



Legend:

— Project Boundary

↗ Viewshed

Viewshed Legend:

- 1 - View Looking West From Fish Hatchery Road
- 2 - Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West
- 3 - View Looking West From Fish Hatchery Road & S. Park St.
- 4 - View Looking North East from South Park Street
- 5 - View Looking East from South Park Street
- 6 - View Looking East from South Park Street
- 7 - View Looking South West from High Street
- 8 - View Looking South from Midland Street
- 9 - View Looking South West from Midland to Garden Street



40 0 40

EXISTING CONDITIONS AERIAL

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

PROPOSED WINGRA CLINIC SITE
FISH HATCHERY RD./SOUTH PARK ST.

MADISON, WI

05/20/2011

FOR PLANNING PURPOSES ONLY



View Looking West From Fish Hatchery Rd.



View Looking East from South Park Street



Elevation Building Massing of Proposed Apartments at Fish Hatchery Looking West



View Looking East from South Park Street



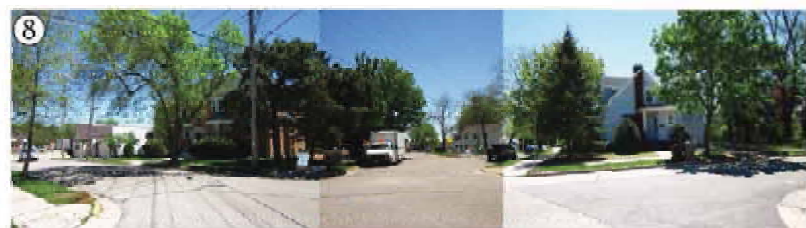
View Looking West From Fish Hatchery Rd. & S. Park St. Intersection



View Looking South West from High Street



View Looking North West from Intersection of Fish Hatchery Road and South Park Street



View Looking South From Midland Street



View Looking North East from South Park Street



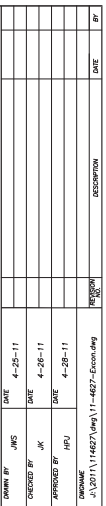
View Looking South West From Midland to Garden Street

EXISTING CONDITIONS DISPLAY

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

PROPOSED WINGRA CLINIC SITE
FISH HATCHERY RD./SOUTH PARK ST.
MADISON, WI

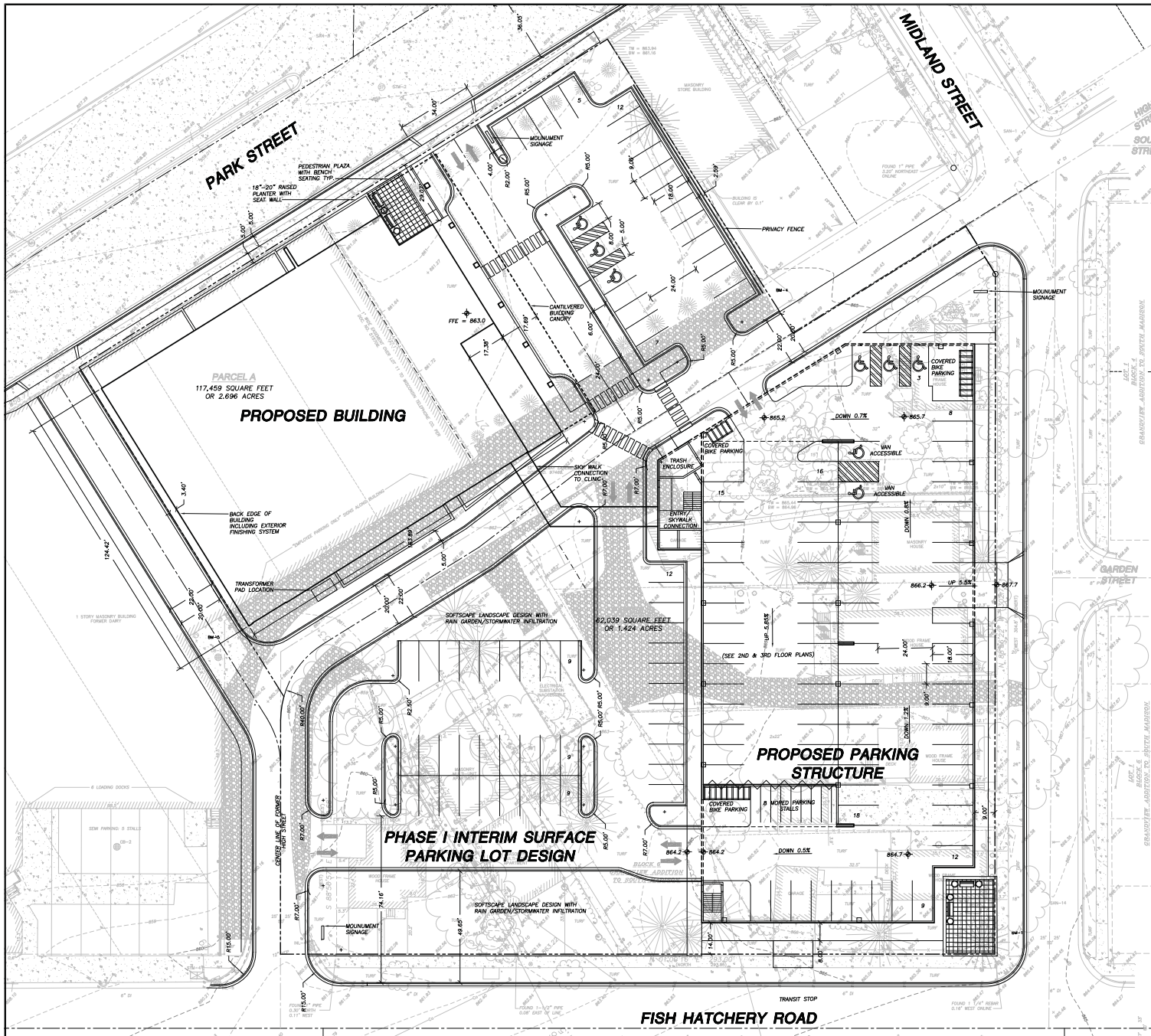
06/20/2011
FOR PLANNING PURPOSES ONLY



PROJECT NO: 11-4627
FILE NO: E-65
SURVEYED: MAD/JDS
F.B. NO/PG: 246/119

LOTS 1 AND 2 CSM 175, PART OF LOT 2 AND LOTS 3 THROUGH 16, BLOCK 1 AND ALL OF LOTS 1 THROUGH 3, BLOCK 6, GRANDVIEW ADDITION TO SOUTH MADISON, LOTS 1 THROUGH 5, PLANNET REPLAY OF PART OF BLOCK 6 GRANDVIEW ADDITION TO SOUTH MADISON, ALL LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
 51 HORIZON DRIVE, SUITE 101
 KIRKLAND, WISCONSIN 53933
 PHONE: (608) 848-5060



LEGEND (PROPOSED)

PROPERTY LINE

GENERAL NOTES

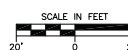
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACRAGE: 1.424 ACRES
NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800
USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A
NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 63
NUMBER OF MOVED STALLS SHOWN: 8
NUMBER OF PARKING STRUCTURE STALLS: 239
(81 1ST LEVEL, 92 2ND LEVEL, 66 3RD LEVEL)
TOTAL NUMBER OF ACCESSIBLE STALLS: 8
TOTAL NUMBER OF PARKING STALLS = 302
NUMBER OF BICYCLE STALLS SHOWN: 20
NUMBER OF MOVED STALLS SHOWN: 8
NUMBER OF TREES REQUIRED (302 STALLS): 19
NUMBER OF TREES SHOWN: 19
NUMBER OF LANDSCAPE POINTS REQUIRED: 1158.7

SITE PLAN NOTES

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND CONSTRUCTED BY THE CITY OF MADISON AND UNDER SEPARATE CONTRACT EXCEPT AS SHOWN.
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL RADI TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER IS 18" CURB AND GUTTER UNLESS OTHERWISE NOTED.
5. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
6. ALL MARKINGS TO BE YELLOW OR WHITE PAINT PER CITY OF MADISON STANDARDS. HANDICAP SYMBOL TO BE BLUE PAINT.
7. SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.



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MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
608.836.5000 PHONE | 608.836.5200 FAX
MADISON | DELWAUGH
KEESHA | APPLETON
www.jedline.com

SERVICES PROVIDED TO:
GHIDORZI COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:
WINGRA CLINIC
1102 SOUTH PARK ST.

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JOB PROJECT NO.:
08-24-11

DESIGNER:
JSD
08-24-11

APPROVER:
JSD
08-24-11

PLAN MODIFICATIONS:
CITY OF MADISON
08-24-11

DATE:
08-24-11

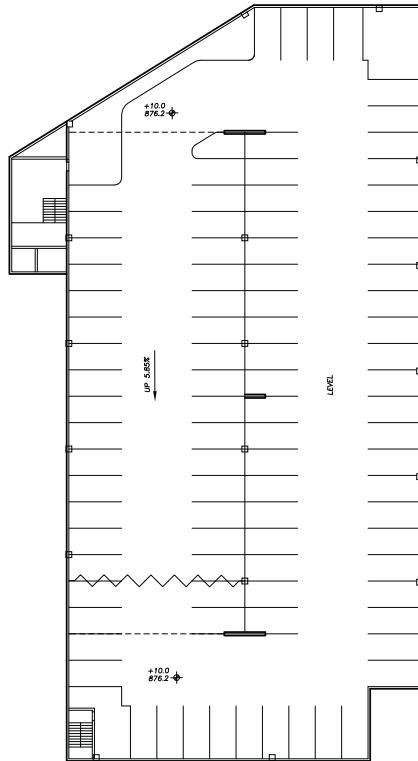
DESIGNER'S HOTLINE
Toll Free (800) 242-8511
Madison Area (608) 242-8511
Healing Springs (800) 542-5288
www.Diggeratoll.com

SHEET TITLE:
SITE PLAN
OPTION 1

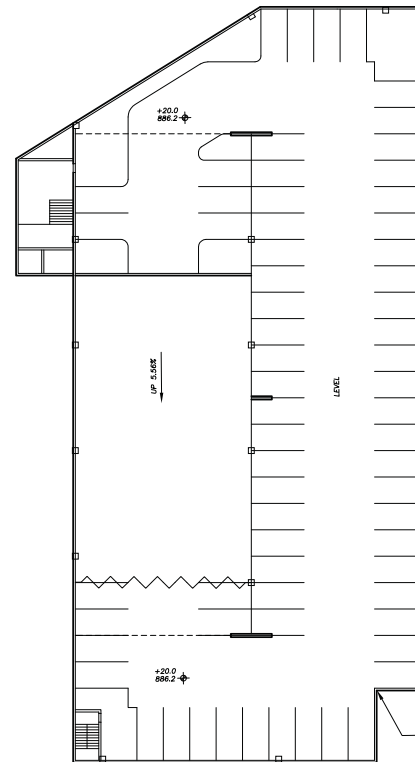
SHEET NUMBER:
C-1.0

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2ND FLOOR - CITY OF MADISON CONCEPT - 92 STALLS
 FLOOR TO FLOOR HEIGHT = 10'-0"
 CLEAR HEIGHT = 7'-9"



3RD FLOOR - CITY OF MADISON CONCEPT - 66 STALLS
 FLOOR TO FLOOR HEIGHT = 10'-0"
 CLEAR HEIGHT = 7'-9"



TOTAL HEIGHT ABOVE
 GRADE @ FISH
 HATCHERY ST. SIDEWALK
 (866.00) = 23.70'

TOTAL HEIGHT ABOVE
 GRADE @ MIDLAND
 ST. SIDEWALK
 (867.12) = 22.58'

SCALE IN FEET
 20' 0 20'

north

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- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

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 www.jsdinc.com

SERVICES PROVIDED TO:
GHIDORZI COMPANIES

**2100 STEWART AVE, SUITE 300
 WAUSAU, WI 54401**

PROJECT:
**WINGRA CLINIC
 1102 SOUTH PARK ST.**

PROJECT LOCATION:
**CITY OF MADISON
 DANE COUNTY, WI**

JSD PROJECT NO.:

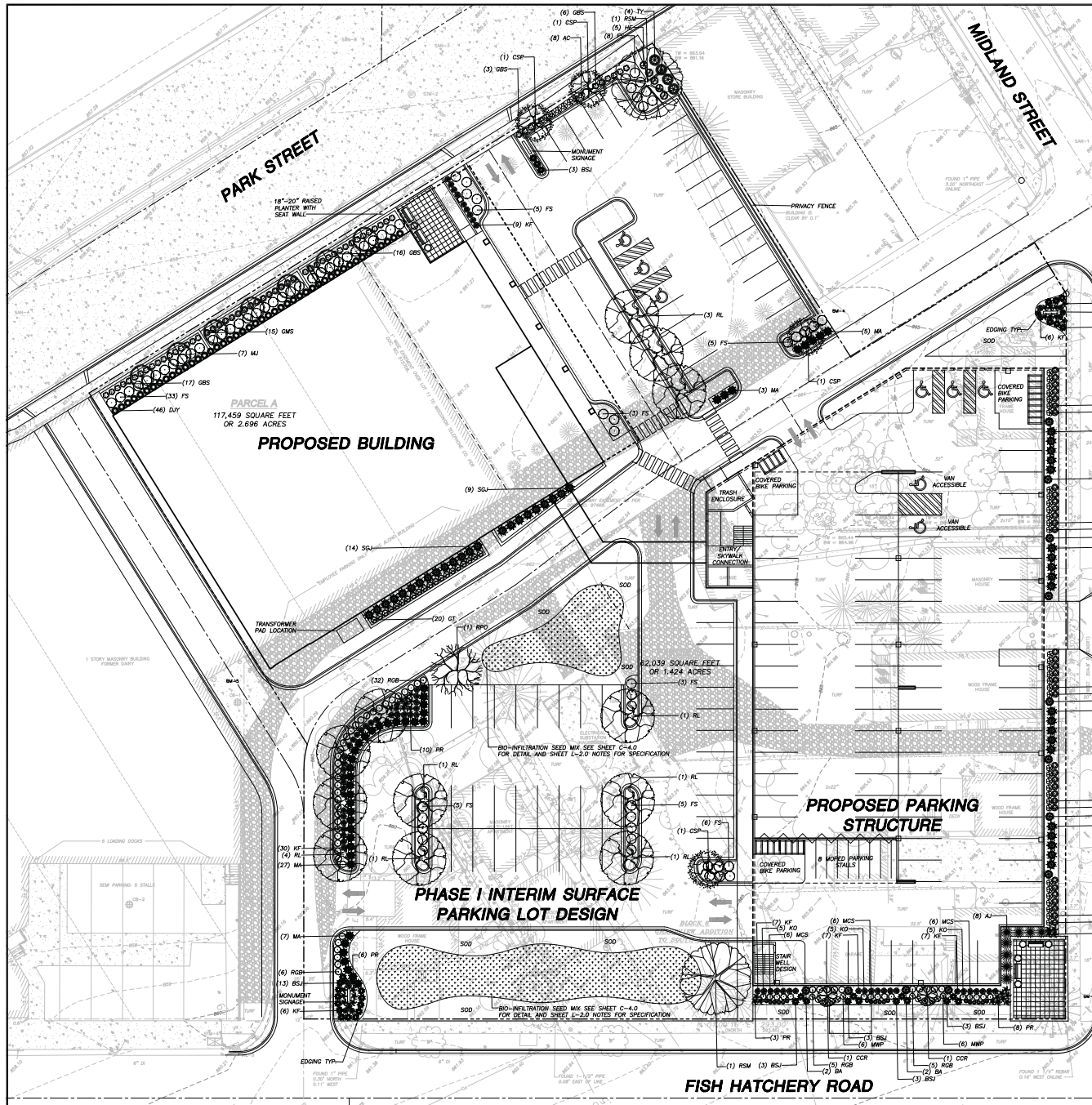
DESIGNER: JLF 08-24-11
DRAWN: JLF 08-24-11
APPROVED:

