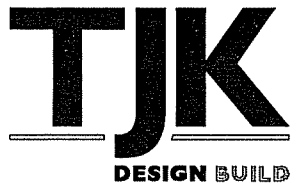


PROPOSED FACILITY FOR:

# REGENT STREET DEVELOPMENT

1313 REGENT STREET  
MADISON, WISCONSIN



TJK Design Build

612 West Main Street

Madison, WI 53703

608-257-1090

FAX 608-257-1092

INDEX OF DRAWINGS:

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A-5.2	INTERIOR ELEVATIONS
A-5.3	INTERIOR ELEVATIONS
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LEGEND  
 . . . . . EXISTING SPOT GRADE  
 - - - - - PROPOSED SPOT GRADE

**D'AMORIO KOTYKE AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53707  
 Phone: 608.833.2330 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



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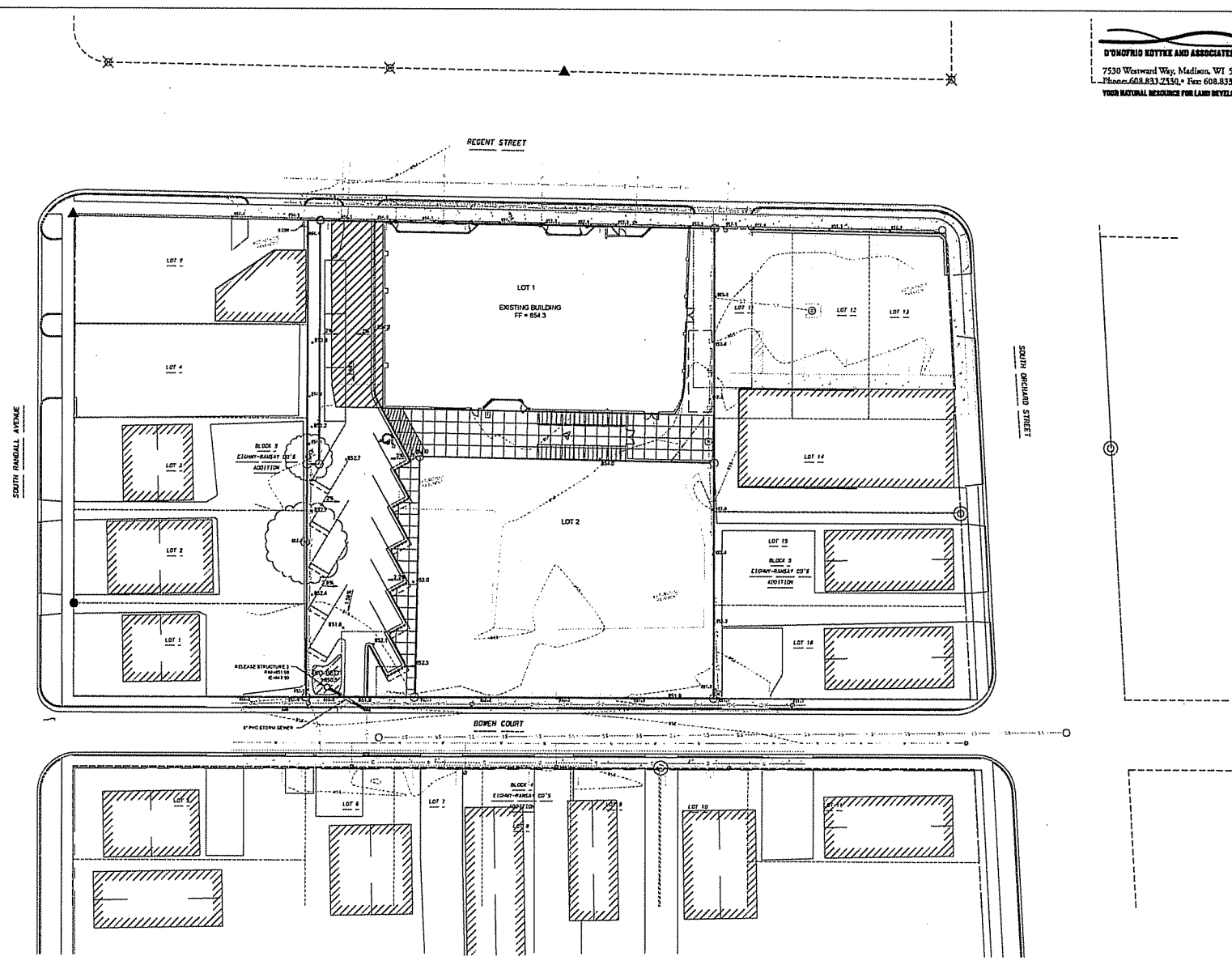
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PROPOSED FACILITY FOR:  
**REGENT STREET**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.1**

