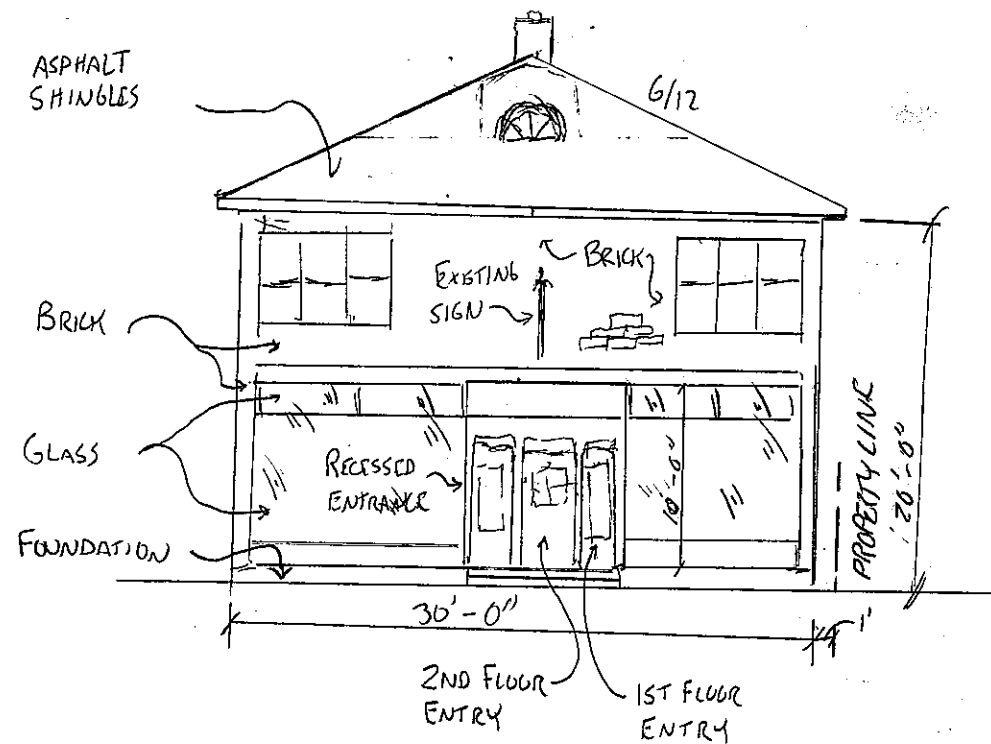
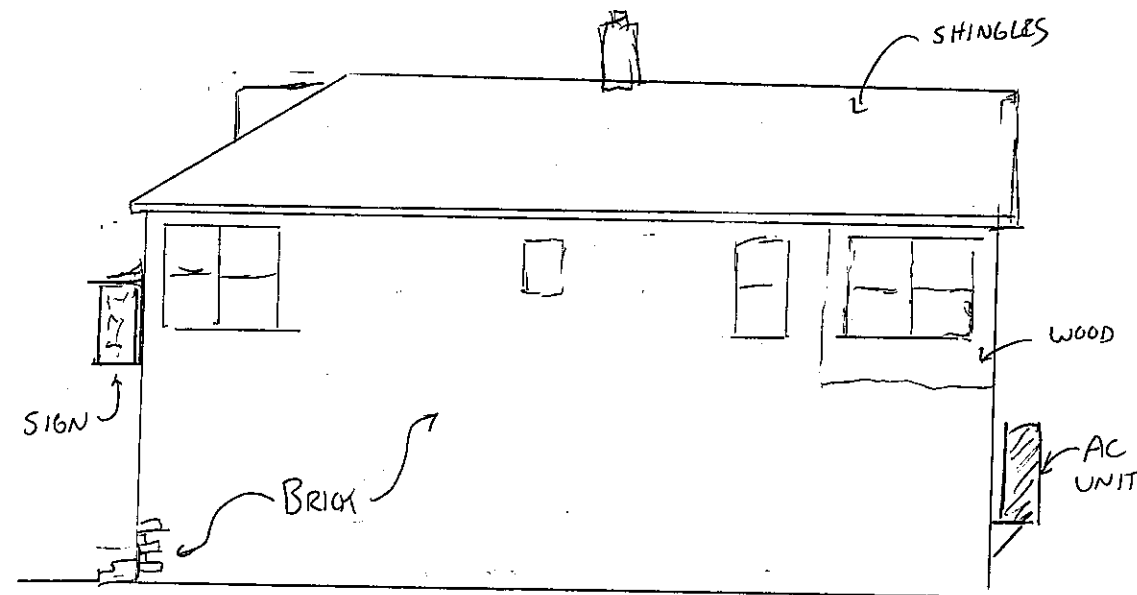