PLAN INFORMATION: DATE: 08-31-11
 CITY OF MADISON

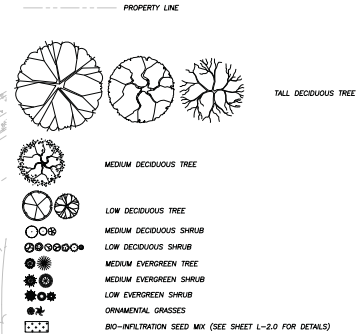
DESIGNER'S HOTLINE
 Toll Free (800) 242-8011
 Milwaukee Area (414) 252-1191
 Hearing Impaired TDD (800) 542-5288
 www.DiggerstoThe.com

PROJECT TITLE:
**SITE PLAN
 PARKING STRUCTURE
 LAYOUT
 OPTION 1**

PROJECT NUMBER:
C-1.1



LEGEND (PROPOSED)



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE:
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800

USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A

NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 63
NUMBER OF SURFACE ACCESSIBLE STALLS: 3
NUMBER OF PARKING STRUCTURE STALLS: 239
(#1 1ST LEVEL, #2 2ND LEVEL, #3 3RD LEVEL)
TOTAL NUMBER OF ACCESSIBLE STALLS: 8
TOTAL NUMBER OF PARKING STALLS: 302

NUMBER OF BICYCLE STALLS SHOWN: 12
NUMBER OF MOVED STALLS SHOWN: 8
NUMBER OF TREES REQUIRED (302 STALLS): 19
NUMBER OF TREES SHOWN: 19
NUMBER OF LANDSCAPE POINTS REQUIRED: 1159.70
NUMBER OF LANDSCAPE POINTS SHOWN: 1594.0

LANDSCAPE PLANT LIST

TALL DECIDUOUS TREES (CANOPY TREES)	ACER rubrum 'Fraxinoid'	2" Cal.	#68
BSU	Tilia americana 'Madrona'	2" Cal.	#68
BSU	Quercus macrocarpa	2" Cal.	#68
MEDIUM DECIDUOUS TREES	PRUNUS californica 'Cleveland Select'	1.5" Cal.	#68
CSP	Malus 'Crimson Tide'	1.5" Cal.	#68
LOW DECIDUOUS TREES	Malus 'Crimson Tide'	1.5" Cal.	#68
CSP	Malus 'Crimson Tide'	1.5" Cal.	#68
MEDIUM DECIDUOUS SHRUBS	PRUNUS americana 'Stella Lou'	18" Ht.	#3 Cont.
FS	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MA	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MEDIUM DECIDUOUS SHRUBS	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MA	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
LOW EVERGREEN SHRUBS	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MA	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
LOW EVERGREEN SHRUBS	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MA	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
ORNAMENTAL GRASSES	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.
MA	SPARGANGLIA angustifolia 'Green Mound'	15-18" Ht.	#3 Cont.



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SERVICES PROVIDED TO:
GHIDORZI COMPANIES

**2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401**

PROJECT:
**WINGRA CLINIC
1102 SOUTH PARK ST.**

PROJECT LOCATION:
**CITY OF MADISON
DANE COUNTY, WI**

JOB PROJECT NO.:
REAL SIGNATURE:

APPROVED:
DATE:

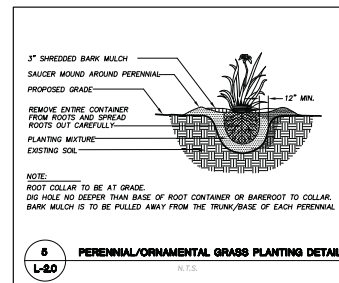
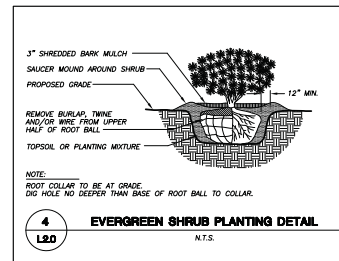
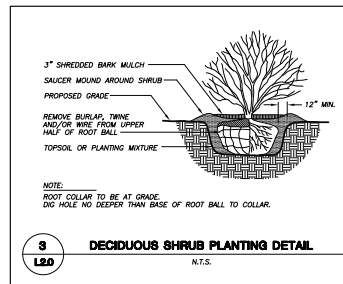
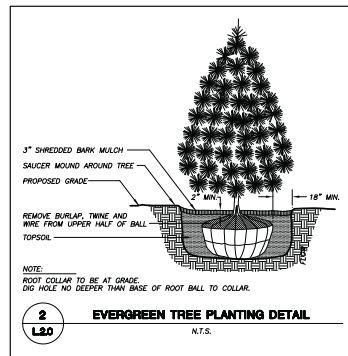
PLAN MODIFICATIONS:
CITY OF MADISON:

DIAGRAMS & HOTLINE
Toll Free (800) 242-8511
Madison Area (608) 242-8511
Headquarters (708) 503-5030
www.Diggerstoll.com

SHEET TITLE:
**LANDSCAPE PLAN
OPTION 1**

SHEET NUMBER:
L-1.0

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LANDSCAPE NOTES AND SPECIFICATIONS

- [illegible]

[illegible]

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SERVICES PROVIDED TO:
GHIDORZI COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:
WINGRA CLINIC
1102 SOUTH PARK ST.

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JED PROJECT NO.:

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE

DESIGN:	JLF	08-24-11
DRAWN:	JLF	08-24-11
APPROVED:		

PLAN MODIFICATIONS:	DATE:
CITY OF MADISON	08-31-11

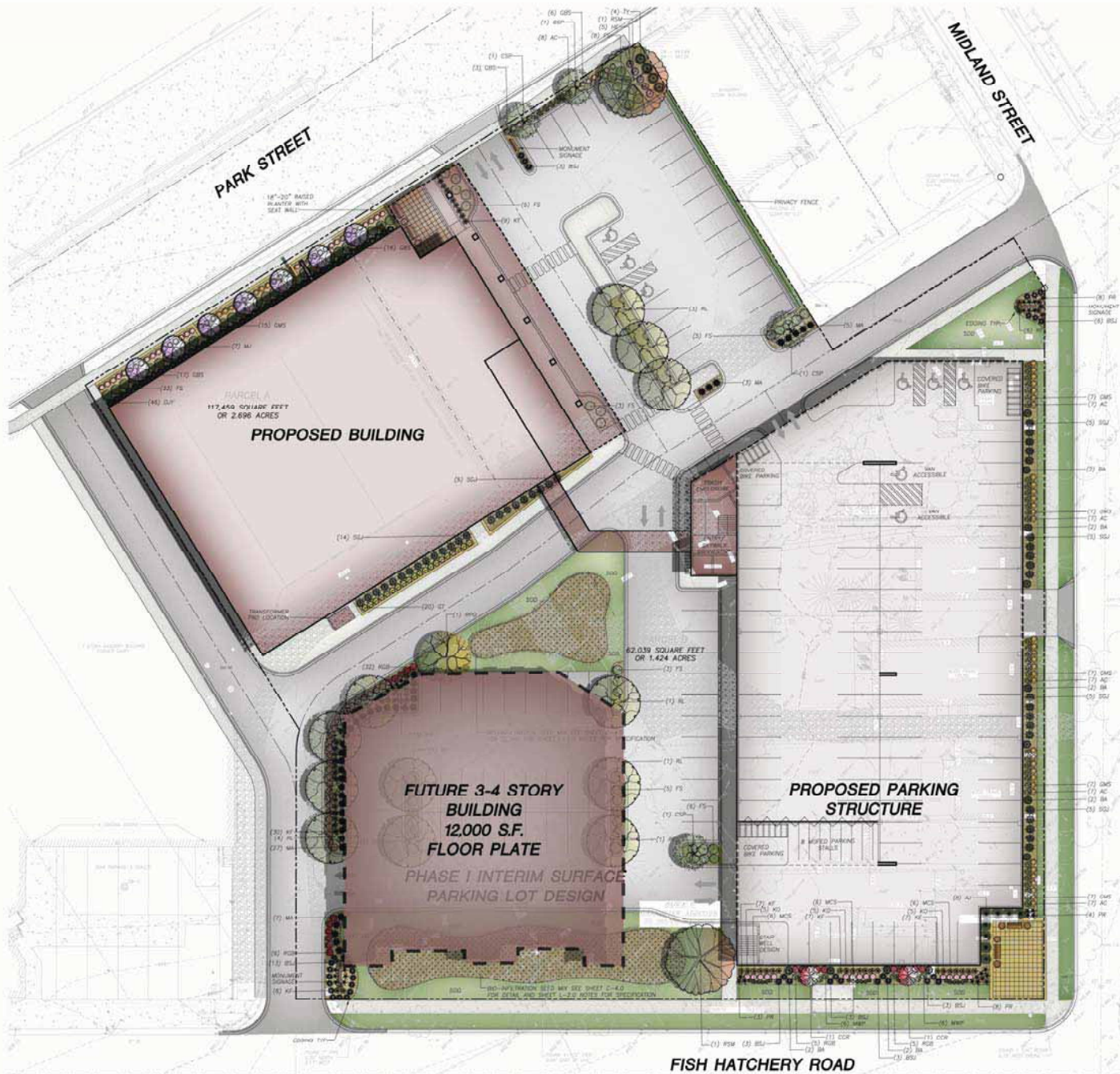
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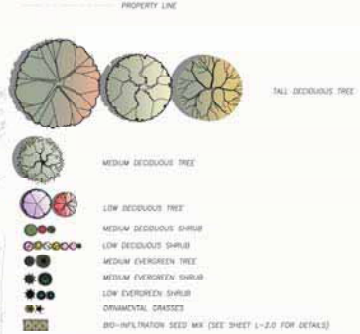
SHORT TITLE:
LANDSCAPE DETAILS
OPTION 1

SHEET NUMBER:

L-2.0



LEGEND (PROPOSED)



GENERAL NOTES

- REFER TO EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
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- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS:	1102 SOUTH PARK STREET, MADISON, WI
NUMBER OF BUILDING STORIES (ABOVE GROUND):	4 STORY
BUILDING HEIGHT:	50'-0"
TYPE OF CONSTRUCTION:	N/A
TOTAL SQUARE FOOTAGE OF BUILDING:	~76,800
USE OF PROPERTY:	COMMERCIAL - MEDICAL CLINIC
GROSS SQUARE FEET OF OFFICE:	N/A
GROSS SQUARE FEET OF RETAIL AREA:	N/A
NUMBER OF EMPLOYEES IN WAREHOUSE:	N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA:	N/A
CAPACITY OF OFFICE AREA:	N/A
NUMBER OF PARKING STALLS REMOVED:	N/A
NUMBER OF SURFACE PARKING STALLS:	83
NUMBER OF SURFACE ACCESSIBLE STALLS:	3
NUMBER OF PARKING STRUCTURE STALLS:	239
(AT THE LUNG, 19 AND 200 LUNG, 18 AND 200 LUNG)	
TOTAL NUMBER OF ACCESSIBLE STALLS:	8
TOTAL NUMBER OF PARKING STALLS:	300
NUMBER OF BICYCLE STALLS SHOWN:	12
NUMBER OF MOVED STALLS SHOWN:	4
NUMBER OF TREES REQUIRED (302 STALLS):	19
NUMBER OF TREES SHOWN:	19
NUMBER OF LANDSCAPE POINTS REQUIRED:	1,034.0
NUMBER OF LANDSCAPE POINTS SHOWN:	1,034.0

LANDSCAPE PLANT LIST

TALL DECIDUOUS TREES (CANOPY TREES)			
80M	2	Red Larch Maple	ACR (approx. 10' x 10')
80M	1	Red Larch Maple	ACR (approx. 10' x 10')
80M	1	Red Larch Maple	ACR (approx. 10' x 10')
MEDIUM DECIDUOUS TREES			
CSP	4	Chesnut Leafed Elm	PRINCE GEORGE'S CHESNUT LEAFED
LOW DECIDUOUS TREES			
CSP	2	Lowland Oak	MALLES CATALPA
80M	7	Lowland Oak	MALLES CATALPA
MEDIUM DECIDUOUS SHRUBS			
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
LOW DECIDUOUS SHRUBS			
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
MEDIUM EVERGREEN TREES			
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
MEDIUM EVERGREEN SHRUBS			
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	48	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
LOW EVERGREEN SHRUBS			
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
ORNAMENTAL GRASSES			
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED
80M	12	Red Larch Maple	PRINCE GEORGE'S CHESNUT LEAFED



OPTION 1: CLARK ST. CONCEPTUAL MASSING PLAN

GHIDORZI

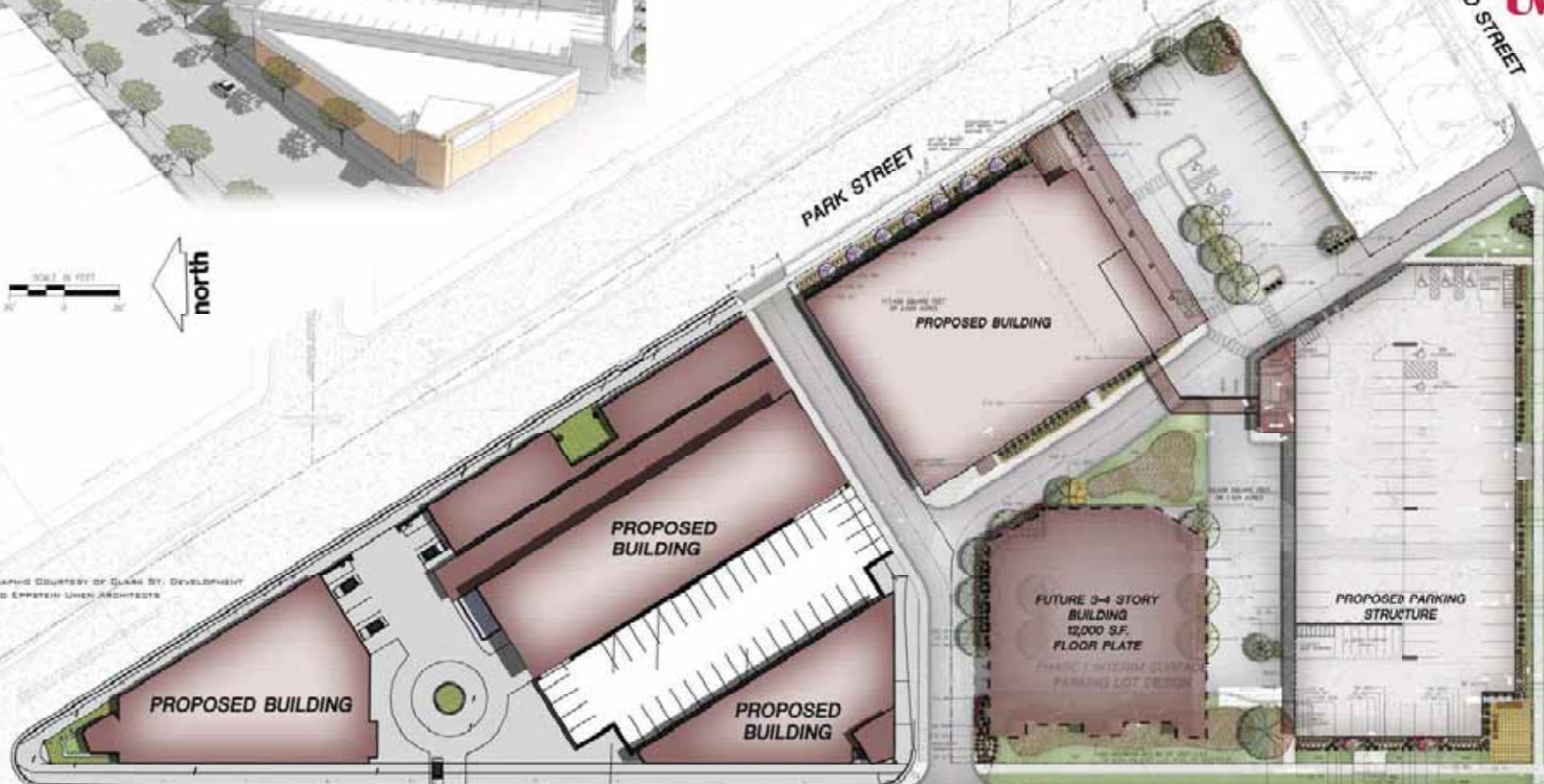
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UWHealth



GRAPHIC COURTESY OF CLARK ST. DEVELOPMENT
AND EPISTEIN USHER ARCHITECTS



FISH HATCHERY ROAD

GENERAL NOTES:

1. PARKING LOT LIGHTING DESIGN IS UNDER CITY CATEGORY OF "MESH" ACTIVITY.
2. PROJECT NEEDS 0.1 WATTS PER SQUARE FOOT.
3. 30'-0" LIGHT POLES ON CONCRETE BASES 1'-0" A.F.B. - TOTAL OVERALL MOUNTING HEIGHT OF 31'-0".
4. ALL FIXTURES ARE DIRECT CUT OFF - DARK SKY COMPLIANT.