6.24.15



1 GRADING PLAN  
 C-1.1 SCALE: 1" = 20' - 0"

**SITE UTILITY NOTES**

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE 80R 35 PVC.
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR RESPECTIVE COMPANIES, MGA&E, CHARTER, TDS, ETC.
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT.

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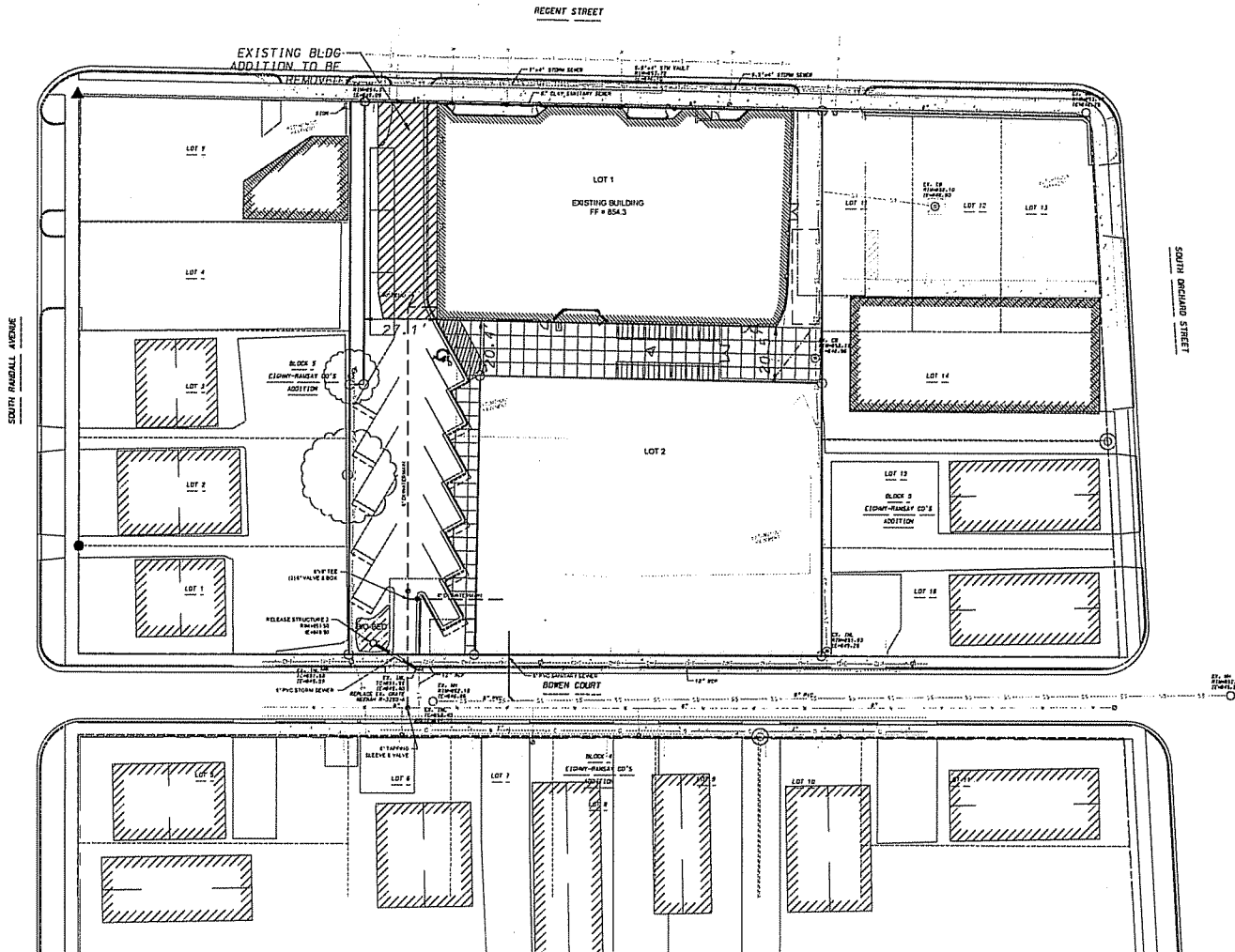
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PROPOSED FACILITY FOR:  
**REGENT STREET**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.2**

