



SHEET INDEX

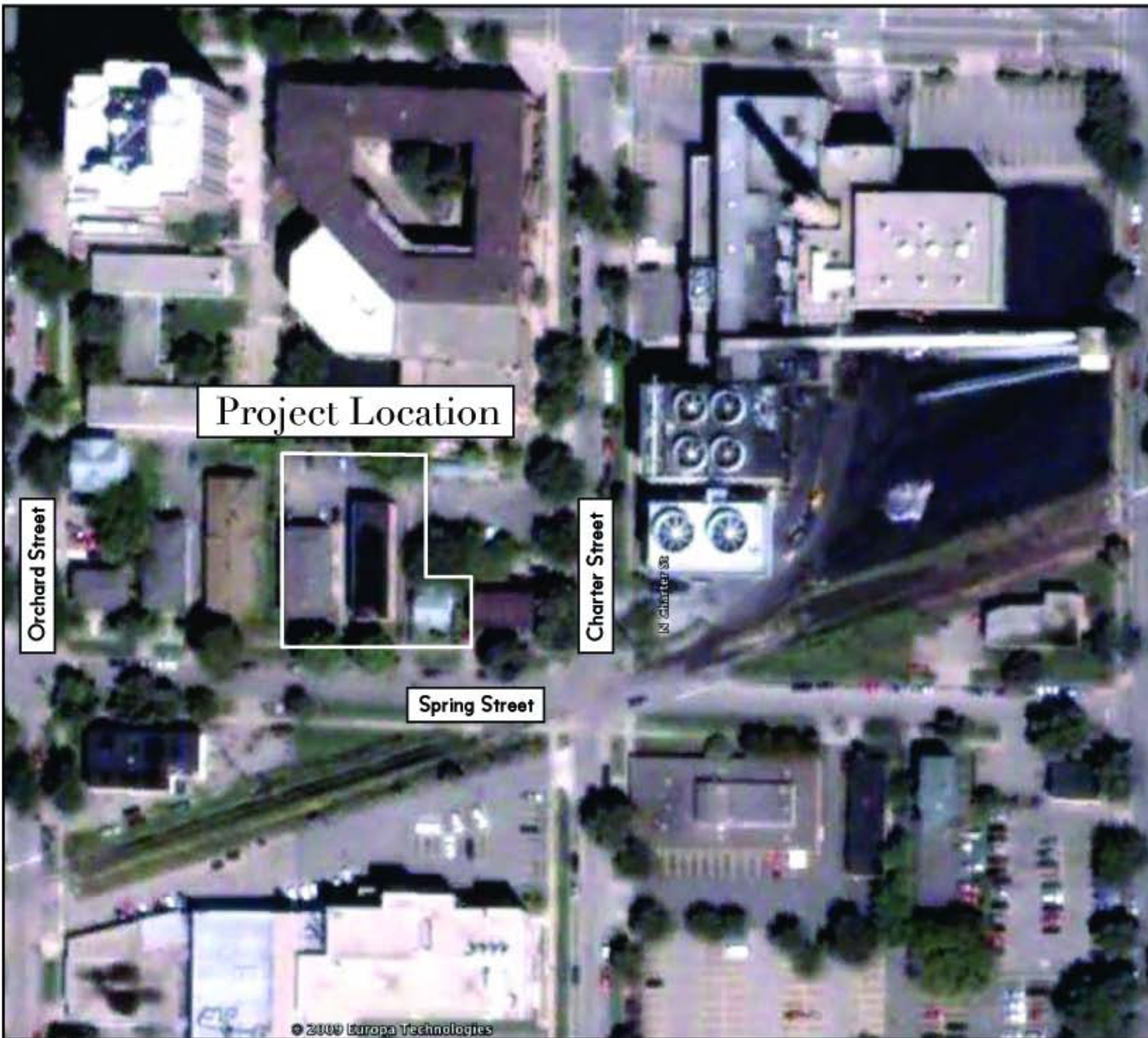
- SC I.1 SITE CONTEXT
- SC I.2 SITE CONTEXT PHOTOS
- SC I.3 SITE CONTEXT PHOTOS
- SC I.4 SITE CONTEXT PHOTOS

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- A4.1 BUILDING ELEVATIONS

REVIEW SET
CITY OF MADISON
PLAN COMMISSION

bark DESIGN	WWW.BARK-DESIGN.COM STUDIO@BARK-DESIGN.COM	
	DRAWN BY	DATE
THE "HUMBUCKER APARTMENTS"		REVISED
COVER SHEET		



Project Location

Orchard Street

Charter Street

Spring Street



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REVIEW SET

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PLAN COMMISSION

 DESIGN	www.harkdesign.com
THE "HUMBUCKER APARTMENTS"	DATE: 10/10/10 DRAWN BY: [Name]
SITE CONTEXT	SC 1 . 1



VIEW TO EAST FROM SPRING STREET



REVIEW SET

CITY OF MADISON

PLAN COMMISSION

mark DESIGN		WWW.MARK-DESIGN.COM 1200 WILSON BLVD. SUITE 200
THE "HUMBUCKER APARTMENTS"	DATE: 12/11/17 BY: [signature]	SC 1 . 2
SITE CONTEXT PHOTOS		



VIEW TO NORTH FROM SPRING STREET



REVIEW SET

CITY OF MADISON

PLAN COMMISSION

hark DESIGN		WWW.HARK-DESIGN.COM TEL: 608.261.1111
THE "HUMBUCKER APARTMENTS"	DATE: 12/11/12 SCALE: 1"=20'	SC 1 . 3
SITE CONTEXT PHOTOS		



SPRING STREET STREETScape



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PLAN COMMISSION

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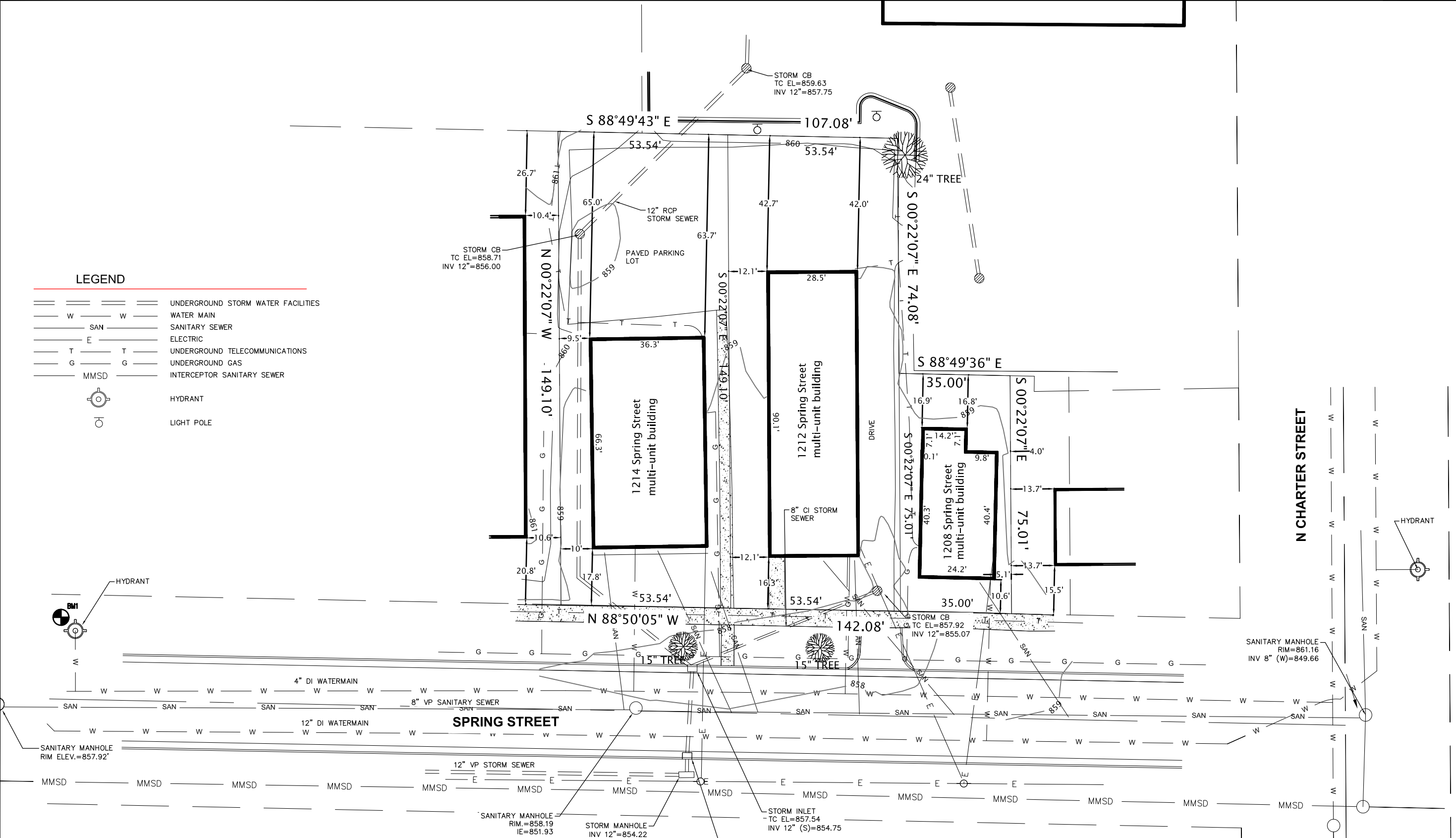
THE "HUMBUCKER APARTMENTS"