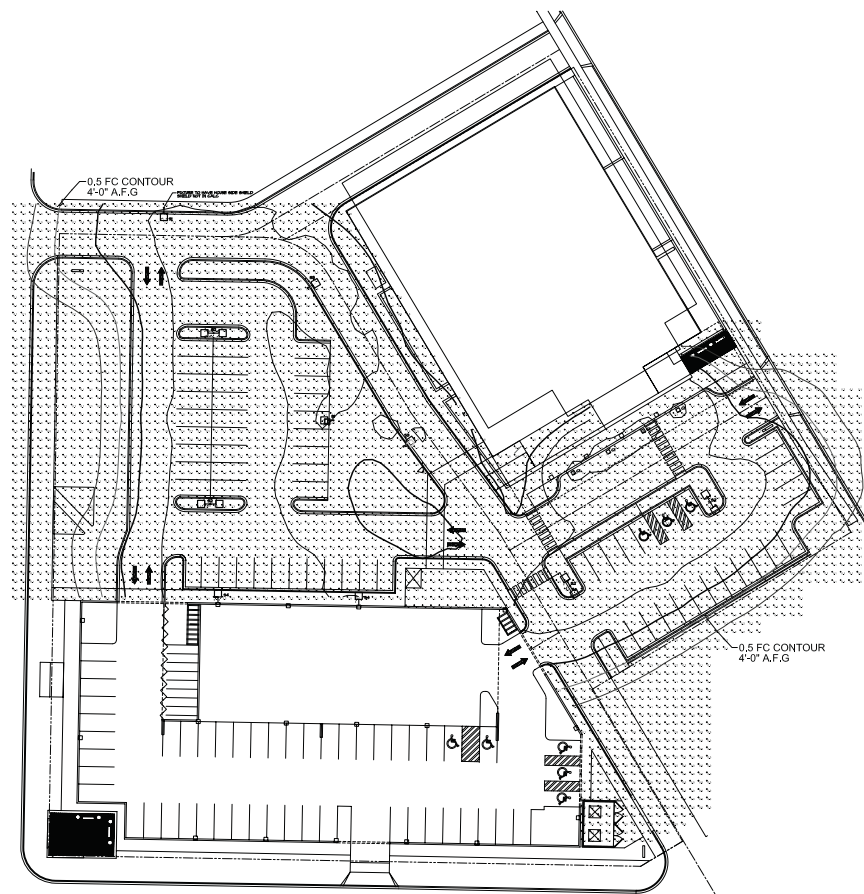
[illegible]

3. 30" OF LIGHT POLE ON CONCRETE BASE - CONCRETE BASE 1'-0" DIA. - TOTAL OVERALL HEIGHTING HEIGHT IS 30'-0".
DIRECT OFF LIGHT HEIGHT

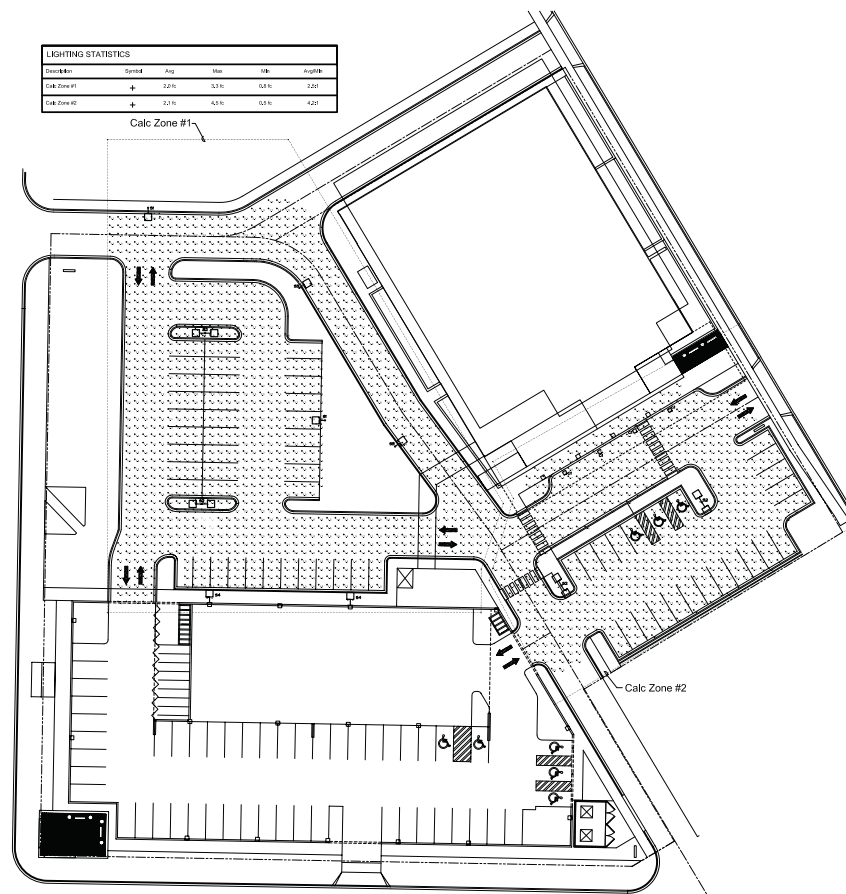
GENERAL NOTES

A. ALL NEW 6" WATER PIPING INSTALLED IN AS IS APPLICATION SHALL HAVE THE UNDERGROUND AREA BORED OUT HIGH THAT INSULATION DOES NOT COME IN CONTACT WITH THE TUBING. FURTHERMORE, NONE OF THE PIPING SHOULD NOT REMOVE OR COMPROMISE THE REQUIREMENT TO MAINTAIN THE BOLLUS INSULATION SPACING AS CALLED OUT IN OTHER AREAS OF THE CONTRACT DOCUMENTS. WHERE REDUCED SPACING PREVENTS THE BOLLUS INSULATION FROM BEING CONSIDERED AND NON CONSIDERED SPACES, THE PENETRATION SHALL BE PROPERLY REPAIRED TO ELIMINATE

GHIDORZI
CONSTRUCTION
DESIGN/BUILD/DEVELOPMENT
2100 STEWART AVENUE WAUSAU, WI 54401
PHONE: (715)845-7282 FAX: (715)845-8896



2 ELECTRICAL SITE PLAN - 0.5 FOOT-CANDLE CONTOUR
ES1 SCALE: 1" = 30'-0"



1 ELECTRICAL SITE PLAN - PAVING FOOT-CANDLE CALCULATION
ES1 SCALE: 1" = 30'-0"

PRELIMINARY
FOR REVIEW
NOT FOR CONSTRUCTION

ROMES DESIGN INCORPORATED
DESIGNERS OF MECHANICAL, PLUMBING, & ELECTRICAL SYSTEMS
1600 SHAWANO, SUITE 209 PHONE: (920) 542-4630
GREEN BAY, WI 54303 FAX: (920) 542-4635
E-MAIL: SPAULTZ@ROMESDESIGN.COM

ID	DATE	DESCRIPTION
REVISION SCHEDULE		

WINGRA CLINIC

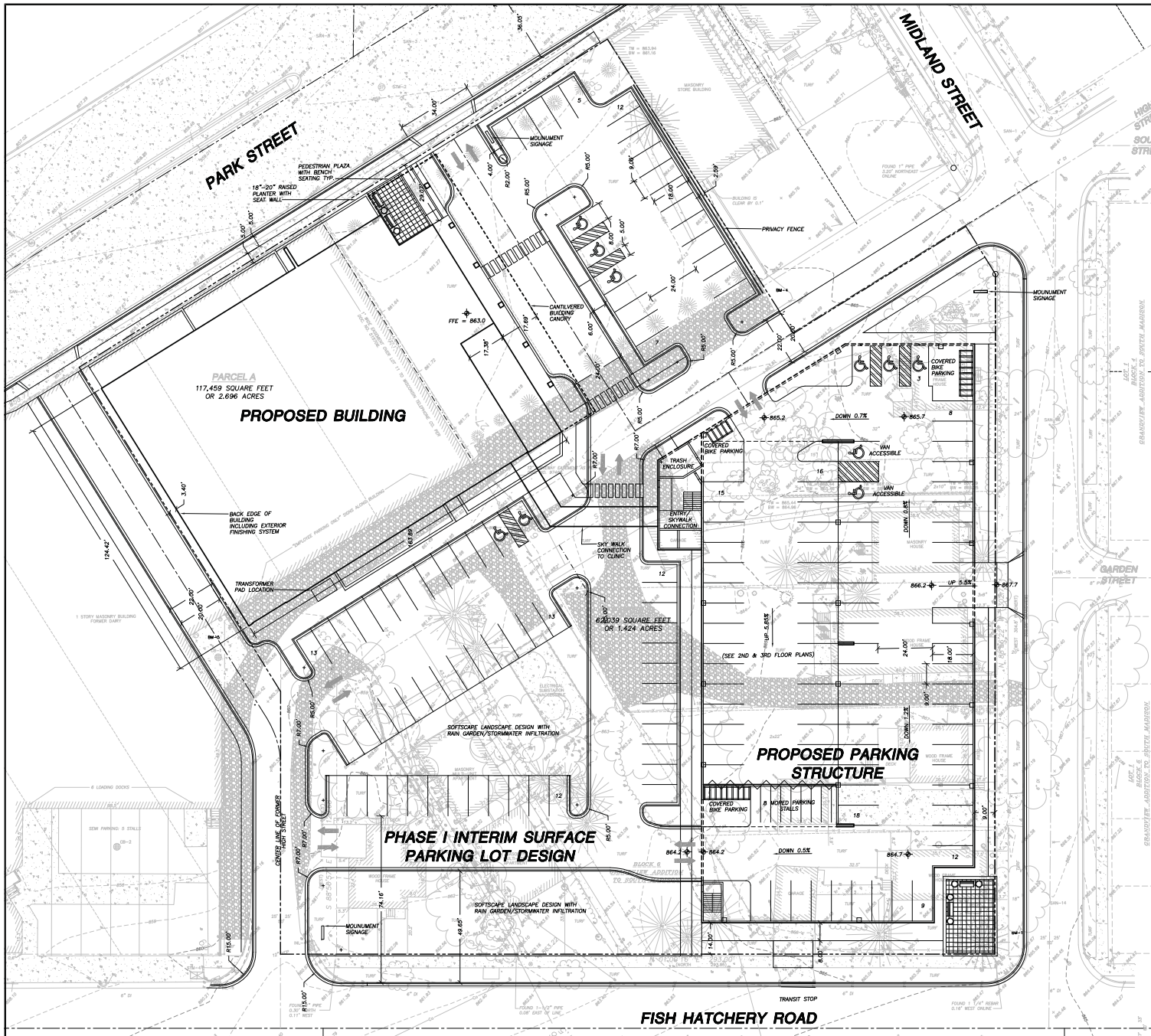
1102 South Park Street
Madison, WI 53175

ARCHITECT OF RECORD: MICHAEL K. THEISS
REGISTRATION NO.: 9598-005
ADDRESS: 2100 STEWART AVE, WAUSAU, WI 54401
PHONE: (715) 845-8448 FAX: (715) 845-8896

DRAWING SCALE: AS NOTED ON DRAWINGS
DRAWN BY: SAP

ELECTRICAL SITE
PLAN - OPTION 1

ES1



LEGEND (PROPOSED)

PROPERTY LINE

GENERAL NOTES

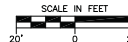
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
SITE ACREAGE: 1.424
NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
BUILDING HEIGHT: 50'-0"
TYPE OF CONSTRUCTION: N/A
TOTAL SQUARE FOOTAGE OF BUILDING: ~76,800
USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
GROSS SQUARE FEET OF OFFICE: N/A
GROSS SQUARE FEET OF RETAIL AREA: N/A
NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
CAPACITY OF OFFICE AREA: N/A
NUMBER OF PARKING STALLS REMOVED: N/A
NUMBER OF SURFACE PARKING STALLS: 74
NUMBER OF MOVED STALLS SHOWN: 8
NUMBER OF PARKING STRUCTURE STALLS: 239
(81 1ST LEVEL, 92 2ND LEVEL, 66 3RD LEVEL)
TOTAL NUMBER OF ACCESSIBLE STALLS: 10
TOTAL NUMBER OF PARKING STALLS = 313
NUMBER OF BICYCLE STALLS SHOWN: 20
NUMBER OF MOVED STALLS SHOWN: 8
NUMBER OF TREES REQUIRED (313 STALLS): 20
NUMBER OF TREES SHOWN: 20
NUMBER OF LANDSCAPE POINTS REQUIRED: 1191.80

SITE PLAN NOTES

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE DESIGNED AND CONSTRUCTED BY THE CITY OF MADISON AND UNDER SEPARATE CONTRACT EXCEPT AS SHOWN.
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL RADI TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL CURB AND GUTTER IS 18" CURB AND GUTTER UNLESS OTHERWISE NOTED.
5. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
6. ALL MARKINGS TO BE YELLOW OR WHITE PAINT PER CITY OF MADISON STANDARDS. HANDICAP SYMBOL TO BE BLUE PAINT.
7. SIGNS TO MEET MANUAL ON UNIFORM TRAFFIC CONTROL AS TO COLOR, LETTERING AND DIMENSIONS AND SHALL BE INSTALLED AT A HEIGHT OF SEVEN FEET.



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- MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.686.5000 PHONE | 608.686.5200 FAX
MADISON | DELAWARE
www.jedline.com

SERVICES PROVIDED TO:
GHIDORZI COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:
WINGRA CLINIC
1102 SOUTH PARK ST.

