

SITE PLAN USABLE OPEN SPACE EXISTING CONDITIONS SITE DEMOLITION PLAN GRADING AND EROSION CONTROL PLAN UTILITY PLAN

LANDSCAPE PLAN

BUILDING #2 FLOOR PLANS BUILDING #2 FLOOR PLANS BUILDING #4 FLOOR PLANS BUILDING #4 FLOOR PLANS BUILDING #2 ELEVATIONS BUILDING #4 ELEVATIONS

## SITE DEVELOPMENT STATISTICS

LOT AREA DWELLING UNITS LOT AREA/ D.U. DENSITY BUILDING FOOT PRINT AREA GROSS FLOOR AREA FLOOR AREA RATIO

LOT AREA DWELLING UNITS LOT AREA/ D.U. DENSITY BUILDING FOOT PRINT AREA GROSS FLOOR AREA FLOOR AREA RATIO

LOT AREA DWELLING UNITS LOT AREA/ D.U. DENSITY BUILDING FOOT PRINT AREA GROSS FLOOR AREA FLOOR AREA RATIO

LOT AREA DWELLING UNITS LOT AREA/ D.U. DENSITY BUILDING FOOT PRINT AREA GROSS FLOOR AREA FLOOR AREA RATIO

4000 S.F./ .09 ACRES 2 UNITS 2000 SF/D.U. 22 UNITS/ACRE 1136 SF 2272 SF .57

4000 S.F./ .09 ACRES 2 UNITS 2000 SF/D.U. 22 UNITS/ACRE 1060 SF 2120 SF .53

4016 S.F./ .09 ACRES 2 UNITS 2008 SF/D.U. 22 UNITS/ACRE 1256 SF 2512 SF .63

5986 S.F./ .14 ACRES 2 UNITS 2993 SF/D.U. 14 UNITS/ACRE 1060 SF 2120 SF .35

KNOTHE 7601 University Avenue Suite 201 Middleton, Wisconsin 53562 608-836-3690 Fax 836-6934

Consultant

Notes •

Revisions May 9, 2012 - PUD-SIP

Project Title 1201 Mound St

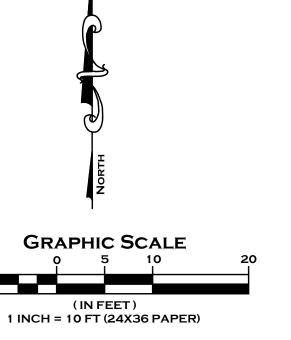
Drawing Title Site Plan

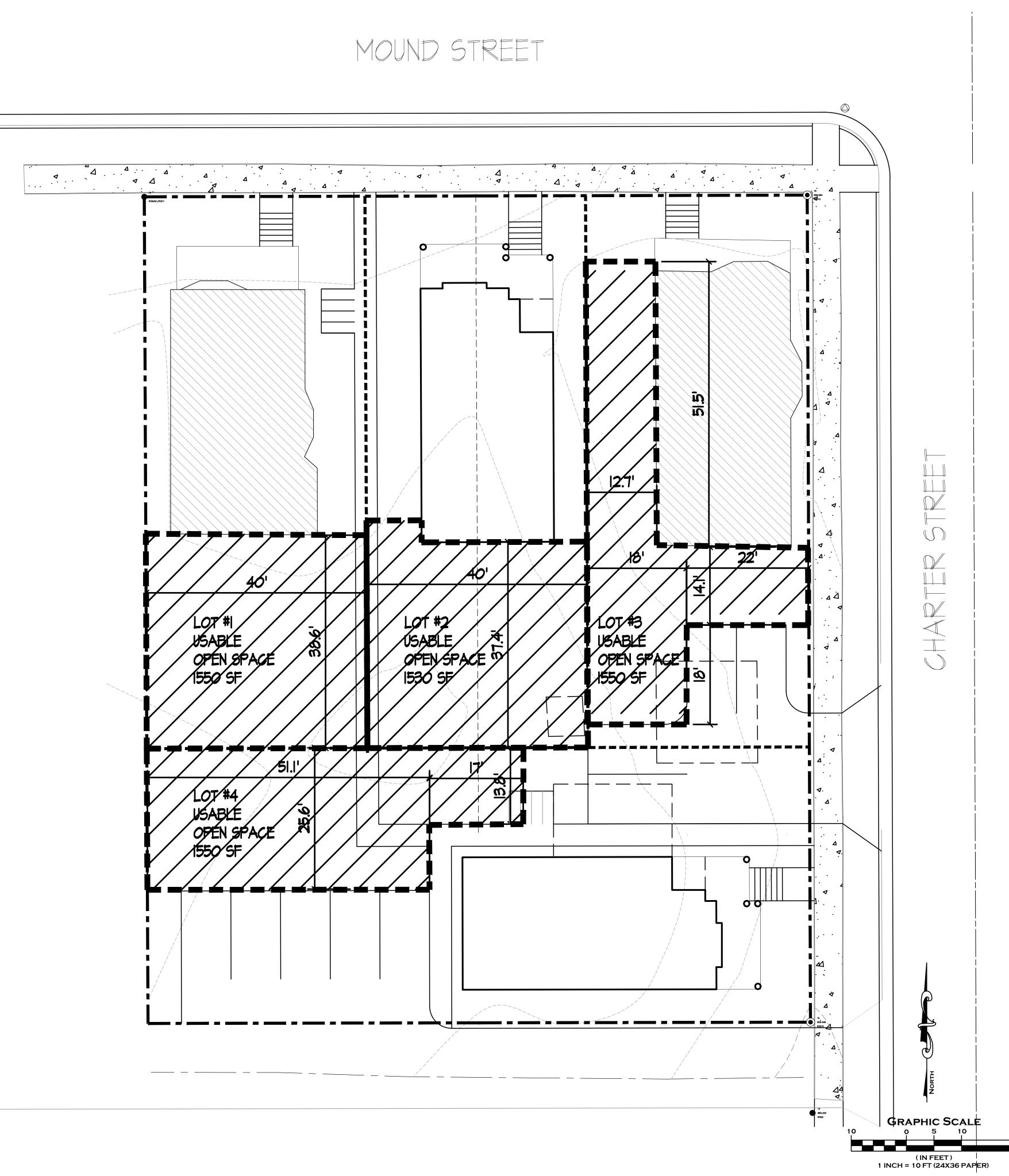
Project No.

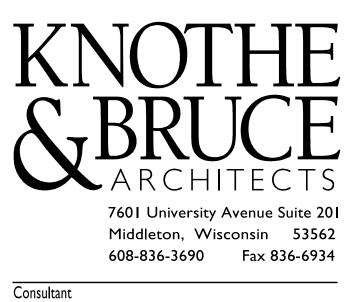
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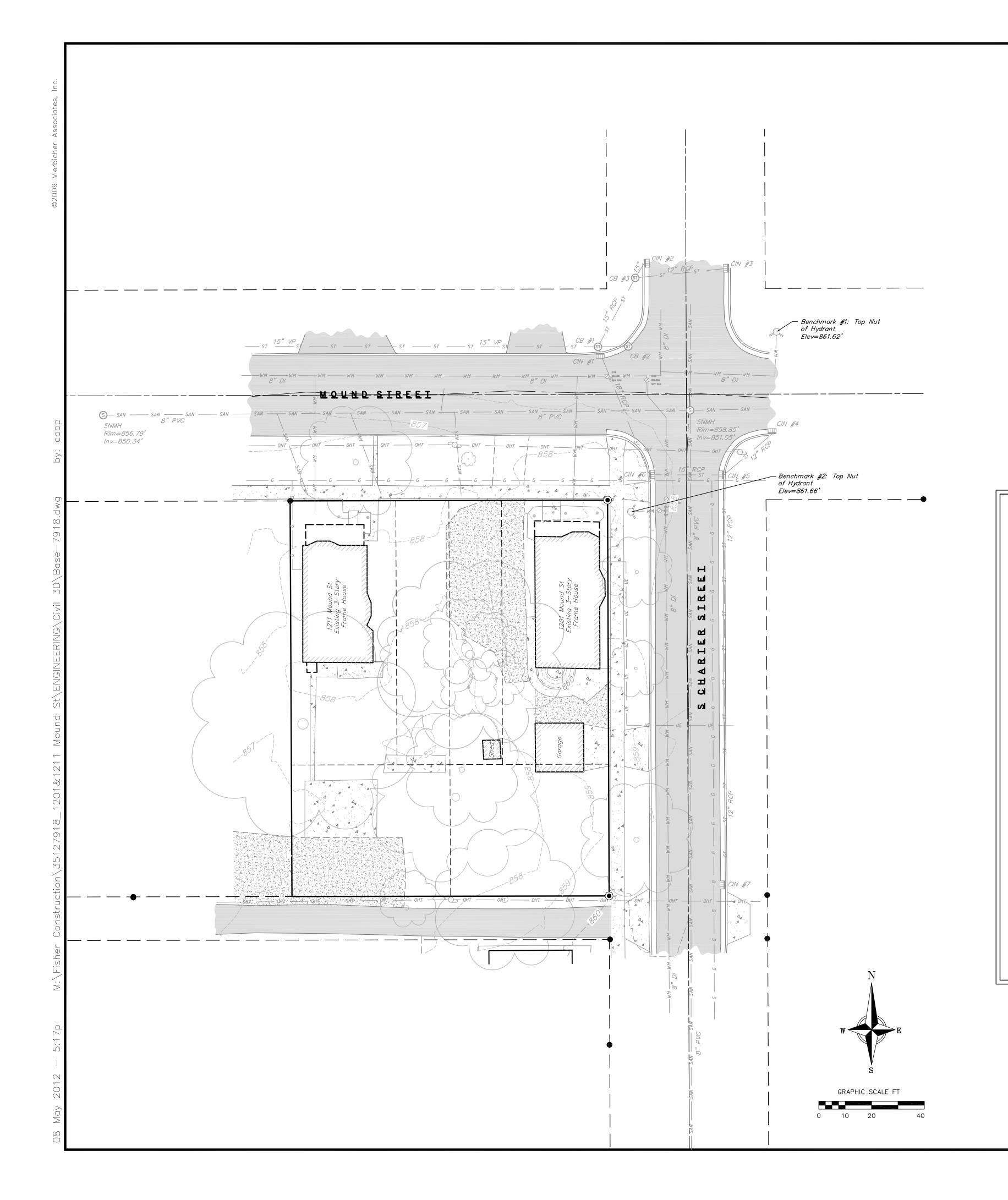
Notes •