SITE CONTEXT PHOTOS

WWW.HARK.COM
1200 N. MICHIGAN ST. SUITE 200

DATE
02/14/17

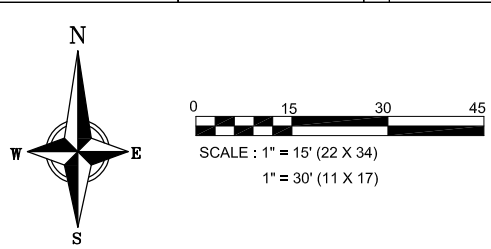
SC 1 . 4



LEGEND

- UNDERGROUND STORM WATER FACILITIES
- W WATER MAIN
- SAN SANITARY SEWER
- E ELECTRIC
- T UNDERGROUND TELECOMMUNICATIONS
- G UNDERGROUND GAS
- MMSD INTERCEPTOR SANITARY SEWER
- HYDRANT
- LIGHT POLE

BENCHMARKS		
No.	ELEVATION	LOCATION
BM1	862.59	TAG BOLT, FIRE HYDRANT, NE CORNER OF INTERSECTION OF N ORCHARD ST AND SPRING STREET
BM2	850.60	1/4 SECTION 22 MON NAVD 88



DATE		02-08-10
DRAWN BY		RJJ
DATE	REVISION	

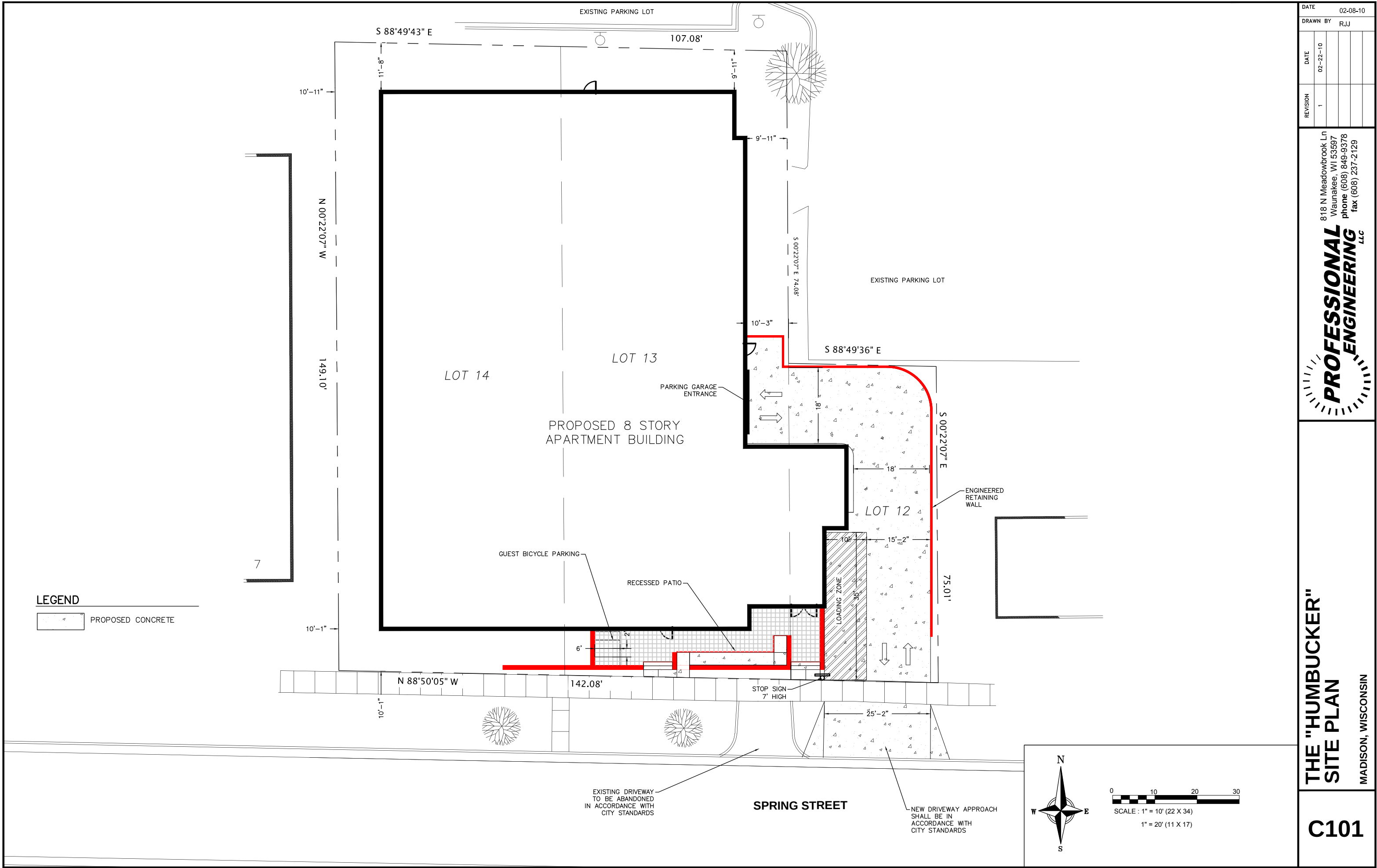
818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
fax (608) 237-2129

**PROFESSIONAL
ENGINEERING** LLC

THE "HUMBUCKER"
TOPOGRAPHIC SURVEY

MADISON, WISCONSIN

C100



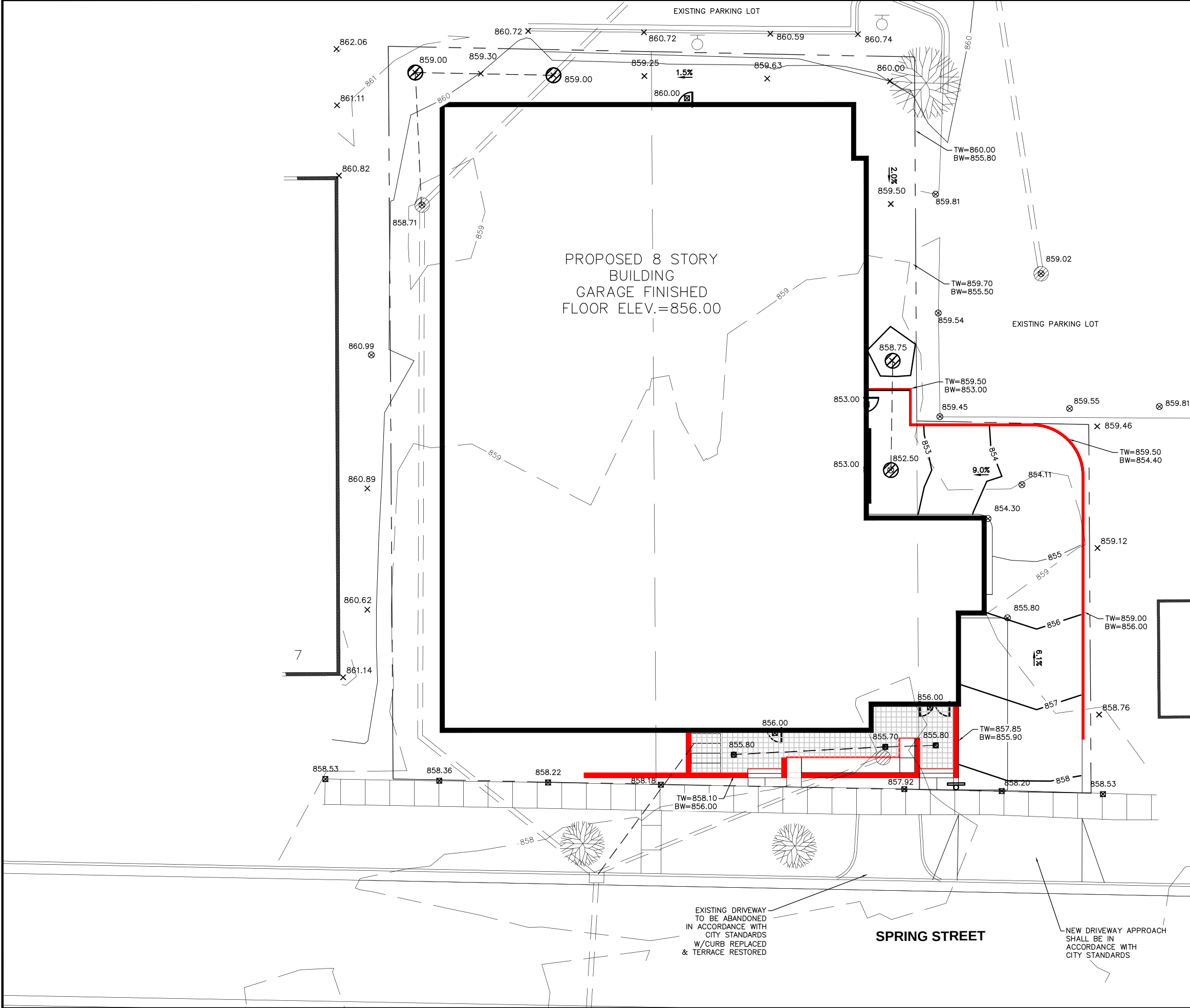
DATE	02-08-10
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REVISION	1
DATE	02-22-10