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JOB PROJECT NO.:

REALIZATION:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DRAWING: JLT 08-24-11
REVISION: JLT 08-24-11
APPROVED:

PLAN MODIFICATIONS: DATE:
CITY OF MADISON: 08-29-11

DIGGERS HOTLINE

Toll Free (800) 242-8511
Madison Area (608) 281-1101
Hawley Island (708) 603-6000
www.Diggersatoll.com

SHEET TITLE:
SITE PLAN
OPTION 2

SHEET NUMBER:
C-1.0

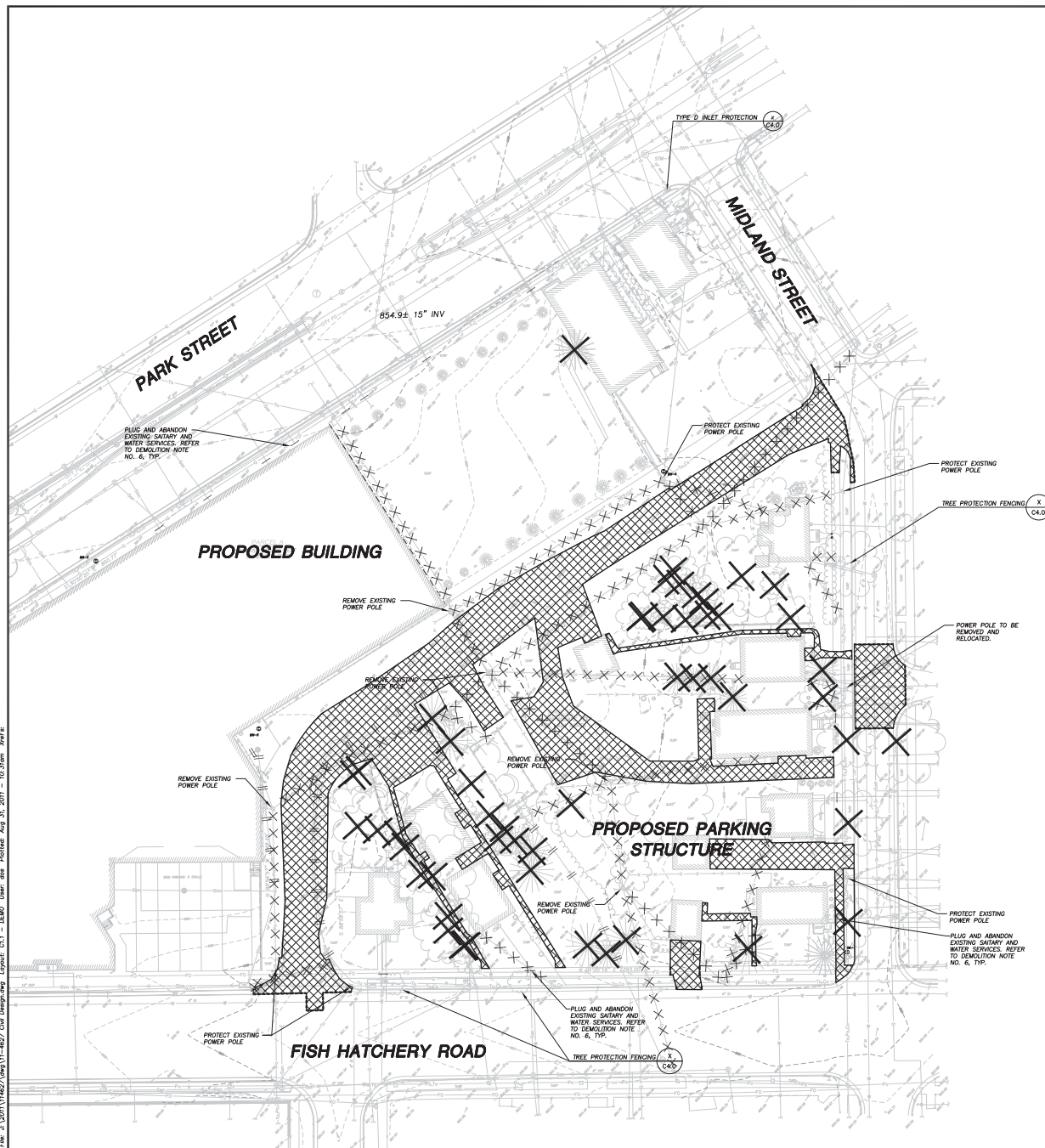
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Architectural section drawing of a building. The drawing shows a vertical shaft with stairs on the left side. A central vertical line is marked with a 'UP 5.40%' label and an arrow pointing upwards. The drawing includes floor levels marked as +20.0 and +20.0 886.2. The drawing is oriented vertically on the page.

— TOTAL HEIGHT ABOVE
GRADE @ MIDLAND
ST. SIDEWALK
(867.12) = 22.58'



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LEGEND (PROPOSED)

- PROPERTY LINE
- SILT FENCING
- TREE PROTECTION FENCING
- CONSTRUCTION FENCING / LIMITS OF DISTURBANCE
- REMOVE PAVEMENT
- ABANDON UTILITIES
- REMOVE UTILITIES
- SAWCUT
- TREE REMOVAL

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
2. ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EXHIBITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER, PER ENGINEERING PROJECT NO. XXXXXX.
4. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
5. NO SITE GRADING OUTSIDE OF THE PROPERTY UNLESS SPECIFIED.
6. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDMR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
7. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
8. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
9. REFER TO GEOTECHNICAL REPORT DATED XXXXX AS PREPARED BY GCG, INC FOR PAVEMENT DESIGN.

DEMOLITION NOTES

1. THE DEMOLITION PLAN SHOULD NOT BE CONSIDERED ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION TO COMPLETE THE PROPOSED IMPROVEMENTS.
2. REMOVE ALL STRUCTURES WITHIN THE PROJECT AREA. REMOVAL TO BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS AND CONSULTATION STANDARDS.
3. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
4. THE EXISTING BUILDING IS TO REMAIN OPERATIONAL DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE SEQUENCING OF NECESSARY UTILITY IMPROVEMENTS PRIOR TO ANY CONSTRUCTION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
7. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH ARTICLE 503 AND WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH ARTICLE 704.12 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
8. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
9. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
10. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE. LEGALLY DISPOSE OF OFF-SITE.
11. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENDOGRACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADICALLY AWAY FROM THE TRUNK. IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCING.
12. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.



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MADISON | MILWAUKEE
KENOSHA | APPLETON
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SERVICES PROVIDED TO:

**GHIDORZI
COMPANIES**

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:

**WINGRA CLINIC
1102 SOUTH PARK
STREET**

PROJECT LOCATION:

CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:

11-4627

SEAL SIGNATURE:

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DESIGN: DGS 6-29-2011
DRAWN: DGS 6-29-2011
APPROVED: WFW -

PLAN MODIFICATIONS: DATE:
City of Madison 06-29-2011

DIGGERS HOTLINE

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Madison Area (608) 251-1151
Hearing Impaired TDD (800) 542-2288
www.Diggers hotline.com

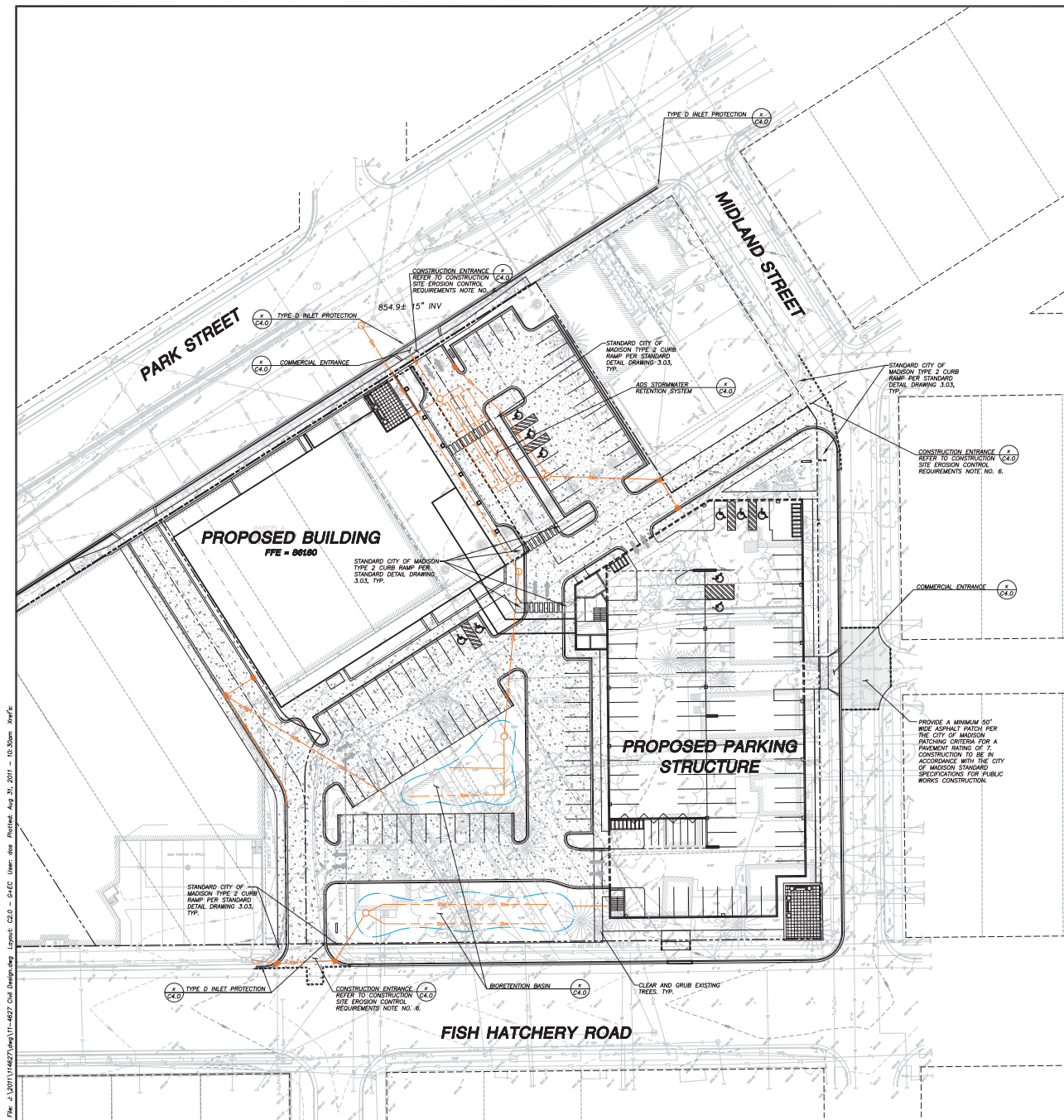
SHEET TITLE:

**DEMOLITION
PLAN**

SHEET NUMBER:

C1.2

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LEGEND (PROPOSED)

- PROPERTY LINE
- UNDERGROUND STORM WATER MANAGEMENT
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- CONCRETE PAVEMENT

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2007, DECEMBER, 2010 AND JANUARY 2011.
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- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OF THE PROPERTY UNLESS SPECIFIED.
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- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN UNDESIRABLE ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC. FOR PAVEMENT DESIGN AND CULVERT DETAILS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.wisconsin.gov/PDFs/Stormwater/TechnicalStandards.pdf>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EROSION CONTROL MATERIALS ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DOWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WDMOT FOM FOR RESPECTIVE DETAILS.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES EXCEEDING 4:1 (25%) SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATING AND DRAINAGE SHALES SHALL BE STABILIZED WITH A CLASS II, TYPE B EROSION MATING OR APPLICATION OF A WOOL APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR AND WDMOM REQUIREMENTS.



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WAUSAU, WI 54401

PROJECT:
**WINGRA CLINIC
1102 SOUTH PARK STREET**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	DDG	6-20-2011
DRAWN:	DDG	6-20-2011
APPROVED:	WFW	-

PLAN MODIFICATIONS:

City of Madison

DATE: 06-21-2011



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Madison Area (608) 242-1101
Heavy Equipment TDD (800) 542-2288
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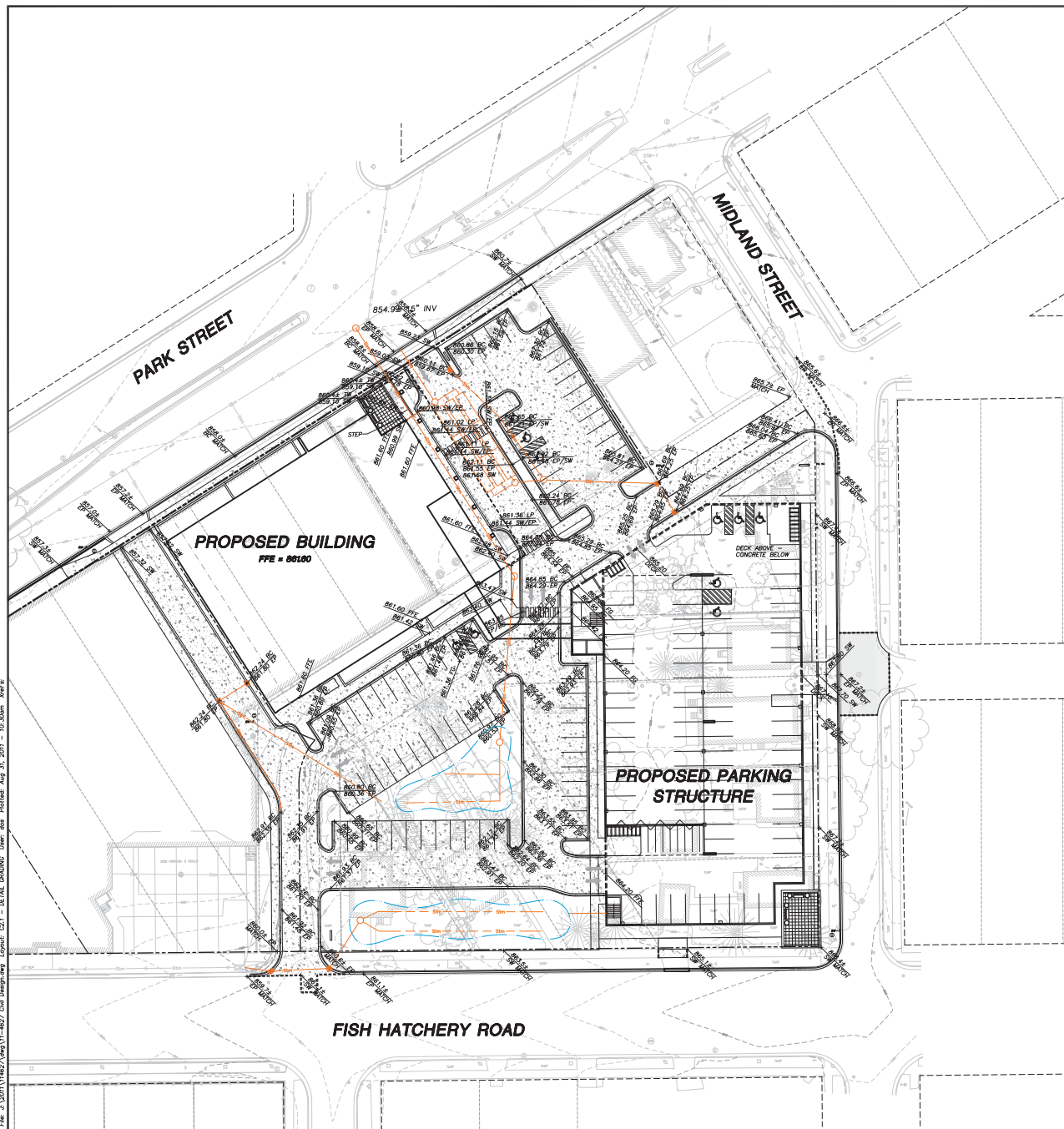
SHEET TITLE:

EROSION CONTROL PLAN

SHEET NUMBER:

C2.0

File: J:\301\114627.dwg 11-4627 Civil Design.dwg Layout: C2.1 - DETAIL GRADING User: dms Plotted: Aug 31, 2011 - 10:30am 30x42



LEGEND (PROPOSED)

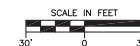
---	PROPERTY LINE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	SILT FENCE
---	EDGE OF PAVEMENT
---	SAWCUT
---	18" CONCRETE CURB & GUTTER
---	18" REJECT CONCRETE CURB & GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
SPOT ELEVATION	
BC	BACK OF CURB
EP	EDGE OF PAVEMENT
RM	STRUCTURE RM
EC	EDGE OF CONCRETE
FG	FINAL GRADE
HP	HIGH POINT

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. FIELD WORK FOR THE EXISTING CONDITIONS SURVEY PERFORMED BY JSD PROFESSIONAL SERVICES, INC. IN 2001, DECEMBER, 2010 AND JANUARY 2011.
2. ALL WORK IN THE ROW AND ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHTS OF WAY OR WITHIN PUBLIC EASEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS ISSUED BY THE CITY ENGINEER CITY TRAFFIC ENGINEER, PER ENGINEERING PROJECT NO. 0302278.
4. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
5. NO SITE GRADING OUTSIDE OF THE CONSTRUCTION LIMIT LINE.
6. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDMR INDIVIDUAL PERMIT APPLICATION ELIGIBILITY STANDARDS.
7. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
8. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
9. REFER TO GEOTECHNICAL REPORT DATED JANUARY 18, 2011 AS PREPARED BY CGC, INC. FOR PAVEMENT DESIGN AND CULVERT DETAILS.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES THE BIORETENTION AND RAIN GARDEN AREAS JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
7. EXCESS MATERIAL TO BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.