Revisions May 9, 2012 - PUD-SIP

Project Title 201 Mound St

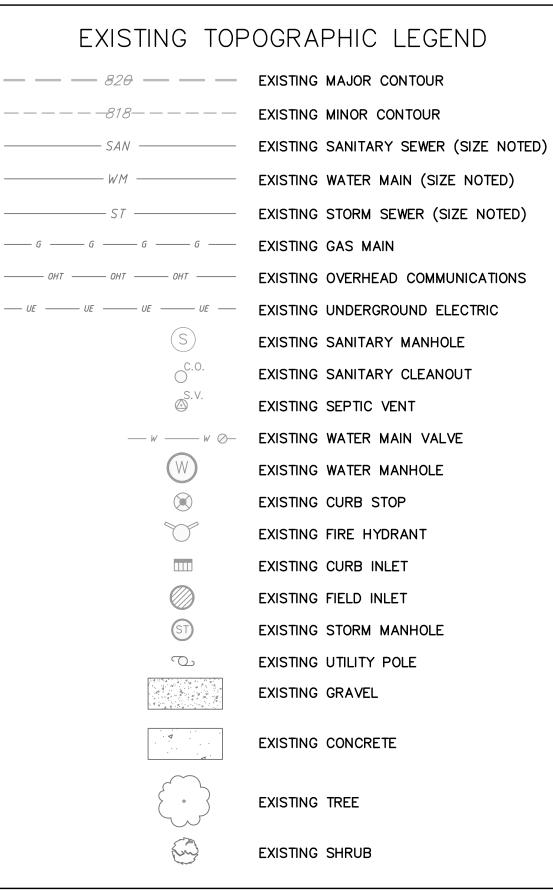
Drawing Title Open Usable Space Plan Project No. Drawing No.

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STORM SEWER STRUCTURE TABLE							
STRUCTURE	INVERT (ft)						
CB #1	857.98	_					
CB #2	857.77	_					
CB #3	858.13	_					
CIN #1	857.81	853.00					
CIN #2	858.04	-					
CIN #3	CIN #3 858.05						
CIN #4	858.21	_					
CIN #5	858.36	855.20					
CIN #6	857.88	854.69					
CIN #7	859.98	856.99					

BENCHMARK TABLE							
BENCHMARK	DESCRIPTION	ELEVATION					
BM #1	TOP NUT OF FIRE HYDRANT	861.62					
BM #2	TOP NUT OF FIRE HYDRANT	861.66					



SURVEYED FOR: FISHER CONSTRUCTION, INC. P.O. BOX 620800 MIDDLETON, WI 53562

SURVEYED BY: VIERBICHER ASSOCIATES, INC. BY: MICHAEL S. MARTY 999 FOURIER DRIVE, SUITE 201 MADISON, WI 53717 (608)-821-3955 mmar@vierbicher.com

### DESCRIPTION AS PROVIDED IN TITLE INSURANCE POLICY 206039, EFFECTIVE DATE FEBRUARY 20, 2003 AT 5:59a.m. FROM LAWYERS TITLE INSURANCE COMPANY:

LOT FIVE (5), BLOCK ELEVEN (11), BOWEN'S ADDITION, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

DESCRIPTION AS PROVIDED IN TITLE INSURANCE POLICY 206031, EFFECTIVE DATE FEBRUARY 20, 2003 AT 5:59 a.m. FROM LAWYERS TITLE INSURANCE COMPANY:

LOT SIX (6), BLOCK ELEVEN (11), BOWEN'S ADDITION, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESSES AND PARCEL NUMBERS OF PROPERTIES SURVEYED PER TITLE COMMITMENTS

1201 MOUND STREET MADISON, WI 53715 PN: 251/0709-224-2202-0

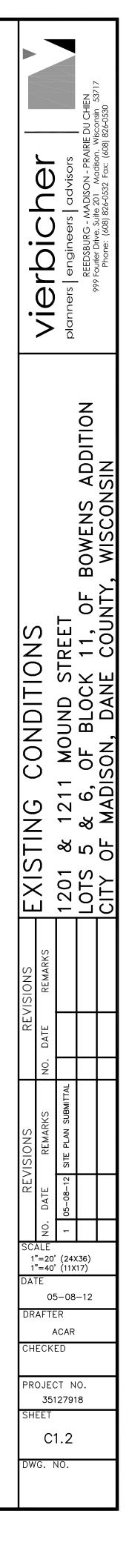
1211 MOUND STREET MADISON, WI 53715 PN: 251/0709-224-2201-2

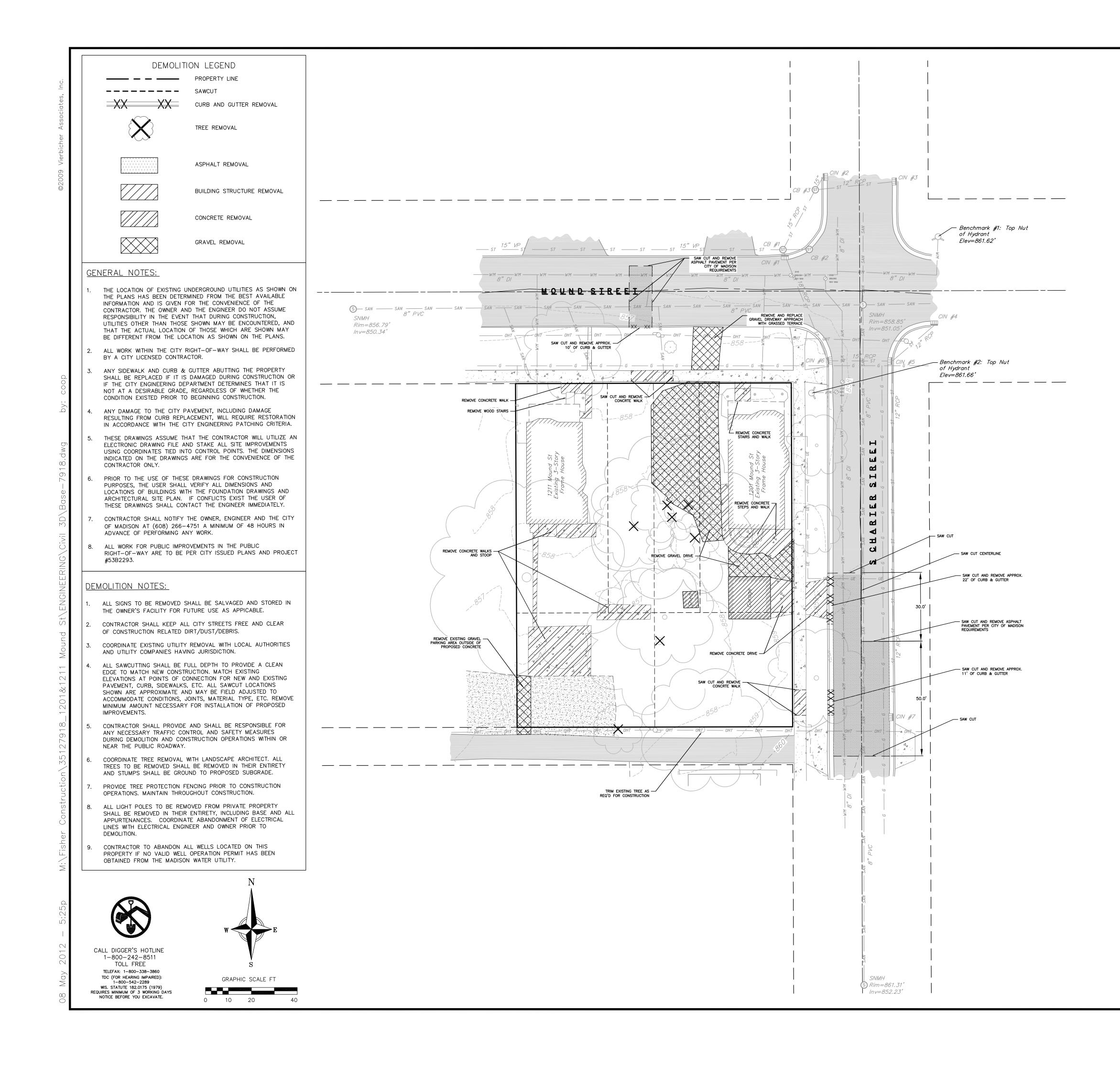
## NOTES:

- 1. This survey was prepared based upon information provided in Title Insurance Policy 206031, Effective date February 20, 2003 at 5:59a.m. from Lawyers Title Insurance Corporation and information provided in Title Commitment 206039, Effective date February 20, 2003 at 5:59a.m. from Lawyers Title Insurance Corporation.
- 2. This survey is based upon field survey work performed on February 20, and May 4, 2012. Any changes in site conditions after May 4, 2012 are not reflected by this
- survey. 3. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger Hotline One-Call ticket numbers 20121817774, 20121817872, 20121817877 and 20121817881. Location of buried private utilities are not within the scope of this survey.
- 4. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
- 5. Not all trees, hedges, or ground cover have necessarily been located as a part of this survey.
- 6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
- 7. The total area of the parcels surveyed is 18,313 square feet or 0.42 acres more or less. 8. Contours and elevations depicted hereon are based upon
- the NAVD88 Datum using the City of Madison's published vertical control.
- 9. Mound Street and S. Charter Street are concrete curb & gutter and asphalt pavement. The public alley is asphalt pavement.

