

DRAWING SET IDENTIFIER

- PROJECT MASTER SET
- BUILDING 'X'
- BUILDING 'Y'
- BUILDING 'Z'
- BUILDING '1'
- BUILDING '2'
- BUILDING '3'
- BUILDING '4'
- BUILDING '5'
- CLUBHOUSE
- GARAGE #1
- GARAGE #2
- GARAGE #3
- GARAGE #4
- GARAGE #5
- GARAGE #6
- GARAGE #7
- GARAGE #8
- GARAGE #9
- GARAGE #10



HUD PROJECT #
TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:
JUNE 26, 2012

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

REVISIONS:

JOB NUMBER:
1206230

SHEET

A0.0

CODE REVIEW
EXISTING APARTMENT BUILDINGS
OCCUPANCY: R-2
CONSTRUCTION CLASSIFICATION: TYPE 5B (NO SPRINKLER SYSTEM)

BUILDING A
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

BUILDING B
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

BUILDING C
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

BUILDING D
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

BUILDING E
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

BUILDING F
GROSS BUILDING AREA: 37,728 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

NEW CLUBHOUSE
OCCUPANCY: A-3
CONSTRUCTION CLASSIFICATION: TYPE 5B (NO SPRINKLER SYSTEM)
ALLOWABLE HEIGHT & AREA: 1 STORY, 6,000 S.F. PER FLOOR

CLUBHOUSE
GROSS BUILDING AREA: 3,039 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

CODE REVIEW
NEW CONSTRUCTION GARAGES / EXISTING CONSTRUCTION GARAGES
OCCUPANCY: S-2
CONSTRUCTION CLASSIFICATION: TYPE 5B (NO SPRINKLER SYSTEM)
ALLOWABLE HEIGHT & AREA: 2 STORES, 13,500 S.F. PER FLOOR

GARAGE #1
GROSS BUILDING AREA: 1,414 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

EXISTING 'A', GARAGE #2, GARAGE #3, EXISTING 'B' & GARAGE #4
EXISTING GARAGE 'A' GROSS BUILDING AREA: 1,348 S.F.
GARAGE #2 GROSS BUILDING AREA: 1,214 S.F.
GARAGE #3 GROSS BUILDING AREA: 3,034 S.F.
EXISTING GARAGE 'B' GROSS BUILDING AREA: 2,887 S.F.
TOTAL GROSS BUILDING AREA: 10,810 S.F. < ALLOWED 13,500 S.F. PER IBC SECTION 705.3 EXCEPTION (PASS)
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

EXISTING 'C', GARAGE #5 & GARAGE #6
EXISTING GARAGE 'C' GROSS BUILDING AREA: 1,228 S.F.
GARAGE #5 GROSS BUILDING AREA: 2,213 S.F.
TOTAL GROSS BUILDING AREA: 6,328 S.F. < ALLOWED 13,500 S.F. PER IBC SECTION 705.3 EXCEPTION (PASS)
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

EXISTING 'D', GARAGE #7 & GARAGE #8
EXISTING GARAGE 'D' GROSS BUILDING AREA: 2,038 S.F.
GARAGE #7 GROSS BUILDING AREA: 1,214 S.F.
TOTAL GROSS BUILDING AREA: 4,866 S.F. < ALLOWED 13,500 S.F. PER IBC SECTION 705.3 EXCEPTION (PASS)
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

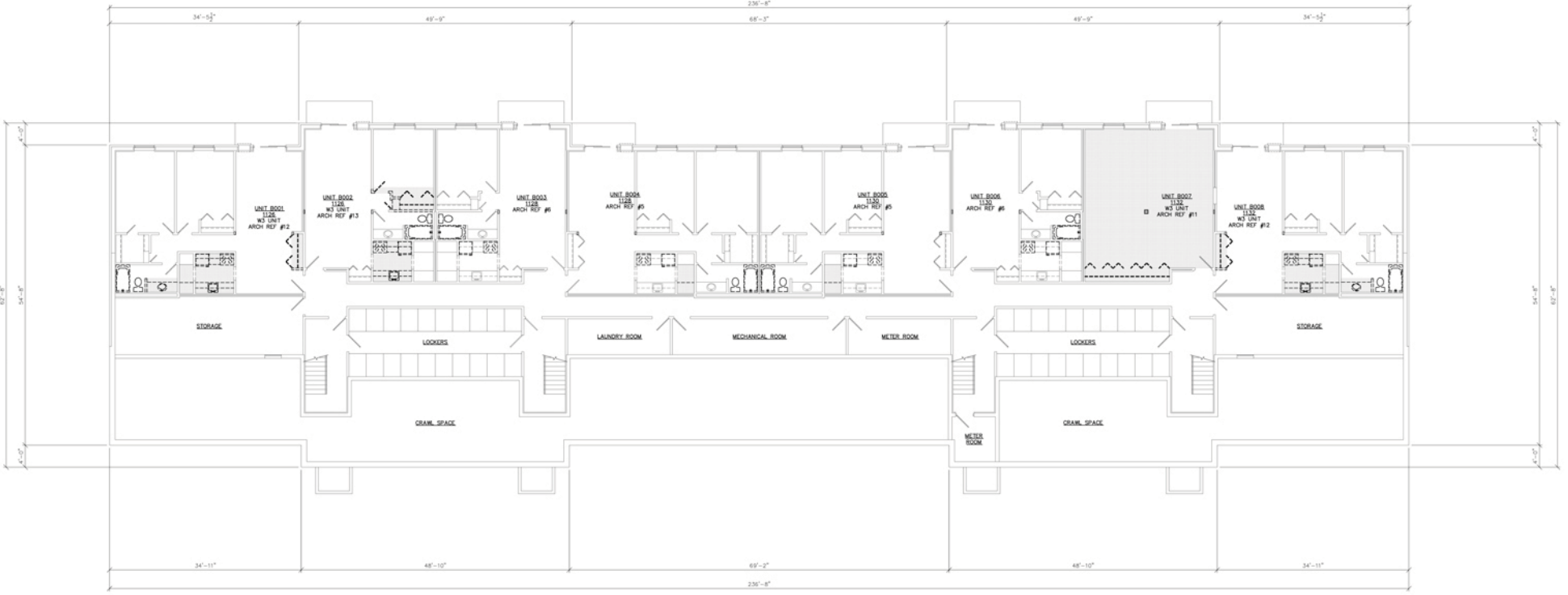
GARAGE #9
GROSS BUILDING AREA: 1,414 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
PER IBC SECTION 705.5, MAGNARY LINE DRAWN BETWEEN STRUCTURES MUST MEET CRITERIA OF IBC 705.5 & 705.8 (PASS)

GARAGE #10
GROSS BUILDING AREA: 1,434 S.F.
BUILDING FURTHER THAN 30' FROM ANOTHER STRUCTURE = PER IBC TABLE 602, NO EXTERIOR WALL FIRE RESISTANCE REQUIRED (PASS)
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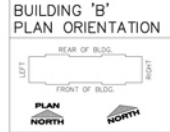


**CODE REVIEW AND
IMAGINARY PROPERTY LINE STUDY**
SCALE: 1" = 50'-0"





EXISTING
LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"



BUILDING B ADDRESS: 1126-1132 MOORLAND ROAD

	Arch #1	Arch #2	Arch #3	Arch #4	Arch #5	Arch #6	Arch #7	Arch #8	Arch #9	Arch #10	Arch #11	Arch #12	Arch #13	Arch #14	Arch #15	Arch #16	Arch #17	Arch #18
BUILDING A																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING B																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING C																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING D																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING E																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING F																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
BUILDING G																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Arch #1	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
TOTALS	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27

FLOOR PLAN SYMBOLS:

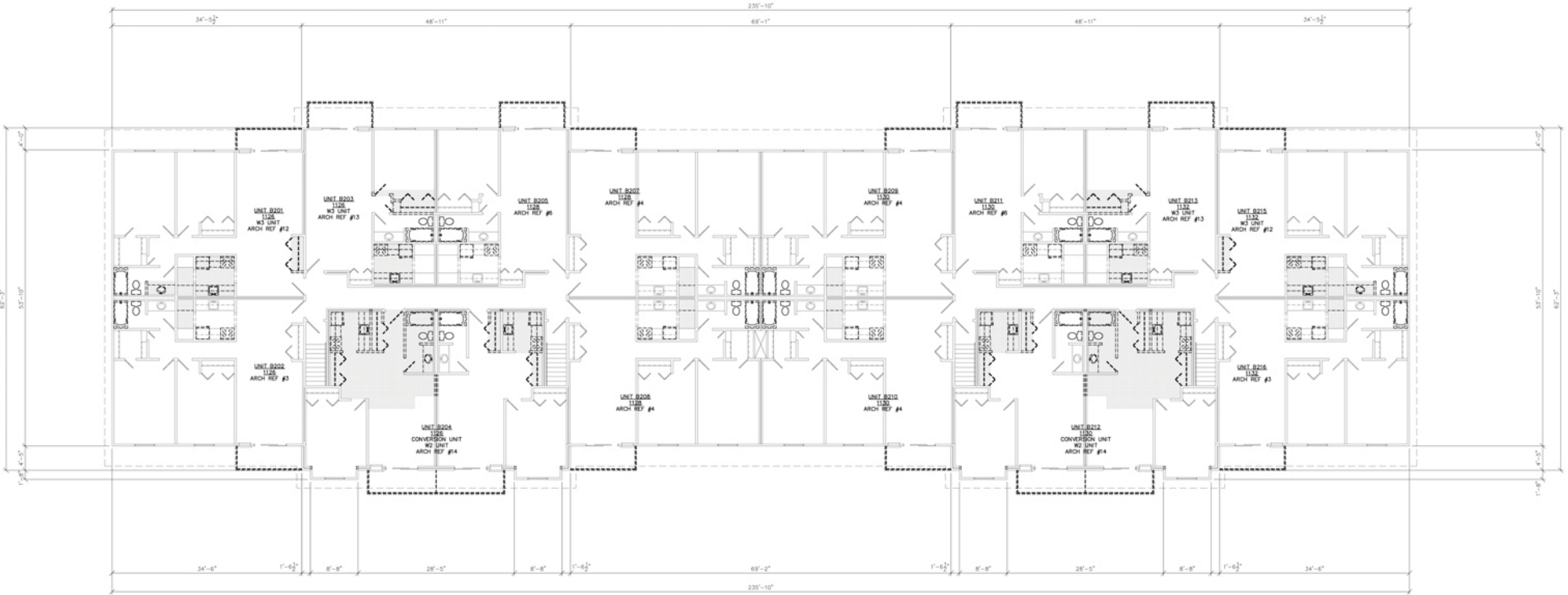
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL NOTES
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONNECTION UNIT
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - BASE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (DISTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVEL, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVEL, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- W/ UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOL.

FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" - (2) EXISTING UNITS COMBINED
- INDICATES "W/ UNITS" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTENSION GRACE ACCESSIBLE
- INDICATES "W/ UNITS" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ROLL-IN SHOWER
- INDICATES "W/ UNITS" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING ALIABLE VISIBLE SOUNDING DEVICES PER AND SECTION 1005: UNIT SMOKE DETECTOR, UNIT DOORBELL, AND UNIT TELEPHONE
- FIELD VERIFY ORAM SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-STUD TO FACE-OF-STUD UNLESS NOTES OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-STUD
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PIANO HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERCOM SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS - VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY; REPAIR AND REINSTATE AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.9 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S

GENERAL DEMOLITION NOTES:

- ALL DEMOLITION BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL, ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED
- PATCH ALL WORK AT REMOVAL AND NEW CONNECTION POINTS AS REQUIRED TO MATCH ADJACENT NEW OR EXISTING FINISHES
- DEMOLITION SHOWN ON PLAN IS SHOWN TO IDENTIFY WALLS, CASEWORK AND FIXTURES. ALL DEMOLITION IS TO BE SELECTIVE IN NATURE AND MANUAL, AS TO NOT DISTURB ADJACENT FINISHES. CEILING FINISHES TO REMAIN WHEREVER NEW CONSTRUCTION ALLOWS
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER IN ADDITION TO ITEMS LISTED ON THE PLAN. ANY ITEM NOT LISTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE AND DISPOSED OF IN THE PROPERTY AND LEGAL MANNER
- VERIFY REMOVAL OF ALL DOORS, APPLIANCES, AND DRYWALL REPAIR WITH INTERIOR FINISH SCHEDULE
- VERIFY REMOVAL OF KITCHEN CABINETS WITH INTERIOR FINISH SCHEDULE AND OVERALL FLOOR PLANS. IF WHEA UNIT, KITCHEN CABINETS WILL AUTOMATICALLY BE REPLACED
- LEAD BASED PAINT ASSESSMENT COMPLETED. SEE SPECIFICATION MANUAL, SECTION 02 26 23
- ALL CARPETING, TACK STRIP AND PAD TO BE REMOVED BY DEMOLITION CONTRACTOR. WOOD FLOOR BASE TO REMAIN
- VINYL FLOOR COVERING AND BASE REMAIN IN ALL VINYL FLOOR COVERING AREAS
- ALL CERAMIC WALL TILE AND SUPPORTING GYPSUM BACKER IN TUB / SHOWER AREA TO BE REMOVED AS A COMPLETE IN COMPLIANCE WITH ASBESTOS ASSESSMENT. SEE PROJECT SPECIFICATIONS SECTION 02 26 26
- REMOVE ALL BATHTUBS, TOILETS & KITCHEN SINKS
- NOTE TO CONTRACTOR: PRESERVATION OF SHELL UNITS (NON-CONSTRUCTED UNITS) IN EXISTING BUILDING SUGGEST THAT FLOOR JOISTS BEAR ON A PLUSH BEAM SUPPORTED BY COLUMNS. HOWEVER, EXISTING FOUNDATION PLAN SUGGESTS THAT SOME INTERIOR WALLS ARE BEARING BASED ON STRIP FOOTING LOCATIONS. PRIOR TO DEMOLITION OF WALLS, CONTRACTOR SHALL REMOVE GYPSUM BOARD FROM CEILING ADJACENT TO WALLS SCHEDULED FOR DEMOLITION. IF FLOOR BEAM DOES NOT EXIST, CONSULT WITH ARCHITECT ON SITE TO PROVIDE DROPPED HEADER CONDITION WITH BEARING STUDS (AND COMPLY STUDS AT FLOOR FRAMING RELIEF IF NECESSARY AT BEARING WALLS SCHEDULED TO BE DEMOLISHED OR REMOVED)



EXISTING SECOND LEVEL PLAN

SCALE: 1/8" = 1'-0"



BUILDING 'B' PLAN ORIENTATION



BUILDING B ADDRESS: 1126-1132 MOORLAND ROAD

	Axis #1	Axis #2	Axis #3	Axis #4	Axis #5	Axis #6	Axis #7	Axis #8	Axis #9	Axis #10	Axis #11	Axis #12	Axis #13	Axis #14	Axis #15	Axis #16	Axis #17	Axis #18
BUILDING A																		
Unit	2	2	0	0	0	2	2	0	0	2	2	0	0	0	0	0	0	0
Garage	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2
Storage	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2
Relief	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2	4	4	2
BUILDING B																		
Unit	0	0	0	0	0	2	2	0	0	0	1	2	1	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	2	2	0	0	0	0	1	1	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
Relief	0	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	7	37	40	39	47	38	1	3	3	4	10	9	3	3	3	3	3

FLOOR PLAN SYMBOLS:

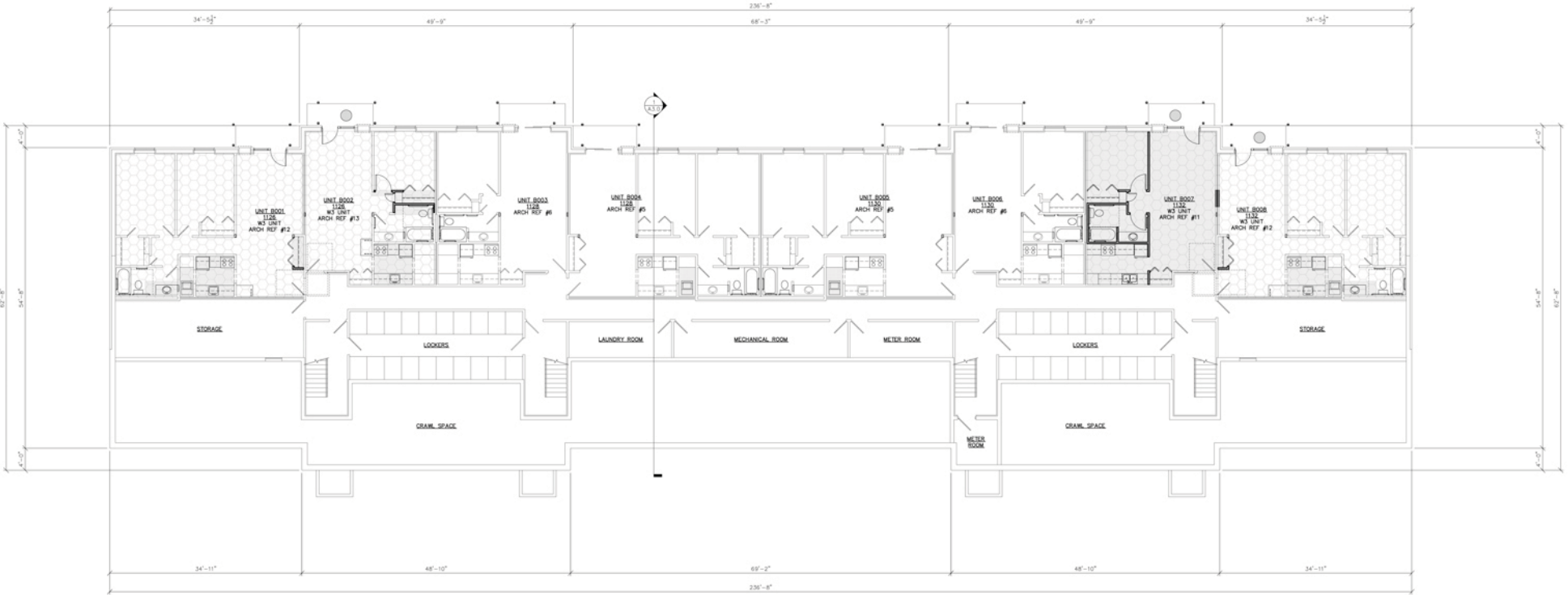
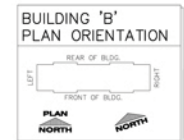
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL NOTES
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONNECTION UNIT
- CONVERSION UNIT
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - BASE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (DISTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
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- WI UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" - (C) EXISTING UNITS COMBINED
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTENSION GRACE ACCESSIBLE
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ROLL-IN SHOWER
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING ALIABLE AND VISIBLE SOUNDING DEVICES: UNIT 1000; UNIT SMOKE DETECTOR, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY ORAM SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS 8-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-UP-TO FACE-UP UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-UP-TO
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANDA HARDWARE AT COMMON AREAS (MECHANICAL, WETER, LAUNDRY, STORAGE AND DON ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE INSTALLED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REPAIR NON INTERIOR STAIR RAILINGS AND SANDBLAST, REPAINT AND REINSTALL AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.9 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S.