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Wauunakee, WI 53597
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PROFESSIONAL ENGINEERING LLC

"THE HUMBUCKER"
SITE PLAN
MADISON, WISCONSIN

C101



GRADING NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
 2. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
 3. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
 4. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.
 5. SIDEWALK AND PATIO AREA CROSS SLOPES SHALL NOT EXCEED 2% SLOPE.
 6. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- UTILITIES MARKED BY DIGGERS HOTLINE INCLUDE:
- SBC
 - TDS TELECOM
 - TDS METROCOM
 - MADISON GAS & ELECTRIC
 - CITY OF MADISON
 - CENTURYTEL
 - CHARTER COMMUNICATIONS

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 840.00 CONCRETE PAVEMENT ELEVATION
- 839.34 SIDEWALK ELEVATION
- 860.89 GROUND ELEVATION
- 1.8% FINISH GRADE SLOPE
- RETAINING WALL



0 10 20 30
SCALE : 1" = 10' (22 X 34)
1" = 20' (11 X 17)

DATE	02-08-10
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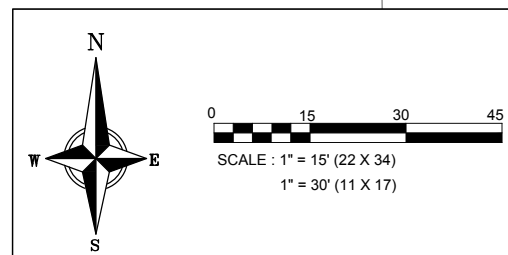
"THE HUMBUCKER"
GRADING PLAN
MADISON, WISCONSIN

C102

1. CONTRACTOR SHALL CALL DIGGERS PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENT. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL INLETS CASTINGS TO BE NEENAH MODEL R2080.
8. ALL STORM SEWER PIPE 12" DIA. OR LARGER IN DIAMETER TO BE ADS-N12 PIPE OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED.
9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED TO WITHIN 5 FEET OF THE PROPOSED BUILDING(S) AND MARKED WITH A 4"x4" HARDWOOD POST.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. ALL SUBSURFACE GARAGE CATCH BASINS SHALL BE DRAINED TO SANITARY SEWER AND INSTALLED PER DEPARTMENT OF COMMERCE GUIDELINES.
17. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION. LOWER LEVEL OF BUILDING WILL NEED TO BE PUMPED TO GRAVITY DRAIN SANITARY SEWER.
18. STORMWATER RUNOFF FROM PROPOSED DRIVEWAY SHALL BE DIRECTED INTO BUILDING VIA STORM SEWER AND PUMPED TO GRAVITY DRAIN STORM SEWER AT FRONT OF BUILDING. ROOF RUNOFF SHALL BE COLLECTED AND DISCHARGED INTO GRAVITY DRAIN STORM SEWER AT FRONT OF BUILDING.

CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
UTILITIES MARKED BY DIGGERS HOTLINE INCLUDE:

-SBC	- CITY OF MADISON
-KENTUCKY DATA LINK, INC	- CENTURYTEL
-MADISON METRO SEWERAGE DIST	- CHARTER COMMUNICATIONS
-UW PHYSICAL PLANT	- MADISON GAS & ELECTRIC



DATE		02-08-10	
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REVISION	DATE	02-22-10	
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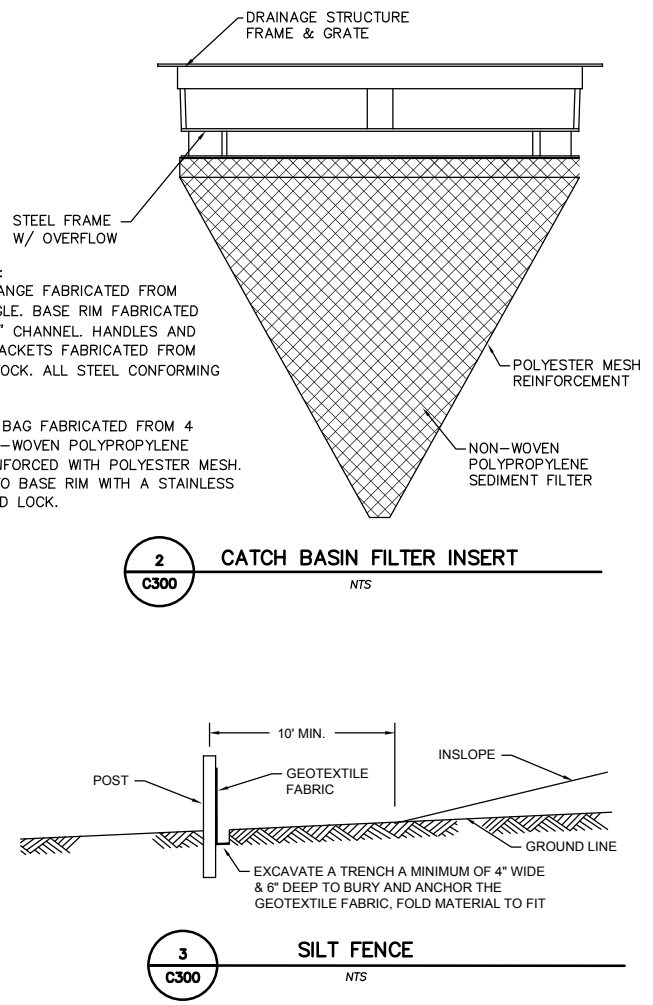
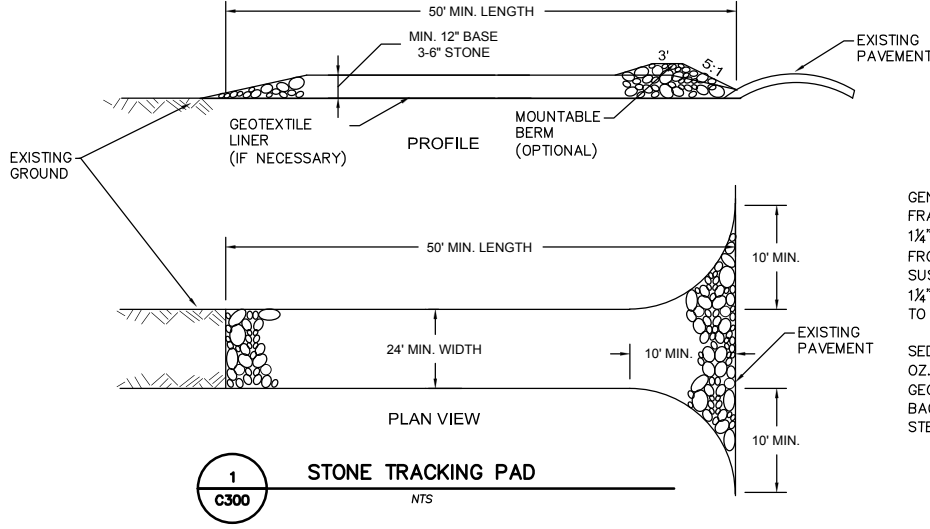
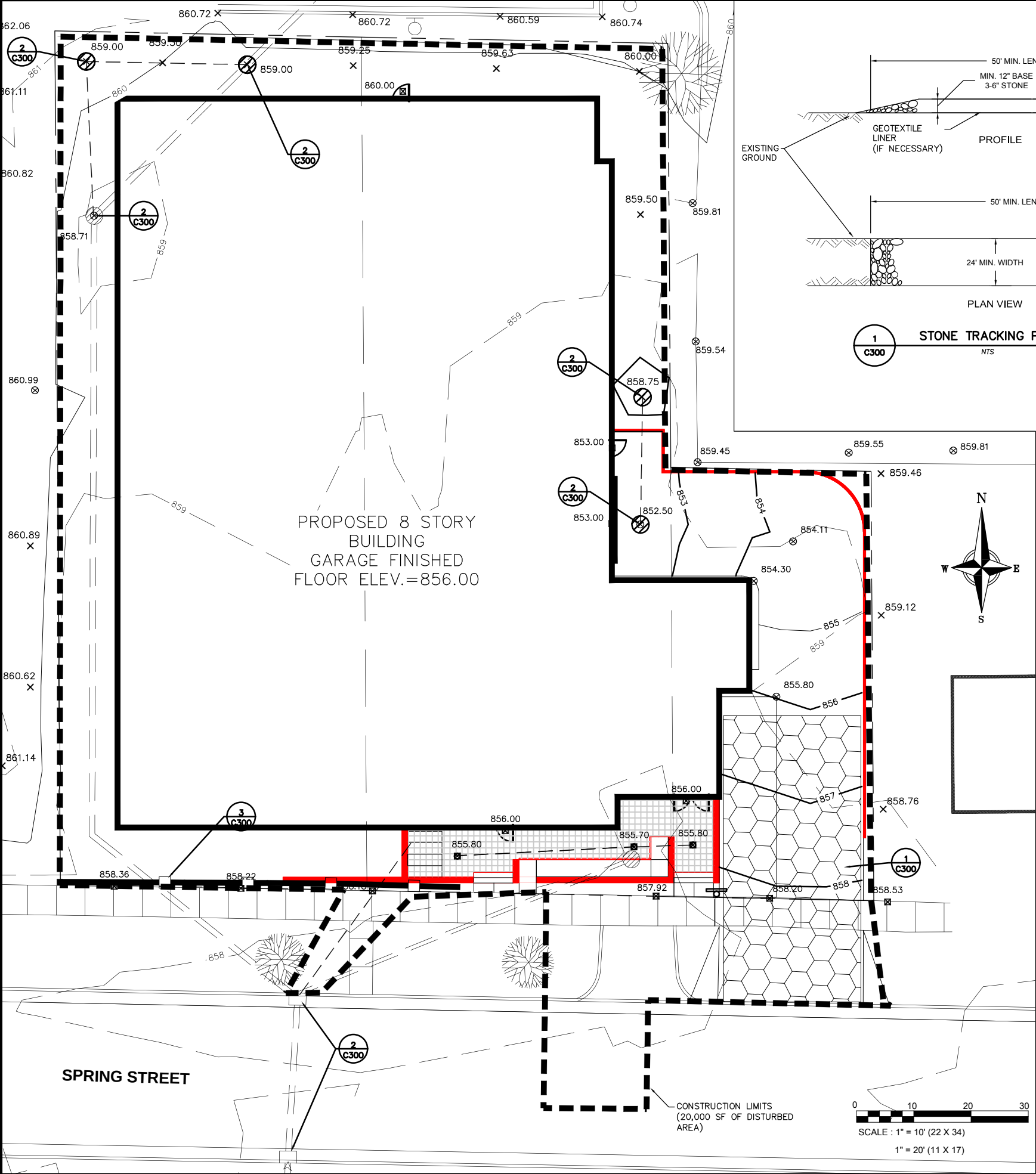
318 N Meadowbrook Ln
Wausaukee, WI 53597
phone (608) 849-9378
fax (608) 237-2129