## <u>SURVEY LEGEND</u>

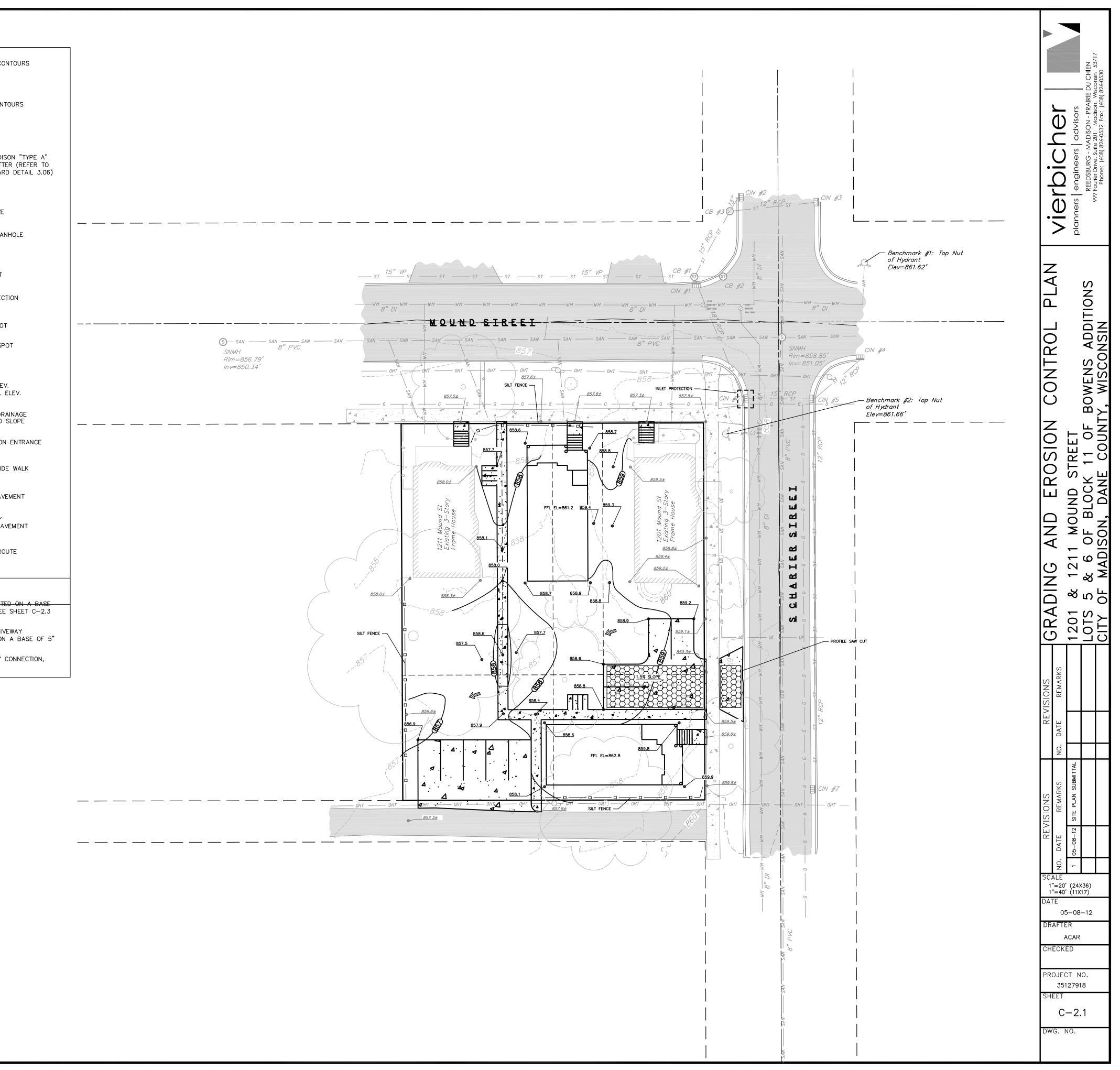
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD

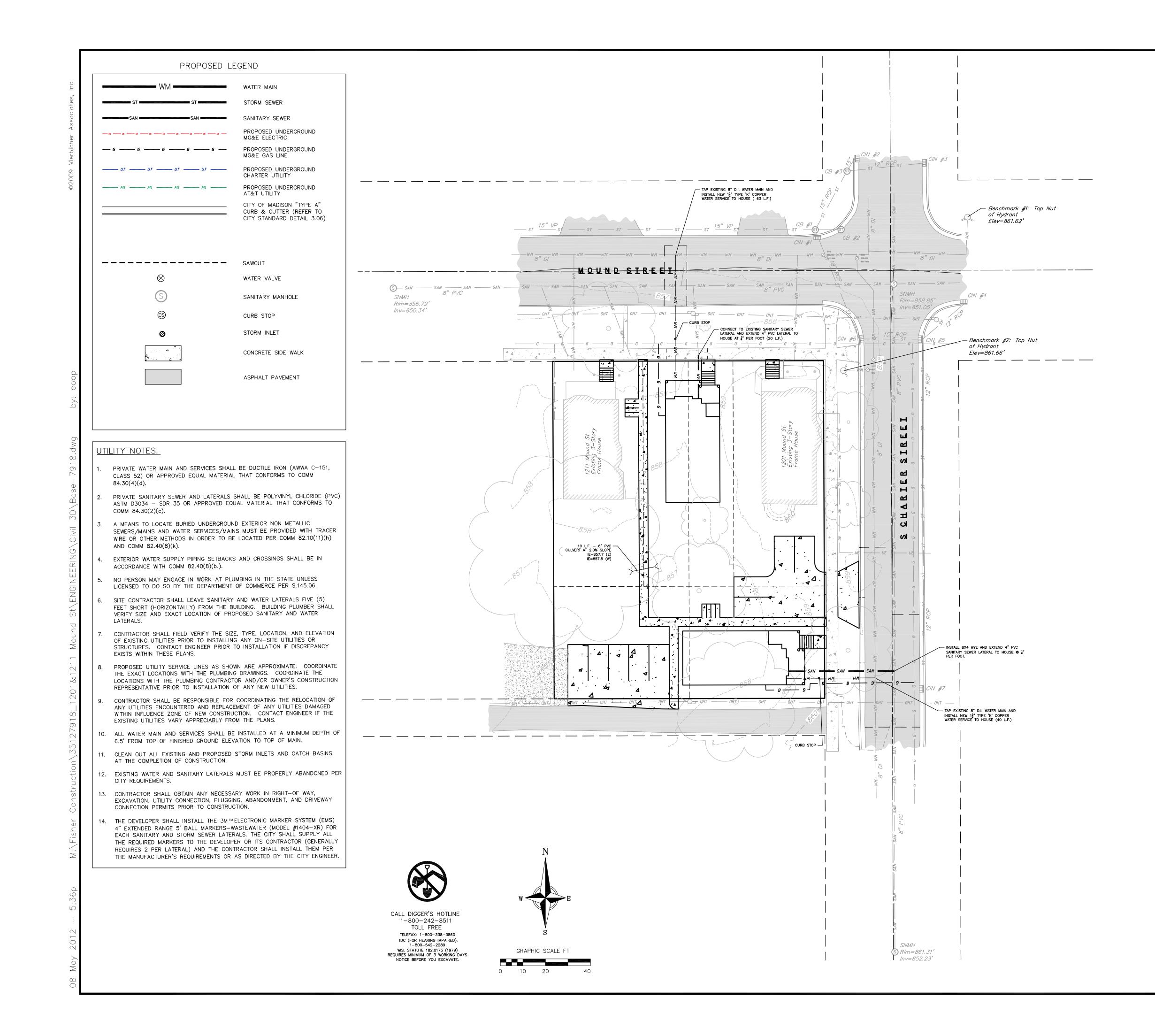




Vierbicher       Ale to the total         planners       engineers       advisors         Planner       suite 201       madison.         999 Fourier Drive, Suite 201       madison.       Wisconsin         990 Fourier Drive, Suite 201       madison.       S26-0530
REVISIONS       REVISIONS       REVISIONS         REVISIONS       REVISIONS       SITE DEMOLITION         Parte       REVISIONS       SITE DEMOLITION         Parte       REVISIONS       SITE DEMOLITION         Parte       REVISIONS       1201 & 1211         Parte       REMARKS       NO. DATE         REVISIONS       1201 & 22       8         CHECKED       1.201 & 25       8         DALE       CONDACK       11         DALE       CONNTY, WISCONSIN