GENERAL DEMOLITION NOTES:

- ALL DEMOLITION BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL, ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED
- PATCH ALL WORK AT REMOVAL AND NEW CONNECTION POINTS AS REQUIRED TO MATCH ADJACENT NEW OR EXISTING FINISHES
- DEMOLITION SHOWN ON PLAN IS SHOWN TO IDENTIFY WALLS, CASEWORK AND FIXTURES. ALL DEMOLITION IS TO BE SELECTIVE IN NATURE AND MINIMAL IN SCOPE AS TO NOT DISTURB ADJACENT FINISHES. CEILING FINISHES TO REMAIN WHEREVER NEW CONSTRUCTION ALLOWS
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT LISTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE AND DISPOSED OF IN THE PROPER AND LEGAL MANNER
- VERIFY REMOVAL OF ALL DOORS, APPLIANCES, AND DRYWALL REPAIR WITH INTERIOR FINISH SCHEDULE
- VERIFY REMOVAL OF KITCHEN CABINETS WITH INTERIOR FINISH SCHEDULE AND OVERALL FLOOR PLANS. IF WHEA UNIT, KITCHEN CABINETS WILL AUTOMATICALLY BE REPLACED
- LEAD BASED PAINT ASSESSMENT COMPLETED. SEE SPECIFICATION MANUAL, SECTION 02 26 23
- ALL CARPETING, TACK STRIP AND PAD TO BE REMOVED BY DEMOLITION CONTRACTOR. WOOD FLOOR BASE TO REMAIN
- VINYL FLOOR COVERING AND BASE REMAIN IN ALL VINYL FLOOR COVERING AREAS
- ALL CERAMIC WALL TILE AND SUPPORTING GYPSUM BACKER IN TUB / SHOWER AREA TO BE REMOVED AS TO COMPOSITE IN COMPLIANCE WITH ASBESTOS ASSESSMENT. SEE PROJECT SPECIFICATIONS SECTION 02 26 26
- REMOVE ALL BATHROOMS, TOILETS & KITCHEN SINKS
- NOTE TO CONTRACTOR: PRESERVATION OF SHELL UNITS (NON-CONSTRUCTED UNITS) IN EXISTING BUILDING SUGGEST THAT FLOOR JOISTS BEAR ON A PLUSH BEAM SUPPORTED BY COLUMNS. HOWEVER, EXISTING FOUNDATION PLAN SUGGESTS THAT SOME INTERIOR WALLS ARE BEARING BASED ON STRIP FOOTING LOCATIONS. PRIOR TO DEMOLITION OF WALLS, CONTRACTOR SHALL REMOVE GYPSUM BOARD FROM CEILING ADJACENT TO WALLS SCHEDULED FOR DEMOLITION. IF FLOOR BEAM DOES NOT EXIST, CONSULT WITH ARCHITECT ON SITE TO PROVIDE PROPPED HEADER CONDITION WITH BEARING STUDS (AND COMPLE STUDS AT FLOOR FRAMING BELOW IF NECESSARY) AT BEARING WALLS SCHEDULED TO BE DEMOLISHED OR REMOVED.

REMODELED
LOWER LEVEL PLAN

	Ans MF1	Ans MF2	Ans MF3	Ans MF4	Ans MF5	Ans MF6	Ans MF7	Ans MF8	Ans MF9	Ans MF10	Ans MF11	Ans MF12	Ans MF13	Ans MF14	Ans MF15	Ans MF16	Ans MF17	Ans MF18
BUILDING A																		
Lower	2	0	0	0	0	2	0	0	0	0	3	2	0	0	0	0	0	0
Grade	4	0	0	0	0	4	0	0	0	0	2	2	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	18	0	0	0	0	6	0	0	0	0	5	4	0	0	0	0	0	0
BUILDING B																		
Lower	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0	0
Grade	0	0	2	4	0	2	4	0	0	0	0	2	2	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	0	0	0	0	2	2	0	0	0	0	1	4	3	0	0	0	0	0
BUILDING C																		
Lower	0	1	0	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0
Grade	0	0	0	4	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	0	1	0	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0
BUILDING D																		
Lower	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Grade	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	10	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Lower	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
Grade	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
BUILDING F																		
Lower	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
Grade	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
BUILDING G																		
Lower	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
Grade	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Senior	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Wing C Totals	0	2	0	0	0	2	2	0	0	1	0	0	0	0	0	0	0	0
TOTALS																		
	27	7	0	0	48	30	40	20	1	3	3	4	13	9	10	6	0	0

FLOOR PLAN SYMBOLS:

===== EXISTING WALL TO REMAIN

----- EXISTING WALL TO BE REMOVED

SEE PLAN FOR ALL WALL MOTIFS

 EXISTING DOOR TO REMAIN

 EXISTING DOOR TO BE REMOVED

 NEW DOOR

 BUILDING APARTMENT NUMBER

 UNIT 101
CONVERSION UNIT
- RM UNIT
ANCH REF - UNIT TYPE - SEE AS SHEETS

 (SHOWN) MEDIA UNIT TYPE

 (SHOWN) CORNER UNIT

 (SHOWN) MEDIA UNIT TYPE

 (SHOWN) CORNER UNIT

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 (SHOWN) CORNER UNIT

 (SHOWN) MEDIA UNIT TYPE

FLOOR PLAN NOTES:

	INDICATES "CONVERSION UNIT" - (2) EXISTING UNITS COMBINED
	INDICATES "W1 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WASHA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTERIOR GRADE ACCESSIBLE
	INDICATES "W2 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WASHA UNIT - ROLL-IN SHOWER
	INDICATES "W3 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WASHA UNIT
	INDICATES WORK AREA

 HEARING / VISUALLY IMPAIRED UNIT

HEARING / VISUALLY IMPAIRED UNIT TO INCLUDE THE FOLLOWING AUDIBLE AND VISUAL SIGNALING DEVICES PER SECTION 500, UNIT 500, SIGHT DETECTION, UNIT DORMERILL AND UNIT TELEPHONE

FIELD VERIFY CHAIR, SEAT, SHOWER, FLUSH INSULATION, RESTNAIL & SECURE EXISTING FIBERGLASS R-18 BATT INSULATION OR PROVIDE A RUSTAL NEW FIBERGLASS R-18 BATT INSULATION

REPLACE INTERIOR DIMENSIONS AT NEW CONSTRUCTION AREA FROM FACE-TO-STEP TO FACE-OF-STEP UNLESS NOTED OTHERWISE. AT NEW CONSTRUCTION, DIMENSIONS TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE, TO FACE-OF-STEP.

REPLACE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOOR).

REPLACE APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANE HARDWARE AT COMMON AREAS (MECHANICAL, MEET, LAUNDRY, STORAGE, AND DIN ENTRY DOORS).

SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS.

EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS, NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS TO MEET FOLLOWING MIN. DIMENSIONS.

REPAIR EXISTING RIVALL AT COMMON AREAS AS NECESSARY.

REMOVE IRON ENTRY STAIR RAILINGS AND SANGBLAST, REPAINT AND RESTNAIL AT EXISTING LOCATIONS.

AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER SECTION 703.2.3 AND BRAILLE CHARACTERS PER SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 6' 6"

REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.).

REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING

DRAWING SET IDENTIFIER	
PROJECT MASTER SET	
BUILDING 'A'	
BUILDING 'B'	
BUILDING 'C'	
BUILDING 'D'	
BUILDING 'E'	
BUILDING 'F'	
BUILDING 'G'	
CLUBHOUSE	
GARAGE #1	
GARAGE #2	
GARAGE #3	
GARAGE #4	
GARAGE #5	
GARAGE #6	
GARAGE #7	
GARAGE #8	
GARAGE #9	
GARAGE #10	

HUD PROJECT #:
TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

OWNER:

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:

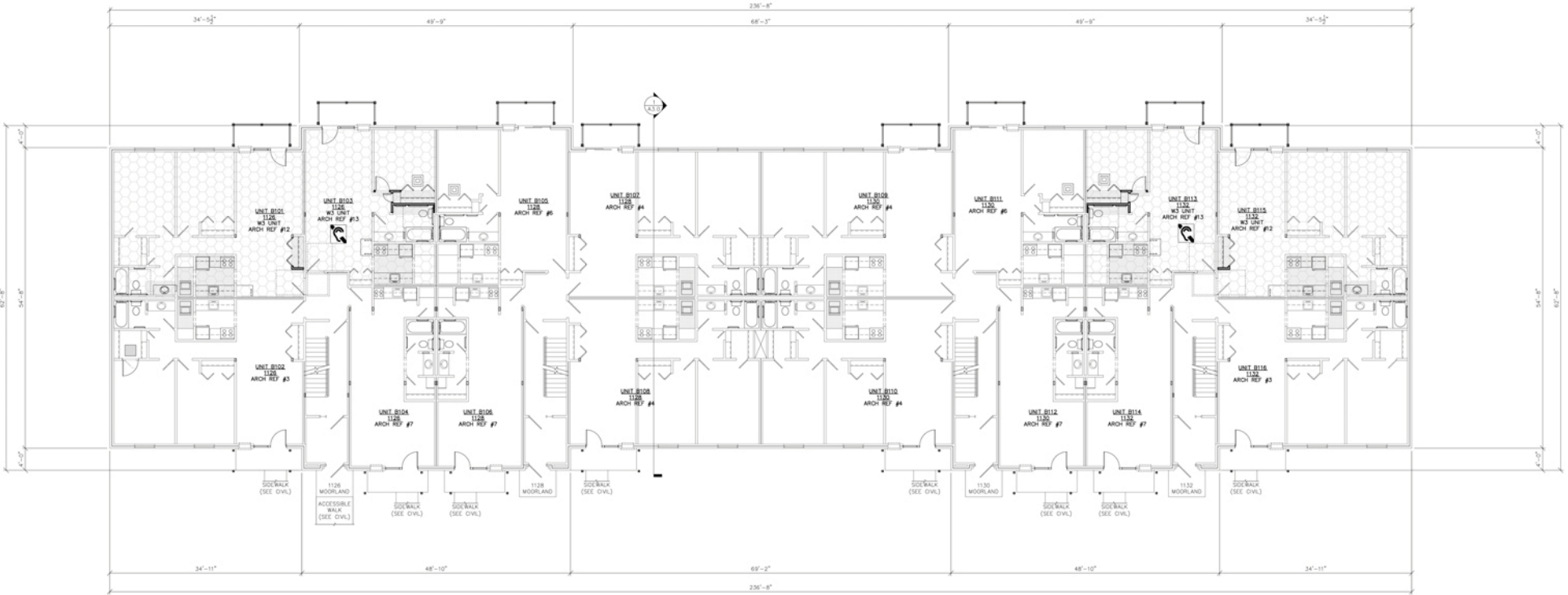
SEE TITLE SHEET TO CONFIRM

REVISIONS:

JOB NUMBER:
1000000

SHEET

A1-1D

REMODELED
GRADE LEVEL PLAN

SCALE: 1/8" = 1'-0"



BUILDING 'B'
PLAN ORIENTATION



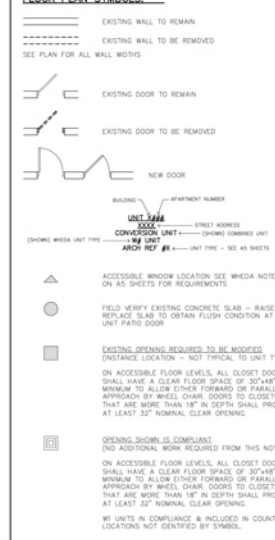
SITE PLAN KEY:



BUILDING B ADDRESS: 1126-1132 MOORLAND ROAD

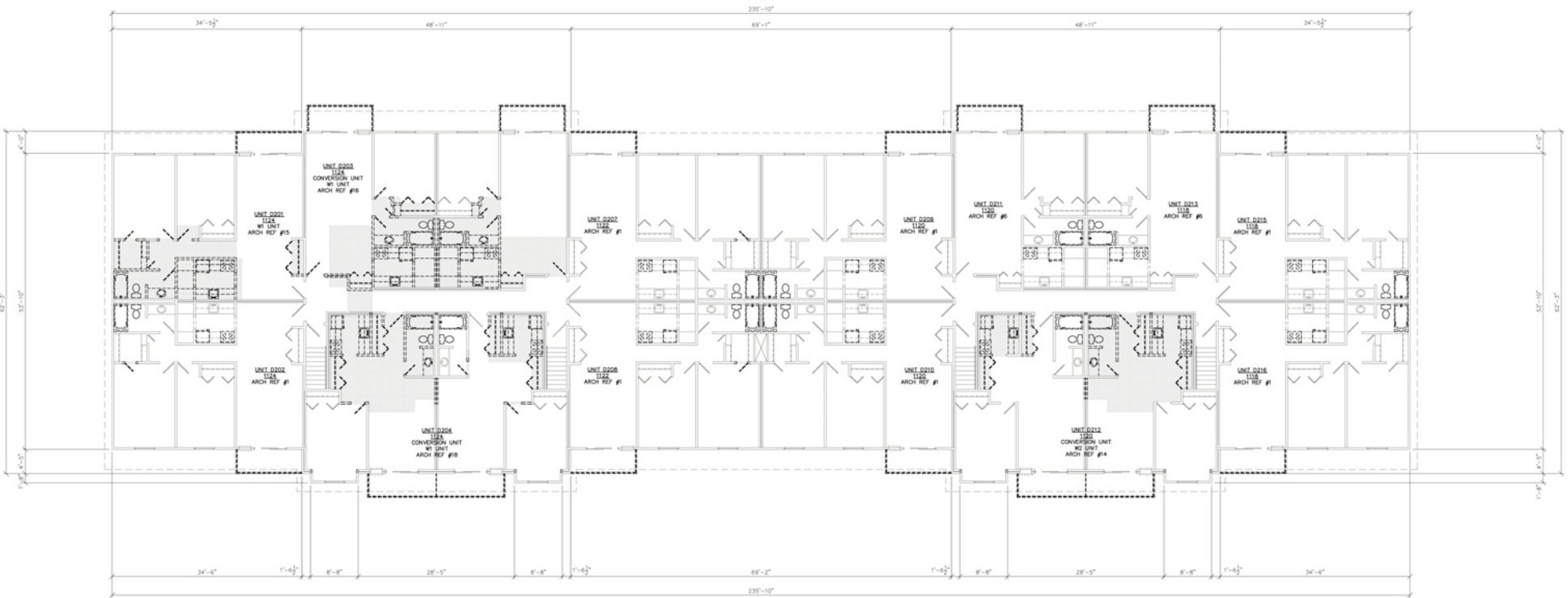
	Arch M1	Arch M2	Arch M3	Arch M4	Arch M5	Arch M6	Arch M7	Arch M8	Arch M9	Arch M10	Arch M11	Arch M12	Arch M13	Arch M14	Arch M15	Arch M16	Arch M17	Arch M18
BUILDING A																		
General	2	1	0	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Graduate	4	2	1	0	0	0	0	0	0	1	1	1	0	0	0	0	0	0
Nonresidential	6	3	1	0	0	0	0	0	0	1	3	3	0	0	0	0	0	0
Relig (T) Total	6	3	1	0	0	0	0	0	0	2	2	2	0	0	0	0	0	0
BUILDING B																		
General	3	0	0	0	2	2	0	0	0	0	1	2	0	0	0	0	0	0
Graduate	3	0	2	4	0	3	4	0	0	0	3	2	2	0	0	0	0	0
Nonresidential	6	0	2	4	2	5	4	0	0	0	4	4	2	0	0	0	0	0
Relig (T) Total	6	0	4	6	2	7	4	0	0	0	7	6	2	0	0	0	0	0
BUILDING C																		
General	3	1	0	0	0	2	3	0	0	0	1	1	0	0	0	0	0	0
Graduate	3	0	4	4	0	4	4	0	0	0	0	0	0	0	0	0	0	0
Nonresidential	6	1	4	4	0	6	8	0	0	0	1	1	0	0	0	0	0	0
Relig (T) Total	6	1	8	8	0	2	12	4	0	0	1	1	0	0	2	0	0	0
BUILDING D																		
General	3	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
Graduate	7	0	0	0	0	2	4	1	0	0	0	0	0	0	1	1	0	0
Nonresidential	10	0	0	0	0	4	4	1	0	0	0	0	0	0	2	2	0	0
Relig (T) Total	10	0	0	0	0	6	8	2	0	0	0	0	0	0	3	3	0	0
BUILDING E																		
General	0	2	0	0	2	2	0	0	0	1	0	0	0	0	0	0	0	0
Graduate	0	0	3	4	0	2	4	0	0	0	0	0	0	0	1	0	1	0
Nonresidential	0	2	3	4	0	2	4	0	0	1	0	0	0	0	1	1	1	0
Relig (T) Total	0	2	3	4	0	2	4	0	0	1	1	0	0	0	2	1	2	0
BUILDING F																		
General	0	2	0	0	2	2	0	0	0	1	0	0	0	0	0	0	0	0
Graduate	0	0	2	4	0	2	0	0	0	1	0	0	0	0	0	0	0	0
Nonresidential	0	2	2	4	0	2	0	0	0	2	0	0	0	0	0	0	0	0
Relig (T) Total	0	2	2	4	0	2	0	0	0	3	0	0	0	0	0	0	0	0
BUILDING G																		
General	0	2	0	0	2	2	0	0	0	1	0	0	0	0	0	0	0	0
Graduate	0	0	2	4	0	2	0	0	0	1	0	0	0	0	0	0	0	0
Nonresidential	0	2	2	4	0	2	0	0	0	2	0	0	0	0	0	0	0	0
Relig (T) Total	0	2	2	4	0	2	0	0	0	3	0	0	0	0	0	0	0	0
TOTALS	10	2	3	16	30	42	26	3	3	3	10	9	30	3	3	3	3	3

FLOOR PLAN SYMBOLS:



FLOOR PLAN NOTES:





**EXISTING
SECOND LEVEL PLAN**
SCALE: 1/8" = 1'-0"
0' 5' 10'

	Arch Ref #1	Arch Ref #2	Arch Ref #3	Arch Ref #4	Arch Ref #5	Arch Ref #6	Arch Ref #7	Arch Ref #8	Arch Ref #9	Arch Ref #10	Arch Ref #11	Arch Ref #12	Arch Ref #13	Arch Ref #14	Arch Ref #15	Arch Ref #16	Arch Ref #17	Arch Ref #18
BUILDING A																		
Unit	2	0	0	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Garage	4	0	2	0	0	2	4	0	0	0	2	2	0	0	0	0	0	0
Storage	4	0	2	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Room #	30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	2	2	0	0	0	0	1	1	0	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	2	0	0	0	0	0	0	1	1	0	0	0
Garage	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING H																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Garage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Room #	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	2	37	40	39	47	38	1	3	3	4	10	9	10	3	3	3	1

FLOOR PLAN SYMBOLS:

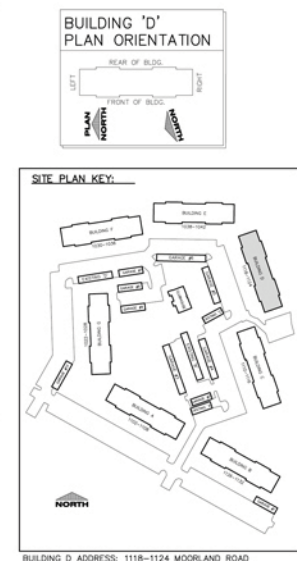
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONVERSION UNIT
- ARCH REF #X
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE MHEDA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - RAISE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" MINIMUM TO ALLOW OTHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" MINIMUM TO ALLOW OTHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- WI UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

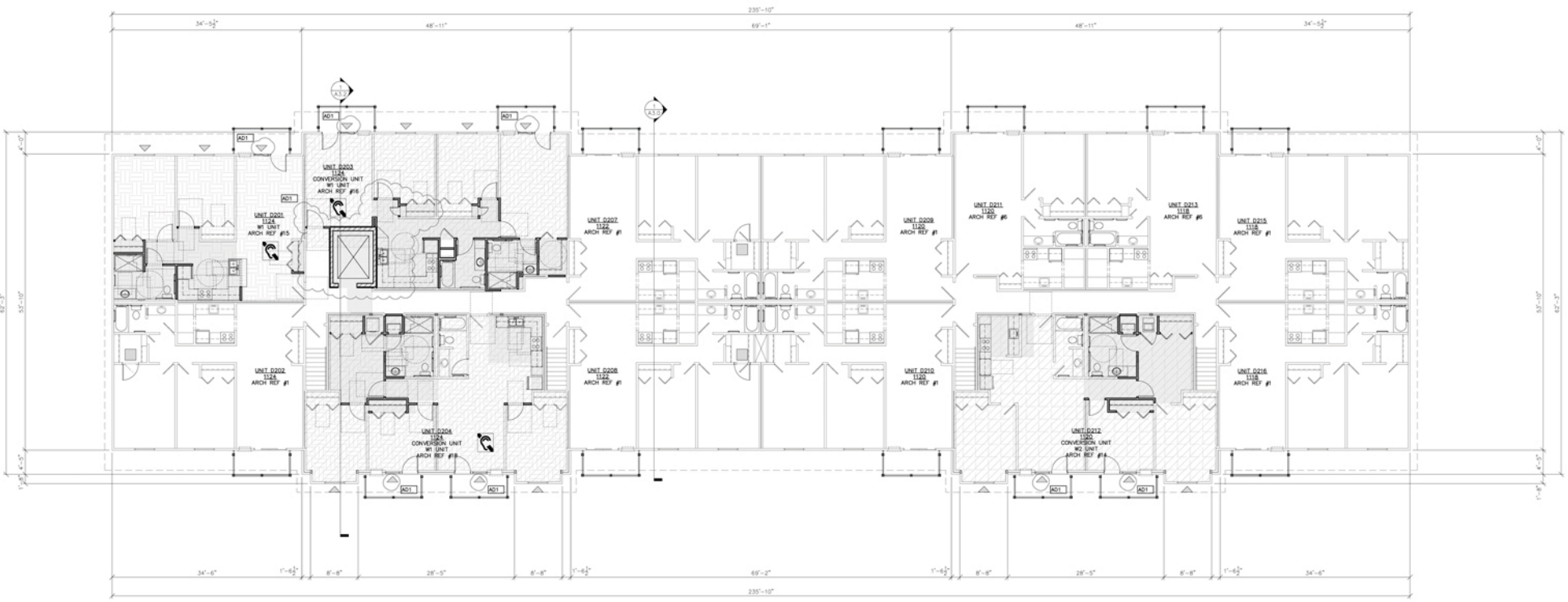
FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" - (2) EXISTING UNITS COMBINED
- INDICATES "WI UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEELCHAIR UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTENSION GRADE ACCESSIBLE
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEELCHAIR UNIT - ROLL-IN SHOWER
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEELCHAIR UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER AND SECTION 1005: UNIT SMOKE DETECTION, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY ORAM SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIREGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIREGLASS 8-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-WALL TO FACE-OF-WALL UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-WALL
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANE-HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE INSTALLED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REMOVE HIGH INTERIOR STAIR RAILINGS AND SANDBLAST, REPAINT AND REINSTATE AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.2 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.P.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S

GENERAL DEMOLITION NOTES:

- ALL DEMOLITION BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK
- WHERE REMOVAL OF PIPES, CONDUIT, OUTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED
- PATCH ALL WORK AT REMOVAL AND NEW CONNECTION POINTS AS REQUIRED TO MATCH ADJACENT NEW OR EXISTING FINISHES
- DEMOLITION SHOWN ON PLAN IS SHOWN TO IDENTIFY WALLS, CASEWORK AND FIXTURES. ALL DEMOLITION IS TO BE SELECTIVE IN NATURE AND MINIMAL IN SCOPE AS TO NOT DISTURB ADJACENT FINISHES, CEILING FINISHES TO REMAIN, WRITE NEW CONSTRUCTION ALLOWED
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT MAINTAINED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE END AND DISPOSED OF IN THE PROPER AND LEGAL MANNER
- VERIFY REMOVAL OF ALL DOORS, APPLIANCES, AND DRYWALL REPAIR WITH INTERIOR FINISH SCHEDULE
- VERIFY REMOVAL OF KITCHEN CABINETS WITH INTERIOR FINISH SCHEDULE AND OVERALL FLOOR PLANS. IF WHEELCHAIR KITCHEN CABINETS WILL AUTOMATICALLY BE REPLACED
- LEAD BASED PAINT ASSESSMENT COMPLETED. SEE SPECIFICATION MANUAL, SECTION 02 26 23.
- ALL CARPETING, TACK STRIP AND PAD TO BE REMOVED BY DEMOLITION CONTRACTOR. WOOD FLOOR BASE TO REMAIN
- VINYL FLOOR COVERING AND BASE REMAIN IN ALL VINYL FLOOR COVERING AREAS
- ALL CERAMIC WALL TILE AND SUPPORTING GYPSUM BACKER IN TUB / SHOWER AREA TO BE REMOVED AS A COMPOSITE IN COMPLIANCE WITH ASBESTOS ASSESSMENT. SEE PROJECT SPECIFICATIONS SECTION 02 26 26
- REMOVE ALL BATHROOMS, TOILETS & KITCHEN SINKS
- NOTE TO CONTRACTOR: REDEMPTION OF SHELL UNITS (NON-CONSTRUCTED UNITS) IN EXISTING BUILDING SUGGEST THAT FLOOR JOISTS BEAR ON A FLUSH BEAM SUPPORTED BY COLUMNS. HOWEVER, EXISTING FOUNDATION PLAN SUGGESTS THAT SOME INTERIOR WALLS ARE BEARING BASED ON FLOOR JOIST LOCATIONS. PRIOR TO DEMOLITION OF WALLS, CONTRACTOR SHALL REMOVE GYPSUM BOARD FROM CEILING ADJACENT TO WALLS SCHEDULED FOR DEMOLITION. IF FLUSH BEAM DOES NOT EXIST, CONSULT WITH ARCHITECT ON SITE TO PROVIDE PROPERLY HEADER CONDITION WITH BEARING STUDS (AND DOUBLE STUDS AT FLOOR FRAMING BELOW IF NECESSARY) AT BEARING WALLS SCHEDULED TO BE DEMOLISHED OR REMOVED.





REMODELED SECOND LEVEL PLAN

SCALE: 1/8" = 1'-0"



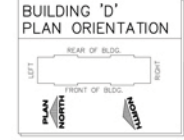
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BUILDING A																		
Unit	2	0	0	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Garage	4	0	1	0	0	2	4	0	0	0	2	2	0	0	0	0	0	0
Interior	4	0	2	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Stg. & Trn.	30	0	4	0	0	0	0	0	0	0	2	4	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	1	2	1	0	0	0	0	0	0
Garage	0	0	1	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	2	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Stg. & Trn.	0	0	4	0	0	0	0	0	0	0	4	0	0	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	2	3	0	0	0	1	1	0	0	0	0	0	0
Garage	0	0	1	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Stg. & Trn.	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Stg. & Trn.	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	1	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Stg. & Trn.	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	2	2	0	0	0	1	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Stg. & Trn.	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Interior	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Stg. & Trn.	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	2	37	40	30	47	38	1	3	3	4	10	9	10	4	3	3	1

FLOOR PLAN SYMBOLS:

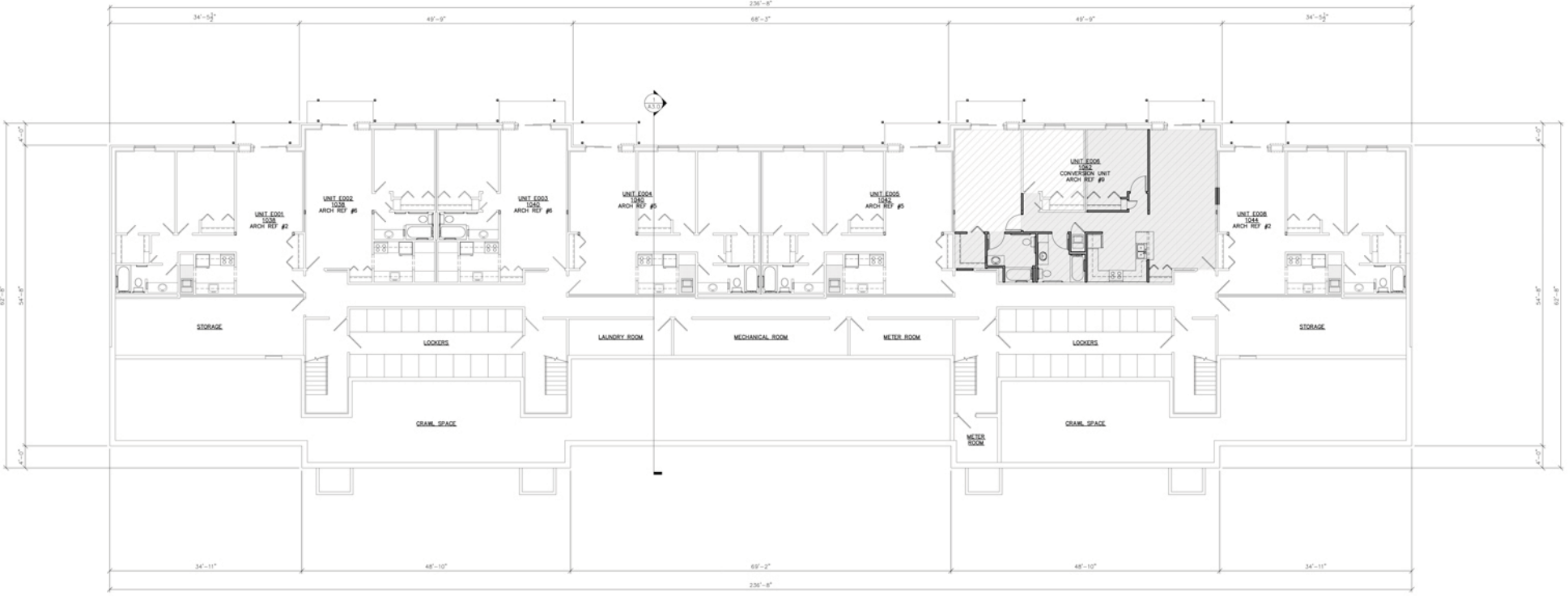
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- UNIT #/ARCH REF #/CONVERSION UNIT
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - RAISE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (ENTRANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- WI UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" - (2) EXISTING UNITS COMBINED
- INDICATES "WI UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTERIOR GRADE ACCESSIBLE
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ROLL-IN SHOWER
- INDICATES "NO UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER AND SECTION 7005: UNIT SMOKE DETECTION, UNIT DOORBELL, AND UNIT TELEPHONE
- FIELD VERIFY ORAM, SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-STUD TO FACE-OF-STUD UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-STUD
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANE HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REMOVE NON INTERIOR STAIR RAILINGS AND SANDBLAST, REPAINT AND REINSTALL AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERISTICS PER AND SECTION 703.2 AND BRAILLE CHARACTERISTICS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S



BUILDING D ADDRESS: 1118-1124 MOORLAND ROAD



REMODELED LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN KEY:



BUILDING E ADDRESS: 1138-1142 MOORLAND ROAD

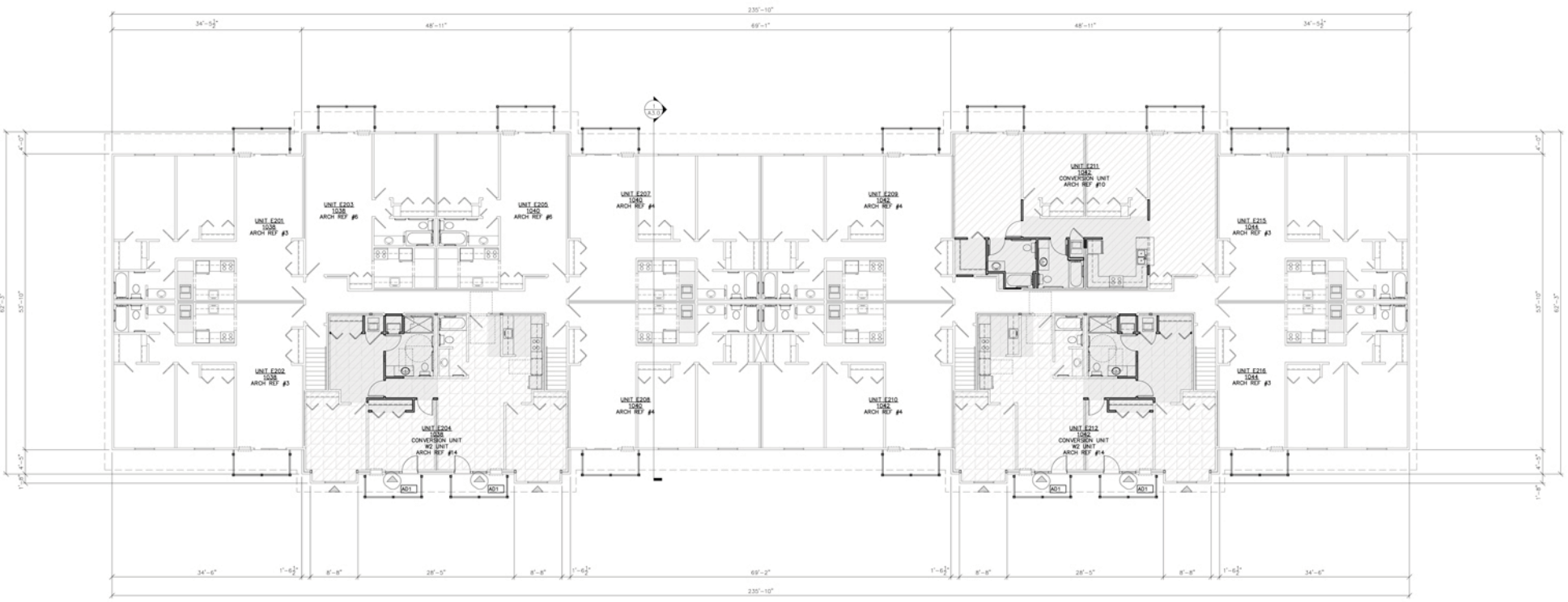
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BUILDING A																		
Unit	2	2	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Grnd	4	0	2	0	0	1	2	0	0	0	0	0	0	0	0	0	0	0
Secnd	4	0	2	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Blg # Totals	10	2	4	0	0	5	4	0	0	4	4	0	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0	0
Grnd	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	4	0	2	4	0	0	0	0	1	2	1	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0	0
Grnd	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	1	2	0	2	2	0	0	0	0	1	1	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
Grnd	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	0	4	0	0	0	0	0	0	0	0	1	1	0	0
BUILDING E																		
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Grnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	2	0	2	4	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	2	0	2	4	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	1	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	2	0	2	4	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	27	7	37	0	40	30	47	20	1	3	3	4	10	0	10	4	3	3

FLOOR PLAN SYMBOLS:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL NOTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONVERSION UNIT (DASHED CONVERSION UNIT)
- RG UNIT (DASHED RG UNIT)
- ARCH REF #X (DASHED ARCH REF #X)
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - BASE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (INDICATE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL FLOOR REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- W1 UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOL.

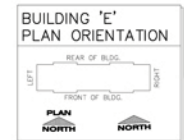
FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" - (X) EXISTING UNITS COMBINED
- INDICATES "W1 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTENSION GRACE ACCESSIBLE
- INDICATES "W2 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ROLL-IN SHOWER
- INDICATES "W3 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SOUNDING DEVICES PER AND SECTION 1000: UNIT SMOKE DETECTOR, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY CRAWL SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-UP-OF-TOE TO FACE-UP-OF-TOE UNLESS NOTES OTHERWISE. AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-UP-OF-TOE
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANDA HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERCOM SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS - VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING STYPHALL AT COMMON AREAS AS NECESSARY
- REPAIR EXISTING STAIR RAILINGS AND SANDBLAST; REPAINT AND REINSTATE AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.3 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S



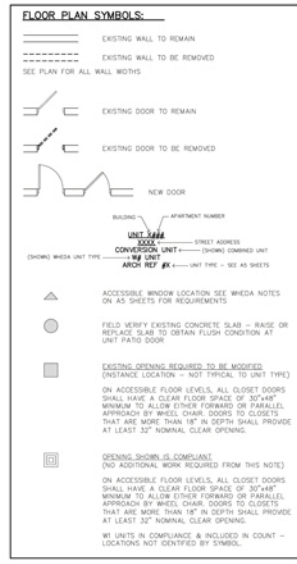
REMODELED SECOND LEVEL PLAN

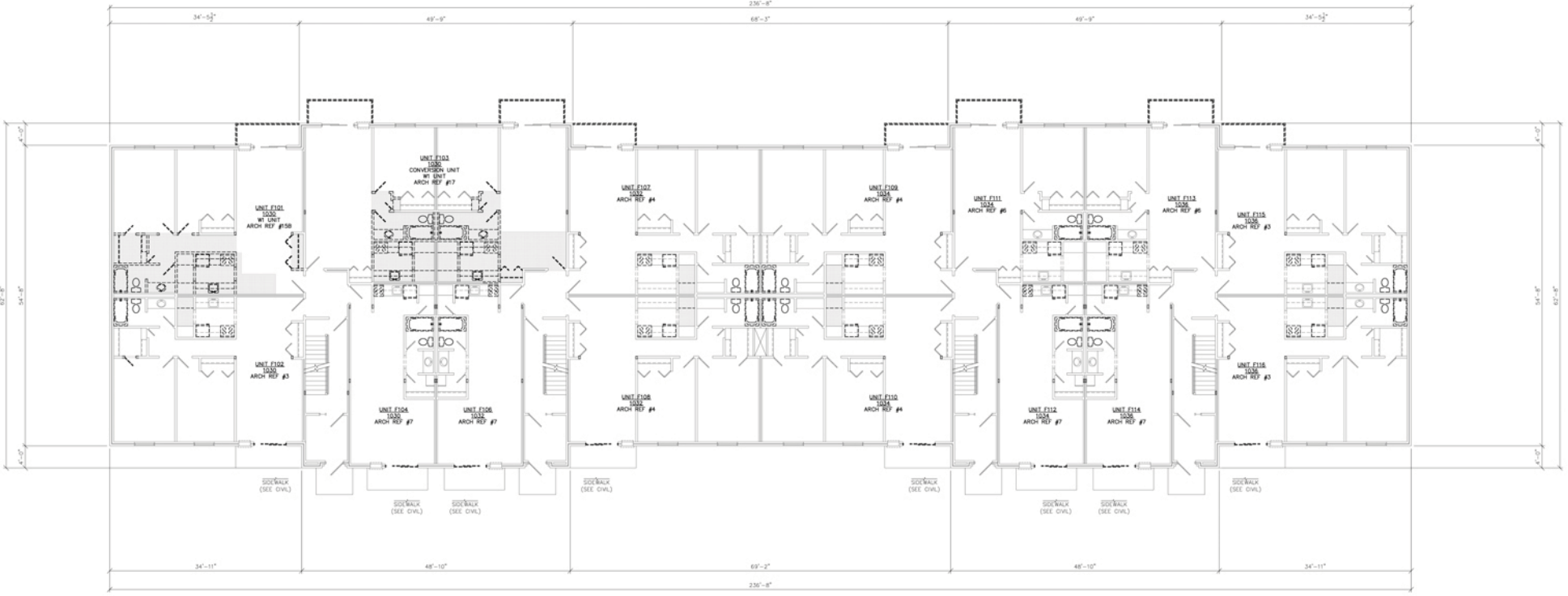
SCALE: 1/8" = 1'-0"



BUILDING E ADDRESS: 1138-1142 MOORLAND ROAD

	Arch #1	Arch #2	Arch #3	Arch #4	Arch #5	Arch #6	Arch #7	Arch #8	Arch #9	Arch #10	Arch #11	Arch #12	Arch #13	Arch #14	Arch #15	Arch #16	Arch #17	Arch #18
BUILDING A																		
Unit	2	2	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Grnd	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	2	2	2	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	1	0	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	0	2	0	0	0	1	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	0	2	0	0	0	1	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	27	7	37	40	30	42	20	1	3	3	4	10	9	10	4	3	3	1





EXISTING GRADE LEVEL PLAN
SCALE: 1/8" = 1'-0"
8' 0' 8' 0' 8' 0' 8' 0'

	AMB #1	AMB #2	AMB #3	AMB #4	AMB #5	AMB #6	AMB #7	AMB #8	AMB #9	AMB #10	AMB #11	AMB #12	AMB #13	AMB #14	AMB #15	AMB #16	AMB #17	AMB #18
BUILDING A																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING B																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING C																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING D																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING E																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING F																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
BUILDING G																		
Unit	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2
Garage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Storage	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4
Unit Total	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
TOTALS	77	77	77	77	77	77	77	77	77	77	77	77	77	77	77	77	77	77

FLOOR PLAN SYMBOLS:

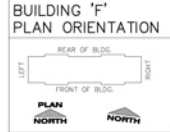
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONVERSION UNIT
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - BASE ON REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (DISTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- IN UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

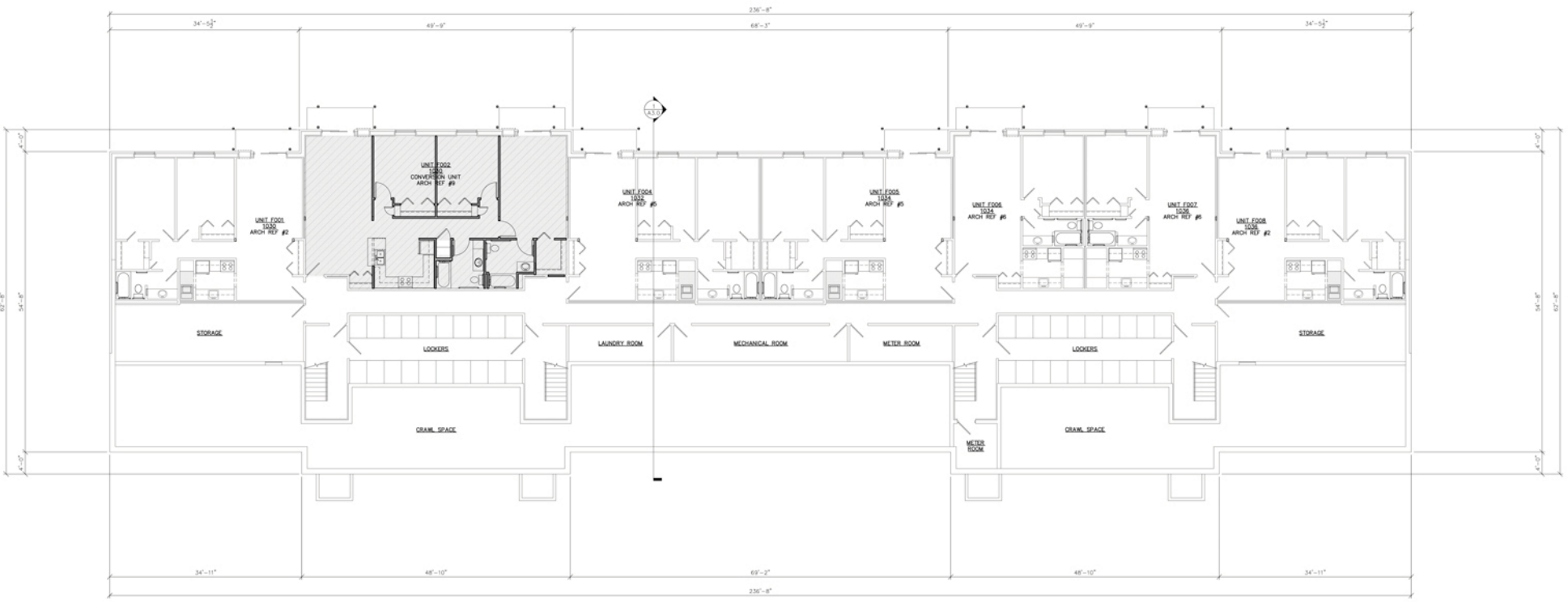
FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" (C) EXISTING UNITS COMBINED
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SOUNDING DEVICES PER AND SECTION 1000: UNIT SMOKE DETECTION, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY ORAL SPACE FLOOR INSULATION, RENTISTAL & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS 9-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-UNIT TO FACE-OF-UNIT UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-UNIT
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANDA HARDWARE AT COMMON AREAS (MECHANICALS, WETER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DETRIMENTAL AT COMMON AREAS AS NECESSARY
- REPAIR NON INTERIOR STAIR BALUNES AND SANDBLAST, REPAIR AND RENTISTAL AT EXISTING LOCATIONS
- AT COMMON AREAS PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.9 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S

GENERAL DEMOLITION NOTES:

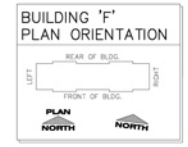
- ALL DEMOLITION BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED
- PATCH ALL WORK AT REMOVAL AND NEW CONNECTION POINTS AS REQUIRED TO MATCH ADJACENT NEW OR EXISTING FINISHES
- DEMOLITION SHOWN ON PLAN IS SHOWN TO IDENTIFY WALLS, CASEWORK AND FIXTURES. ALL DEMOLITION IS TO BE SELECTIVE IN NATURE AND MINIMAL IN SCOPE AS TO NOT DISTURB ADJACENT FINISHES. CEILING FINISHES TO REMAIN WHEREVER NEW CONSTRUCTION ALLOWS
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER IN ADDITION TO THOSE LISTED ON THE PLAN. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE AND DISPOSED OF IN THE PROPER AND LEGAL MANNER
- VERIFY REMOVAL OF ALL DOORS, APPLIANCES, AND DETRIMENTAL REPAIR WITH INTERIOR FINISH SCHEDULE
- VERIFY REMOVAL OF KITCHEN CABINETS WITH INTERIOR FINISH SCHEDULE AND OVERALL FLOOR PLANS. IF WHEA UNIT KITCHEN CABINETS WILL AUTOMATICALLY BE REPLACED
- LEAD BASED PAINT ASSESSMENT COMPLETED. SEE SPECIFICATION MANUAL, SECTION 02 26 23
- ALL CARBONIT, TACK STRIP AND PAD TO BE REMOVED BY DEMOLITION CONTRACTOR. WOOD FLOOR BASE TO REMAIN
- VINYL FLOOR COVERING AND BASE REMAIN IN ALL VINYL FLOOR COVERING AREAS
- ALL CERAMIC WALL TILE AND SUPPORTING GYPSUM BACKER IN TUB / SHOWER AREA TO BE REMOVED AS A COMPOSITE IN COMPLIANCE WITH ASBESTOS ASSESSMENT. SEE PROJECT SPECIFICATIONS SECTION 02 26 26
- REMOVE ALL BATHTUBS, TOILETS & KITCHEN SINKS
- NOTE TO CONTRACTOR: DEMOLITION OF SHELL UNITS (NON-CONSTRUCTED UNITS) IN EXISTING BUILDING SUGGEST THAT FLOOR JOISTS BEAR ON A FLUSH BEAM SUPPORTED BY COLUMNS. HOWEVER, EXISTING FOUNDATION PLAN SUGGESTS THAT SOME INTERIOR WALLS ARE BEARING BASED ON STRIP FOOTING LOCATIONS. PRIOR TO DEMOLITION OF WALLS, CONTRACTOR SHALL REMOVE GYPSUM BOARD FROM CEILING ADJACENT TO WALLS SCHEDULED FOR DEMOLITION. IF FLUSH BEAM DOES NOT EXIST, CONSULT WITH ARCHITECT ON SITE TO PROVIDE DROPPED HANGER CONDITION WITH BEARING STUDS (AND COMPILE STUDS AT FLOOR FRAMING BELIEF IF NECESSARY) AT BEARING WALLS SCHEDULED TO BE DEMOLISHED OR REMOVED