**PROFESSIONAL
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THE "HUMBUCKER" UTILITY PLAN

C200



EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL ENTERED INTO THE CITY EROSION CONTROL: PERMIT TRACKING WEBSITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH A CATCH BASIN FILTER INSERT MANUFACTURED BY MARATHON MATERIALS OR APPROVED EQUAL. A STANDARD SEDIMENT BAG SHALL BE USED DURING CONSTRUCTION. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS SPECIFIED WITHIN 14 WORKING DAYS OF FINAL GRADING.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA.
- (13) STOCKPILES. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

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DATE	02-22-10		
REVISION	1		

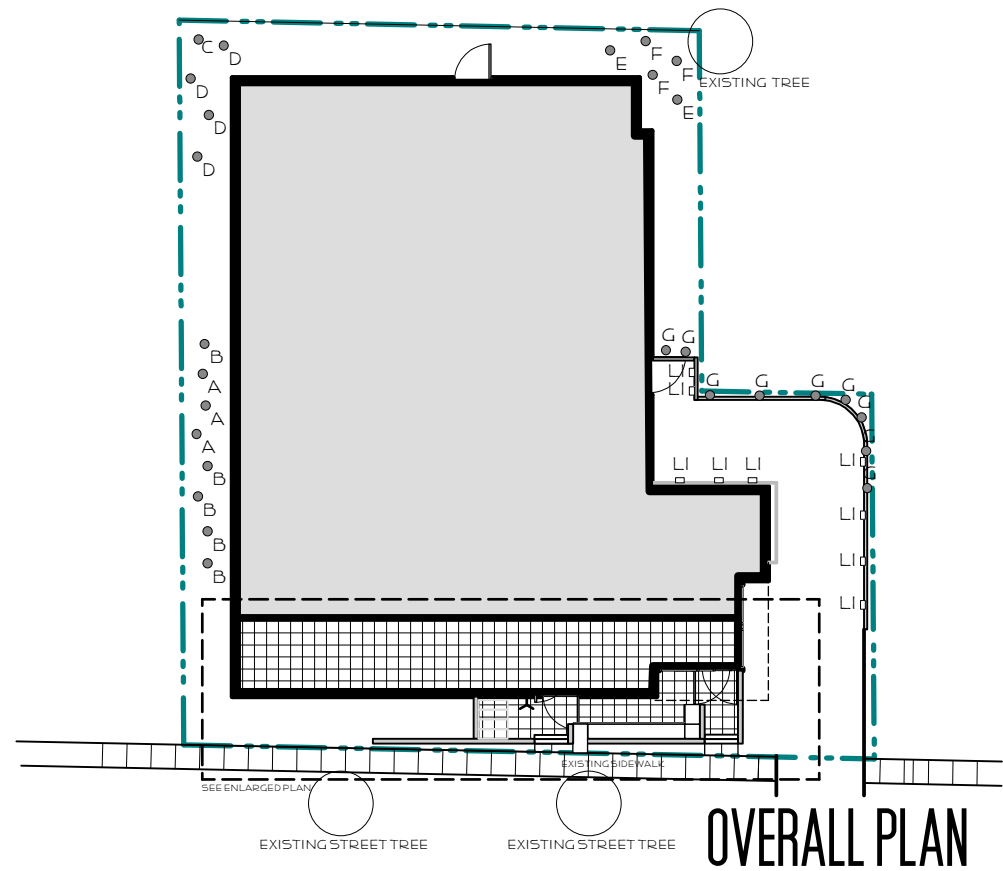
818 N Meadowbrook Ln
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PROFESSIONAL ENGINEERING LLC

THE "HUMBUCKER" EROSION CONTROL PLAN

MADISON, WISCONSIN

C300



OVERALL PLAN

LANDSCAPING

A- CORNELIUS BAILEYI (RED TWIGGED DOGWOOD)
HEIGHT: 8'-10' SPREAD: 5'-10'

B- SALIX PURPUREA "GRACILIS"
HEIGHT: 5'-6' SPREAD: 6'-8'