ROSION CONTROL MEASURES 1. EROSION CONTROL SHALL BE IN ACCORDANCE CHAPTER NR 216 OF THE WISCONSIN ADMINIS	WITH THE CITY EROSION CONTROL ORDINANCE AND TRATIVE CODE.	MAJOR-	(860)—
2. CONSTRUCT AND MAINTAIN ALL EROSION AND	SEDIMENT CONTROL MEASURES IN ACCORDANCE (http://dnr.wi.gov/runoff/stormwater/techstds.htm)	MINOR-868	PROPOSED CONTO
<ul><li>INITIATING OTHER LAND DISTURBING CONSTRUCT</li><li>4. THE CONTRACTOR IS REQUIRED TO MAKE ERO</li></ul>	SION CONTROL INSPECTIONS AT THE END OF EACH	MAJOR944	945 EXISTING CONTOU
PREPARED AND FILED AS REQUIRED BY THE E AN INSPECTION WITHIN 24 HOURS.	WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE	OOO	{}
WILL BE ALLOWED. ADDITIONAL EROSION CON	THE CONTRACTOR UNTIL ACCEPTANCE OF THIS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT TROL MEASURES, AS REQUESTED IN WRITING BY THE OPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24		CITY OF MADISON CURB & GUTTER CITY STANDARD [
6. A 3" CLEAR STONE TRACKING PAD SHALL BE TRACKED ONTO THE ADJACENT PAVED PUBLIC CONFORM TO WINDOW TECHNICAL STANDARD 1			<b>— — — —</b> SAWCUT
BE REMOVED BY STREET CLEANING (NOT HYDI DAY.	RAULIC FLUSHING) BEFORE THE END OF EACH WORK	8	WATER VALVE
MORE THAN 7-CONSECUTIVE DAYS, WHETHER SHALL NOT BE LOCATED WITHIN 25-FEET OF	DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR TO BE WORKED DURING THAT PERIOD OR NOT, ANY ROADWAY, PARKING LOT, PAVED AREA, OR	c.o <sub>o</sub>	SANITARY MANHO
CONTROL MEASURES). TEMPORARY STABILIZA TARPING, EROSION MATTING, BARRIER FENCING DISTURBED AREAS AND SOIL PILES, WHICH WIL THAN 14-CONSECUTIVE CALENDAR DAYS. THE	INTENDED TO BE USED AS PART OF THE EROSION TION AND CONTROL MEASURES (SEEDING, MULCHING, G, ETC.) ARE REQUIRED FOR THE PROTECTION OF LL REMAIN UN-WORKED FOR A PERIOD OF MORE SE MEASURES SHALL REMAIN IN PLACE UNTIL SITE	0 Ø	CLEANOUT STORM INLET
	TE CONTROL MEASURES. SEDIMENTATION BASINS		INLET PROTECTION
SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BARRIER AND HAVE SUFFICIENT SURFACE ARE MORE THAN 750 GALLONS PER SQUARE FOOT	BE SURROUNDED BY SNOWFENCE OR EQUIVALENT A TO PROVIDE A SURFACE SETTLING RATE OF NO PER DAY AT THE HIGHEST DEWATERING PUMPING	883.28	EXISTING SPOT ELEVATION
NEIGHBORING SITE, OR THE BED OR BANKS OF AS DIRECTED BY DNR TECHNICAL STANDARD	A MANNER THAT CAUSES EROSION OF THE SITE, A F THE RECEIVING WATER. POLYMERS MAY BE USED 1061 (DE–WATERING). PUMPING OF WATER FROM ALL NOT EXCEED A RATE OF 70 GALLONS PER	883.28	PROPOSED SPOT ELEVATION
MINUTE. SUMP PUMP SHALL BE PLACED ON SOCK SHALL BE PLACED ON THE OUTLET END	A CLEAR STONE BEDDING AND A CLOTH/MESH OF THE PIPE TO CONTROL SEDIMENT LOSS.	С — ВА W — СС	VEMENT ELEV. NCK OF CURB ELEV. NNCRETE SIDEWALK ELEV.
9. WASHED STONE WEEPERS OR TEMPORARY EAR CONTRACTOR TO TRAP SEDIMENT OR SLOW TH			P OF RETAINING WALL ELEV. DTTOM OF RETAINING WALL ELE
INSTALLED. ALL PROJECT AREA STORM INLETS	ATER INLET STRUCTURES AS SOON AS THEY ARE NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. CITY HAS ACCEPTED THE BINDER COURSE OF	1.82%	PROPOSED DRAIN ARROWS AND SLO
11. RESTORATION (SEED, FERTILIZE AND MULCH) S UNLESS SPECIAL RESTORATION IS CALLED FOR	R ON THE LANDSCAPE PLAN.		CONSTRUCTION E
12. ALL AREAS WHICH ARE NOT PAVED SHALL RE SEEDING.			CONCRETE SIDE V
ESTABLISHED. IF DISTURBED AREAS WILL NOT TEMPORARY SEED SHALL BE PLACED.	LIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN BE RESTORED IMMEDIATELY AFTER ROUGH GRADING,		ASPHALT PAVEME
DISTURBED AREA, INCLUDE SUMMER WATERING AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A		•••••••••	HEAVY-DUTY CONCRETE PAVEN
15. EROSION MAT (TYPE I CLASS A PER WISCONS SLOPES 3:1 OR GREATER BUT LESS THAN 1:1			EMERGENCY OVERFLOW ROUTE
(DO NOT USE IN CHANNELS). SOIL STABILIZE	RS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. APPLY AT RATES AND METHODS SPECIFIED PER	SITE PAVING NOTES	
17. SILT FENCE TO BE USED ACROSS AREAS OF OR WATERWAY.	THE LOT THAT SLOPE TOWARDS A PUBLIC STREET	1. CONCRETE SIDEWALK TO	<u>⊃.</u> - <del>BE 5" THICK, CONSTRUCTED -</del> ⊃ OR CRUSHED STONE. SEE SH
18. SEDIMENT SHALL BE CLEANED FROM CURB AN PROJECT ACCEPTANCE.		FOR DETAILS.	YS AND SIDEWALK AT DRIVEW.
PLACE WHEN THE ENTRANCE IS NOT IN USE A	TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN AND AT THE END OF EACH DAY. ONTROL PLAN MUST BE SUBMITTED AND APPROVED	ENTRANCES SHALL BE 7 COMPACTED SAND OR C	" THICK, CONSTRUCTED ON A RUSHED STONE. I ANY NECESSARY UTILITY CON
	IEER MAY REQUIRE ADDITIONAL EROSION CONTROL DN.		
ESTABLISHED ON PAVED SURFACES BY USING			
TERRACE SHALL BE RESTORED WITH GRASS.	HE SITE SHALL BE REPLACED WITH CURB AND THE		GGER'S HOTLINE
<ol> <li>24. CONTRACTOR SHALL OBTAIN ANY NECESSARY AND EXCAVATION PERMITS PRIOR TO CONSTRU</li> <li>25. ANY SIDEWALK AND CURB &amp; GUTTER ABUTTIN</li> </ol>		1-80 T	GGER S HOTLINE DO-242-8511 FOLL FREE X: 1-800-338-3860
DAMAGED DURING CONSTRUCTION OR IF THE	OF WHETHER THE CONDITION EXISTED PRIOR TO	TDC (FC 1- WIS. STA REQUIRES MIN	OR HEARING IMPAIRED): -800–542–2289 ATUTE 182.0175 (1979) NIMUM OF 3 WORKING DAYS
CONSTRUCTION SEQUENCE:	SEEDING RATES:	NOTICE E	BEFORE YOU EXCAVATE.
<ol> <li>INSTALL SILT FENCE AND TRACKING PAD.</li> <li>INSTALL INLET PROTECTION ON EXISTING</li> </ol>	TEMPORARY: 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS. 2. USE WINTER WHEAT OR BYE AT 3.0 LB (1.000		
INLETS ADJACENT TO PROPERTY. 3. PERFORM SITE DEMOLITION AND REMOVE	2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.		Ν
PAVEMENT. 4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.	<u>PERMANENT:</u> 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.		Â
5. ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.	FERTILIZING RATES:		
<ol> <li>CONSTRUCT UNDERGROUND UTILITIES.</li> <li>INSTALL INLET PROTECTION ON NEW INLETS.</li> </ol>	<u>TEMPORARY AND PERMANENT:</u> USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.	w <	E
<ol> <li>INSTALL INLET PROTECTION ON NEW INLETS.</li> <li>CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.</li> </ol>	MULCHING RATES:		V s
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.	TEMPORARY AND PERMANENT: USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T.	GRAF	PHIC SCALE FT
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.	METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION	0 10	20 40





Vierbic her       Addition         planners       engineers       advisors         REEDSBURG - MaDISON - PRAIRIE DU CHIEN       999 Fourier Drive, Suite 201, Madison, Wisconsin 53717         Phone:       (608) 826-0532 Fax:       (608) 826-0530
REVISIONS       REVISIONS       UTILITY       PLAN         Ino. Date       REMARKS       NO. DATE       REMARKS       NO. DATE       REMARKS         Ino. Date       REMARKS       NO. DATE       REMARKS       NO. DATE       REMARKS         Ino. Date       REMARKS       NO. DATE       REMARKS       NO. DATE       REMARKS         Ino. Date       REMARKS       NO. DATE       REMARKS       NO. DATE       REMARKS         Ino. Date       REMARKS       NO. DATE       REMARKS       NO. DATE       REMARKS         Ino. Date       REMARKS       NO. DATE       REVISION       DATE       DATE         Ino. Date       CITY OF MADISON, DANE COUNTY, WISCONSIN         DROE       NO.       DANE       COUNTY, WISCONSIN         DM. ON DANE       NO       DANE       COUNTY, WISCONSIN