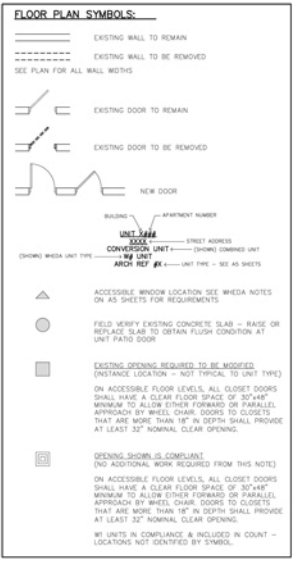
REMODELED LOWER LEVEL PLAN

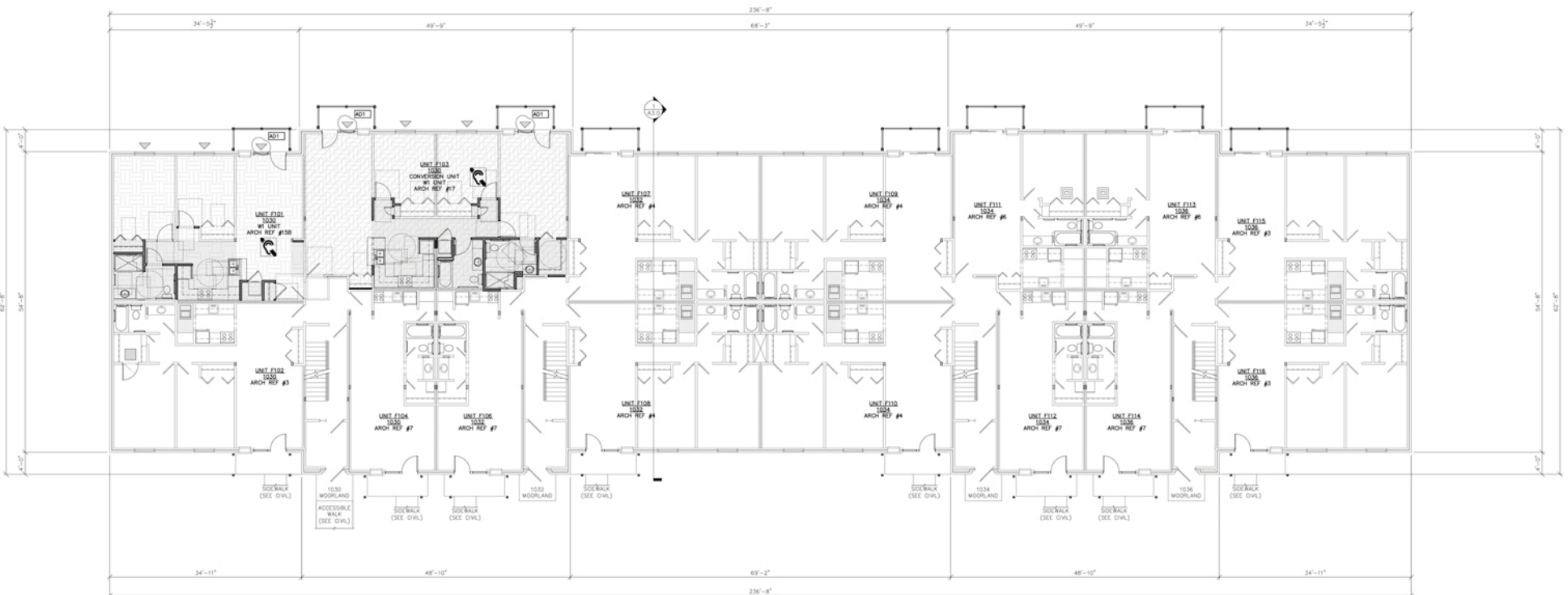
SCALE: 1/8" = 1'-0"



BUILDING F ADDRESS: 1130-1136 MOORLAND ROAD

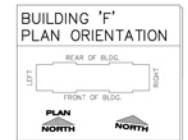
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BUILDING A																		
Unit	2	2	0	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Grnd	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	20	0	4	0	0	0	4	0	0	0	2	2	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0	0
Grnd	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	4	4	0	0	0	0	1	2	1	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	2	3	0	0	0	0	1	1	0	0	0	0	0	0
Grnd	0	0	0	0	2	4	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	1	0	0	4	4	0	0	0	0	1	1	0	0	0	0	0	0
BUILDING D																		
Unit	3	0	0	0	2	2	0	0	0	0	0	0	0	1	1	0	0	0
Grnd	3	0	0	0	2	2	0	0	0	0	0	0	0	1	1	0	0	0
Secnd	3	0	0	0	2	2	0	0	0	0	0	0	0	1	1	0	0	0
Blg # Totals	6	0	0	0	4	4	0	0	0	0	0	0	0	2	2	0	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Grnd	0	0	1	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	4	2	0	0	0	0	1	0	0	0	0	0	0	0
BUILDING F																		
Unit	3	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	3	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	3	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	6	4	0	0	4	4	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	2	2	0	0	0	0	1	0	0	0	0	0	0	0
Grnd	0	0	1	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	4	2	0	0	0	0	1	0	0	0	0	0	0	0
TOTALS	27	7	37	40	30	47	20	1	3	3	4	10	0	10	4	3	3	1





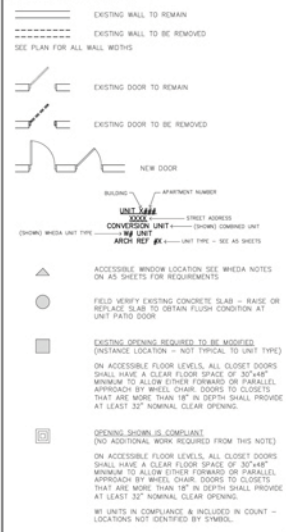
REMODELED GRADE LEVEL PLAN

SCALE: 1/8" = 1'-0"



BUILDING F ADDRESS: 1130-1136 MOORLAND ROAD

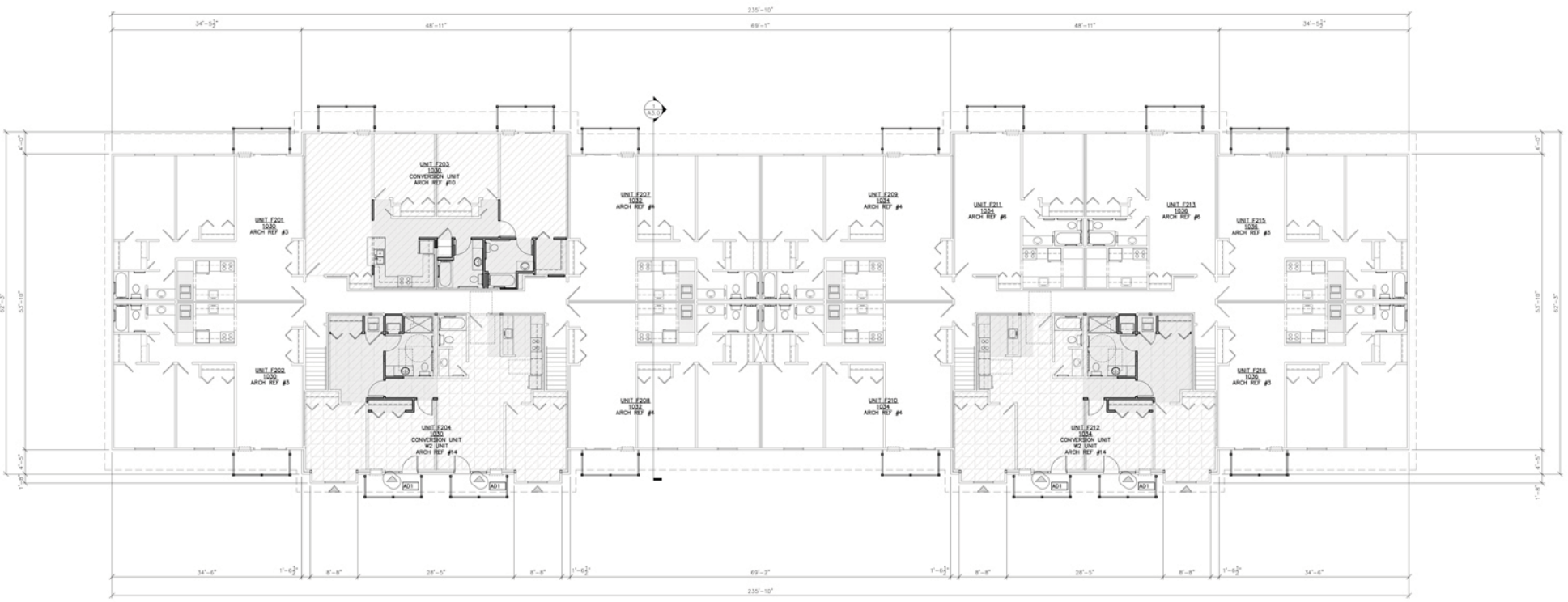
FLOOR PLAN SYMBOLS:



FLOOR PLAN NOTES:

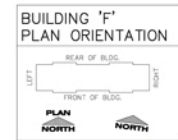
- INDICATES "CONVERSION UNIT" (C) EXISTING UNITS COMBINED
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES "NO UNIT" (SEE AS SHEETS)
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER AND SECTION 1003: UNIT SMOKE DETECTOR, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY ORAL SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-STUD TO FACE-OF-STUD UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-STUD
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANDA HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DOOR ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DETAIL AT COMMON AREAS AS NECESSARY
- REPAIR INTERIOR STAIR BALUNDS AND SANDBLAST; REPAINT AND REINSTATE AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.9 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S

	Arch #1	Arch #2	Arch #3	Arch #4	Arch #5	Arch #6	Arch #7	Arch #8	Arch #9	Arch #10	Arch #11	Arch #12	Arch #13	Arch #14	Arch #15	Arch #16	Arch #17	Arch #18
BUILDING A																		
Unit	2	2	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Grnd	4	0	2	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	0	2	0	0	0	0	0	1	2	1	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	2	0	0	0	0	0	1	1	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Qty of Units	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	7	37	40	30	47	20	1	3	3	4	10	0	10	4	3	3	1



REMODELED SECOND LEVEL PLAN

SCALE: 1/8" = 1'-0"



BUILDING F ADDRESS: 1130-1136 MOORLAND ROAD

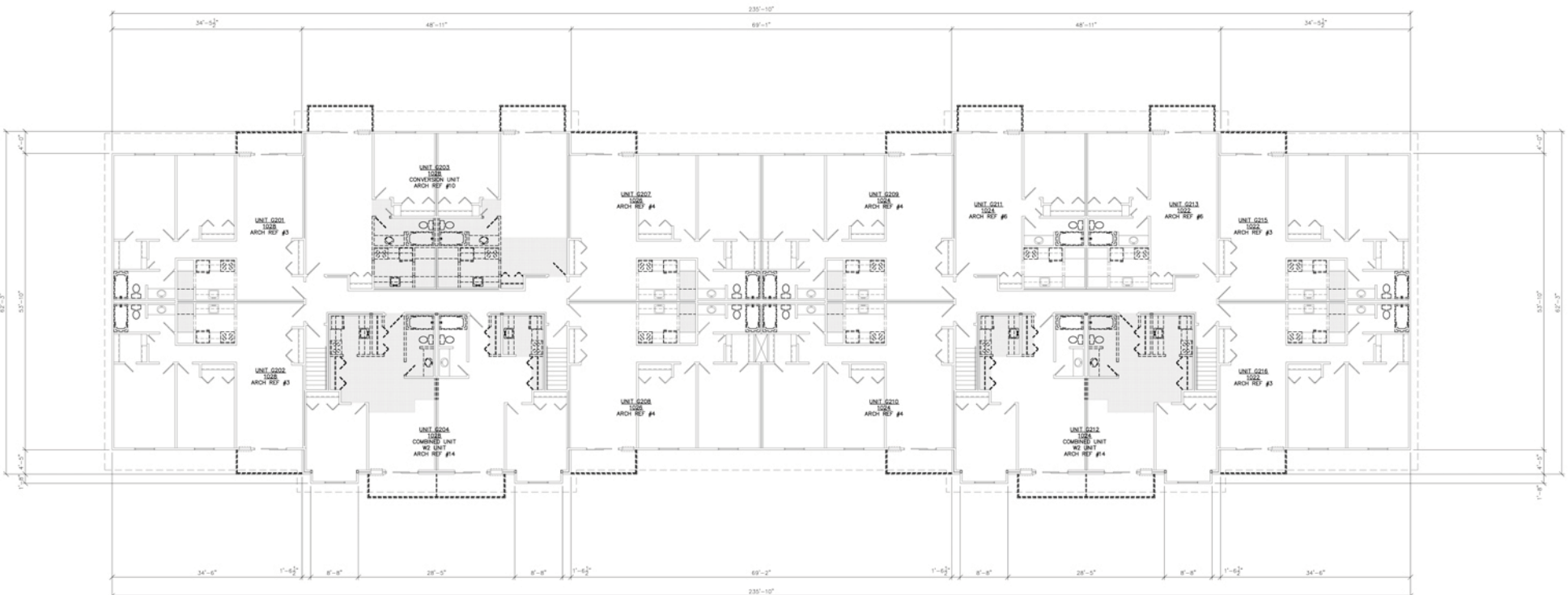
	Arch #1	Arch #2	Arch #3	Arch #4	Arch #5	Arch #6	Arch #7	Arch #8	Arch #9	Arch #10	Arch #11	Arch #12	Arch #13	Arch #14	Arch #15	Arch #16	Arch #17	Arch #18
BUILDING A																		
Unit	2	2	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	2	2	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	2	3	0	0	0	1	1	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	1	0	0	0	2	3	0	0	0	1	1	0	0	0	0	0	0
BUILDING D																		
Unit	3	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	3	0	0	0	0	2	0	0	0	0	0	0	0	0	1	1	0	0
BUILDING E																		
Unit	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	3	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	3	2	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
Grnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Secnd	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Blg # Totals	0	2	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	7	37	40	30	42	28	1	3	3	4	13	9	13	4	3	3	1

FLOOR PLAN SYMBOLS:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL NOTES
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- STREET ADDRESS
- CONVERSION UNIT
- NO UNIT
- ARCH REF #1
- UNIT TYPE - SEE AS SHEETS
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - BASE ON REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (DISTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS ALL GLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 32" NOMINAL CLEAR OPENING.
- IN UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT"
- "(C)" EXISTING UNITS COMBINED
- INDICATES "NO UNIT" (SEE AS SHEETS)
- UNIVERSAL DESIGN WHEA UNIT
- ACCESSIBLE UNIT
- ROLL-IN SHOWER
- EXTENSION GRADE ACCESSIBLE
- INDICATES "NO UNIT" (SEE AS SHEETS)
- UNIVERSAL DESIGN WHEA UNIT
- ROLL-IN SHOWER
- INDICATES "NO UNIT" (SEE AS SHEETS)
- UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER AND SECTION 703.2: UNIT SMOKE DETECTOR, UNIT DOORBELL AND UNIT TELEPHONE
- FIELD VERIFY ORAL SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-UP OF STUD TO FACE-UP OF STUD UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-UP OF STUD
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANDA HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DOOR ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERCOM SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS. NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DETRIMENTAL AT COMMON AREAS AS NECESSARY
- REPAIR INTERIOR STAIR BALUNDS AND SANDBLAST, REPAINT AND REINSTATE AT EXISTING LOCATIONS
- AT COMMON AREAS PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.9 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S



**EXISTING
SECOND LEVEL PLAN**
SCALE: 1/8" = 1'-0"
0' 2' 4' 6' 8' 10'

	Arch M#1	Arch M#2	Arch M#3	Arch M#4	Arch M#5	Arch M#6	Arch M#7	Arch M#8	Arch M#9	Arch M#10	Arch M#11	Arch M#12	Arch M#13	Arch M#14	Arch M#15	Arch M#16	Arch M#17	Arch M#18
BUILDING A																		
Unit	2	0	0	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Garage	4	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0
Stair	4	0	2	0	0	2	0	0	0	2	2	0	0	0	0	0	0	0
Arch Ref	10	0	4	0	0	0	4	0	0	0	2	4	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	1	2	1	0	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	2	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0
Arch Ref	0	0	2	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	2	2	0	0	0	1	1	0	0	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	4	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0
Arch Ref	0	0	4	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	2	2	0	0	0	0	0	1	1	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	2	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0
Arch Ref	0	0	2	0	0	0	0	0	0	0	0	0	1	1	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Arch Ref	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Arch Ref	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stair	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Arch Ref	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	27	2	37	40	39	47	38	1	3	3	4	10	9	10	4	3	3	1

FLOOR PLAN SYMBOLS:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- UNIT TYPE
- CONVERSION UNIT
- ARCH REF #X
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - RAISE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (DISTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30"x48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR. DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- WE UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