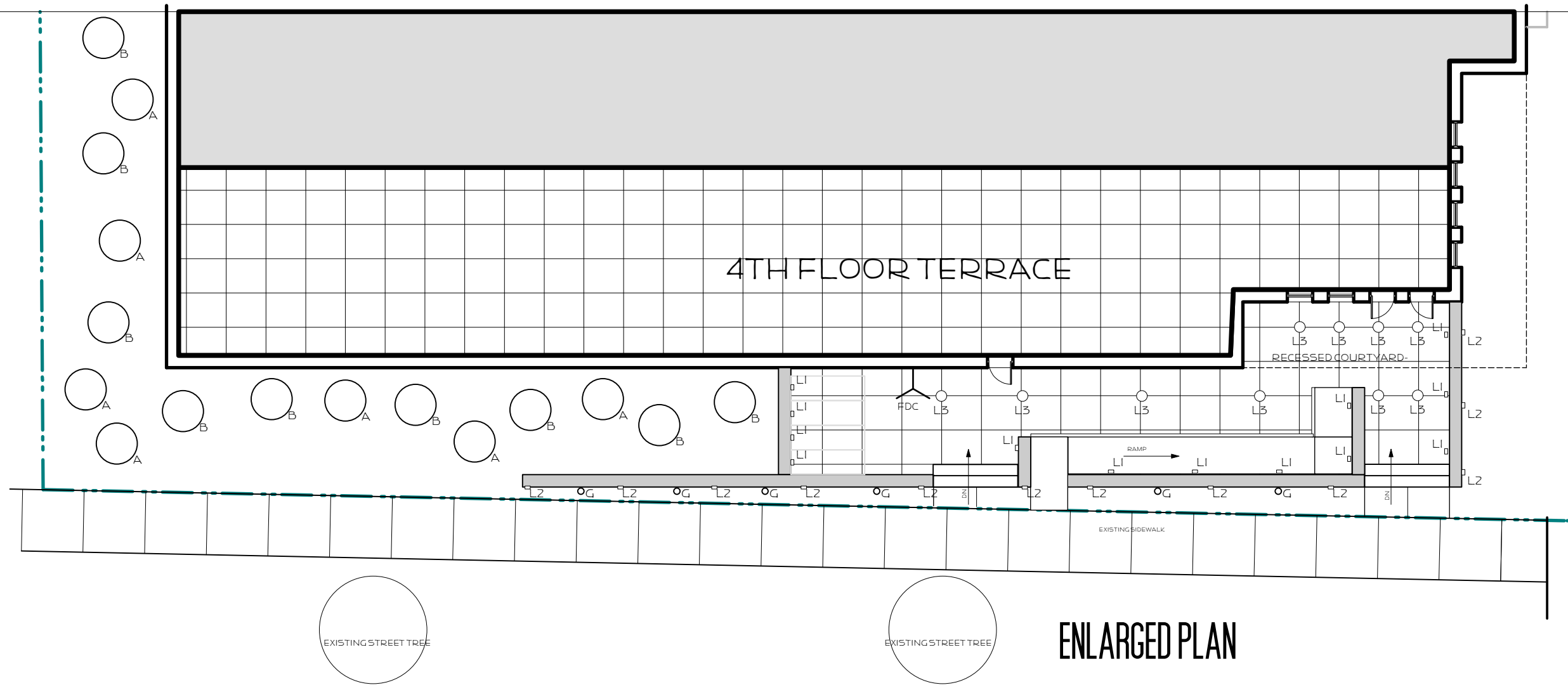
C- CORNUS RACEMOSA "JADE"
SNOWMANTLE DOGWOOD- TREEFORM
HEIGHT: 12'-15' SPREAD: 6'-8'

D- ASTER "SNOW FLURRY" (SNOW FLURRY ASTER)
SNOWMANTLE DOGWOOD- TREEFORM
HEIGHT: 18"

E- ANDROPOGON GERARDI (BIG BLUE STEM)
HEIGHT: 4'-7'

F- HEMEROCALLIS "PARDON ME" (PARDON ME DAYLILY)
HEIGHT: 18"

G- PARTHENOCISSUS QUINQUEFOLIA (FIVE FINGERED IVY)



ENLARGED PLAN

LIGHTING

L1 RECESSED LIGHT

L2 RECESSED LIGHT

L3 RECESSED LIGHT IN SLAB

REVIEW SET

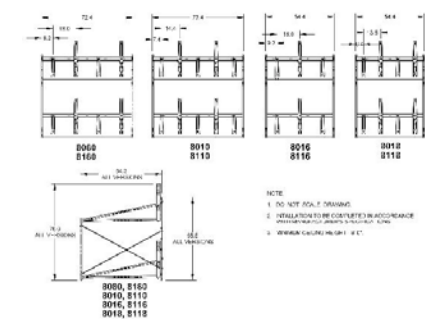
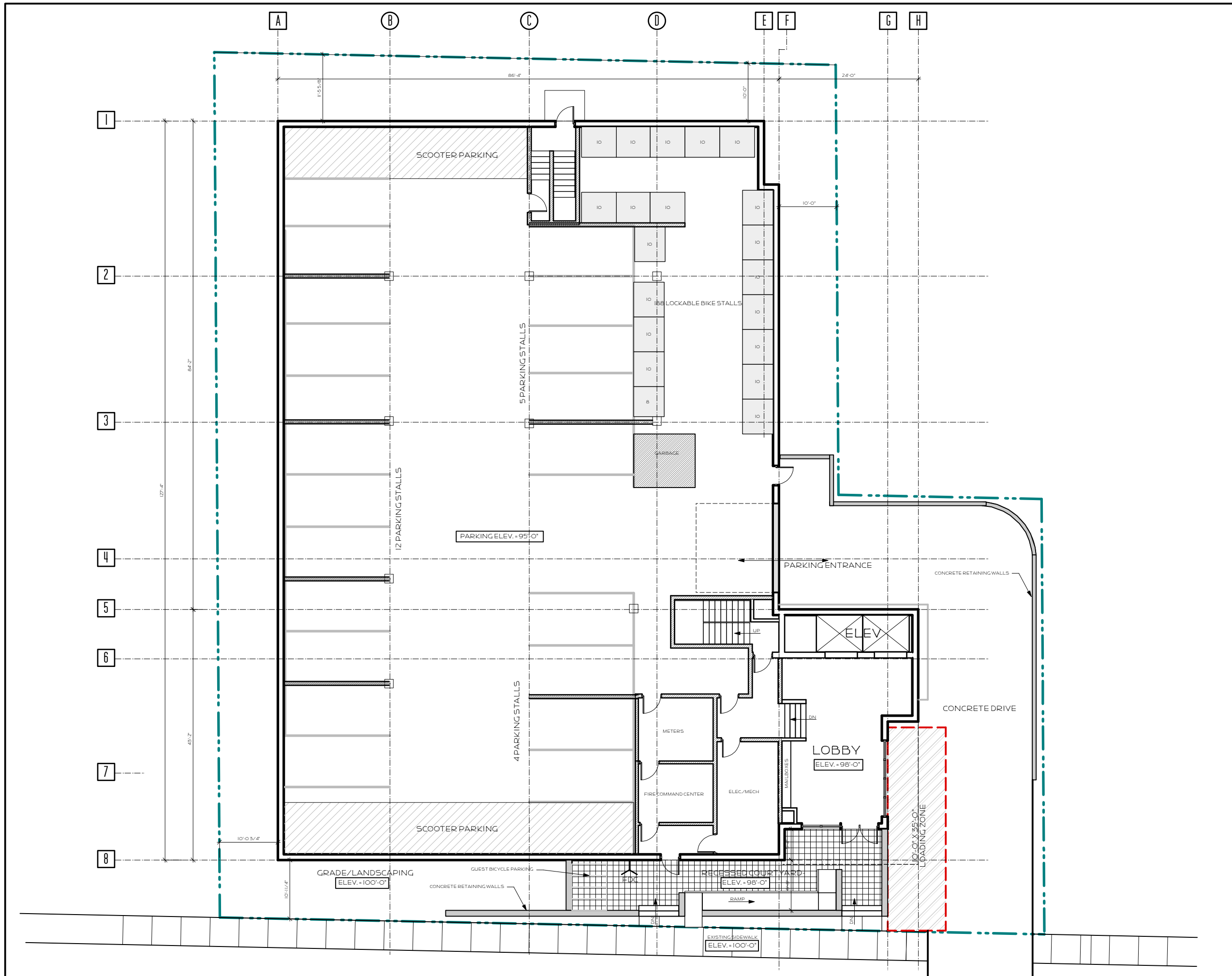
CITY OF MADISON

PLAN COMMISSION

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STUDIO@BARK-DESIGN.COM

THE "HUMBUCKER APARTMENTS" LANDSCAPING AND EXTERIOR LIGHTING PLAN SCALE: 1/8"=1'-0"	DATE: 02.24.10 REVISOR:
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C400