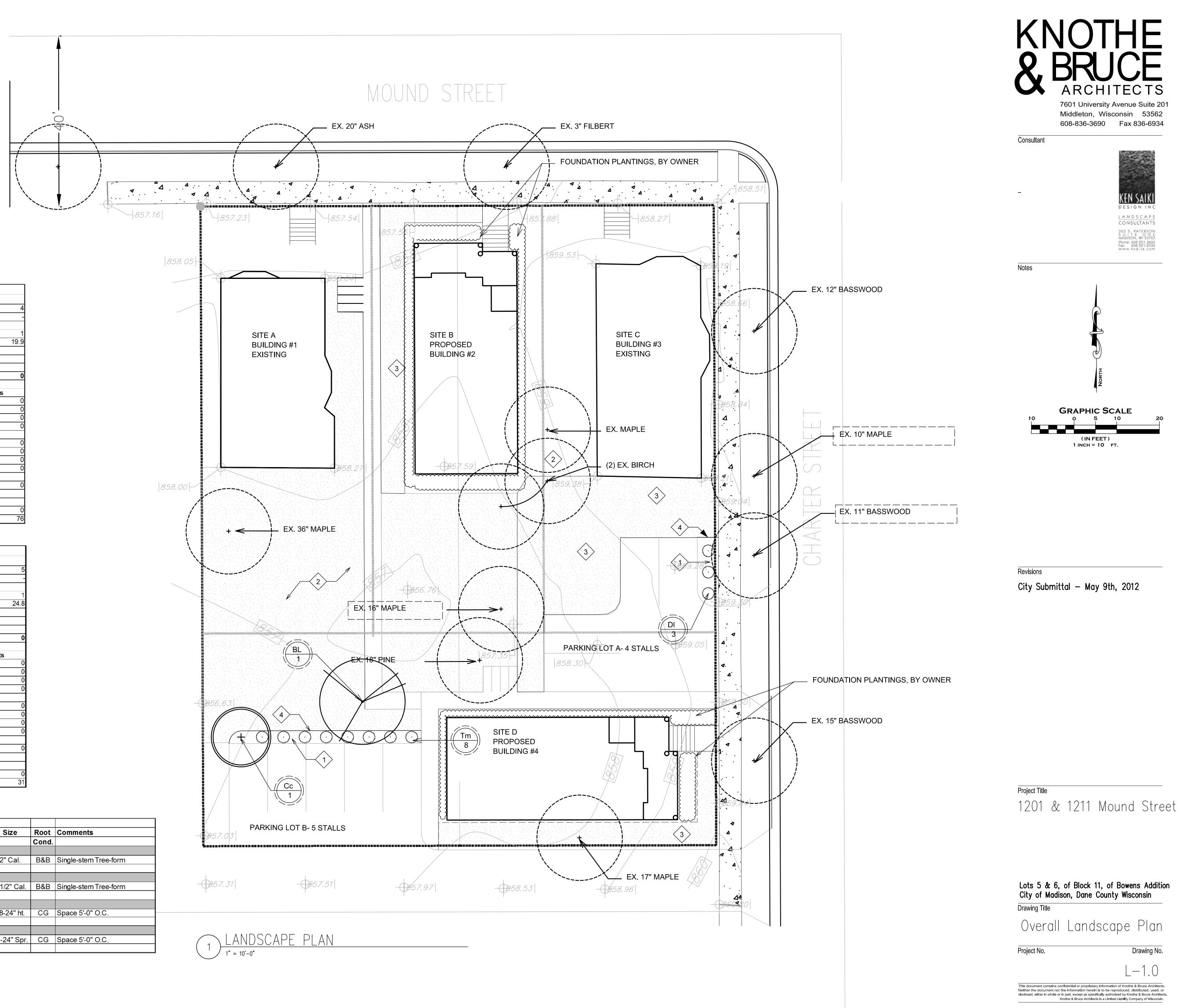
## SYMBOL KEY:

 $\langle 1 \rangle$ 

APPLY 3" OF DOUBLE-SHREDDED HARDWOOD MULCH

RESEED EXISTING TURF GRASS AS NECESSARY  $\langle 2 \rangle$ 

- SEED TURF GRASS  $\langle 3 \rangle$
- SHOVEL CUT EDGE  $\langle 4 \rangle$



EX. XX" TREE \_\_\_\_\_

/ XX `` · X /;

NEW & EXISTING PLANTINGS INCLUDED IN LANDSCAPE WORKSHEET

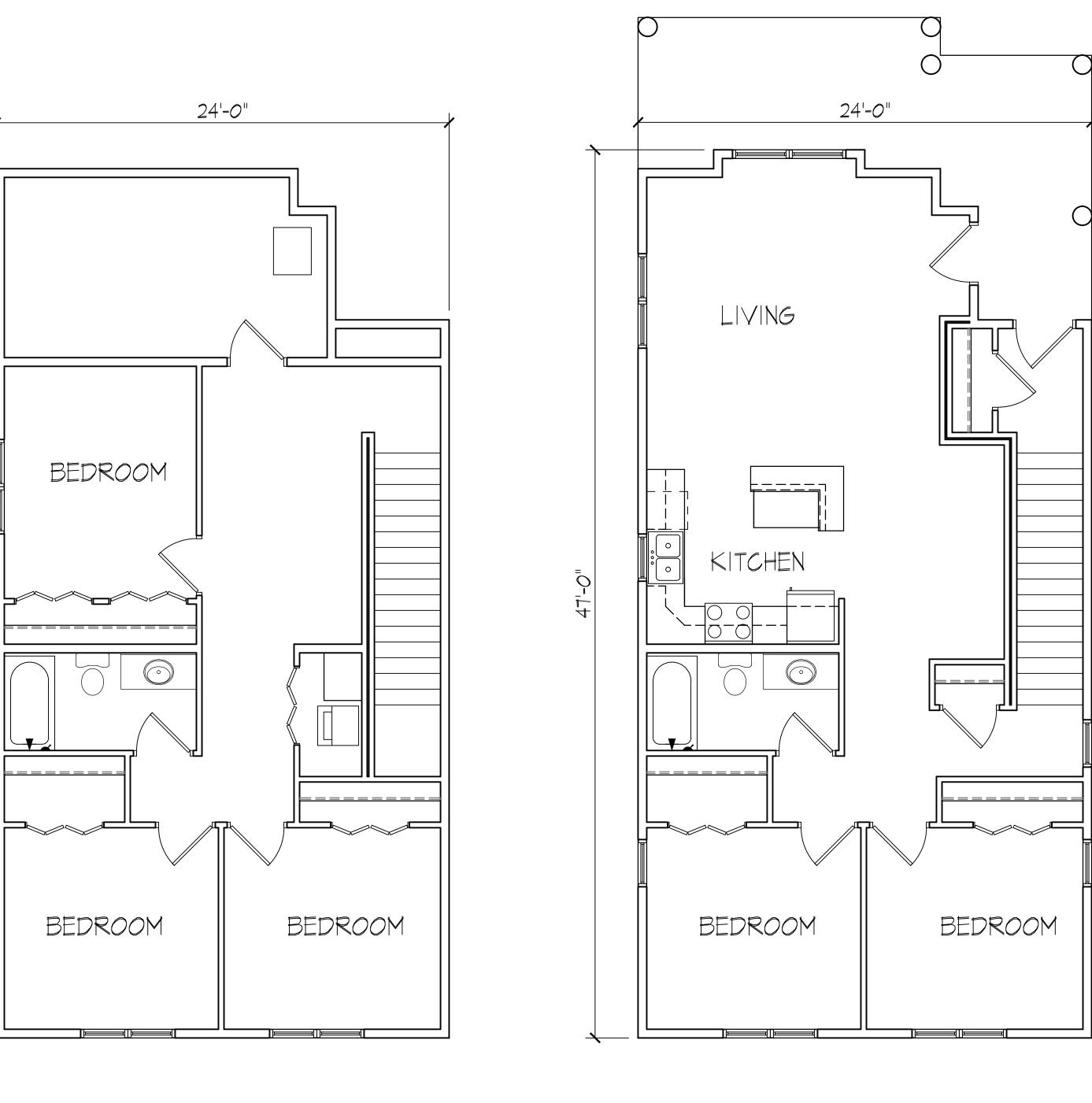
City of Madison - Landsca	pe Works	heet			
NEW PARKING LOT A					
Number of Parking Stalls					4
Total Sq. Footage of Storage A	rea				
Number of Canopy Shade Trees					
Required - 2" - 2 1/2" cal.					1
No. of Landscape Points Requi	red				19.9
Points for Loading Area Require	ed				
Number of Points Required					
				Credits*	
Element	Point		Points	Credits	, , , , , , , , , , , , , , , , , , ,
Liement	Value	Quantity	Achieved	Quantity	Points
Canopy Tree: 2" - 21/2"	35	2	70		(
Deciduous Shrub	2	3	6		(
Evergreen Shrub	3		0		(
Decorative Wall or Fence	5		0		(
(per 10 L.F.)					
Earth Berm (per 10 L.F.)					(
Avg. Height 30"	5		0		(
Avg. Height 15"	2		0		(
Evergreen Trees	15		0		(
3' height minimum					
Canopy Tree or Small Tree	15		0		C
1 1/2" - 2" Caliper					
(i.e., Crab, Hawthorn)					
		Sub-Totals	76		C
				Total Points	76