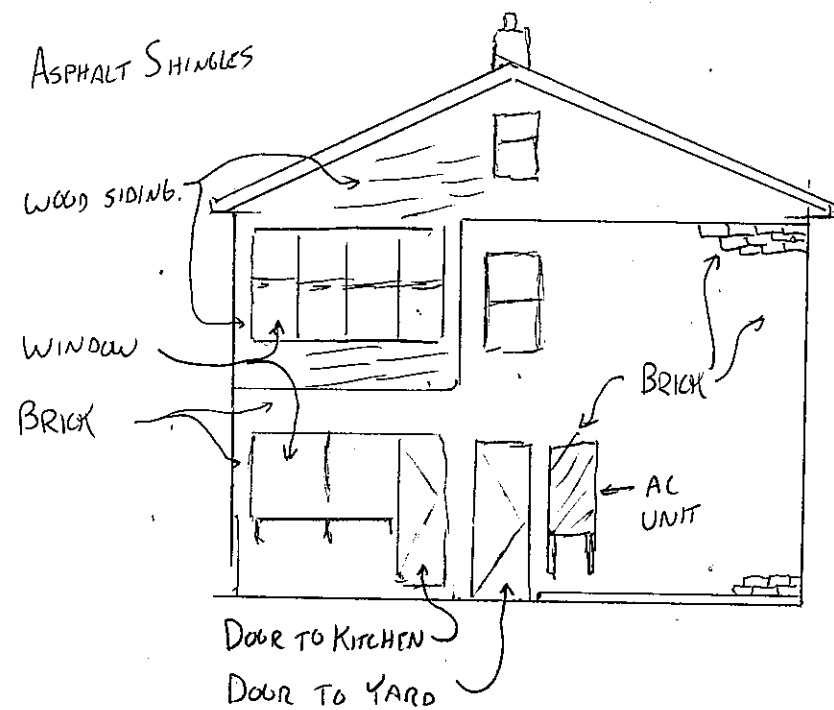
11 N. ALLEN
EXISTING 2 STORY
5/24/15



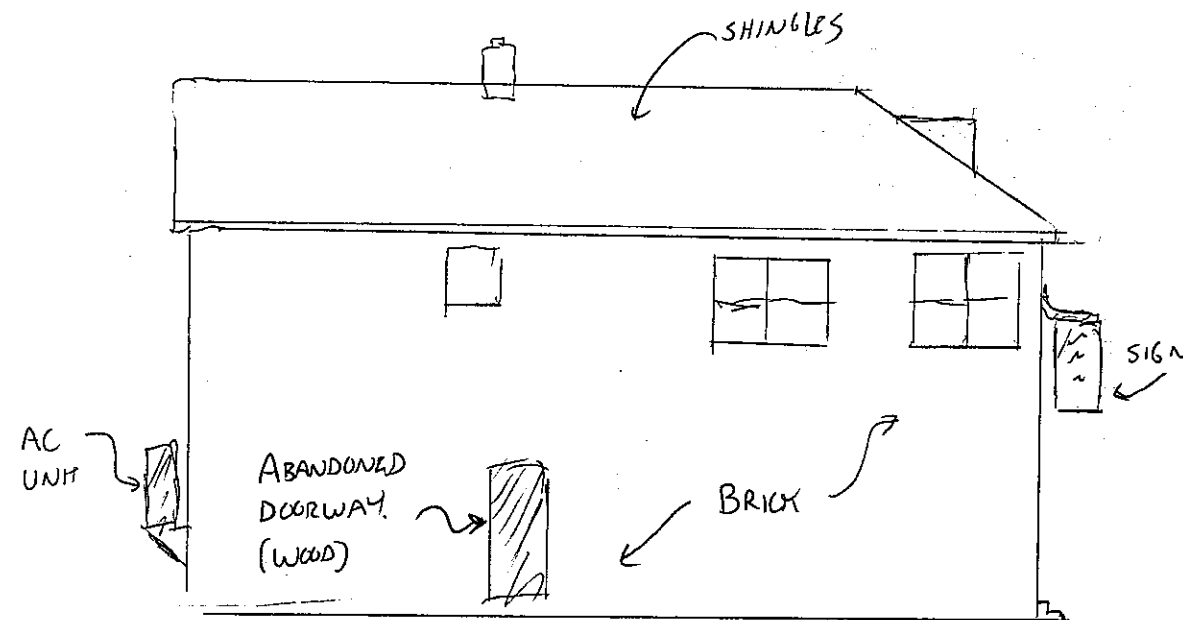
FRONT ELEVATION (WEST) ALLEN ST. FRONTAGE
1"=1'-0" ALL FEATURES EXISTING.



SOUTH ELEVATION
1"=1'-0" ALL FEATURES EXISTING.



REAR ELEVATION (EAST)
1"=1'-0" ALL FEATURES EXISTING.