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PROJECT:
**WINGRA CLINIC
1102 SOUTH PARK
STREET**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	DDG	6/29/2011
DRAWN:	DDG	6/29/2011
APPROVED:	WFW	-

PLAN MODIFICATIONS:	DATE:
City of Madison	06-29-2011

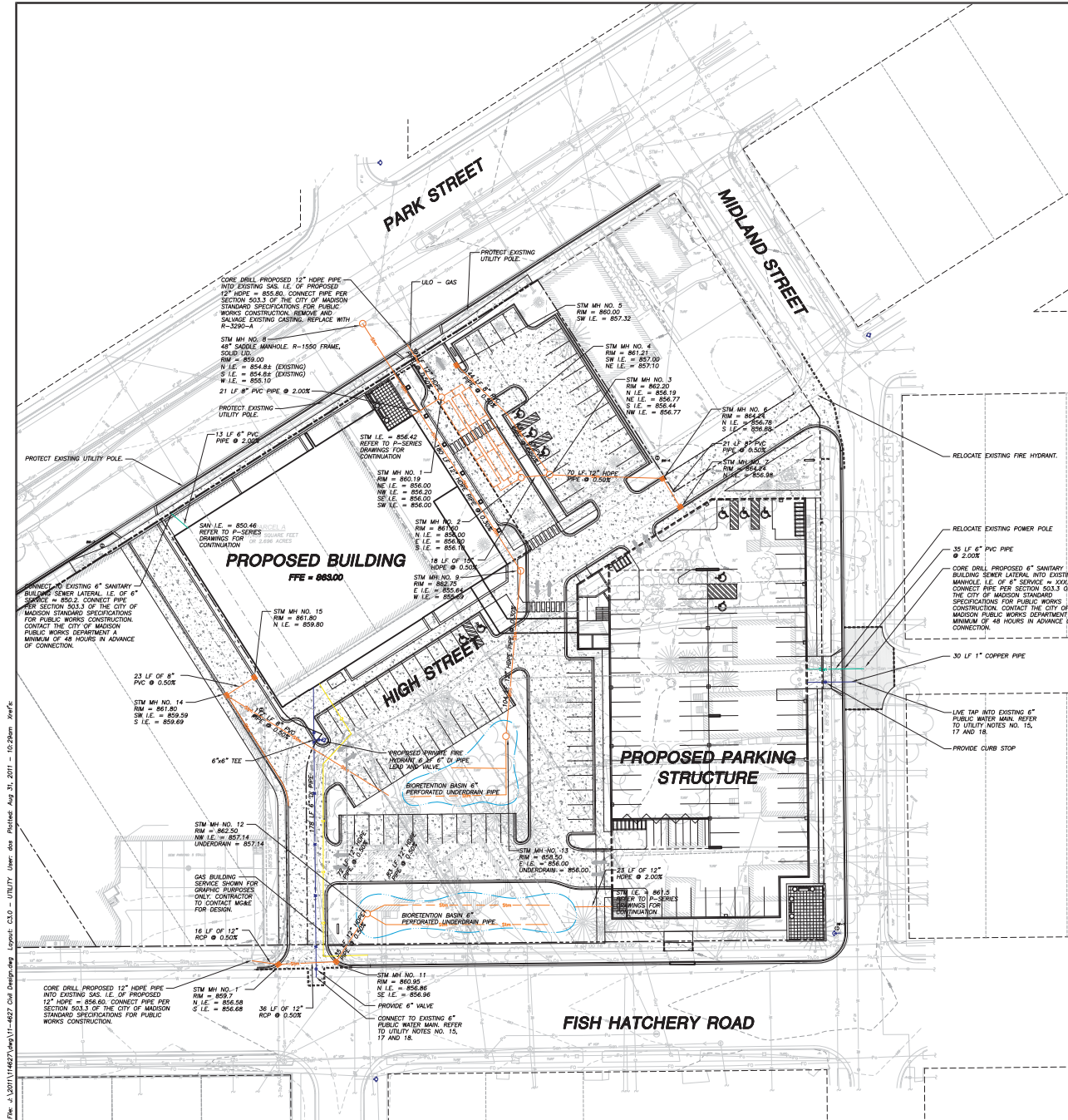
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SHEET TITLE:
**DETAIL GRADING
PLAN**

SHEET NUMBER:
C2.1

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LEGEND (PROPOSED)

- PROPERTY LINE
- UNDERGROUND STORMWATER MANAGEMENT
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- ASPHALT PAVEMENT

DEMOLITION NOTES

1. THE DEMOLITION PLAN SHOULD NOT BE CONSIDERED ALL-INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION TO COMPLETE THE PROPOSED IMPROVEMENTS.
2. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
4. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
5. CONTRACTOR TO PROMOTE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES, USING "LOW DENSITY CONCRETE/FLOWABLE FILL."
6. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
7. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - * EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - * VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - * NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - * NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
13. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH ARTICLE 501 OF THE CITY OF MADISON. STANDING SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SECTION 3.2.4 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
14. REMOVE ALL EXISTING BOLLARDS ALONG THE SOUTH SIDE OF THE NORTH DRAINAGE DITCH.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. SANITARY SEWER MAIN IS PUBLICLY OWNED. DESIGN OF THE MAIN IS PROVIDED BY THE CITY OF MADISON PER PROJECT NO. XXXX. INSTALLATION NOT IN CONTRACT.
5. ALL CONSTRUCTION SIGNED TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
6. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
7. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISCONSIN, AND WORK.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - * EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - * OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - * VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - * NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - * NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
16. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30, TABLE 84.30-6.
17. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
18. ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OUTLINED WITHIN ARTICLE 702 WITHIN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
19. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO COMM 84.30, TABLE 84.30-6.



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SERVICES PROVIDED TO:
GIDORZI COMPANIES

2100 STEWART AVE, SUITE 300
WAUSAU, WI 54401

PROJECT:
**WINGRA CLINIC
1102 SOUTH PARK STREET**

PROJECT LOCATION:
**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.: 11-4627

SEAL SIGNATURE:

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DESIGN:	DOS	6-20-2011
DRAWN:	DOS	6-20-2011
APPROVED:	WFW	-
PLAN MODIFICATIONS:		DATE:
City of Madison		06-21-2011

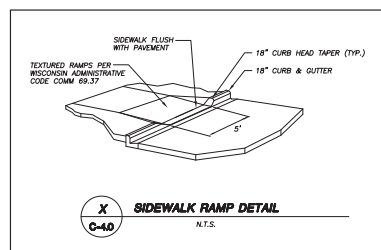
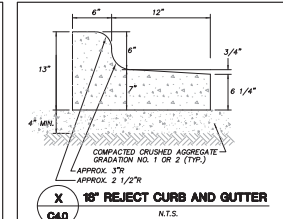
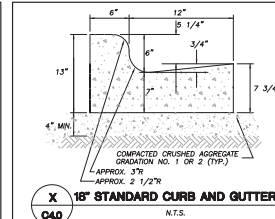
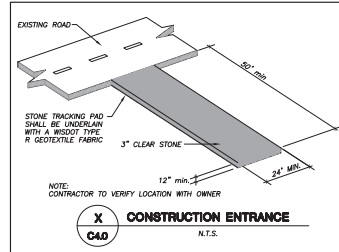
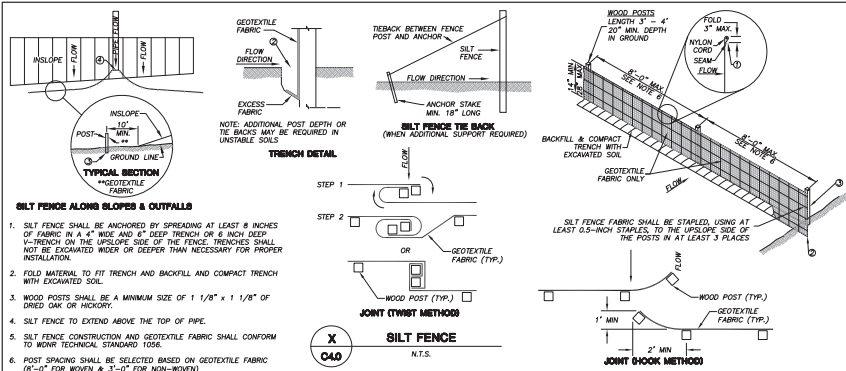
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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C3.0

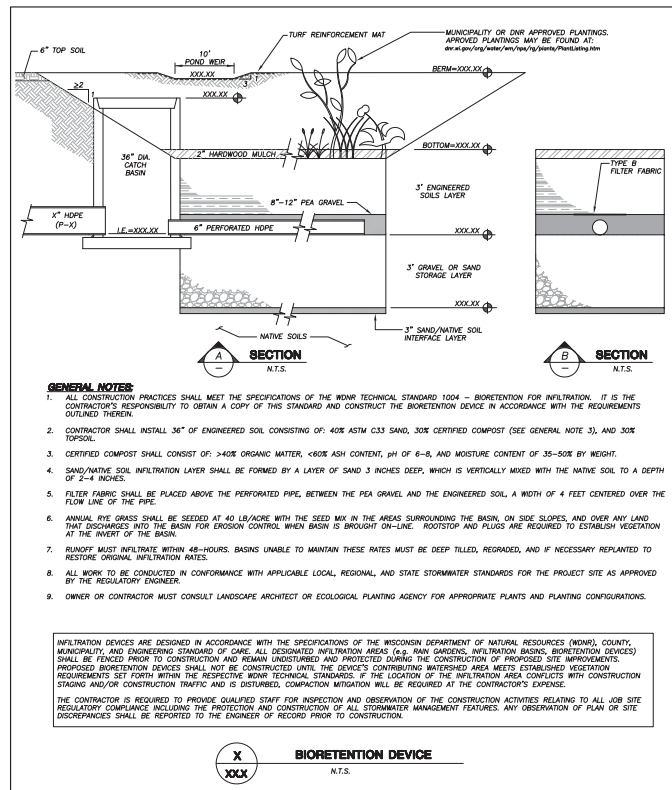
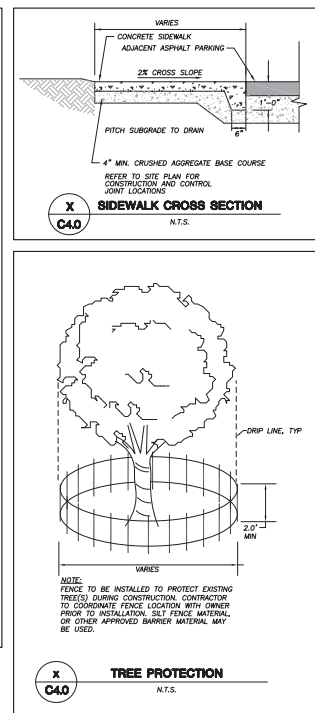
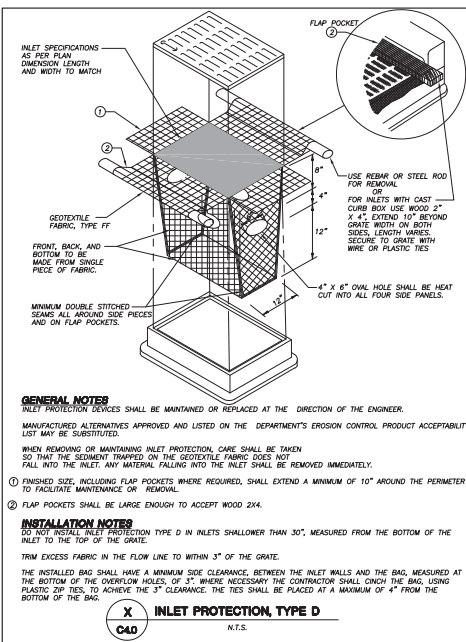
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PAVEMENT SECTIONS			
MATERIAL	LAYER THICKNESS (IN.)	WOOT SPEC.	
BASE TRAFFIC FACING (MIN. 2")	XX.X	XX.X	SECTION 480, TABLE 480-1, 8.5 MM
STRAINING UPPER LAYER (SURFACE COURSE)	XX.X	XX.X	SECTION 480, TABLE 480-1, 12.5 MM
STRAINING LOWER LAYER (BINDER COURSE)	XX.X	XX.X	SECTION 300, 31.5 MM
THREE-GRADE BASE COURSE	XX.X	XX.X	SECTION 300, 75 MM
THREE-GRADE BASE COURSE	XX.X	XX.X	SECTION 300, 75 MM
BASEAL GEOTEXT	REQUIRED	NOT REQUIRED	SECTION 88-1100, OR EQUIVALENT (4)
WOVEN GEOTEXT	NOT REQUIRED	REQUIRED	SECTION 88-1100, OR EQUIVALENT
TOTAL THICKNESS	XX.X	XX.X	

NOTES:

- WOOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 480.2.2 RESTRICTING LAYER THICKNESS BY AGGREGATE SIZE.
- COMPACTION REQUIREMENTS:
 - STRAINING UPPER LAYER: REFER TO SECTION 480-1.2, STANDARD COMPACTION.
 - BASE COURSE: REFER TO SECTION 300.1.2, STANDARD COMPACTION.
 - THREE-GRADE BASE COURSE: REFER TO SECTION 300.1.2, STANDARD COMPACTION.
 - THREE-GRADE BASE COURSE: REFER TO SECTION 300.1.2, STANDARD COMPACTION.
- AN EQUIVALENT GEOTEXT MUST BE COMPACTION A STRUCTURE WITH INCOMPLETELY BONDED OR EXTENDED JOINTS. GEOTEXTS WITH FUSION-BOND OR WELDED JOINTS ARE NOT ACCEPTABLE FOR INFILTRATION CONSTRUCTION AND INSTALLATION STRESSES.
- MINOR TRAFFIC LANE ARE DESIGNATED AS AREAS WHERE CONSTRUCTION TRAFFIC WILL BE CONFINED. THESE AREAS SHOULD BE MARKED AS THE PREFERRED TRAFFIC LANE. INFILTRATION CONSTRUCTION TO BE CONFINED TO AREAS NOT DESIGNATED FOR HEAVY LOADS AND TRUCK VOLUMES. THE MAIN TRAFFIC LANE INCLUDES GEOTEXT LAYERS INSTALLED GEOTEXTILES TO ACCOMMODATE CONSTRUCTION TRAFFIC.



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SERVICES PROVIDED TO:
GHIDORZI COMPANIES

2100 STEWART AVE., SUITE 300
 WAUSAU, WI 54401

PROJECT:
WINGRA CLINIC
 1102 SOUTH PARK STREET

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4627

SEAL SIGNATURE:

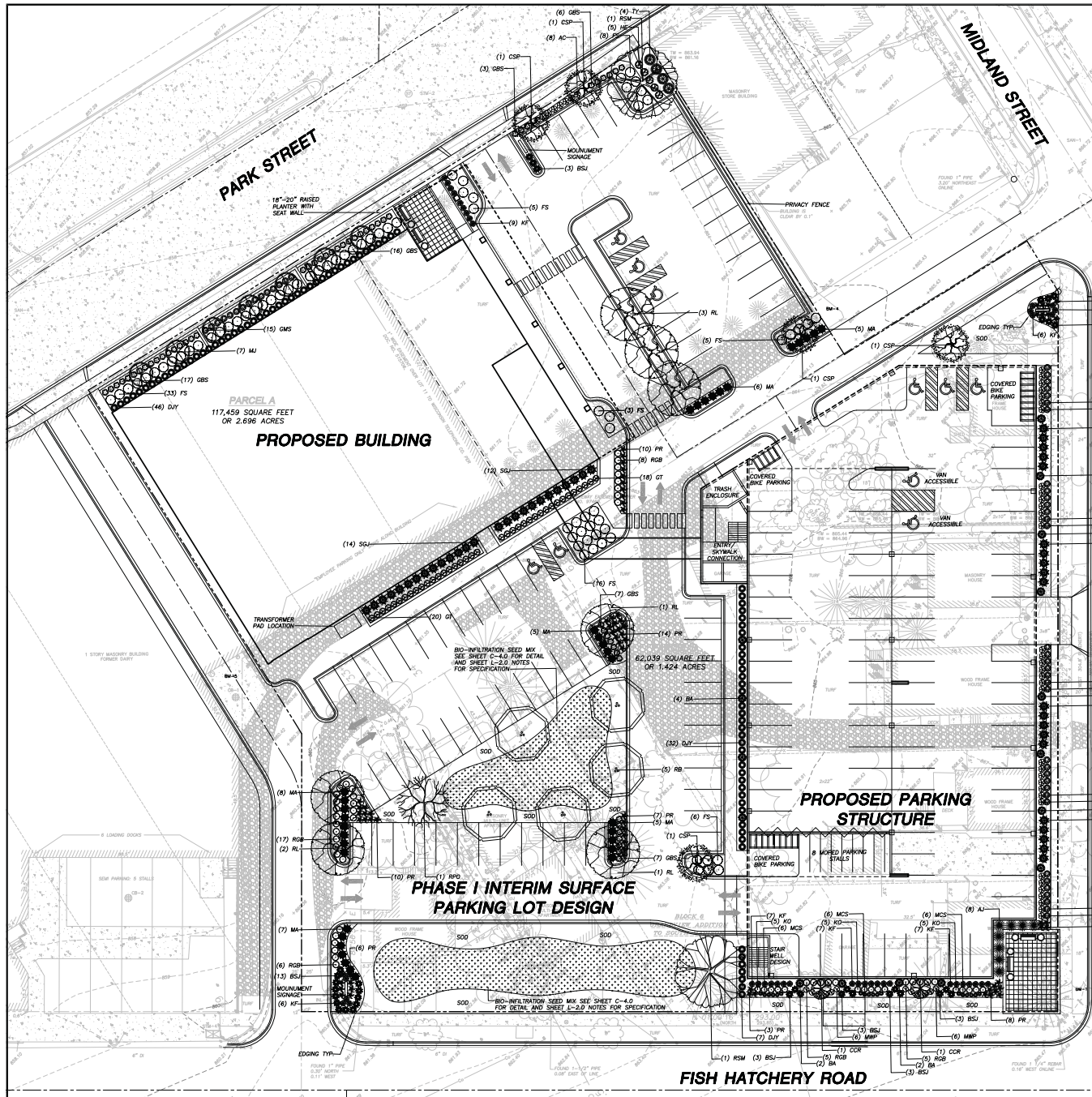
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DESIGN: DGS 6-20-2011
 DRAWN: DGS 6-20-2011
 APPROVED: WFW -
 PLAN MODIFICATIONS: DATE:
 City of Madison 09-21-2011