City of Madison - Landscap	pe Works	heet			
NEW PARKING LOT B					
Number of Parking Stalls					
Total Sq. Footage of Storage Are	ea				
Number of Canopy Shade Trees					
Required - 2" - 2 1/2" cal.					
No. of Landscape Points Require	ed				24.
Points for Loading Area Required	d				
Number of Points Required					
				•	
				Credits*	
Element	Point	-	Points	-	_
	Value	Quantity	Achieved	Quantity	Points
Canopy Tree: 2" - 21/2"	35		0		
Deciduous Shrub	2	8	16		
Evergreen Shrub	3		0		
Decorative Wall or Fence	5		0		
(per 10 L.F.)					
Earth Berm (per 10 L.F.)					
Avg. Height 30"	5		0		
Avg. Height 15"	2		0		
Evergreen Trees	15		0		
3' height minimum					
Canopy Tree or Small Tree	15	1	15		
1 1/2" - 2" Caliper					
(i.e., Crab, Hawthorn)					
		Sub-Totals	31		
				Total Points	3

Plant L	<u>ist</u>					
Key	Botanical Name	Common Name	Quantity	Size	Root	Comments
					Cond.	
	Deciduous Trees					
UA	Betula lenta	Sweet Birch	1	2" Cal.	B&B	Single-stem Tree-form
	Ornamental Trees					
CC	Cercis canadensis	Eastern Redbud	1	1 1/2" Cal.	B&B	Single-stem Tree-form
	Deciduous Shrubs					
DI	Diervilla Ionicera	Dwarf Bush-honeysuckle	3	18-24" ht.	CG	Space 5'-0" O.C.
	Evergreen Shrubs					
Tm	Taxus x media 'Densiformis'	Densi Yew	8	18-24" Spr.	CG	Space 5'-0" O.C.

46'-0"

BASEMENT FLOOR PLAN



FIRST FLOOR PLAN |/4" = |'-0"



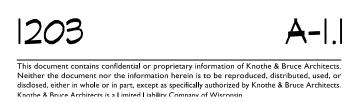
Notes -

Revisions SIP SUBMITTAL - May 9, 2012

Project Title 1201 Mound St

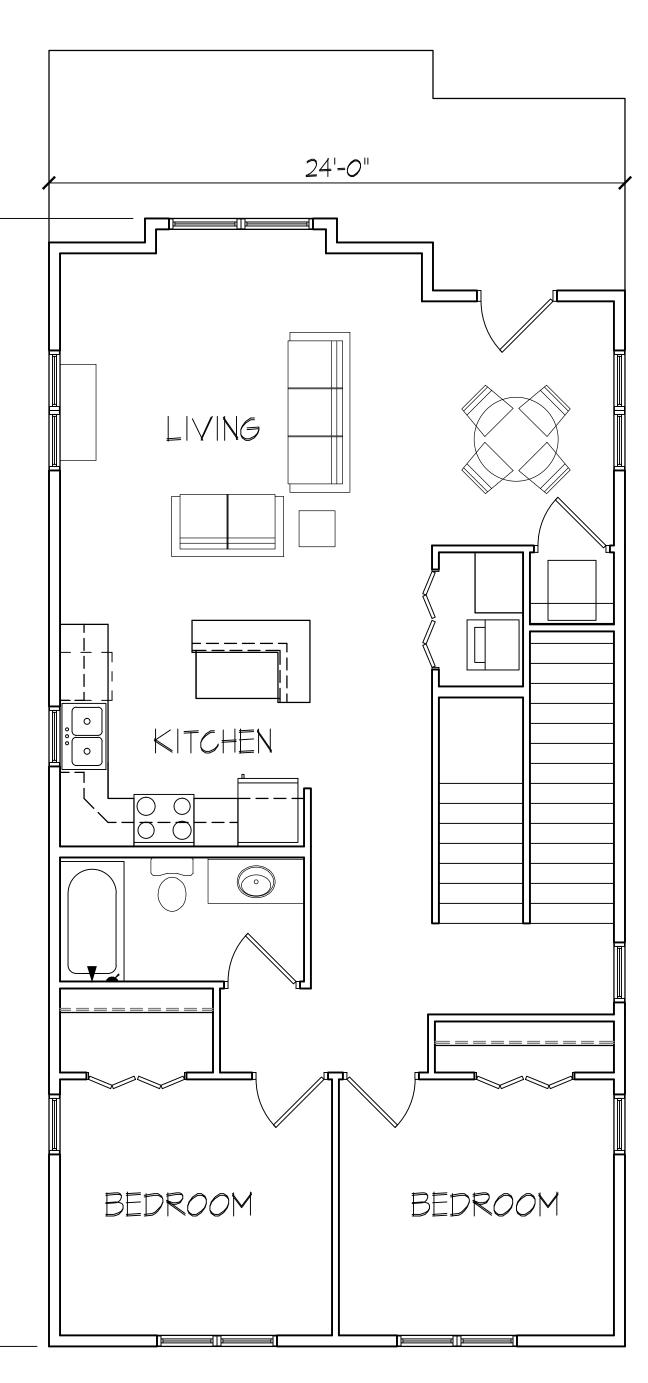
Madison, WI Drawing Title FLOOR PLANS BUILDING #2 Project No.

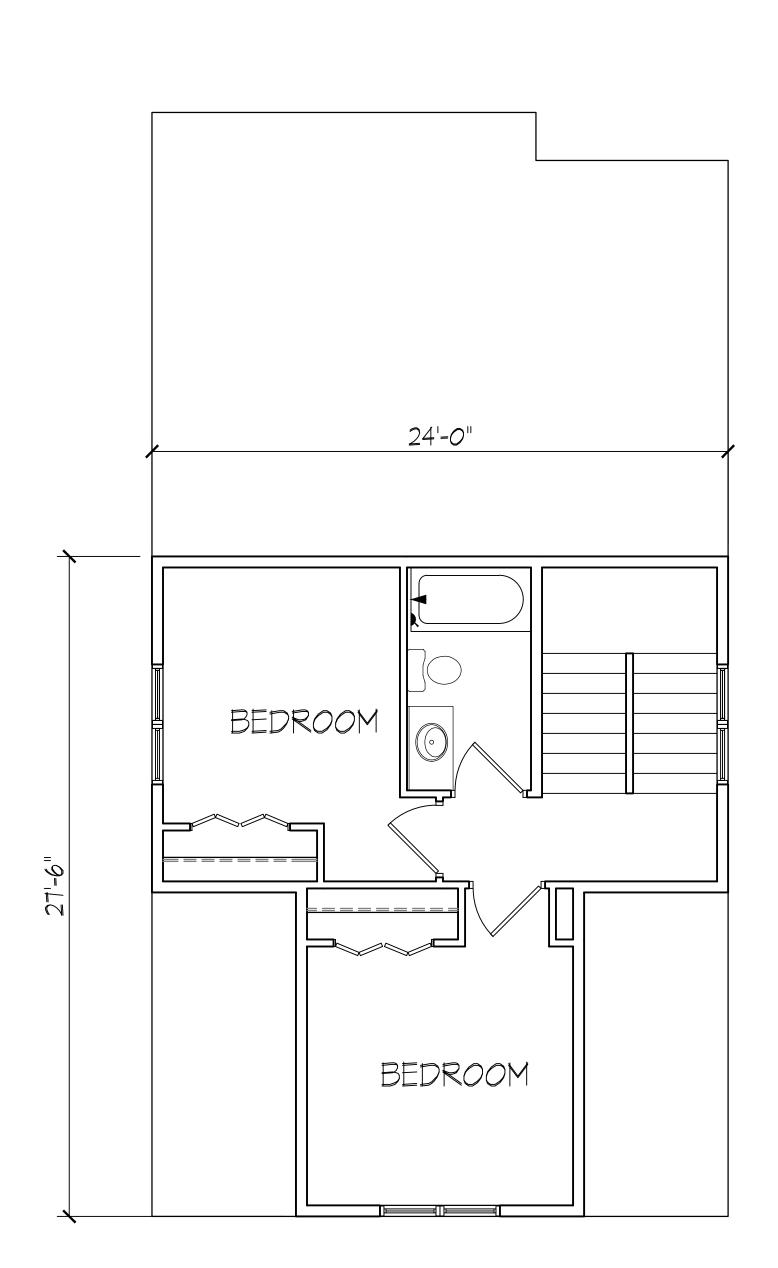
Drawing No. 1203



47'-0"

 $\prec$ 





SECOND FLOOR PLAN |/4" = |'-0"