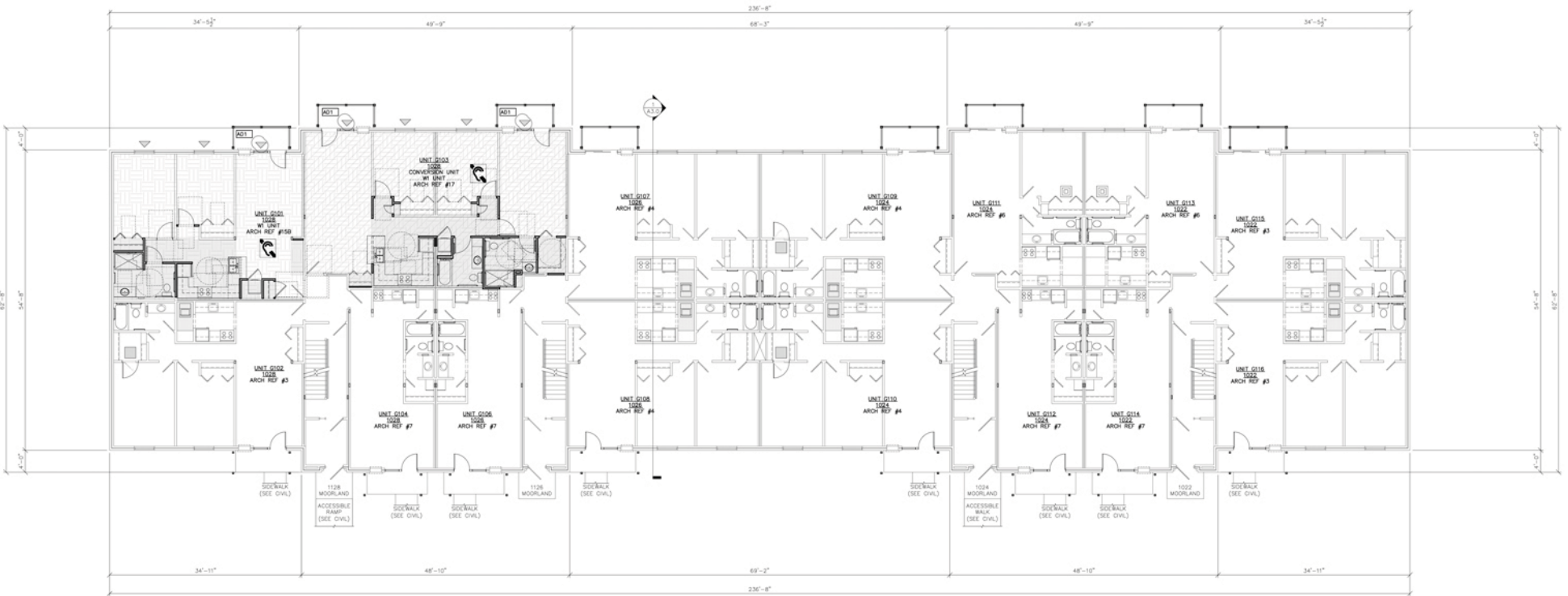
FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" (2) EXISTING UNITS COMBINED
- INDICATES "W" UNIT (SEE AS SHEETS) -UNIVERSAL DESIGN WHEA UNIT -ACCESSIBLE UNIT -ROLL-IN SHOWER -EXTENSION GRADE ACCESSIBLE
- INDICATES "W" UNIT (SEE AS SHEETS) -UNIVERSAL DESIGN WHEA UNIT -ROLL-IN SHOWER
- INDICATES "W" UNIT (SEE AS SHEETS) -UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER ANY SECTION 1005: UNIT SMOKE DETECTION, UNIT DOORBELL, AND UNIT TELEPHONE
- FIELD VERIFY ORAL, SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-UP TO FACE-UP UNLESS NOTED OTHERWISE AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-UP TO FACE-UP
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PIANO HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS, NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REMOVE NON INTERIOR STAIR RAILINGS AND SANDBLAST, REPAINT AND REINSTALL AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER AND SECTION 703.2 AND BRAILLE CHARACTERS PER AND SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.P.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE, T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S

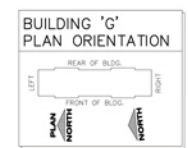
GENERAL DEMOLITION NOTES:

- ALL DEMOLITION BY DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF WALLS, DOORS AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO EXCEL, ENGINEERING FOR CLARIFICATION PRIOR TO THE START OF WORK
- WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING, FILL AND PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED
- PATCH ALL WORK AT REMOVAL AND NEW CONNECTION POINTS AS REQUIRED TO MATCH ADJACENT NEW OR EXISTING FINISHES
- DEMOLITION SHOWN ON PLAN IS SHOWN TO IDENTIFY WALLS, CASEWORK AND FIXTURES. ALL DEMOLITION IS TO BE SELECTIVE IN NATURE AND MINIMAL IN SCOPE AS TO NOT DISTURB ADJACENT FINISHES. CEILING FINISHES TO REMAIN, WHERE NEW CONSTRUCTION APPLIES
- BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW WITH THE OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER TO THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLAN, ANY ITEM NOT WAIVED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE AND DISPOSED OF IN THE PROPER AND LEGAL MANNER
- VERIFY REMOVAL OF ALL DOORS, APPLIANCES, AND DRYWALL REPAIR WITH INTERIOR FINISH SCHEDULE
- VERIFY REMOVAL OF KITCHEN CABINETS WITH INTERIOR FINISH SCHEDULE AND OVERALL FLOOR PLANS. IF WHEA UNIT, KITCHEN CABINETS WILL AUTOMATICALLY BE REPLACED
- LEAD BASED PAINT ASSESSMENT COMPLETED. SEE SPECIFICATION MANUAL, SECTION 02 26 23.
- ALL CARPETING, TACK STRIP AND PAD TO BE REMOVED BY DEMOLITION CONTRACTOR. WOOD FLOOR BASE TO REMAIN
- VINYL FLOOR COVERING AND BASE REMAIN IN ALL VINYL FLOOR COVERING AREAS
- ALL CERAMIC WALL TILE AND SUPPORTING GYPSUM BACKER IN TUB / SHOWER AREA TO BE REMOVED AS A COMPLETE IN COMPLIANCE WITH ASBESTOS ASSESSMENT. SEE PROJECT SPECIFICATIONS SECTION 02 26 28
- REMOVE ALL BATHROOM, TOILETS & KITCHEN SINKS
- NOTE TO CONTRACTOR: PRESERVATION OF SHELL UNITS (NON-CONSTRUCTED UNITS) IN EXISTING BUILDING SUGGEST THAT FLOOR JOISTS BEAR ON A FLUSH BEAM SUPPORTED BY COLUMNS. HOWEVER, EXISTING FOUNDATION PLAN SUGGESTS THAT SOME INTERIOR WALLS ARE BEARING BASED ON WIPER FOOTING LOCATIONS. PRIOR TO DEMOLITION OF WALLS, CONTRACTOR SHALL REMOVE GYPSUM BOARD FROM CEILING ADJACENT TO WALLS SCHEDULED FOR DEMOLITION. IF FLUSH BEAM DOES NOT EXIST, CONSULT WITH ARCHITECT ON SITE TO PROVIDE PROPER BEARING CONDITION WITH BEARING STUDS (AND DOUBLE STUDS AT FLOOR FRAMING BELOW IF NECESSARY AT BEARING WALLS SCHEDULED TO BE DEMOLISHED OR REMOVED)





**REMODELED
GRADE LEVEL PLAN**
SCALE: 1/8" = 1'-0"
0' 2' 4' 6' 8' 10'



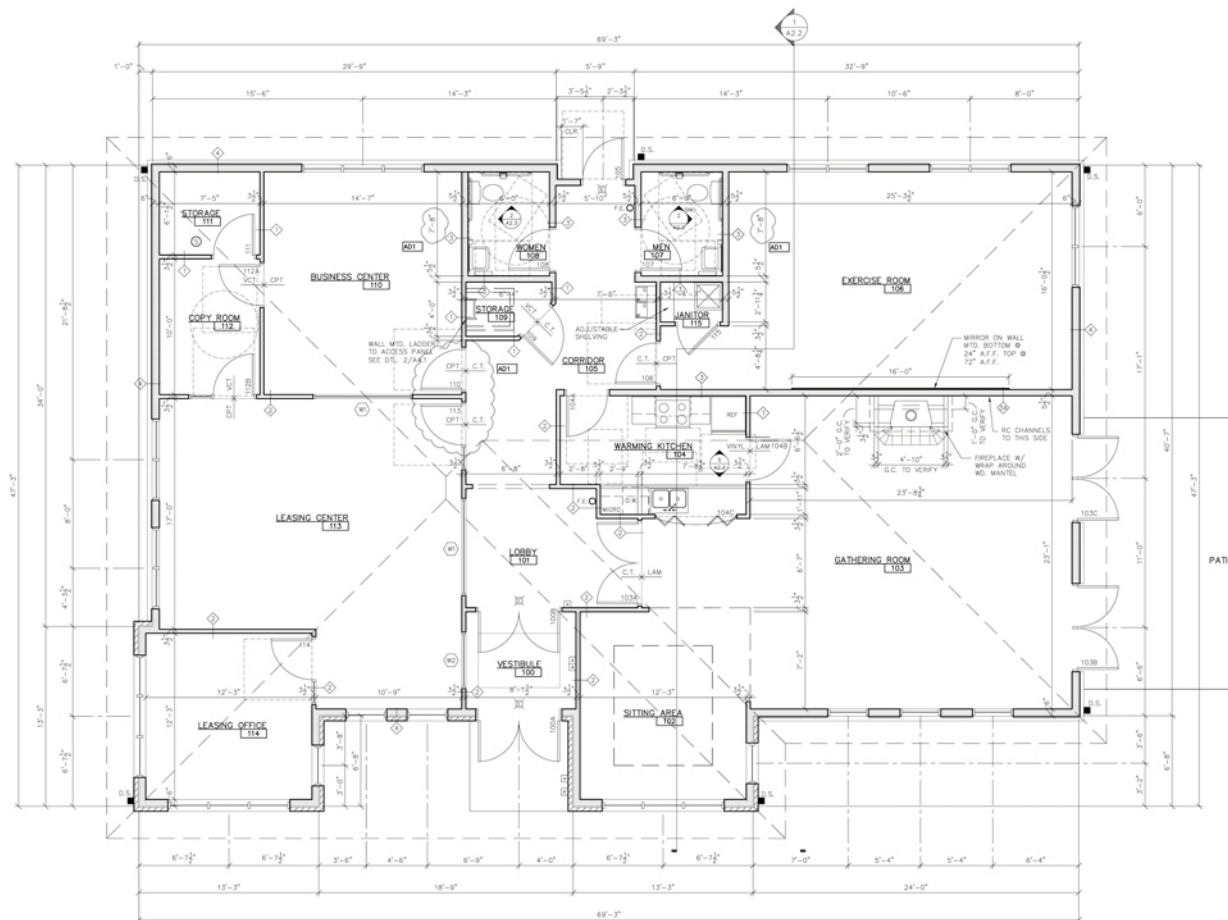
	Arch Ref #1	Arch Ref #2	Arch Ref #3	Arch Ref #4	Arch Ref #5	Arch Ref #6	Arch Ref #7	Arch Ref #8	Arch Ref #9	Arch Ref #10	Arch Ref #11	Arch Ref #12	Arch Ref #13	Arch Ref #14	Arch Ref #15	Arch Ref #16	Arch Ref #17	Arch Ref #18
BUILDING A																		
Unit	2	0	0	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Garage	4	0	1	0	1	1	4	0	0	0	1	1	0	0	0	0	0	0
Storage	4	0	2	0	0	2	0	0	0	0	2	2	0	0	0	0	0	0
Stg. Fr. Total	30	0	4	0	0	0	4	0	0	0	2	4	0	0	0	0	0	0
BUILDING B																		
Unit	0	0	0	0	2	2	0	0	0	0	1	2	1	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING C																		
Unit	0	1	0	0	0	3	0	0	0	0	1	1	0	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	4	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING D																		
Unit	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	4	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING E																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	4	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING F																		
Unit	0	2	0	0	2	2	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	4	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0
BUILDING G																		
Unit	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Garage	0	0	1	0	0	1	4	0	0	0	0	0	0	0	0	0	0	0
Storage	0	0	4	0	0	4	0	0	0	0	0	0	0	0	0	0	0	0
Stg. Fr. Total	0	0	4	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0
TOTALS	37	2	37	40	30	47	38	1	3	3	4	10	9	10	4	3	3	1

FLOOR PLAN SYMBOLS:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- APARTMENT NUMBER
- UNIT, STAIR, DOOR, CONVERSION UNIT, ARCH REF #X
- ACCESSIBLE WINDOW LOCATION SEE WHEA NOTES ON AS SHEETS FOR REQUIREMENTS
- FIELD VERIFY EXISTING CONCRETE SLAB - RAISE OR REPLACE SLAB TO OBTAIN FLOOR CONDITION AT UNIT PATIO DOOR
- EXISTING OPENING REQUIRED TO BE MODIFIED (INSTANCE LOCATION - NOT TYPICAL TO UNIT TYPE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" x 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR, DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- OPENING SHOWN IS COMPLIANT (NO ADDITIONAL WORK REQUIRED FROM THIS NOTE)
- ON ACCESSIBLE FLOOR LEVELS, ALL CLOSET DOORS SHALL HAVE A CLEAR FLOOR SPACE OF 30" x 48" MINIMUM TO ALLOW EITHER FORWARD OR PARALLEL APPROACH BY WHEEL CHAIR, DOORS TO CLOSETS THAT ARE MORE THAN 18" IN DEPTH SHALL PROVIDE AT LEAST 30" NOMINAL CLEAR OPENING.
- WE UNITS IN COMPLIANCE & INCLUDED IN COUNT - LOCATIONS NOT IDENTIFIED BY SYMBOLS.

FLOOR PLAN NOTES:

- INDICATES "CONVERSION UNIT" (2) EXISTING UNITS COMBINED
- INDICATES "W1 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ACCESSIBLE UNIT - ROLL-IN SHOWER - EXTENSION GRADE ACCESSIBLE
- INDICATES "W0 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT - ROLL-IN SHOWER
- INDICATES "W3 UNIT" (SEE AS SHEETS) - UNIVERSAL DESIGN WHEA UNIT
- INDICATES WORK AREA
- HEARING / VISUALLY IMPAIRED UNIT
- HEARING / VISUALLY IMPAIRED UNITS TO INCLUDE THE FOLLOWING AUDIBLE AND VISIBLE SIGNALING DEVICES PER ANSI SECTION 7005: UNIT SMOKE DETECTION, UNIT LOGROLL, AND UNIT TELEPHONE
- FIELD VERIFY ORAL, SPACE FLOOR INSULATION, REINSTATE & SECURE EXISTING FIBERGLASS BATT INSULATION OR PROVIDE & INSTALL NEW FIBERGLASS R-19 BATT INSULATION
- ALL INTERIOR DIMENSIONS AT NEW CONSTRUCTION ARE FROM FACE-OF-WALL TO FACE-OF-WALL UNLESS NOTED OTHERWISE, AT NEW CONSTRUCTION POINTS ADJACENT TO EXISTING CONSTRUCTION, INTERIOR DIMENSION MAY BE FROM EXISTING FINISH FACE TO FACE-OF-WALL
- PROVIDE ELECTRONIC PASS KEYS FOR THE MAIN ENTRANCE DOORS (INTERIOR DOORS)
- REPLACE ALL APPLICABLE HARDWARE INCLUDING LEVER LOCKSET, DOOR CLOSER, AND PANE HARDWARE AT COMMON AREAS (MECHANICAL, METER, LAUNDRY, STORAGE AND DEN ENTRY DOORS)
- SEE INTERIOR FINISH SCHEDULE FOR REPLACEMENT OF DOORS
- EXISTING INTERIOR SYSTEM COMPONENTS TO BE REPLACED AT BUILDING ENTRANCES AND APARTMENT UNITS, NEW COMPONENTS TO BE MOUNTED AT ACCESSIBLE HEIGHTS. VERIFY REQUIREMENTS WITH OWNER
- REPAIR EXISTING DRYWALL AT COMMON AREAS AS NECESSARY
- REMOVE NON INTERIOR STAIR RAILINGS AND SANDBLAST, REPAINT AND REINSTALL AT EXISTING LOCATIONS
- AT COMMON AREAS, PROVIDE ACCESSIBLE SIGNAGE WITH VISUAL CHARACTERS PER ANSI SECTION 703.2 AND BRAILLE CHARACTERS PER ANSI SECTION 703.4. SIGNAGE TO BE PLACED ON LATCH SIDE OF DOOR AT 60" A.F.F.
- REMOVE AND REPLACE EXISTING CARPETING AT ALL COMMON AREAS (ENTRY, HALLWAY, STAIR, ETC.)
- REPLACE EXISTING COMMON AREA LIGHTING WITH HIGH EFFICIENCY LIGHTING INCLUDING HIGH PERFORMANCE T-8 SYSTEMS, T-5 SYSTEMS OR CFL'S



TYP. FLOOR PLAN SYMBOLS

- | | |
|---|---|
|  | AUTOMATIC DOOR OPENER |
|  | KNOX BOX |
|  | EXIT LIGHT |
|  | WALL MOUNTED FIRE EXTINGUISHER
WITH MOUNTING BRACKET |
|  | WALL TYPE - SEE
SHEET A2.4 |
|  | D.S. DOWNSPOUT LOCATION |