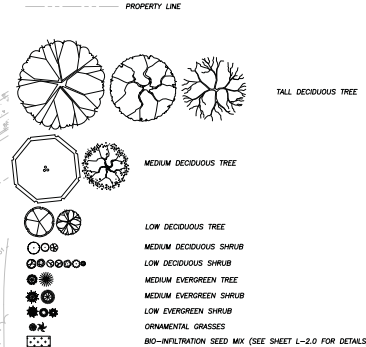
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SHEET TITLE:
DETAILS

SHEET NUMBER:
C4.0



LEGEND (PROPOSED)



GENERAL NOTES

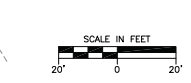
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JOB SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DAMAGES BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
 SITE ACREAGE: 4.0
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
 BUILDING HEIGHT: 50'-0"
 TYPE OF CONSTRUCTION: N/A
 TOTAL SQUARE FOOTAGE OF BUILDING: ~78,800
 USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
 GROSS SQUARE FEET OF OFFICE: N/A
 GROSS SQUARE FEET OF RETAIL AREA: N/A
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
 CAPACITY OF OFFICE AREA: N/A
 NUMBER OF PARKING STALLS REMOVED: N/A
 NUMBER OF SURFACE PARKING STALLS: 74
 NUMBER OF PARKING STRUCTURE STALLS: 239
 (81 1ST LEVEL, 82 2ND LEVEL, 86 3RD LEVEL)
 TOTAL NUMBER OF ACCESSIBLE STALLS: 10
 TOTAL NUMBER OF PARKING STALLS: 313
 NUMBER OF BICYCLE STALLS SHOWN: N/A
 NUMBER OF MOVED STALLS SHOWN: 8
 NUMBER OF TREES REQUIRED (21.3 STALLS): 20
 NUMBER OF TREES SHOWN: 20
 NUMBER OF LANDSCAPE POINTS REQUIRED: 1191.90
 NUMBER OF LANDSCAPE POINTS SHOWN: 1818.0

LANDSCAPE PLANT LIST

TALL DECIDUOUS TREES (CANOPY TREES)			
REL	5	Black Locust	2" Cal. B&B
REL	7	Redwood Linden	2" Cal. B&B
REL	10	White Birch	2" Cal. B&B
MEDIUM DECIDUOUS TREES			
CSP	3	Cleveland Select Pear	1 1/2" Cal. B&B
REL	2	Flower Birch	3/4" HL B&B
LOW DECIDUOUS TREES			
CCR	1	Cornus and Crabapple	1 1/2" Cal. B&B
REL	1	Amelanchier	1 1/2" Cal. B&B
MEDIUM DECIDUOUS SHRUBS			
REL	1	Green Leafy Fragrant Sumac	18" HL B&B
REL	41	Red Dog Bark	18" HL B&B
REL	42	Green Mound Arbutus	18" HL B&B
LOW DECIDUOUS SHRUBS			
REL	38	Whorled Golden Tamarix	18" HL B&B
REL	12	Manitowish White Pineapple	18" HL B&B
REL	13	Pink Knives Out Rose	18" HL B&B
REL	14	Goldenrod Spine	18" HL B&B
REL	15	Goldenrod Spine	18" HL B&B
REL	16	Goldenrod Spine	18" HL B&B
REL	17	Goldenrod Spine	18" HL B&B
REL	18	Goldenrod Spine	18" HL B&B
REL	19	Goldenrod Spine	18" HL B&B
MEDIUM EVERGREEN TREES			
REL	1	Blue Spruce	2-3" HL B&B
REL	2	Blue Spruce	2-3" HL B&B
MEDIUM EVERGREEN SHRUBS			
REL	1	Blue Spruce	15-18" HL B&B
REL	2	Blue Spruce	15-18" HL B&B
LOW EVERGREEN SHRUBS			
REL	1	Blue Spruce	15-18" HL B&B
REL	2	Blue Spruce	15-18" HL B&B
ORNAMENTAL GRASSES			
REL	1	Blue Spruce	15-18" HL B&B
REL	2	Blue Spruce	15-18" HL B&B



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SERVICES PROVIDED TO:

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2100 STEWART AVE, SUITE 300
 WAUSAU, WI 54401

PROJECT:

WINGRA CLINIC
 1102 SOUTH PARK ST.

PROJECT LOCATION:

CITY OF MADISON
 DANE COUNTY, WI

JOB PROJECT NO.:

REAL SIGNATURE:

APPROVED: _____ DATE: 08-24-11

DATE: 08-24-11

PLAN MODIFICATIONS: _____ DATE: 08-24-11

CITY OF MADISON: _____ DATE: 08-24-11

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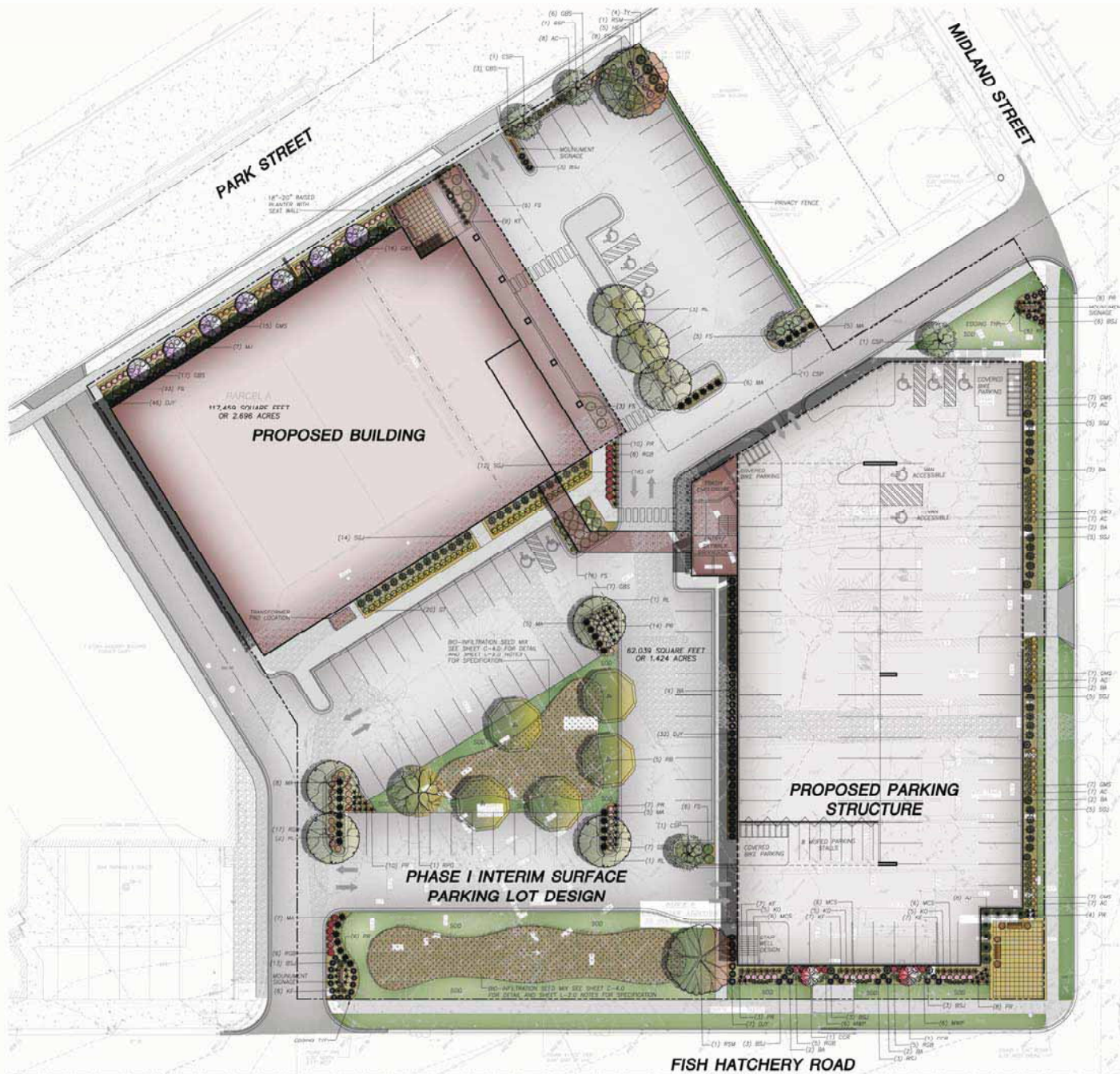
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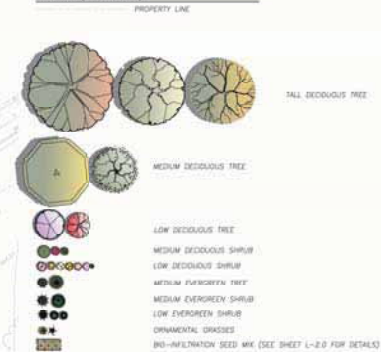
LANDSCAPE PLAN
OPTION 2

SHEET NUMBER:

L-1.0



LEGEND (PROPOSED)



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTED AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING GRADE (ELEVATIONS) SHOWN FOR INFORMATIONAL PURPOSES DURING CONSTRUCTION MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
4. NO SITE SHADING OUTSIDE OR DOWNDROPE OF PROPOSED SALT FENCE LOCATION. NO LAND SCOURING BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE IMPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTION IN ANY OF ALL REGULATORY AGENCIES.
6. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
7. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET L-2.0.

PARKING LOT PLAN SITE INFORMATION

SITE ADDRESS: 1102 SOUTH PARK STREET, MADISON, WI
 SITE ACREAGE: 2.686 ACRES
 NUMBER OF BUILDING STORIES (ABOVE GRADE): 4 STORY
 BUILDING HEIGHT: 10'-0"
 TYPE OF CONSTRUCTION: N/A
 TOTAL SQUARE FOOTAGE OF BUILDING: 76,800
 USE OF PROPERTY: COMMERCIAL - WINGRA CLINIC
 GROSS SQUARE FEET OF OFFICE: N/A
 GROSS SQUARE FEET OF RETAIL AREA: N/A
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
 CAPACITY OF OFFICE AREA: N/A
 NUMBER OF PARKING STALLS REMOVED: N/A
 NUMBER OF SURFACE PARKING STALLS: 74
 NUMBER OF SURFACE ACCESSIBLE STALLS: 5
 NUMBER OF PARKING STRUCTURE STALLS: 238
 (BY 1ST LEVEL, 52 2ND LEVEL, 84 3RD LEVEL)
 TOTAL NUMBER OF ACCESSIBLE STALLS: 10
 TOTAL NUMBER OF PARKING STALLS: 312
 NUMBER OF BIKE STALLS SHOWN: 20
 NUMBER OF BIKE STALLS SHOWN: 8
 NUMBER OF TREES REQUIRED (312 STALLS): 20
 NUMBER OF LANDSCAPE POINTS REQUIRED: 1191.0
 NUMBER OF LANDSCAPE POINTS SHOWN: 1818.0

LANDSCAPE PLANT LIST

TALL DECIDUOUS TREES (CANOPY TREES)			
Q10	2	Red-Tipped Dogwood	2" Cal. \$88
Q11	2	Red-Tipped Dogwood	2" Cal. \$88
Q12	1	Red-Tipped Dogwood	2" Cal. \$88
MEDIUM DECIDUOUS TREES			
Q13	5	Cleveland Select Pear	1 1/2" Cal. \$88
Q14	5	Red-Tipped Dogwood	2" Cal. \$88
LOW DECIDUOUS TREES			
Q15	2	Cleveland Select Pear	1 1/2" Cal. \$88
Q16	2	Cleveland Select Pear	1 1/2" Cal. \$88
MEDIUM DECIDUOUS SHRUBS			
Q17	14	Japanese Magnolia	1 1/2" Cal. \$88
Q18	41	Japanese Magnolia	1 1/2" Cal. \$88
Q19	41	Japanese Magnolia	1 1/2" Cal. \$88
LOW DECIDUOUS SHRUBS			
Q20	20	Japanese Magnolia	1 1/2" Cal. \$88
Q21	20	Japanese Magnolia	1 1/2" Cal. \$88
Q22	20	Japanese Magnolia	1 1/2" Cal. \$88
Q23	20	Japanese Magnolia	1 1/2" Cal. \$88
Q24	20	Japanese Magnolia	1 1/2" Cal. \$88
Q25	20	Japanese Magnolia	1 1/2" Cal. \$88
MEDIUM EVERGREEN TREES			
Q26	8	Japanese Magnolia	1 1/2" Cal. \$88
Q27	8	Japanese Magnolia	1 1/2" Cal. \$88
MEDIUM EVERGREEN SHRUBS			
Q28	4	Japanese Magnolia	1 1/2" Cal. \$88
Q29	4	Japanese Magnolia	1 1/2" Cal. \$88
LOW EVERGREEN SHRUBS			
Q30	20	Japanese Magnolia	1 1/2" Cal. \$88
Q31	20	Japanese Magnolia	1 1/2" Cal. \$88
Q32	20	Japanese Magnolia	1 1/2" Cal. \$88
Q33	20	Japanese Magnolia	1 1/2" Cal. \$88
Q34	20	Japanese Magnolia	1 1/2" Cal. \$88
Q35	20	Japanese Magnolia	1 1/2" Cal. \$88
ORNAMENTAL GRASSES			
Q36	20	Japanese Magnolia	1 1/2" Cal. \$88
Q37	20	Japanese Magnolia	1 1/2" Cal. \$88

SCALE IN FEET
 20' 0 20'