PROPOSED INTERIOR BIKE STORAGE RACKS

FLOOR SUMMARY

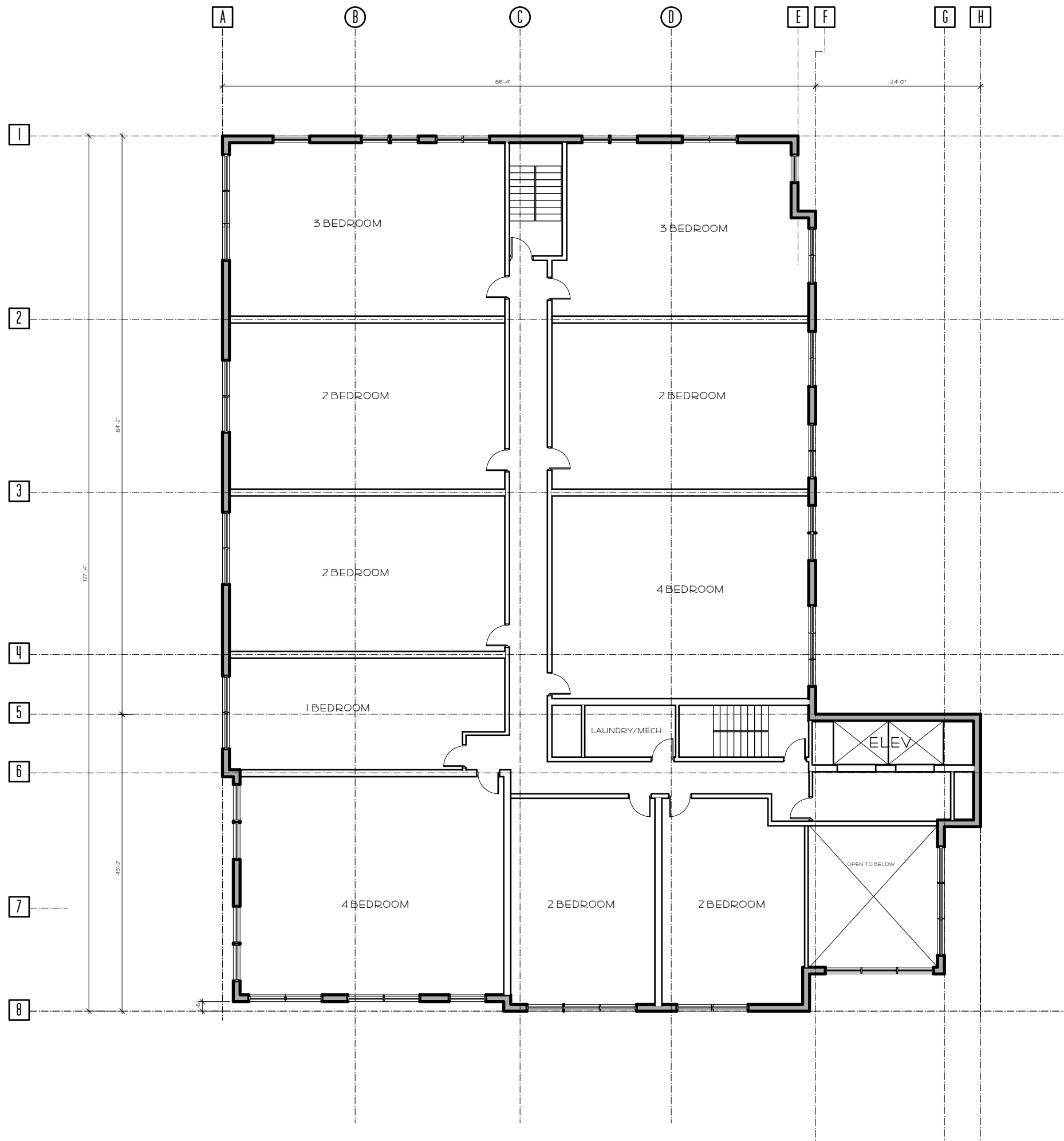
- 11,780 S.F.
- 21 INTERIOR AUTOMOBILE PARKING STALLS
 - 37 INTERIOR SCOOTER PARKING STALLS
 - 190 INTERIOR BICYCLE PARKING STALLS
 - 4 EXTERIOR GUEST BICYCLE PARKING STALLS

REVIEW SET

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	DESIGN		
THE "HUMBUCKER APARTMENTS"		DRAWN BY	DATE 02.24.10
		REVIEWED	
GROUND LEVEL PLAN		41.0	
SCALE: 1/8"=1'-0"			



FLOOR SUMMARY

11,600 S.F.

(1) 1 BEDROOM UNITS
(5) 2 BEDROOM UNITS
(2) 3 BEDROOM UNITS
(2) 4 BEDROOM UNITS

TOTAL UNITS: 10
TOTAL BEDROOMS: 25

REVIEW SET

CITY OF MADISON
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THE "HUMBUCKER APARTMENTS"

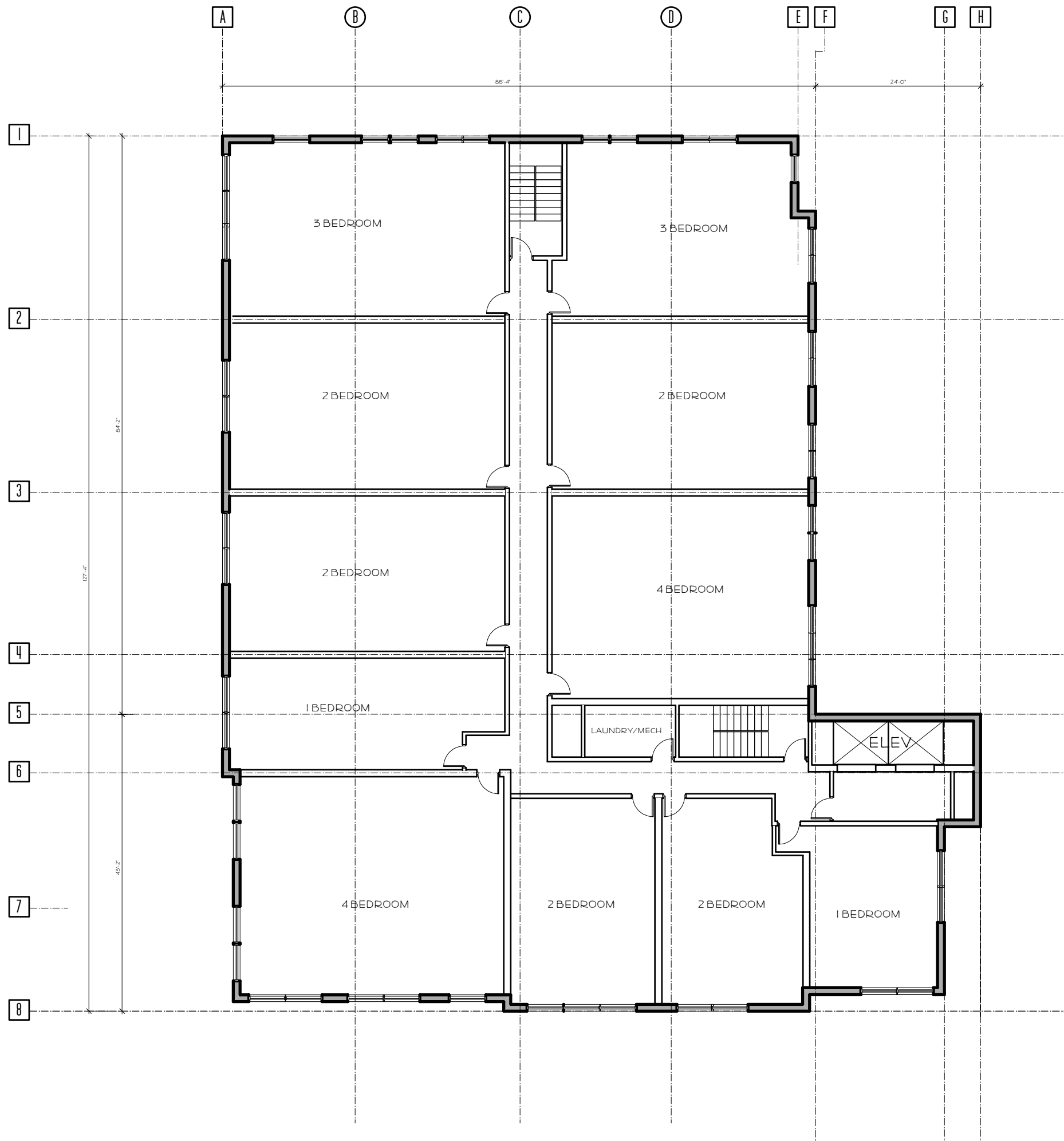
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

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REVIEWED

DATE
02.24.10

A1.1



FLOOR SUMMARY

11,600 S.F.

(2) 1 BEDROOM UNITS

(5) 2 BEDROOM UNITS

(2) 3 BEDROOM UNITS

(2) 4 BEDROOM UNITS

TOTAL UNITS: 11

TOTAL BEDROOMS: 26

REVIEW SET

CITY OF MADISON

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THE "HUMBUCKER APARTMENTS"