FLOOR PLAN NOTES:

- ALL INTERIOR EMGS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 2x4 OR 2x6 @ 16" O.C. (SEE FLOOR PLAN FOR SIZES) W/ 1/2" CHIPS BOARD OVER SHEATH - EXTEND TO BOTTOM CORNER OF TRUSSES
- PROVIDE SOUND BATT INSULATION AT ALL INTERIOR WALLS.
- MISCELLANEOUS HARDWARE SHALL INCLUDE: HANDICAP HARDWARE, MEN'S AND WOMEN'S REST ROOM SIGNS.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER (VERIFY LOCATIONS)
- ALL CABINETS AND COUNTERTOPS TO HAVE PLASTIC LAMINATE FRONTS AND TOPS.
- ALL EXTERIOR WINDOWS TO HAVE CYPRUS BOARD RETURNING AT HEAD AND JAMBS AND PLASTIC LAMINATE COVERED SL.
- SEE ELEVATIONS FOR CONTROL JOINT LOCATIONS.
- OCCUPANT LOAD OF BUILDING = 44 OCCUPANTS

EXCEL
ENGINEERING

100 CANELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800
FAX: (920) 926-9801

Always a Better Plan

DRAWING SET IDENTIFIER

- | |
|----------------------|
| ● PROJECT MASTER SET |
| BUILDING 'K' |
| BUILDING 'B' |
| BUILDING 'C' |
| BUILDING 'D' |
| BUILDING 'E' |
| BUILDING 'F' |
| BUILDING 'G' |
| ● CLUBHOUSE |
| GARAGE #1 |
| GARAGE #2 |
| GARAGE #3 |
| GARAGE #4 |
| GARAGE #5 |
| GARAGE #6 |
| GARAGE #7 |
| GARAGE #8 |
| GARAGE #9 |
| GARAGE #10 |

HUD PROJECT #

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MIL WAUKEE WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

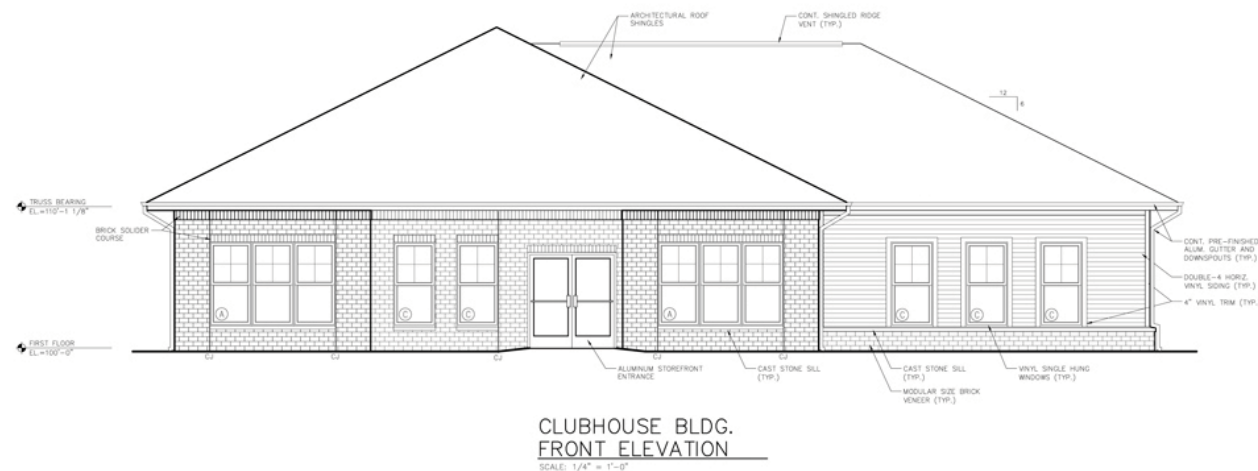
REVISIONS:

A01	JULY 16, 2012
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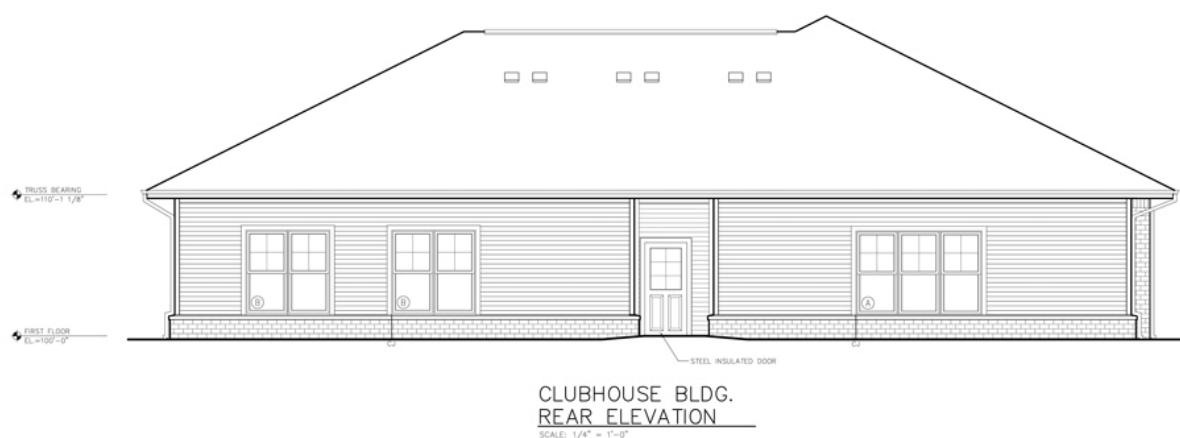
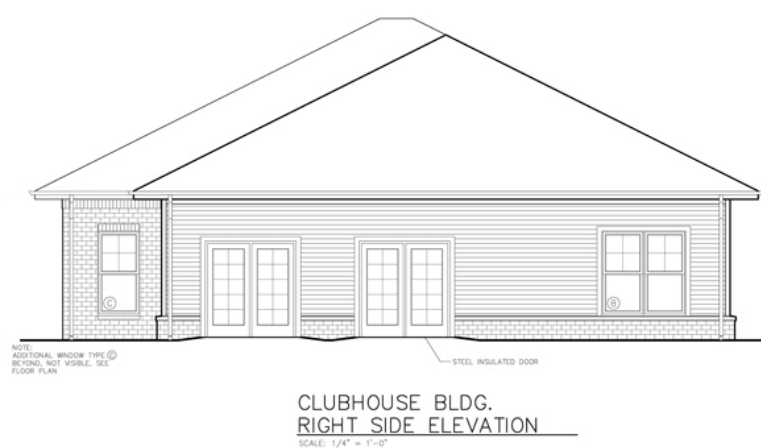
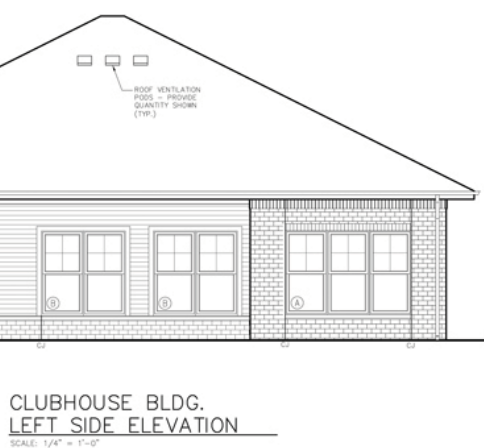
ENGINEERING, INC.
JOB NUMBER:
1206230
SHEET

A2.0

A2.0



PROVIDE CONTROL JOINT:
-WITHIN 4\"/>



WINDOW SCHEDULE				
SYM.	MAT'L	DESCRIPTION	NOM. UNIT SIZE W x H	LOOSE UNITS (6" EN BEARING EACH END)
(A)	VNLY.	(3) SINGLE HUNG WINDOW	3'-0" x 4'-0"	L 3 1/24 1/24/4 (BROWN BRICK VENEER ASL)
(B)	VNLY.	(2) SINGLE HUNG WINDOW	3'-0" x 4'-0"	-
(C)	VNLY.	SINGLE HUNG WINDOW	3'-0" x 4'-0"	L 3 1/24 1/24/4 (BROWN BRICK VENEER ASL)

- ENERGY STAR WINDOWS
- WINDOWS TO HAVE GRILLES BETWEEN GLAZING
- PER IRC 2408.3.6 SAFETY GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24\"/>

PROJECT MASTER SET	
BUILDING 10	
BUILDING 11	
BUILDING 12	
BUILDING 13	
BUILDING 14	
BUILDING 15	
BUILDING 16	
BUILDING 17	
CLUBHOUSE	
GARAGE #1	
GARAGE #2	
GARAGE #3	
GARAGE #4	
GARAGE #5	
GARAGE #6	
GARAGE #7	
GARAGE #8	
GARAGE #9	
GARAGE #10	



ARCHITECT STAMP / SIGNATURE

HUD PROJECT #
TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 1200
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MADISON, WI 53713

SHEET ISSUE:
JUNE 26, 2012

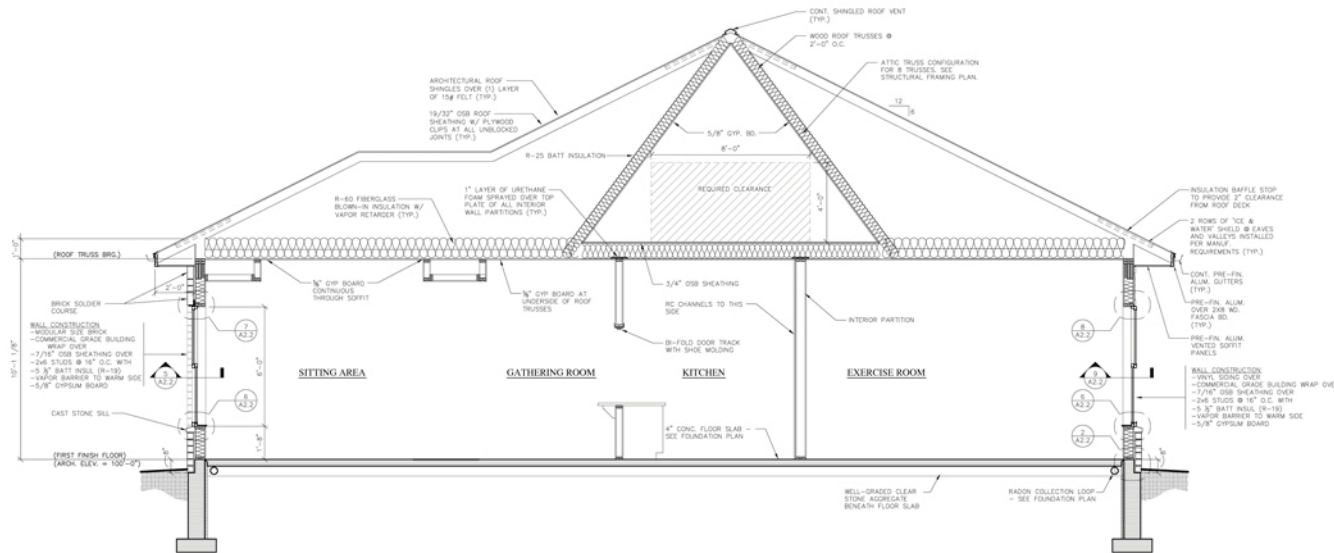
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REVISIONS:

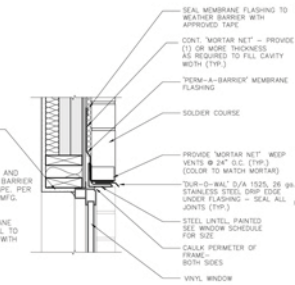
JOB NUMBER:
1206230

SHEET

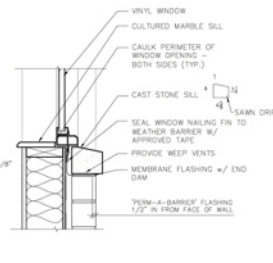
A2.2



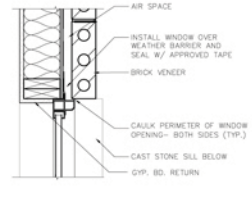
1 CLUBHOUSE CROSS SECTION
SCALE: 3/8" = 1'-0"



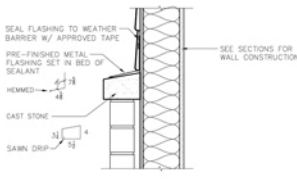
7 WINDOW HEAD
SCALE: 1 1/2" = 1'-0"



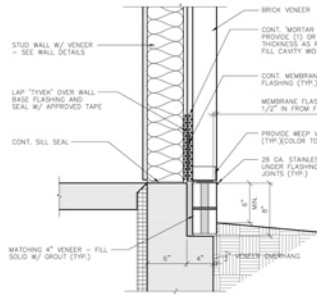
6 WINDOW SILL
SCALE: 1 1/2" = 1'-0"



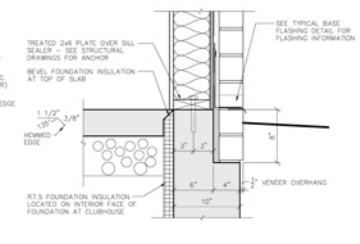
5 WINDOW JAMB
SCALE: 1 1/2" = 1'-0"



4 DETAIL
SCALE: 1 1/2" = 1'-0"

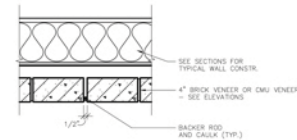


3 BASE FLASHING DETAIL
NO SCALE

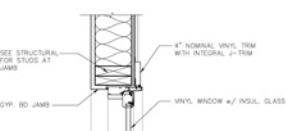


2 DETAIL
SCALE: 1 1/2" = 1'-0"

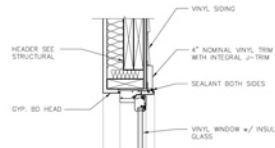
GENERAL NOTES:
- PROVIDE DUPONT CONTRACTOR TAPE AT ALL "TYKES" SEAMS.
- INSTALL HEAD FLASHING AT ALL WINDOWS. FLASHING TO BE FURNISHED BY SINK MANUFACTURER. (TYP.)
- CALK BEHIND WINDOW FIN PRIOR TO NAILING AND INSTALL APPROVED TAPE OVER FLANGE OF WINDOW (TYP.)