OPTION 2: CLARK ST. CONCEPTUAL MASSING PLAN

GHIDORZI

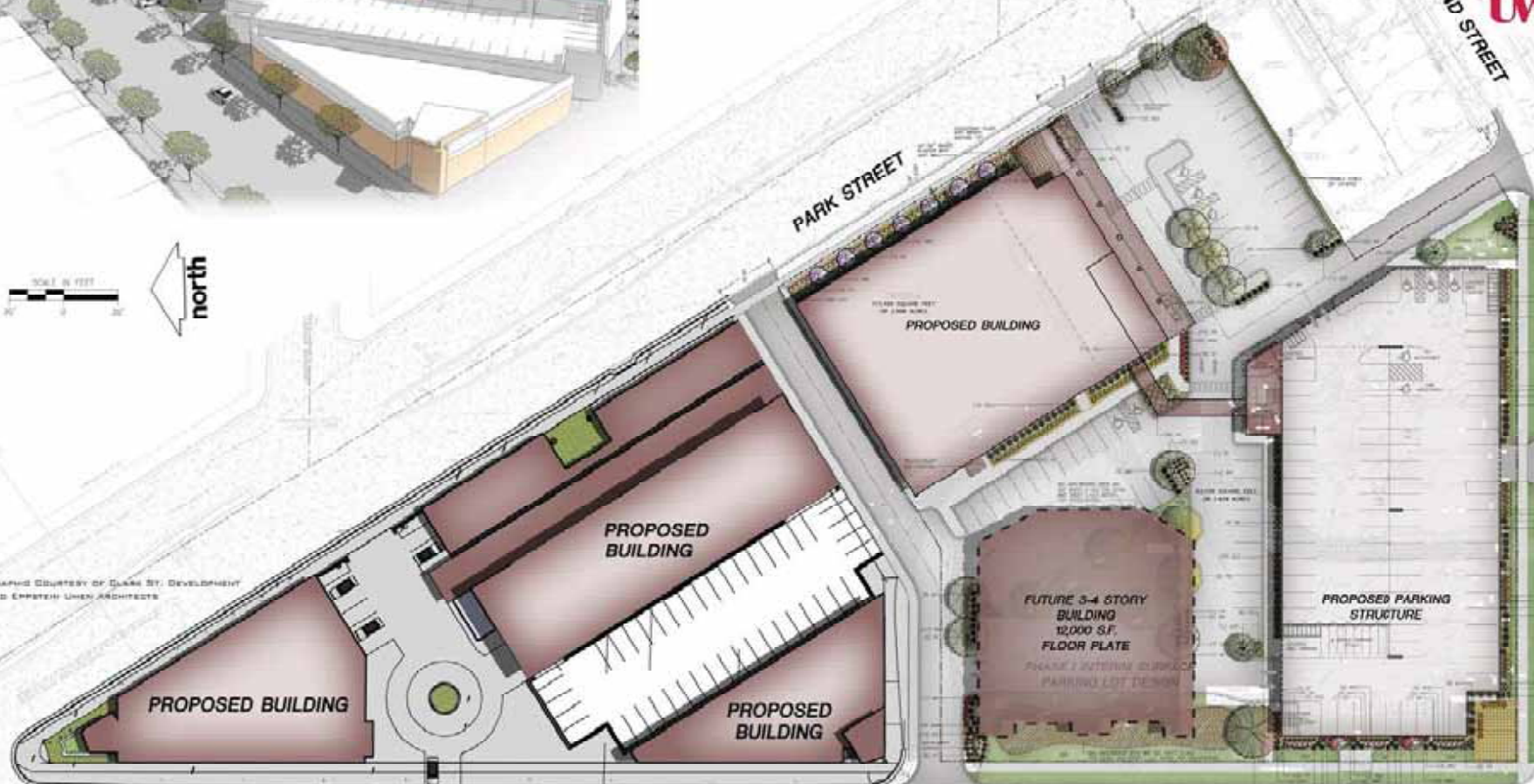
JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

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COMMUNITY HEALTH CENTERS™
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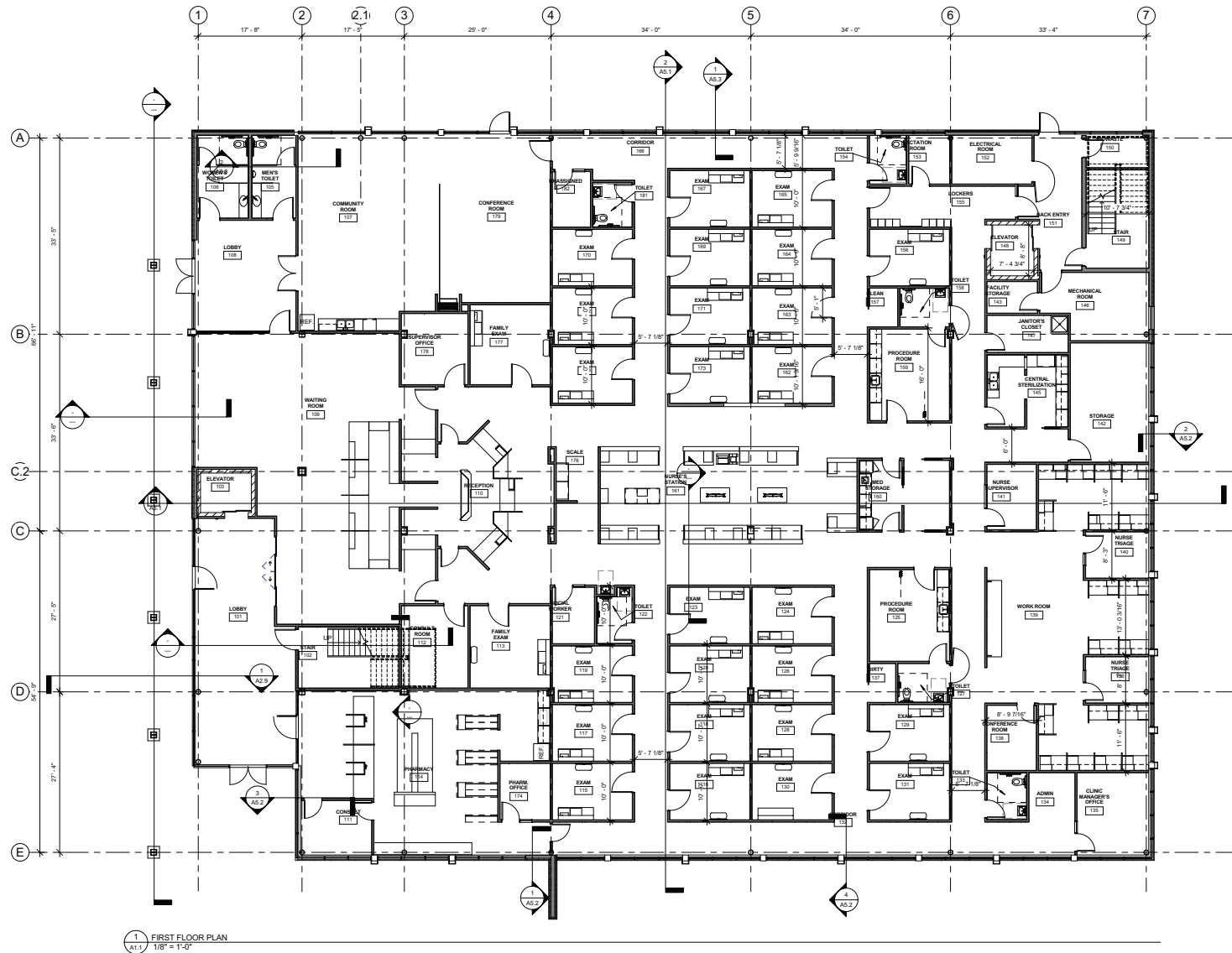
UWHealth



GRAPHIC COURTESY OF CLARK ST. DEVELOPMENT AND ERNSTEN UHLEN ARCHITECTS



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ID	DATE	DESCRIPTION
		REVISION SCHEDULE

WINGRA CLINIC

1102 South Park Street
Madison, WI 53715

ARCHITECT OF RECORD: MICHAEL K. THEISS
REGISTRATION NO.: 9598-005
ADDRESS: 2100 STEWART AVE., WAUSAU, WI 54401
PHONE: (715) 845-8443 FAX: (715) 845-8896
DRAWING SCALE: 1/8" = 1'-0"
DRAWN BY: Author
ORIGINAL DATE: Issue Date
PROJECT NUMBER: 10-0111

**FIRST FLOOR
DIMENSION PLAN**

A1.1

PRELIMINARY
NOT FOR CONSTRUCTION

ID	DATE	DESCRIPTION
		REVISION SCHEDULE

WINGRA CLINIC

1102 South Park Street
Madison, WI 53715

ARCHITECT OF RECORD: MICHAEL K. THEISS
REGISTRATION NO.: 9596-005
ADDRESS: 2100 STEWART AVE. WAUSAU, WI 54401
PHONE: (715) 845-6448 FAX: (715) 845-8896

DRAWING SCALE: 1/8" = 1'-0"
DRAWN BY: Author
ORIGINAL DATE: Issue Date
PROJECT NUMBER: 10-0111

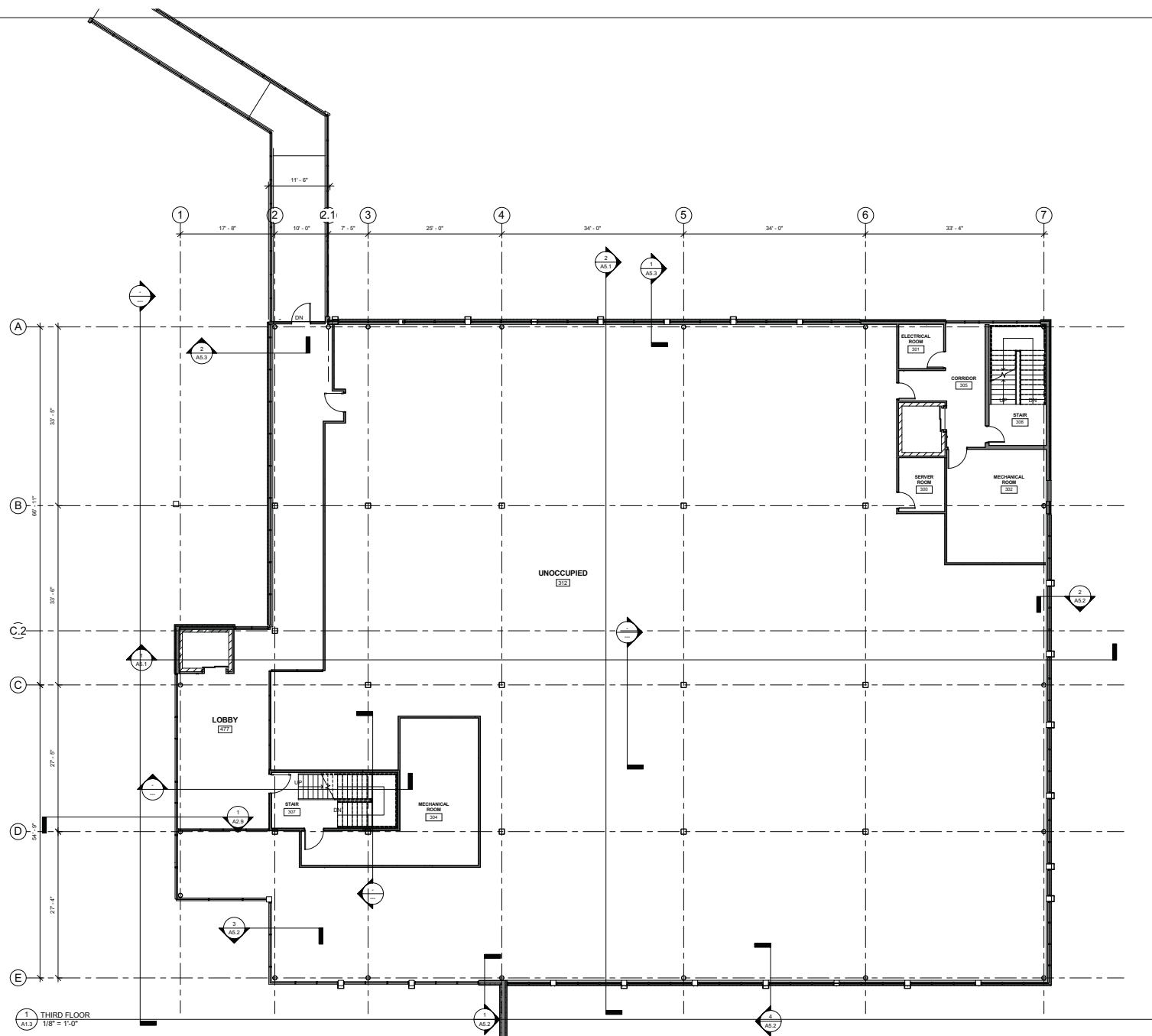
SECOND FLOOR
DIMENSION PLAN

A1.2



1 SECOND FLOOR
A1.2 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



ID	DATE	DESCRIPTION
REVISION SCHEDULE		

WINGRA CLINIC

1102 South Park Street
Madison, WI 53715

ARCHITECT OF RECORD: MICHAEL K. THEISS
REGISTRATION NO.: 9598-005
ADDRESS: 2100 STEWART AVE. WAUSAU, WI 54401
PHONE: (715) 845-8448 FAX: (715) 845-8896

DRAWING SCALE: 1/8" = 1'-0"
DRAWN BY: Author
ORIGINAL DATE: Issue Date
PROJECT NUMBER: 10-0111

THIRD FLOOR
DIMENSION FLOOR
PLAN

A1.3

PRELIMINARY
NOT FOR CONSTRUCTION

ID	DATE	DESCRIPTION
		REVISION SCHEDULE

WINGRA CLINIC

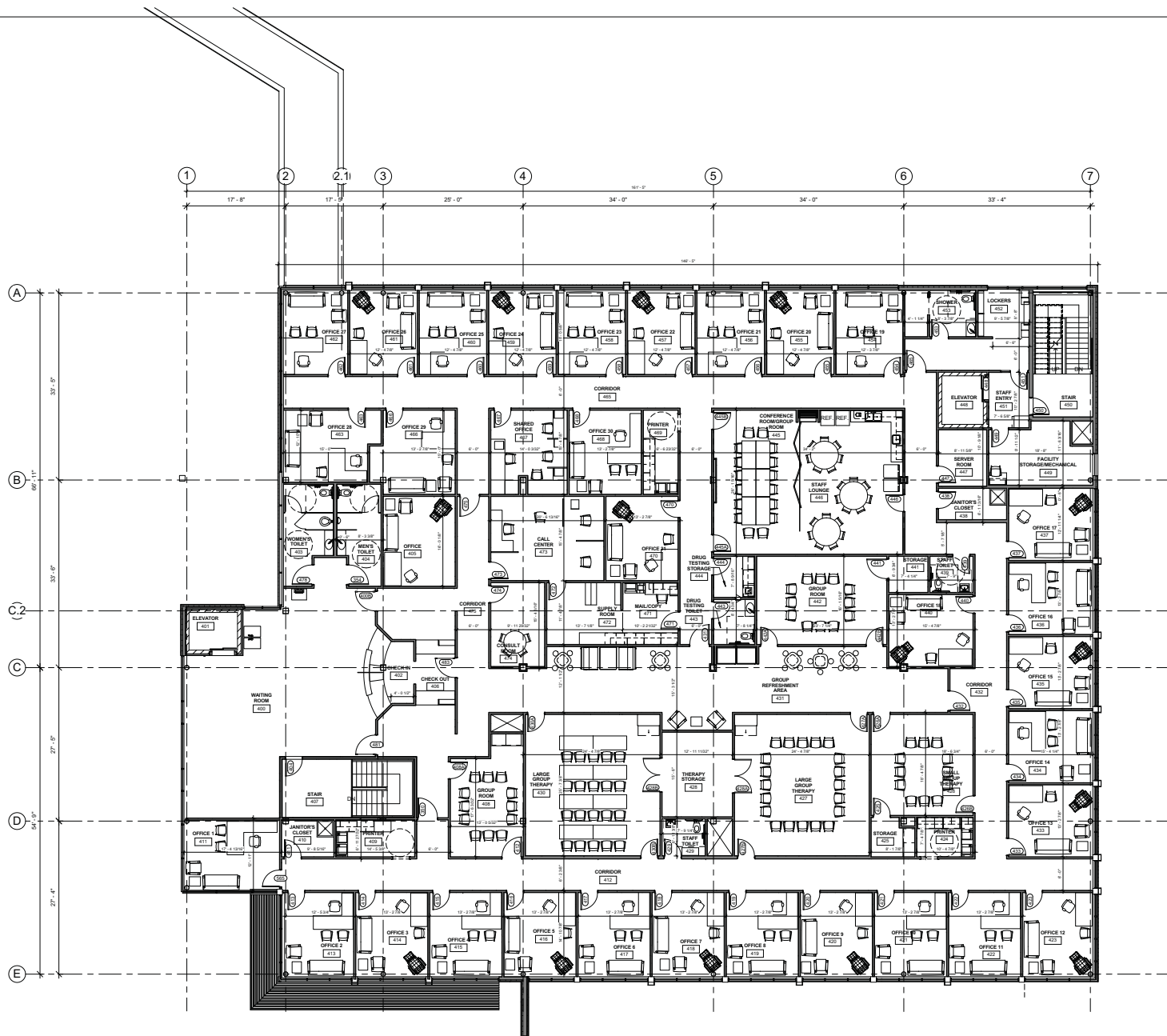
1102 South Park Street
Madison, WI 53715