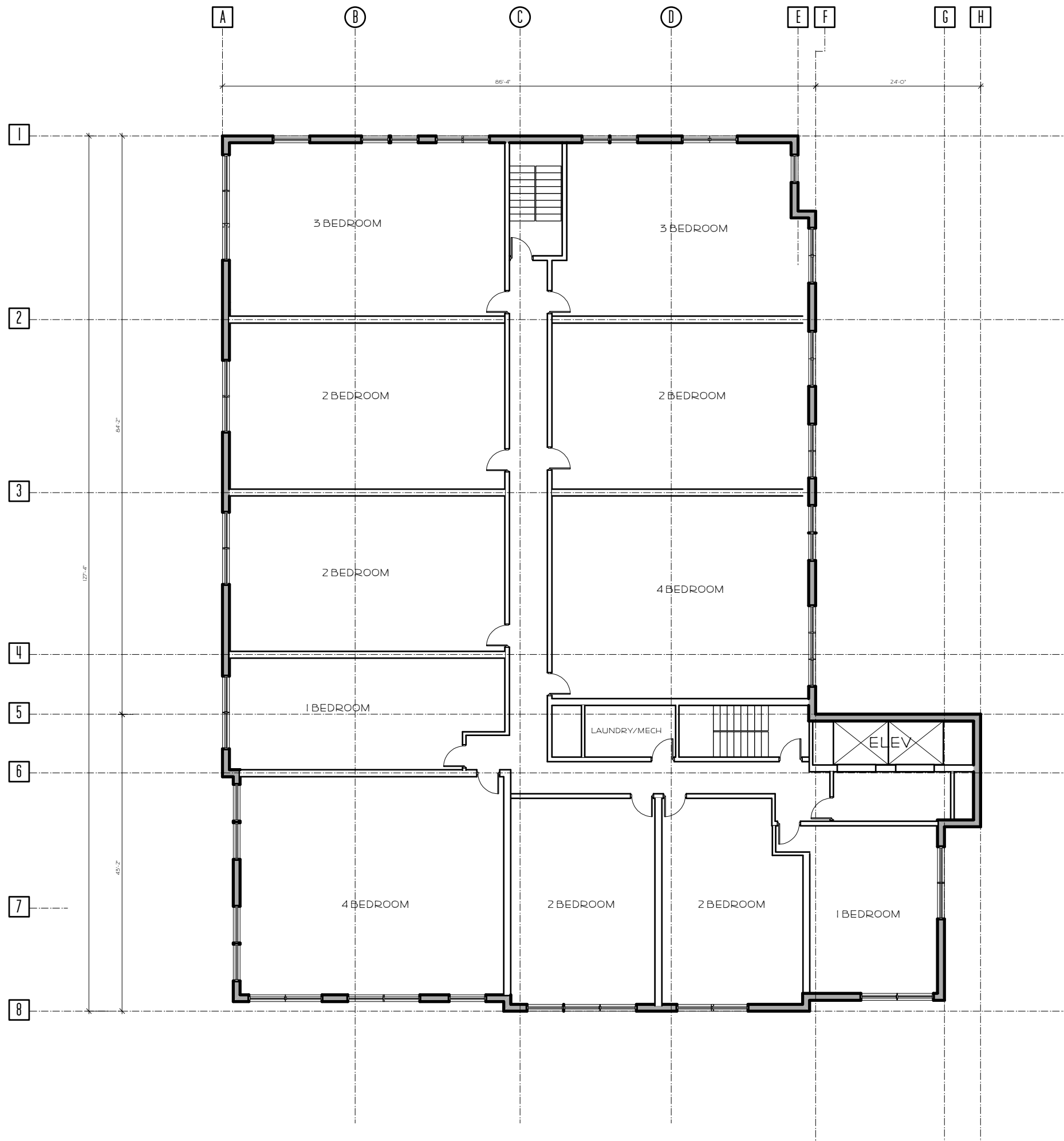
SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

DRAWN BY: DATE: 02.24.10

REVISOR:

41.2



FLOOR SUMMARY

11,600 S.F.

(2) 1 BEDROOM UNITS

(5) 2 BEDROOM UNITS

(2) 3 BEDROOM UNITS

(2) 4 BEDROOM UNITS

TOTAL UNITS: 11

TOTAL BEDROOMS: 26

REVIEW SET

CITY OF MADISON

PLAN COMMISSION

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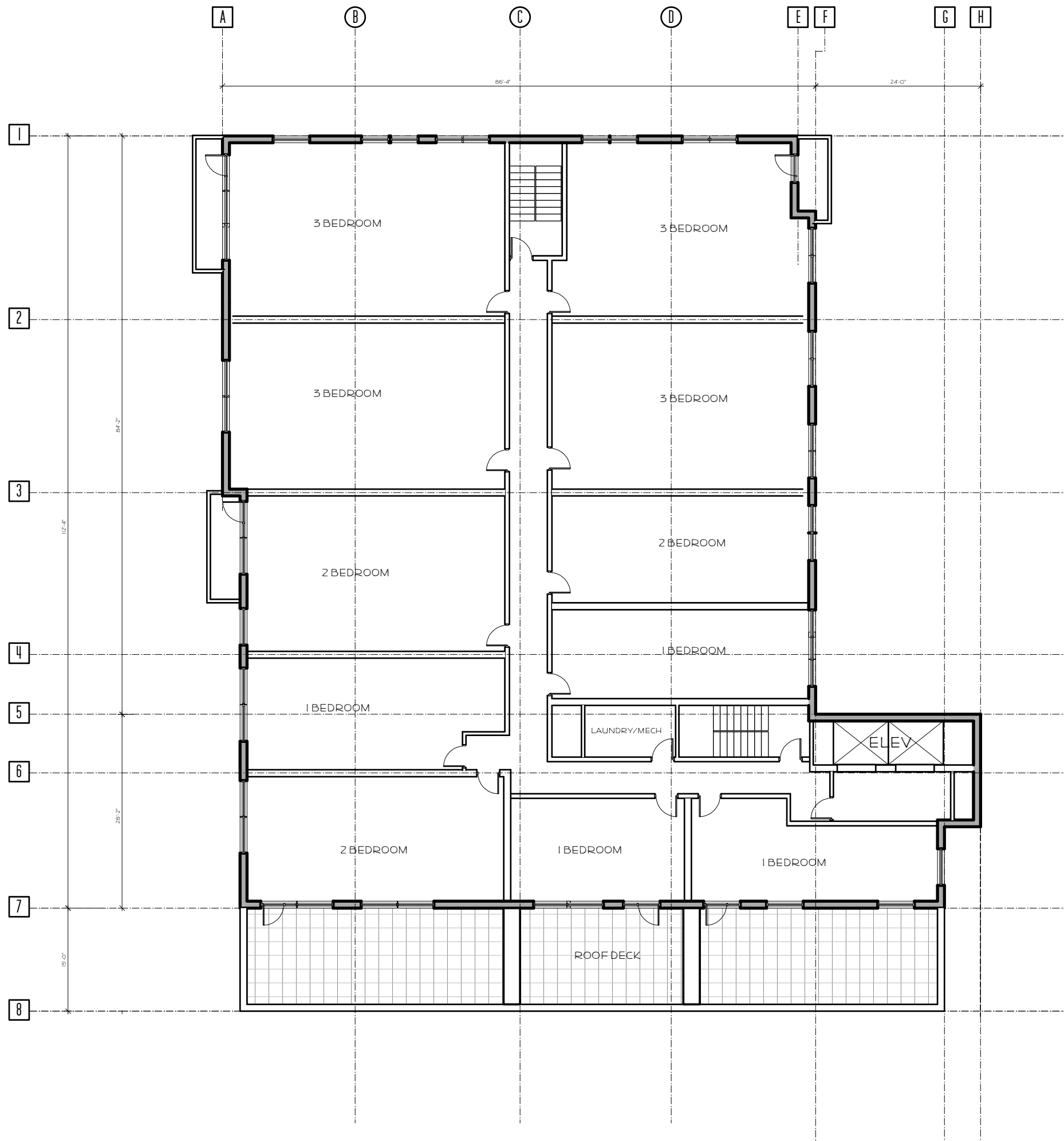
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THE "HUMBUCKER APARTMENTS"

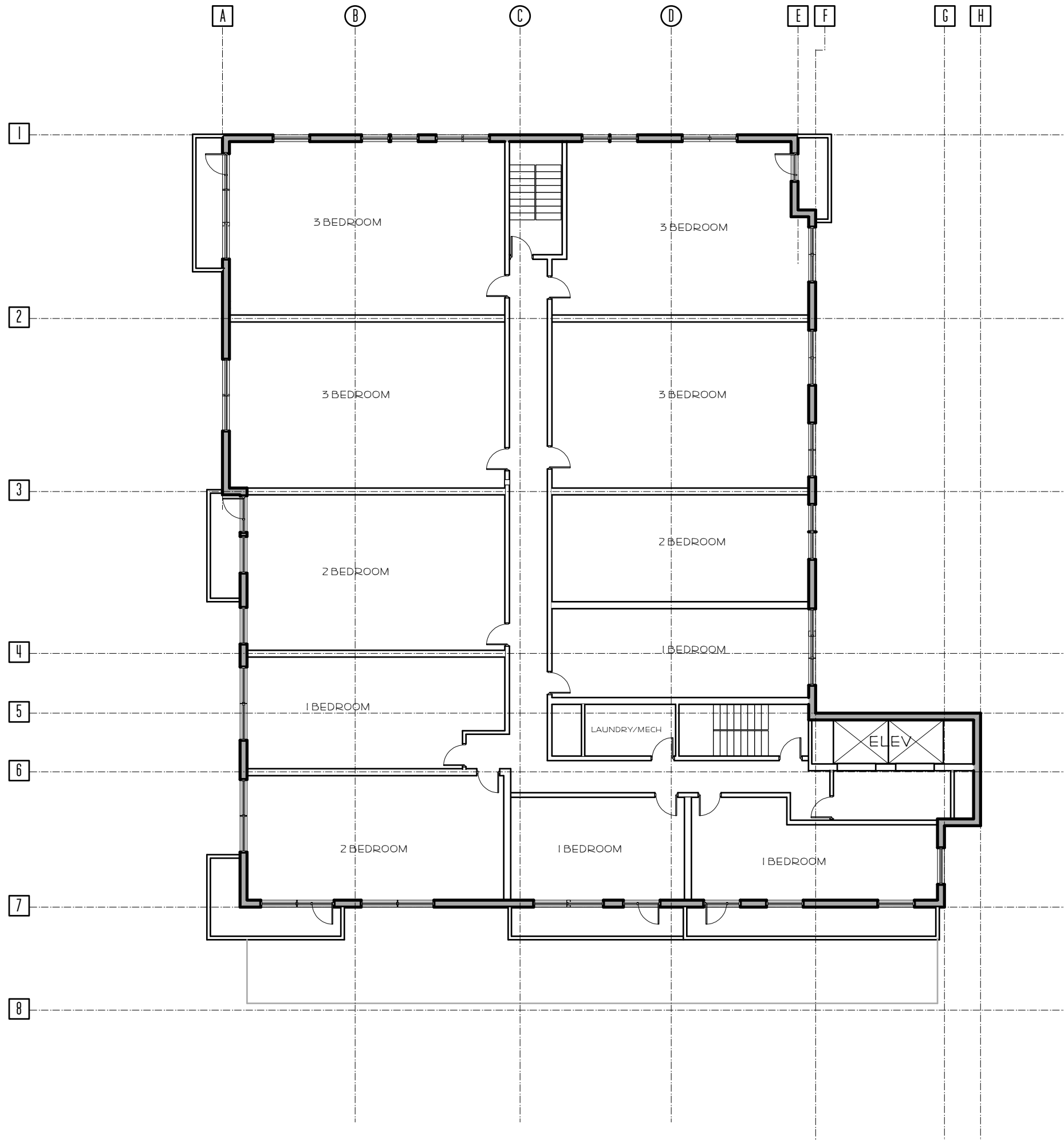
THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