6.24.15



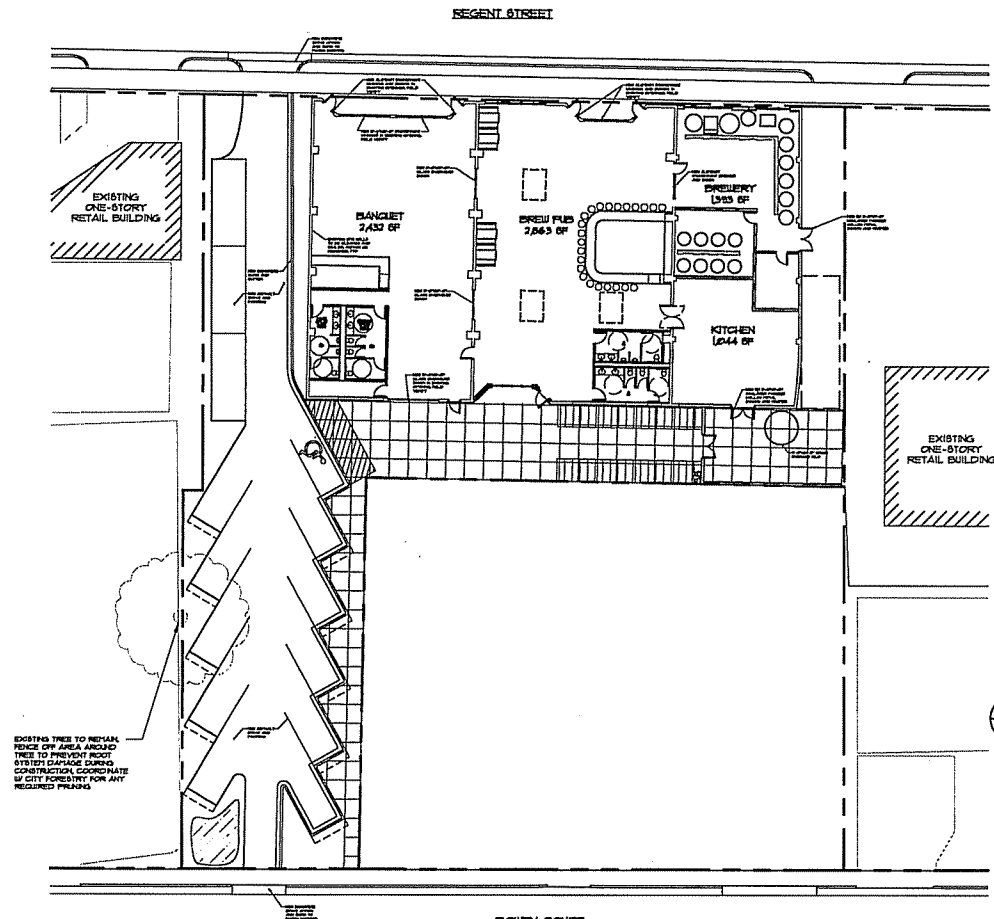
**SITE UTILITY PLAN**  
 SCALE: 1" = 20' - 0"