Notes -

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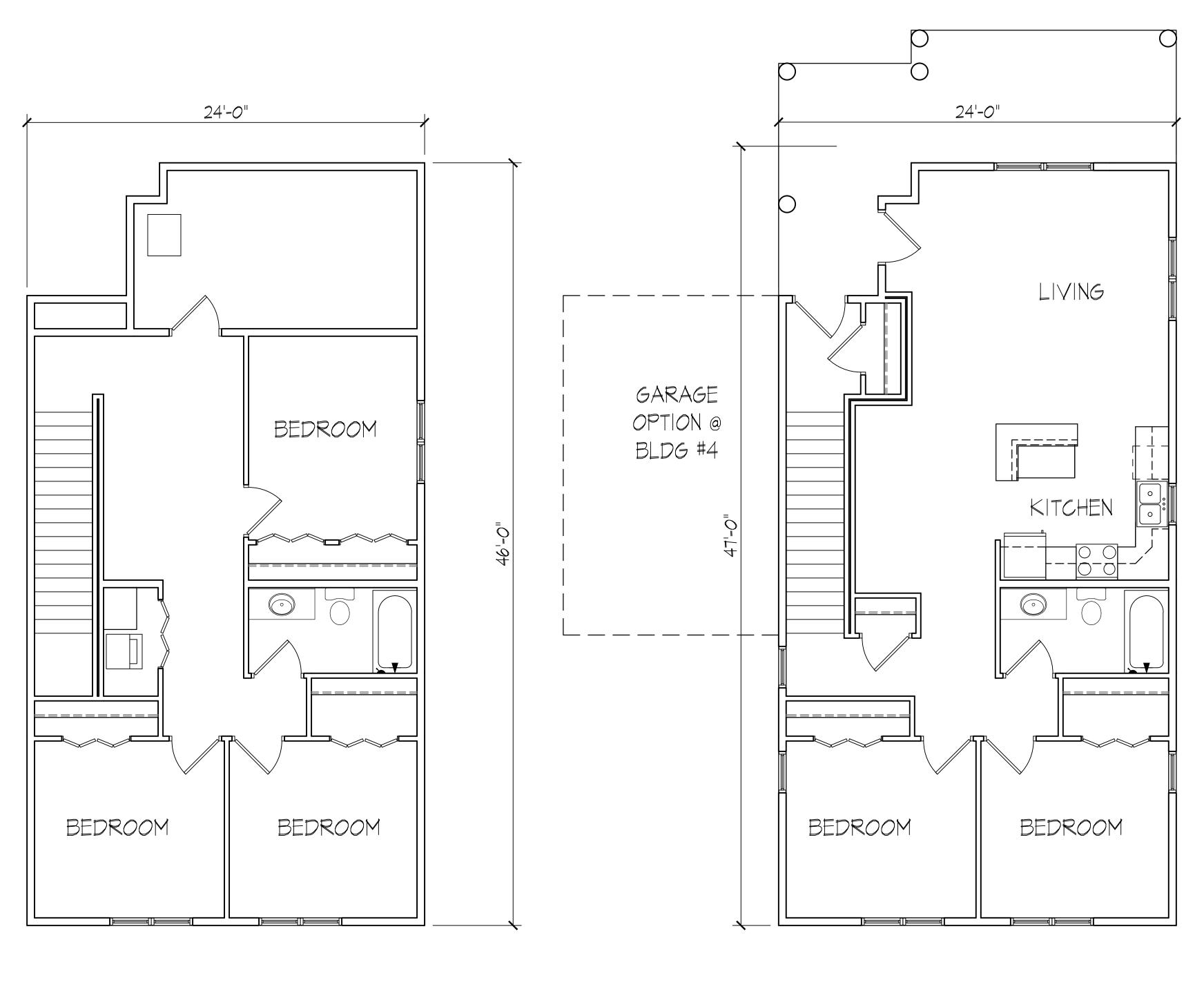
Project Title 1201 Mound St

Madison, WI Drawing Title FLOOR PLANS BUILDING #2 Project No. 1203

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Drawing No.

A-1.2



BASEMENT FLOOR PLAN

FIRST FLOOR PLAN |/4" = |'-0"



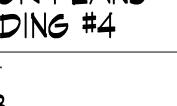
Consultant

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Project Title 1201 Mound St

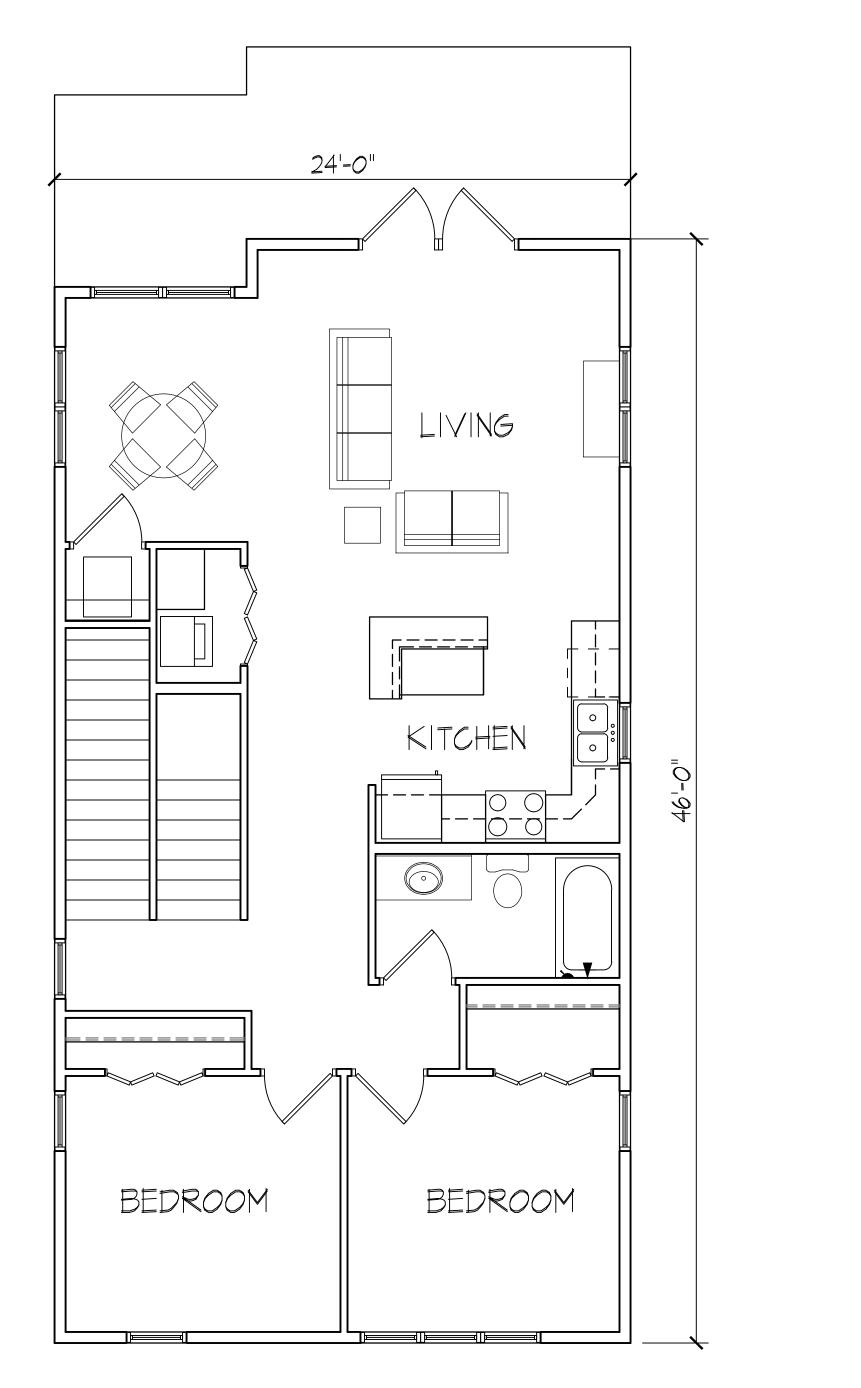
Madison, WI Drawing Title FLOOR PLANS BUILDING #4

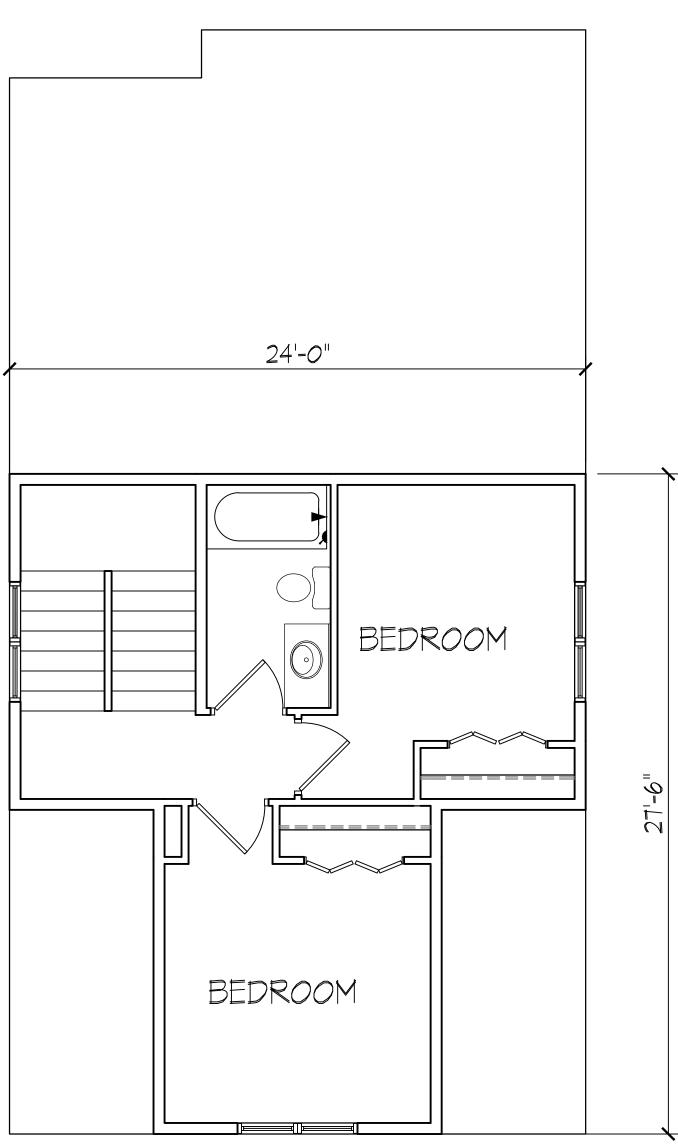


Drawing No. A-1.3

Project No.