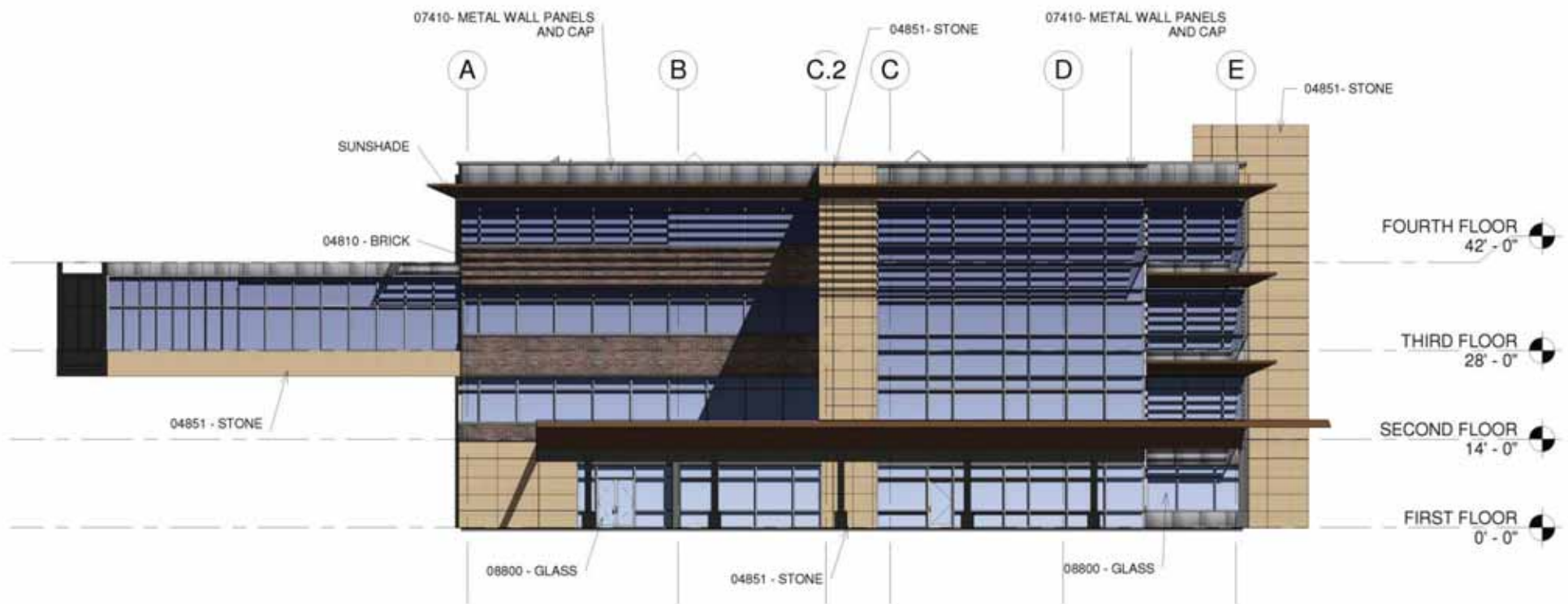
ARCHITECT OF RECORD: MICHAEL K. THEISS
REGISTRATION NO.: 9596-005
ADDRESS: 2100 STEWART AVE. WAUSAU, WI 54401
PHONE: (715) 845-8448 FAX: (715) 845-8896

DRAWING SCALE: 1/8" = 1'-0"
DRAWN BY: Author
ORIGINAL DATE: Issue Date
PROJECT NUMBER: 10-0111

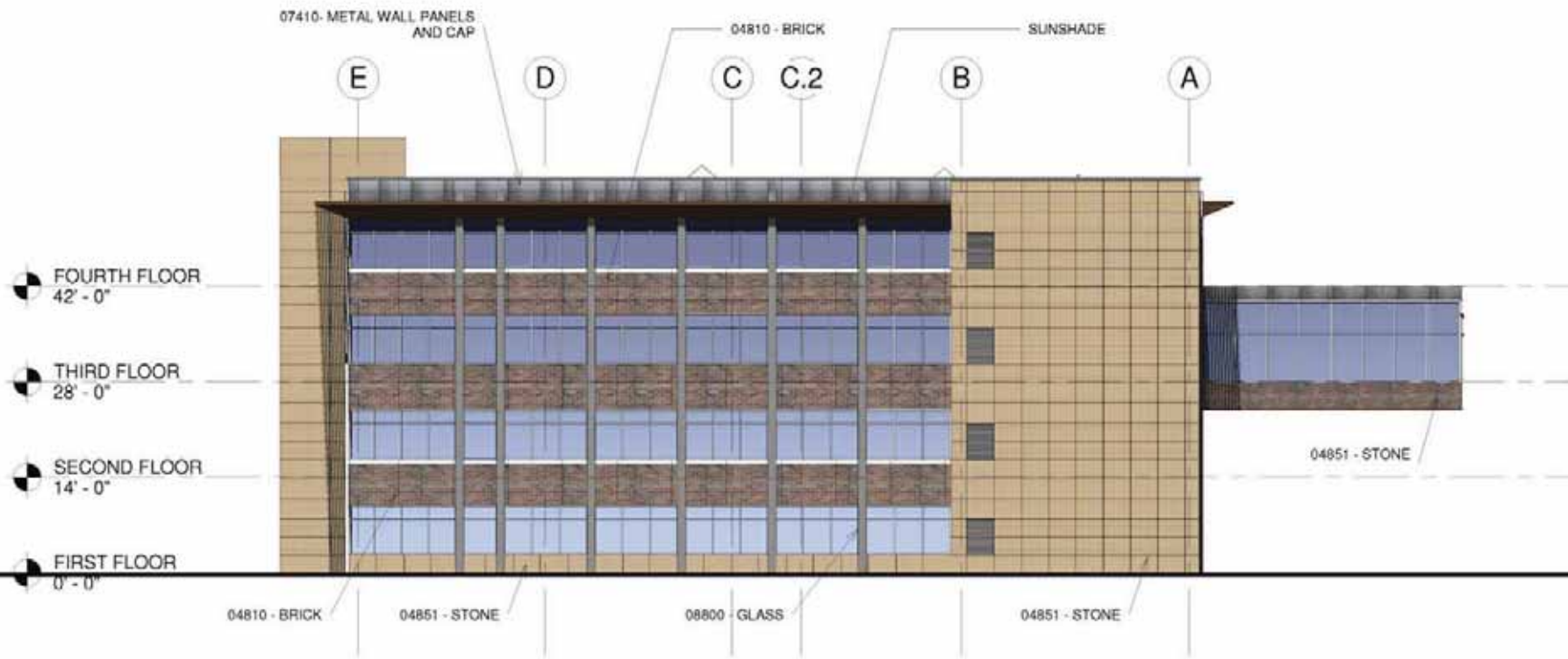
FOURTH FLOOR
DIMENSION FLOOR
PLAN

A1.4

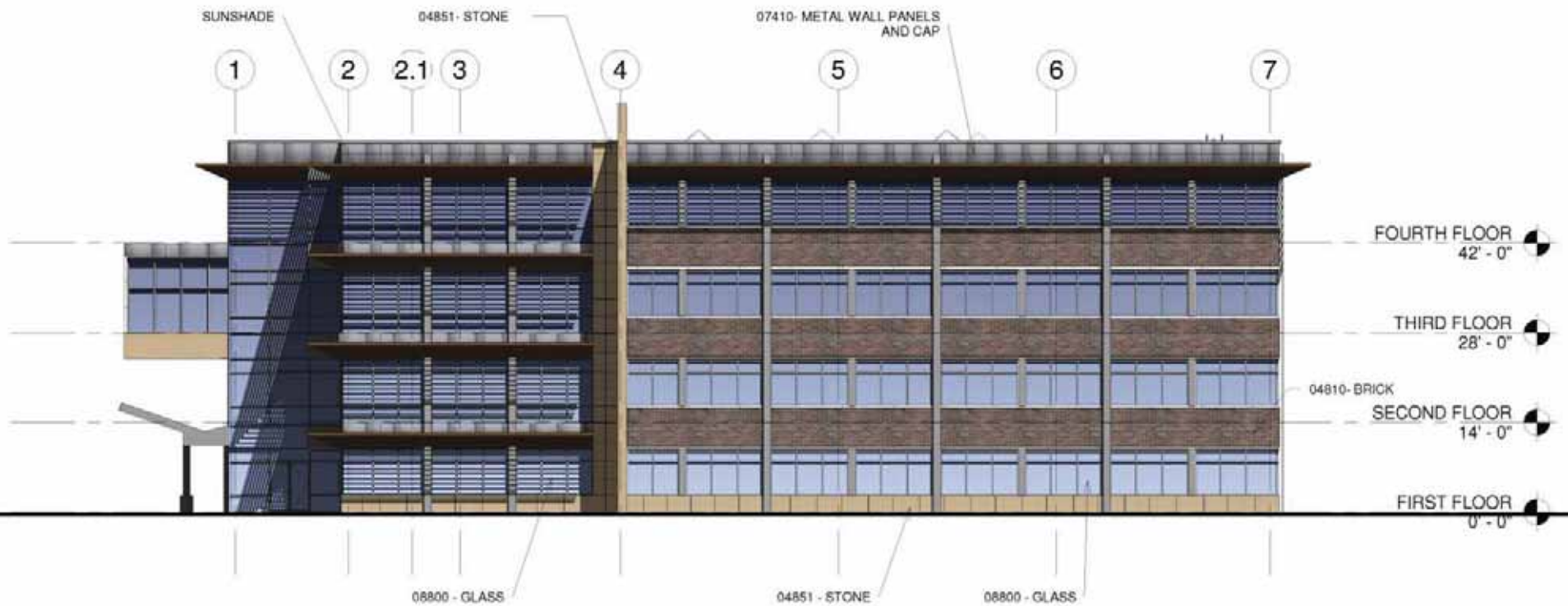




1 SOUTH ELEVATION
A-P-1 1/16" = 1'-0"



1 NORTH ELEVATION
A-P-2 1/16" = 1'-0"



1 EAST ELEVATION
A-P-3 1/16" = 1'-0"

CEDAR SUNSHADE

04810 - BRICK

07410- METAL WALL PANELS
AND CAP

7

6

5

4

3

2.1

2

1

04851- STONE

FOURTH FLOOR
42' - 0"

THIRD FLOOR
28' - 0"

SECOND FLOOR
14' - 0"

07410- METAL PANEL

04851- STONE

FIRST FLOOR
0' - 0"

08800 - GLASS

04851 - STONE

08800 - GLASS

1 WEST ELEVATION
A-P-4 1/16" = 1'-0"





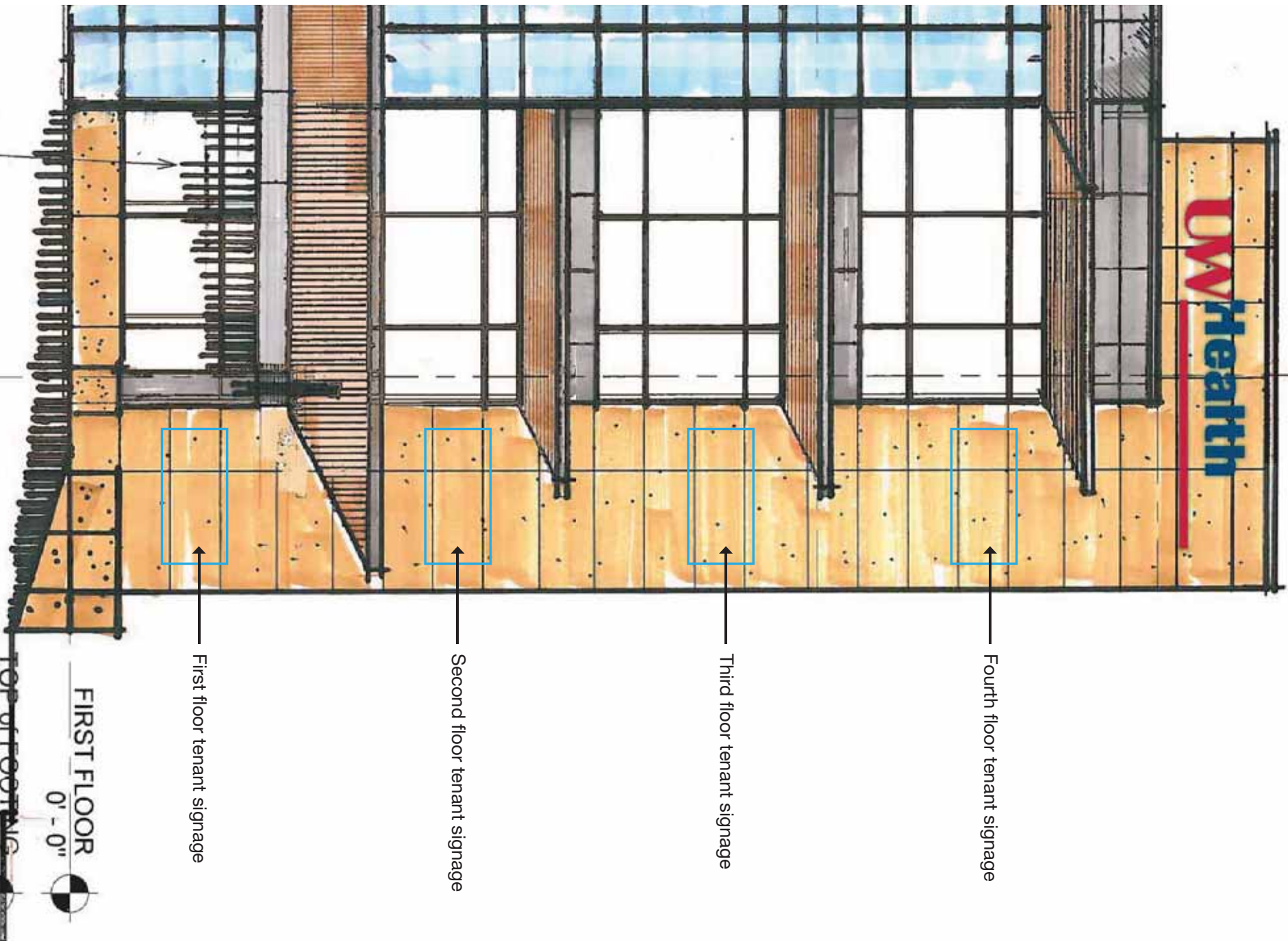
PLEASE NOTE***: DRAFT GRAPHIC
TO BE UPDATED FOR UDC PRESENTATION
SEPTEMBER 07, 2011





1	Camber Wood Bench Landscape Forms	XXXX
2	Trio Metal Bench Landscape Forms	XXXX
3	Trio Wood Bench Landscape Forms	XXXX
4	Knight Wood Bench Landscape Forms	XXXX
5	Privacy Fence	XXXX
6	Bollard TF8048 Wausau Tile	XXX
7	Bollard SL805 Wausau Tile	XXX
8	Melville Wood Bench Landscape Forms	XXXX
9	Transit Litter & Recycling Receptacle Landscape Forms	XXXX
10	Urban Renaissance Litter Receptacle Landscape Forms	XXXX
11	Concrete Bevel Planter Landscape Forms	XXX
12	Metro Collection - Connect Bus Shelter Landscape Forms	XXXXXX
13	'U' Bike Rack Series Saris	XXX

(E)



18800 - GLASS

Since we were asked to put the blade on the building we would need to put signage on both sides of the blade.

FIRST FLOOR

0' - 0"

TOP of FOOTING

-4' - 0"

ALL MAJOR LETTERING INTERNALLY-LIT PUSH-THRU

5'

UW **Health**

18"

Fourth Floor Tenant

15"

SILVER
METALLIC

Third Floor Tenant

15"

Second Floor Tenant

15"

First Floor Tenant

15"

STONE
SAME AS
BUILDING
BY G.C.

9'

4'

30"

4'