**LEGEND:**

- PROPERTY CORNER
- PROPERTY LINE
- SANITARY SEWER
- STORM SEWER
- CITY STREET
- WATER MAIN
- FIRE HYDRANT
- UTILITY POLE
- CITY STREET LIGHT
- MANHOLE
- 3/4" PIPE HORN LAY
- WATER VALVE
- CURB INLET
- ▨ EXISTING BUILDING

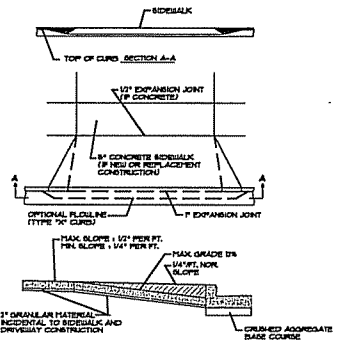
**GENERAL NOTES:**

1. LOT SIZE = 300X 80 FT. GROUND FLOOR FOOTPRINT = 300X 80 FT. 20% OF LOT SIZE.
2. CONNECT ALL ROOF DRAINS TO CITY STREET SEWER SYSTEM.
3. REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND REPLACE WITH NEW CURB AND GUTTER TO MATCH EXISTING.
4. GENERAL CONTRACTOR TO OBTAIN PERMIT TO PLUG EXISTING PRIVATE STREET LIGHTING.
5. ALL CURB, GUTTER, AND SIDEWALK WORK ADJACENT TO THE PROPERTY SHALL BE DAMAGED OR IS DETERMINED BY CITY ENGINEER TO BE REPLACED.
6. ALL WORK IN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY A CITY LICENSED CONTRACTOR.
7. ALL DAMAGE TO PAVEMENT ON REGENT STREET AND BOWEN COURT ADJACENT TO THE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON PAVEMENT PRACTICES CRITERIA.
8. GENERAL CONTRACTOR TO OBTAIN ALL STREET EXCAVATION PERMIT FOR INSTALLATION OF REQUIRED UTILITIES.
9. GENERAL CONTRACTOR TO OBTAIN ALL REQUIRED SEWER CONNECTION AND PLUMBING PERMITS PRIOR TO ANY UTILITY WORK BEING PERFORMED.
10. GENERAL CONTRACTOR TO OBTAIN CONNECTION AND EXCAVATION PERMITS PRIOR TO CONCRETE STORM SEWER CONSTRUCTION.
11. NO RESIDENTIAL PLUMBING PERMITS SHALL BE ISSUED FOR DOWN SLOPE APPLICABLE.
12. ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PERMITT LINE.
13. TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY.
14. EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.

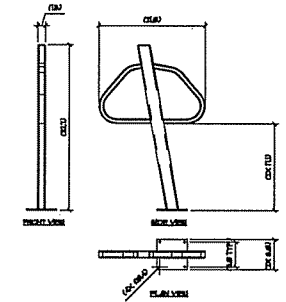


EXISTING TREES TO REMAIN. PRUNE OFF AREA AROUND THEM TO PREVENT ROOT SYSTEM DAMAGE DURING CONSTRUCTION. COORDINATE WITH CITY FORESTRY FOR ANY REQUIRED PERMITS.

SITE INFORMATION BLOCK - LOT 1 (BREW PUB)	
SITE ACREAGE (TOTAL)	37,624 SQ FT = 0.86 ACRES
PROPOSED PARKING AND PAVEMENT	10,648 SQ FT
GREEN SPACE	2,786 SQ FT
TOTAL OPEN SPACE	2,314 SQ FT = 0.05 AC.
NUMBER OF BUILDING STORIES (AVERAGE)	1
BUILDING HEIGHT	10'-7" ABOVE FINISH FLOOR
TYPE OF CONSTRUCTION	FULLY SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	7,986 SQ FT
USE OF PROPERTY	D
NUMBER OF PARKING STALLS	10
NUMBER OF LANDSCAPE PORTS REQUIRED	SEE LANDSCAPE PLAN