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SECOND FLOOR PLAN





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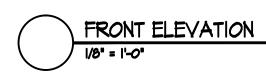
Project Title 1201 Mound St

Madison, WI Drawing Title **FLOOR PLANS BUILDING #4** Project No. 1203

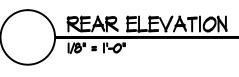
Drawing No.

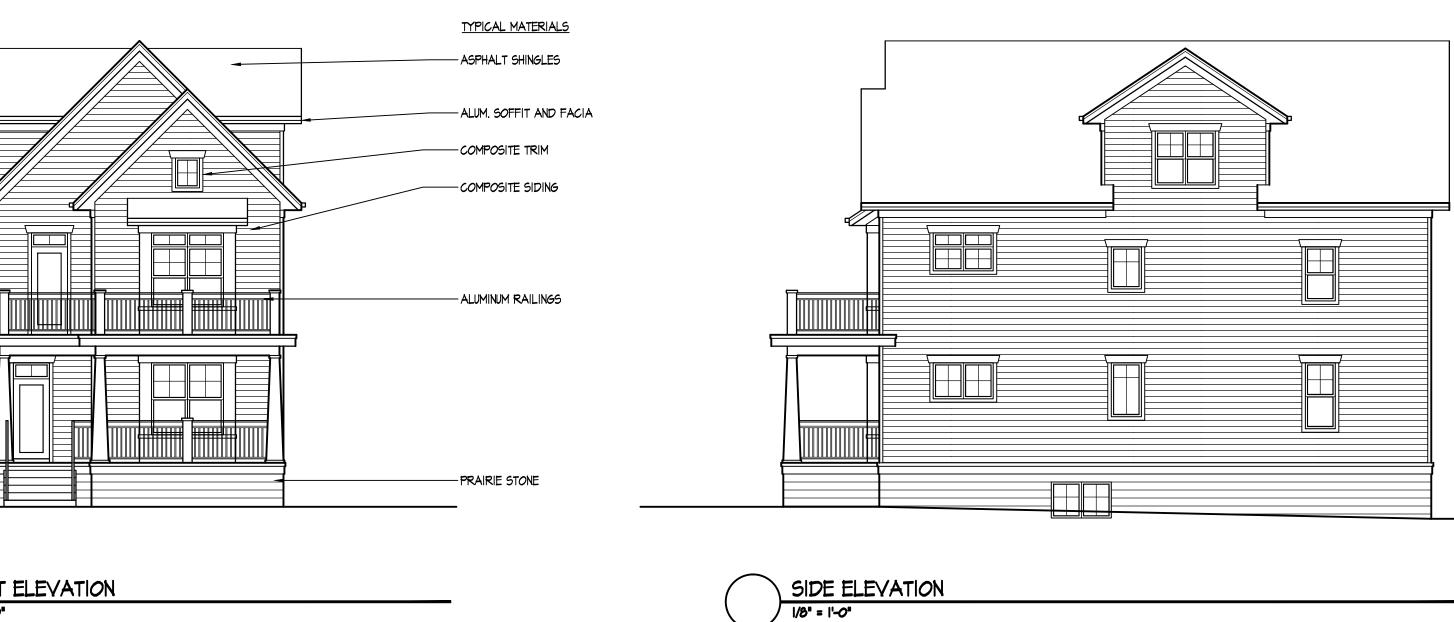
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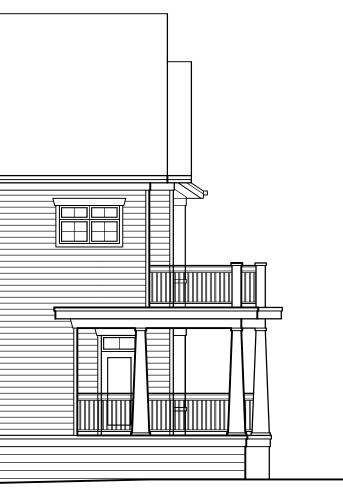






Notes -

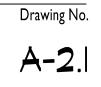
Revisions SIP SUBMITTAL - May 9, 2012



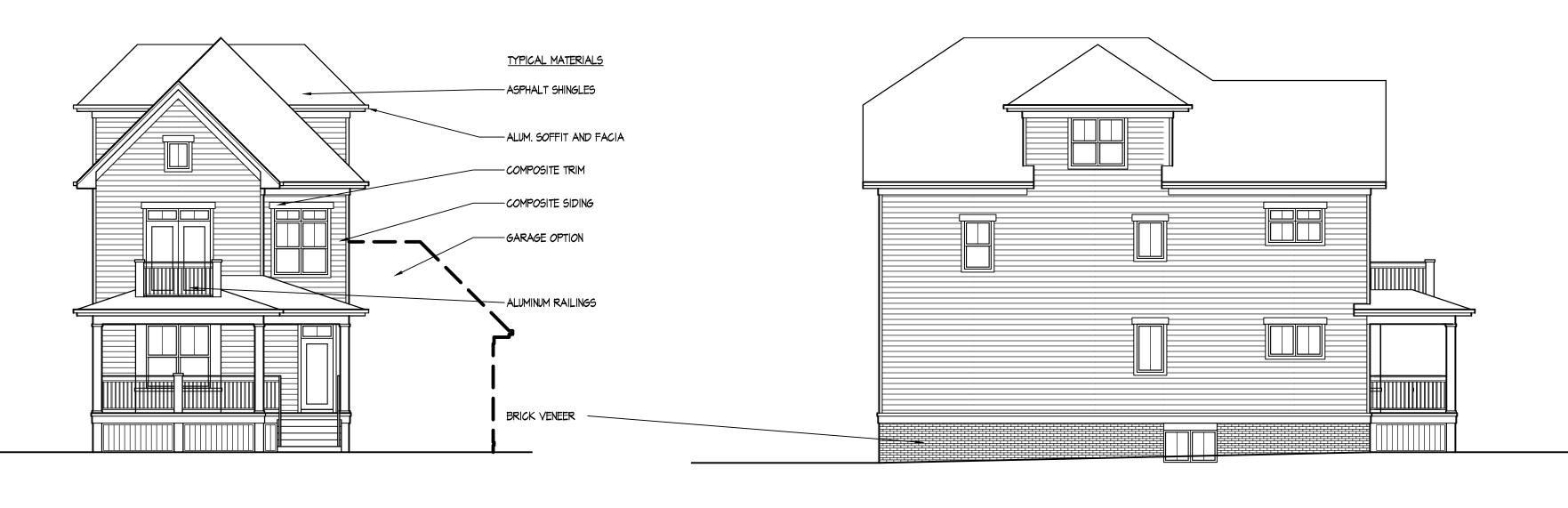
Project Title 1201 Mound St

Madison, WI Drawing Title BLDG #2 Elevations Project No.

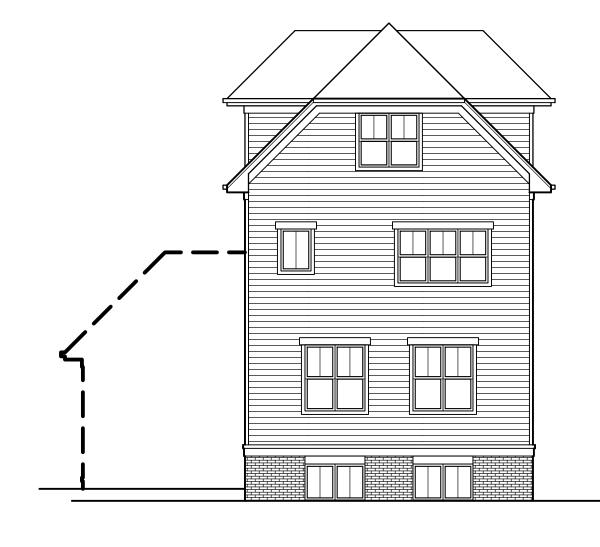
1203

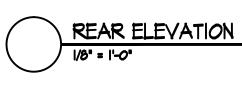


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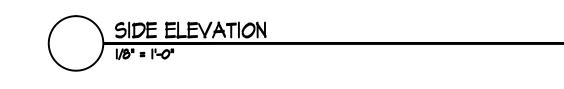


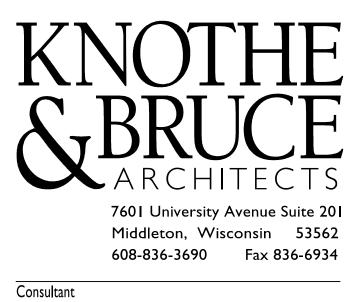












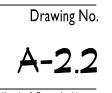


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Project Title 1201 Mound St

Madison, WI Drawing Title BLDG #4 Elevations Project No.

1203



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Charter Street Elevation



Mound Street Elevation

# Elevations Mound Street Development

March 28, 2012