NORTH ELEVATION
1"=1'-0" ALL FEATURES EXISTING

ELEVATIONS

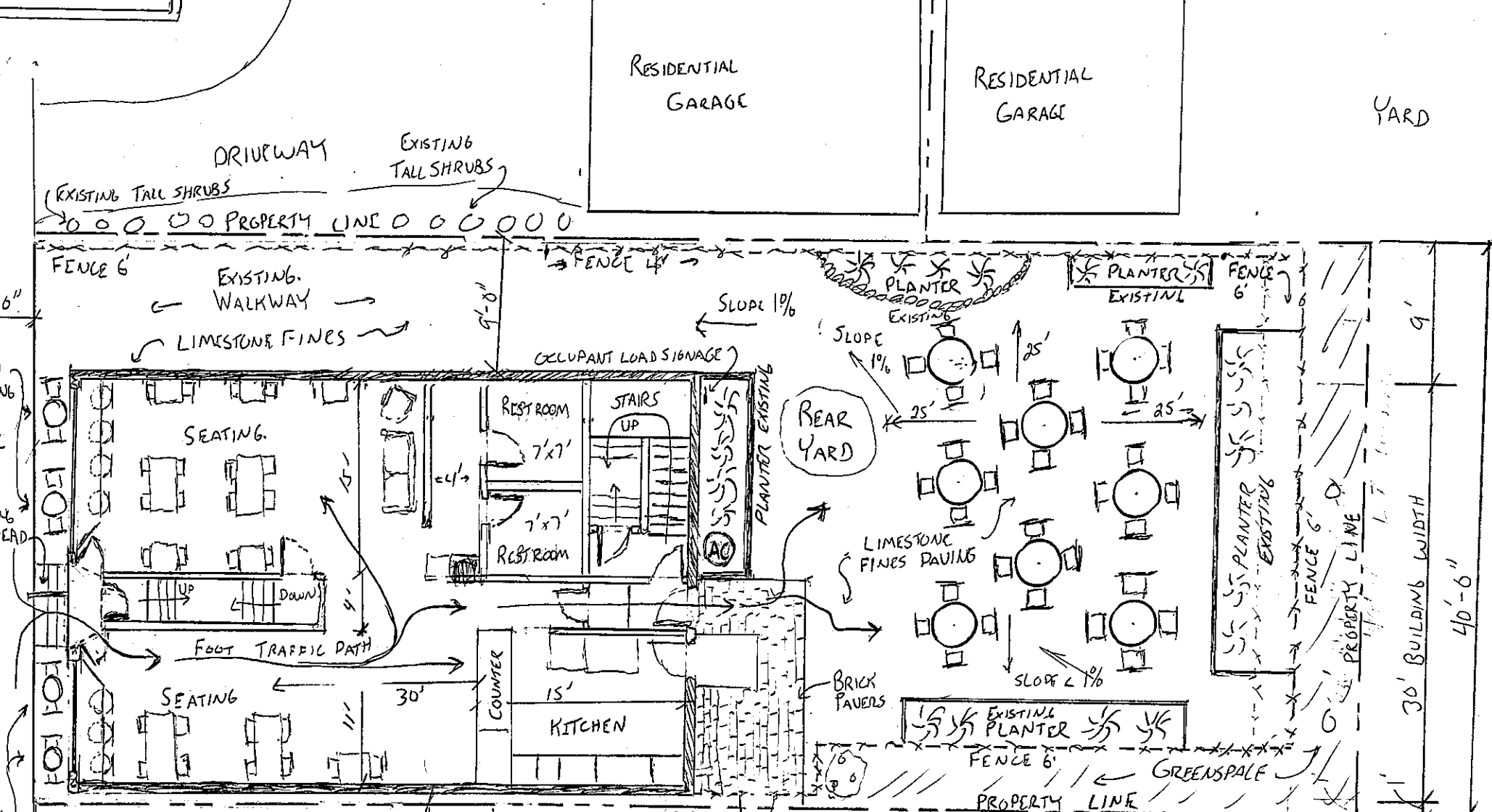
11 NORTH ALLEN.
 EXISTING 2 STORY W/ BASEMENT
 1ST FLOOR COFFESHOP "THE FROTH HOUSE"
 2ND STORY APARTMENT UNIT.
 5/24/15 SCALE 1"=10'-0"

11 N. ALLEN STREET



2137 CHADBOURNE
 RESIDENTIAL LOT

2133 CHADBOURNE
 RESIDENTIAL LOT



- LEGEND**
- X---X FENCE 6'x4' SOLID
 - PROPERTY
 - BIKE RACK
 - TREE
 - PLANTING < 4' TALL ANNUAL PERENNIAL
 - AC AIR CONDITIONER
 - 4' TABLE W/ (4) CHAIRS
 - 2' TABLE W/ (2) CHAIRS

OUTDOOR OCCUPANT LOAD

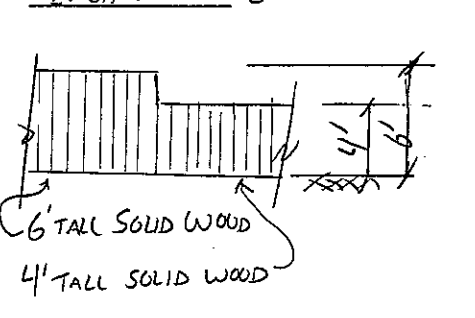
REAR YARD: 28 SEATS
 $25' \times 25' = 625 \text{ sq ft}$
 $625 / 15 \text{ sq ft/person} = 42 \text{ PERSONS}$

FRONT YARD 8 SEATS
 8 PERSONS

UTILITIES - NO CHANGES - EXISTING

EXISTING ELECTRIC OVERHEAD
 UNDER GROUND WATER & SEWER & GAS.

FENCING DETAIL



SITE & FLOOR PLAN