.82 8"	VCP

STORM SEWER INLETS				
INLET ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE TYPE
INL-1	862.77	N	859.67 12"	RCP
INL-2	862.00	NW	859.60 12"	RCP
INL-3	858.35	NW	856.40 8"	PVC
INL-4	860.21	N	857.96 12"	RCP
INL-5	859.43	NE	857.63 12"	VCP
CB-1	860.12	N	857.96 12"	VCP
CB-2		N	857.96 12"	VCP

BENCHMARKS				
BENCH MARK	ELEVATION	DESCRIPTION		
BM-1	870.74	TOP NUT ON HYDRANT AT THE NORTHEAST CORNER OF FISH HATCHERY ROAD AND MIDLAND STREET		
BM-2	854.21	TOP OF A 1/4" REBAR AT THE NORTHEAST LOT CORNER OF LOT 1, CSM 175		
BM-3	857.39	CHISELED "X" IN FRONT OF THE DARY BUILDING, NEAR THE EAST PROPERTY LINE OF LOT 6, BLOCK 1, GRANDVIEW		
BM-4	864.75	TOP OF A 1/4" REBAR AT THE SOUTH LOT CORNER OF LOT 14, BLOCK 1, GRANDVIEW		
BM-5	860.56	CHISELED "X" IN BEHIND THE DARY BUILDING, NEAR THE WEST PROPERTY LINE OF LOT 9, BLOCK 1, GRANDVIEW		

EXISTING CONDITIONS SURVEY

LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3 THROUGH 16, BLOCK 1 AND ALL OF LOTS 1 THROUGH 3, BLOCK 6, GRANDVIEW ADDITION TO SOUTH MADISON, LOTS 1 THROUGH 5, PLANNET REPEAT OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

1600 W. MONROE STREET
SUITE 200
MADISON, WI 53703
PHONE: (608) 248-1060

PROJECT NO. 11-4627
FILE NO. E-65
SURVEYED: MAD/JDS
F.B. NO/PG. 246/119
SHEET NO. 1 OF 1