41.3



FLOOR SUMMARY			
10,100 S.F.			
(4) 1 BEDROOM UNITS			
(3) 2 BEDROOM UNITS			
(4) 3 BEDROOM UNITS			
TOTAL UNITS: 11			
TOTAL BEDROOMS: 22			
REVIEW SET			
CITY OF MADISON			
PLAN COMMISSION			
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THE "HUMBUCKER APARTMENTS"		DATE 02.24.10	REVISION
FOURTH FLOOR PLAN		41.4	
SCALE: 1/8"=1'-0"			



FLOOR SUMMARY

10,100 S.F.

- (4) 1 BEDROOM UNITS
- (3) 2 BEDROOM UNITS
- (4) 3 BEDROOM UNITS

TOTAL UNITS: 11
TOTAL BEDROOMS: 22

REVIEW SET

CITY OF MADISON

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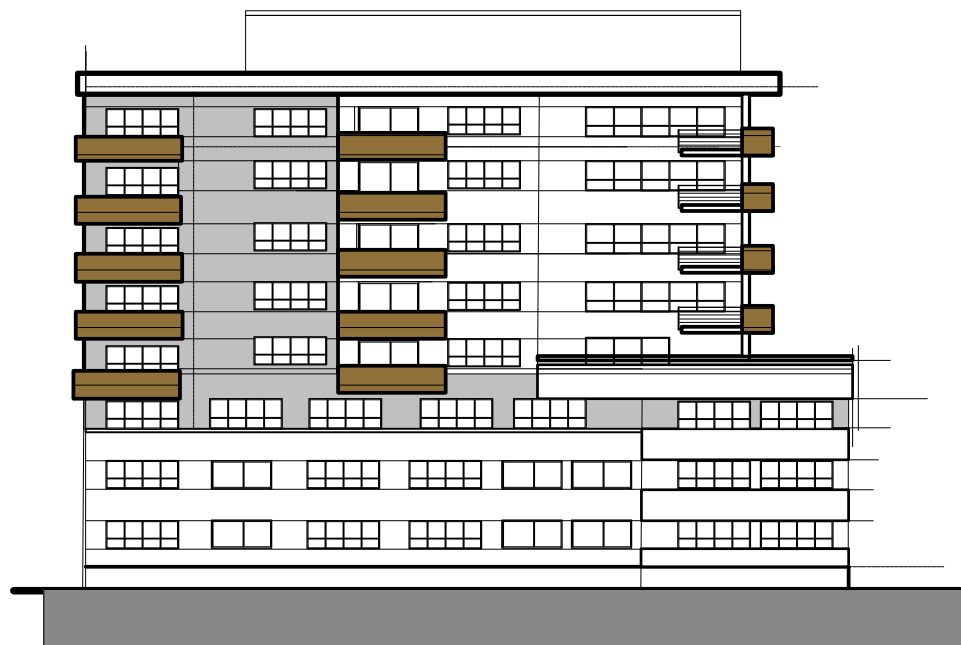
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	DATE 02.24.10	
THE "HUMBUCKER APARTMENTS"		41.5
FIFTH-EIGHTH FLOOR PLAN SCALE: 1/8"=1'-0"		



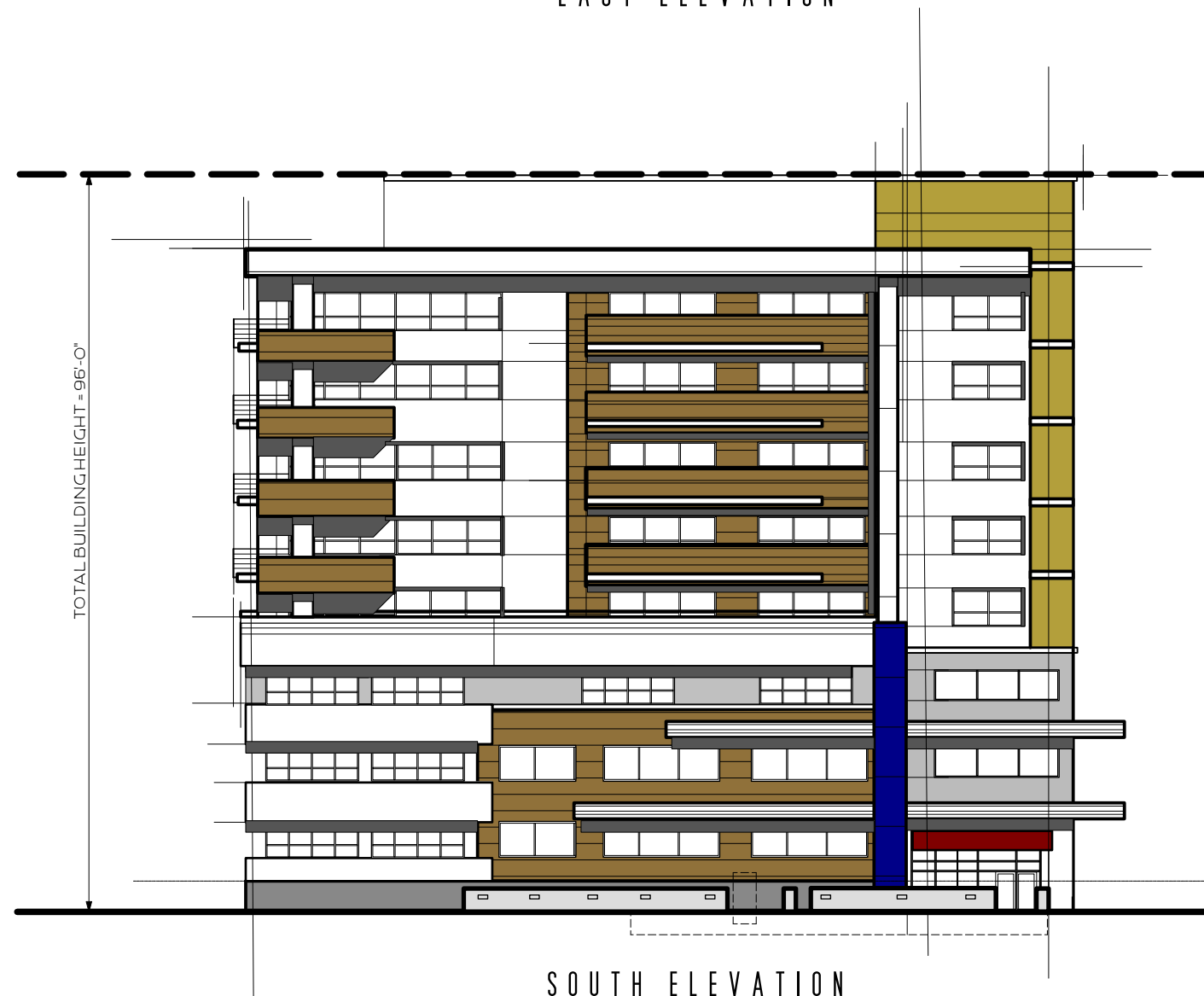
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

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THE "HUMBUGGER APARTMENTS"

BUILDING ELEVATIONS

SCALE: 3/32"=1'-0"

A4 . 1