10 CONTROL JOINT DETAIL
SCALE: NONE



9 JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



8 HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

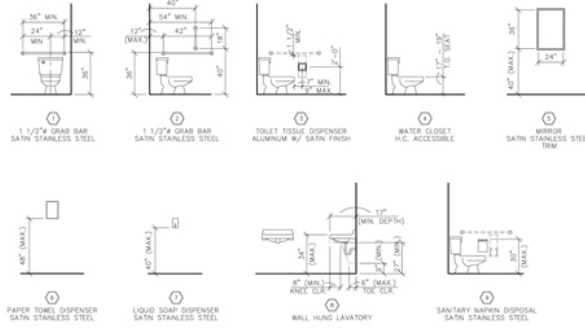
TOILET ROOM ACCESSORY SPECIFICATIONS:

GENERAL NOTES:

- SEE TYP. TOILET ROOM ACCESSORY ELEVATIONS FOR MODEL NUMBERS, FINISH AND COLORS
- C.C. TO PROVIDE BLOCKING AS REQUIRED AT ALL ACCESSORY LOCATIONS
- C.C. TO VERIFY ROUGH OPENING REQUIREMENTS FOR ALL RECESSED MOUNTED EQUIPMENT

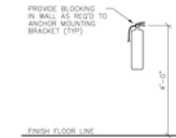
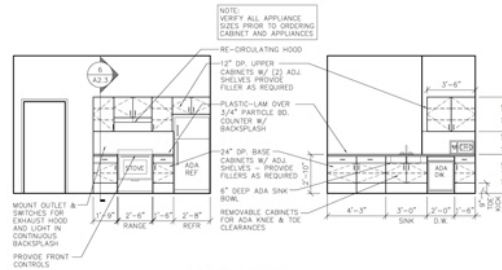
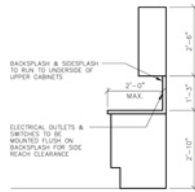
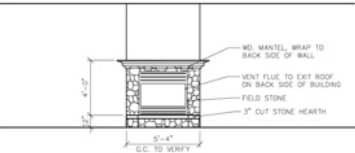
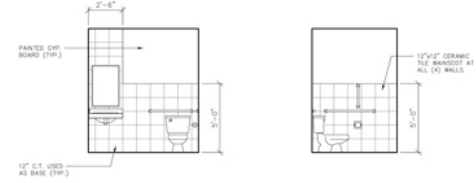
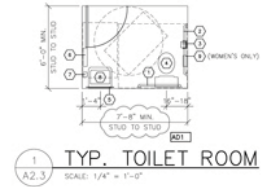
TOILET ROOM NOTES:

- 8 1/2" MAXIMUM SHW DEPTH
- INSULATE PIPES BELOW COUNTERTOPS (WATER AND WASTE LINES) W/ PVC WOLDED PROTECTION (BY PLUMBING CONTRACTOR)
- ALL DIMENSIONS SHOWN ARE FROM STUD TO STUD



TYP. TOILET ROOM ACCESSORY ELEVATIONS

SEE TOILET ROOM PLAN FOR LOCATIONS & ACCESSORIES



PROJECT MASTER SET
BUILDING W
BUILDING V
BUILDING U
BUILDING T
BUILDING S
BUILDING R
BUILDING Q
BUILDING P
BUILDING O
BUILDING N
BUILDING M
BUILDING L
BUILDING K
BUILDING J
BUILDING I
BUILDING H
BUILDING G
BUILDING F
BUILDING E
BUILDING D
BUILDING C
BUILDING B
BUILDING A



HUD PROJECT #

TBD

OWNER:
NOB HILL APARTMENTS LLC
710 NORTH PLANKINTON AVENUE
SUITE 100
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 BUCKLAND ROAD
MADISON, WI 53713

SHEET ISSUE:

JUNE 26, 2012

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REVISIONS:

REV. 1 JULY 18, 2012

JOB NUMBER:

1206230

SHEET

A2.3

SEE OVERALL APARTMENT OVERALL FLOOR PLANS & ENLARGED UNIT PLANS FOR ADDITIONAL DOORS NOT SCHEDULED BELOW

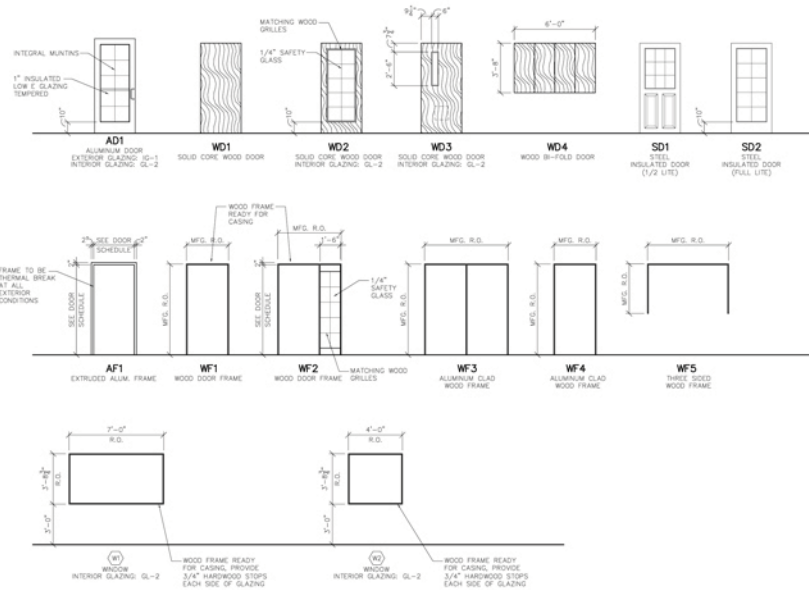
DOOR SCHEDULE											
DOOR NO.	DESCRIPTION	DOOR	DOOR TYPE	FRAME TYPE	UNDER CUT	HARDWARE					REMARKS
						LOCK	CLOSER	PANIC	PRIVACY	RM. ID. SIGN	
COMMUNITY ROOM DOORS											
100A	VESTIBULE	5'-0" x 7'-0"	AD1	AF1	—	●	●				(1), (2)
100B	VESTIBULE	5'-0" x 7'-0"	AD1	AF1	—	●	●				(1), (2)
103A	GATHERING ROOM	(2) 5'-0" x 6'-8"	WD1	WF1	—	●	●				(2)
103B	GATHERING ROOM	(2) 5'-0" x 6'-8"	WD2	WF3	—	●	●				
103C	GATHERING ROOM	(2) 5'-0" x 6'-8"	WD2	WF3	—	●	●				(2)
104A	KITCHEN	5'-0" x 6'-8"	WD3	WF1	—	●	●				
104B	KITCHEN	5'-0" x 6'-8"	WD3	WF1	—	●	●				
104C	KITCHEN	6'-0" x 3'-8"	WD4	WF5	—	●	●				
105	CORRIDOR	5'-0" x 6'-8"	SD1	WF4	—	●	●				(2)
106	ENTRANCE ROOM	5'-0" x 6'-8"	WD2	WF1	—	●	●				
107	WOMEN	5'-0" x 6'-8"	WD1	WF1	1"	●	●				
108	WOMEN	5'-0" x 6'-8"	WD1	WF1	1"	●	●				
109	STORAGE	5'-0" x 6'-8"	WD1	WF1	—	●	●				
110	BUSINESS CENTER	5'-0" x 6'-8"	WD2	WF1	—	●	●				
111	STORAGE	5'-0" x 6'-8"	WD1	WF1	1"	●	●				
112A	COPY ROOM	5'-0" x 6'-8"	WD3	WF1	—	●	●				
112B	COPY ROOM	5'-0" x 6'-8"	WD3	WF2	—	●	●				
113	LEADING CENTER	5'-0" x 6'-8"	WD2	WF2	—	●	●				
114	LEADING OFFICE	5'-0" x 6'-8"	WD2	WF2	—	●	●				
115	JANITOR	5'-0" x 6'-8"	WD1	WF1	1"	●	●				

GENERAL DOOR NOTES:

- ALL DOORS TO HAVE LEVER HANDLE HARDWARE TO MEET A.S.A. INCLUDING ALL INTERIOR AND EXTERIOR UNIT DOORS.
- ALL WOOD DOORS TO BE PRE-FINISHED LEGACY DOORS (S&K).
- ALL DOOR TRIM TO BE LEGACY PRE-FINISHED CASING
- ALL DOORS TO HAVE DOOR STOPS
- ALL PUBLIC DOORS TO HAVE LOW THRESHOLDS (1/2" MAX.)
- RATED DOOR ASSEMBLIES SHALL MEET THE POSITIVE PRESSURE TESTING OF NFPA 252 OR NF 1610C

DOOR REMARKS:

- (1) AUTOMATIC DOOR OPENER
- (2) WEATHERSTRIPPING, SWEEP, THRESHOLD
- (3) 1 DOOR TO HAVE LATCHES AND SURFACE BOLTS



ROOM FINISH SCHEDULE							
ROOM #	ROOM NAME	BASE	FLOOR	WALL FINISH	CEILING	REMARKS	
					MATERIAL		
100	VESTIBULE	CT	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
101	LOBBY	CT	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
102	ENTRANCE AREA	WB	LAM	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
103	GATHERING ROOM	WB	LAM	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
104	KITCHEN	WB	VINYL	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
105	CORRIDOR	CT	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
106	ENTRANCE ROOM	WB	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
107	WOMEN	CT	CT	SPRAY TEXTURE OVER GYP. BD. - PTD. / 5' CT WANSKOT	SPRAY TEXTURE OVER GYP. BD. - PTD.		
108	WOMEN	CT	CT	SPRAY TEXTURE OVER GYP. BD. - PTD. / 5' CT WANSKOT	SPRAY TEXTURE OVER GYP. BD. - PTD.		
109	STORAGE	WB	VCT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
110	BUSINESS CENTER	WB	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
111	STORAGE	WB	VCT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
112	COPY ROOM	WB	VCT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
113	LEADING CENTER	WB	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
114	LEADING OFFICE	WB	CT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		
115	JANITOR	WB	VCT	SPRAY TEXTURE OVER GYP. BD. - PAINTED	SPRAY TEXTURE OVER GYP. BD. - PTD.		

KEY TO FINISHES

FLOOR FINISH TYPES:

- OPT CARPET
CT VINYL COMPOSITE TILE
VCT 12"X12" CERAMIC TILE
LAM LAMINATE WOOD-LOOK
VINYL SHEET VINYL

BASE FINISH TYPES:

- WB VINYL COMPOSITE BASE
CT 4" CERAMIC TILE, MATCHING FLOOR TILE

ROOM FINISH NOTES:

- ORANGE PEEL TEXTURE
- CARPETS TO BE IN ACCORDANCE WITH NFPA 253
- ALL CEIL. TRIM TO HAVE FLAME RESISTANT FINISH IN ACCORDANCE WITH SECTION BC 805.2 & NFPA 701
- ALL FINISHES TO BE CLASS 'C' FLOOR, WALLS, CEILING (TYP. APARTMENTS)
- WALL & CEILING FINISH - CORRIDOR, PUBLIC SPACE : CLASS 'A' FLOOR FINISH : CLASS 'I' (GATHERING ROOM)

GENERAL DOOR AND FRAME NOTES:

- ALL DOORS SHALL MEET A.S.A. REQUIREMENTS
- ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT
- VERIFY FRAME DEPTHS W/ WALL THICKNESS
- PROVIDE SEALANT BOTH SIDES OF DOOR FRAMES, WHERE DIFFERENT MATERIALS MEET AND FOR WEATHER TIGHTNESS
- CONTRACTOR TO VERIFY SIZE OF ALL EQUIPMENT (ELECTRICAL, MECHANICAL, KITCHEN, LAUNDRY, ETC.) SELECTED FOR THE PROJECT TO DETERMINE THAT ALL DOORS INCLUDING PARTS OF TRAILER, ARE OF ADEQUATE SIZE TO ACCOMMODATE INSTALLATION AND REPLACEMENT
- VERIFY ALL ROUGH OPENING REQUIREMENTS WITH MANUFACTURERS DRAWINGS
- HARDWARE SUPPLIER IS RESPONSIBLE FOR COORDINATING KEYING AND LOCKSET TYPE REQUIREMENTS WITH OWNER
- ALUMINUM SUPPLIER SHALL FURNISH AND INSTALL ALL HARDWARE FOR ALUMINUM DOORS AS NOTED ON PLANS - THE SAME MANUFACTURERS AND MODELS SHALL BE USED FOR BOTH ALUMINUM AND WOOD DOOR HARDWARE
- CONTRACTOR TO PROVIDE PRODUCTS AND SYSTEMS COMPLETE WITH ALL ACCESSORIES, TRIM, FINISH, FASTENERS AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INTENDED USE AND EFFECT
- DOOR UNDERCUTS, WHERE REQUIRED BY STATE APPROVED HVAC DRAWINGS, SHALL BE 1" (TYP.)
- DOOR TRANSFER GRILLES BY DOOR SUPPLIER PER HVAC DRAWINGS
- SOFT PROOF, V-SLAT WOOD LOUVER
- STAIN AND VARNISH TO MATCH DOOR
- PROVIDE URETHANE FOAM AT ALL DOOR FRAMES EXCEPT INTERIOR COMMERCIAL OFFICE AREAS

ROOM FINISH NOTES:

- ALL FINISHES TO BE SELECTED BY OWNER
- ALL WOOD TRIM TO BE PLAN SAWN MAPLE, STAINED AND VARNISHED
- STAIN COLOR TO BE SELECTED BY OWNER
- FLOORING CONTRACTOR TO PROVIDE RUBBER TRANSITION STRIPS AND EDGING AT ALL MATERIAL TRANSITIONS - FINISH TO BE SELECTED BY OWNER
- FLOORING CONTRACTOR SHALL PATCH, GRIND, AND FILL ALL FLOOR SURFACES AS REQUIRED TO PROVIDE A SMOOTH LEVEL SURFACE READY FOR INSTALLATION OF NEW FLOOR FINISHES
- PROVIDE RUBBERGLASS OVER COMPLETE SHEET WEARWAX OVER ALL SAWCUT JOINTS IN CONCRETE SLAB THAT ARE BROKEN BY PORCELAIN OR CERAMIC TILE INSTALLATION. PROVIDE MATERIAL AS PER ALL MANUFACTURER'S SPECIFICATIONS AND DETAILS
- FLOORING CONTRACTOR SHALL STAIN AND FINISH ALL VCT FLOORING AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO OCCUPANCY
- ALL EXTERIOR METALS AND LOUVERS TO BE PAINTED
- ALL INTERIOR METALS TO BE PAINTED
- ALL GYPSUM BOARD BLANKETS TO BE PAINTED
- PAINTING CONTRACTOR TO ALLOW FOR (2) PAINT COLORS PER ROOM - COLOR AND LOCATION TO BE SELECTED BY OWNER
- ALL GYPSUM BOARD TO BE ACTUALLY IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK, LEVEL OF FINISH AS PER GA-214 TO BE LEVEL 1 AT CONCEALED AND ABOVE CEILING AREAS OR AS REQUIRED BY FIRE RATED ASSEMBLY TESTING, LEVEL 4 AT EXPOSED OR BELOW CEILING AREAS. ALL GYPSUM BOARD TO HAVE A SMOOTH FINISH
- ALL COLORS TO BE SELECTED BY OWNER FROM FULL RANGE OF AVAILABLE COLORS
- CONTRACTOR SHALL PROVIDE PRODUCTS COMPLETE WITH ALL ACCESSORIES, TRIM, FINISH, FASTENERS, AND OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INTENDED USE AND EFFECT
- STANDING AND RUNNING TRIM
- PREMIUM GRADE S&S HARDWOOD LUMBER - PLAN SAWN, CLEAR, KILN DRIED MAPLE SELECTED FOR COMPARABLE GRAIN AND COLOR
- ATTACH WITH FINISH SCREWS WITH PREDRILLED HOLES AND ADHESIVE
- FINISH TO MATCH DOOR COLOR - PROVIDE SAMPLE TO OWNER/ INTERIOR DESIGNER

GLAZING SCHEDULE

GLAZING SHALL MEET THE FOLLOWING STANDARDS AND QUALITIES
AS APPLICABLE FOR EACH TYPE:
- ASTM E 1300, ASTM E 1036, ASTM E 1048, ASTM E 704
- GAMA GLAZING MANUAL
- SIGMA TM-3000 VERTICAL GLAZING GUIDELINES

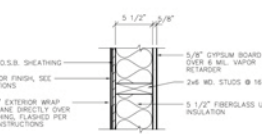
- GL-1 LOW-E INSULATED TEMPERED GLAZING
FIBROGLASS, PRE-INSULATED, INS.
(SOLARBAN 6023), CLEAR, ARSON FILLED
1" UNIT OVERLAP, HORIZONTAL, (SEE E-44)
- DOOR/LITE, TYPE I, CLASS I, QUALITY Q3
CLEAR GLASS, KIND FT (FULLY TEMPERED),
CONDITION A
- OUTDOOR LITE, TYPE I, CLASS I, QUALITY Q3
FLOAT GLASS, KIND FT (FULLY TEMPERED),
CONDITION A
- LOW-EMISSIVITY COATING ON THIRD SURFACE
- GL-2 CLEAR FLOAT GLASS
LITE, TYPE I, CLASS I, QUALITY Q3
(FLOAT GLASS, KIND HS (HEAT STRENGTHENED),
CONDITION A, 1/4" THICK
- GL-3 CLEAR FLOAT GLASS, TEMPERED
LITE, TYPE I, CLASS I, QUALITY Q3
FLOAT GLASS, KIND FT (FULLY TEMPERED),
CONDITION A, 1/4" THICK



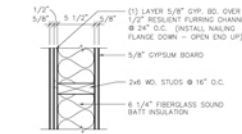
INSTALL 5/8" M.R. GYP. BD. ON ALL WALLS OF TOILET RMS.
JANITOR TRIM & SHOWER RMS. IN LIEU OF 5/8" TYPE 'X' GYP. BD.

WALL TYPE
SCALE: 1 1/2" = 1'-0"

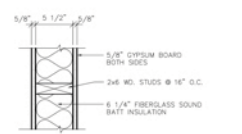
WALL TYPE
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SCALE: 1 1/2" = 1'-0"



WALL TYPE
SCALE: 1 1/2" = 1'-0"



WALL TYPE
SCALE: 1 1/2" = 1'-0"

TYPICAL WALL TYPE DETAILS

SEE FLOOR PLANS FOR LOCATIONS

Always a Better Plan

DRAWING SET IDENTIFIER

- PROJECT MASTER SET
- DRAWING #1
- DRAWING #2
- DRAWING #3
- DRAWING #4
- DRAWING #5
- DRAWING #6
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- DRAWING #99
- DRAWING #100

ARCHITECT STAMP / SIGNATURE

HUD PROJECT #
TBD

OWNER:
NOB HILL APARTMENTS, LLC
710 NORTH PLANKINTON AVENUE
SULLY, WI 53081
MILWAUKEE, WI 53203

PROJECT:
NOB HILL APARTMENTS
1108 MOORLAND ROAD
MILWAUKEE, WI 53213

SHEET ISSUE:

JUNE 26, 2012

SEE TITLE SHEET TO CONFIRM
THAT THIS SHEET HAS BEEN
ISSUED FOR CONSTRUCTION

REVISIONS:

REV. JULY 16, 2012

JOB NUMBER:

1206230

SHEET