**2 DRIVEWAY APPROACH**  
C-13 SCALE: 1/8" = 1' - 0"



**3 BIKE RACK DETAIL**  
C-15 SCALE: NTS

**1 PROPOSED SITE PLAN**  
C-13 SCALE: 1/16" = 1' - 0"



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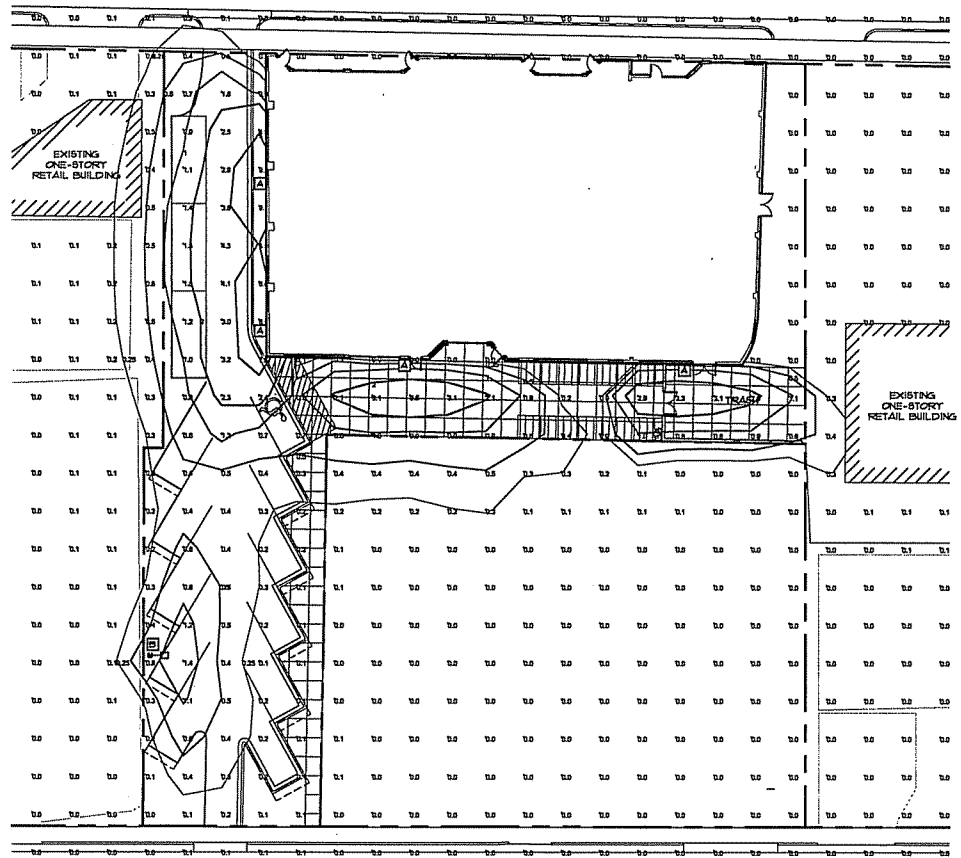
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PROPOSED FACILITY FOR:  
**REGENT STREET DEVELOPMENT**  
1313 REGENT STREET  
MADISON, WI

**C-1.3**

7.22.15





PHOTOMETRIC PLAN  
 SCALE: 1/16" = 1' - 0"  
 NORTH

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone 1	+	0.2 fc	0.3 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE					
Label	Qty	Catalog Number	Description	Lamp	Watts
A	4	ENT-ED7-LED-EI-0L3-1030-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBAR WITH ACCOULED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 9'-0" ABOVE GRADE	(42) 3000K CCT, 10 CRU LED	049
B	1	LDRV-0L3-001-E	RIDGEVIEW LED AREA/SITE LUMINAIRE (1) LIGHTBAR WITH ACCOULED OPTICS - TYPE 3 WITH SPILL LIGHT CONTROL MOUNTED 9'-0" ABOVE GRADE		21



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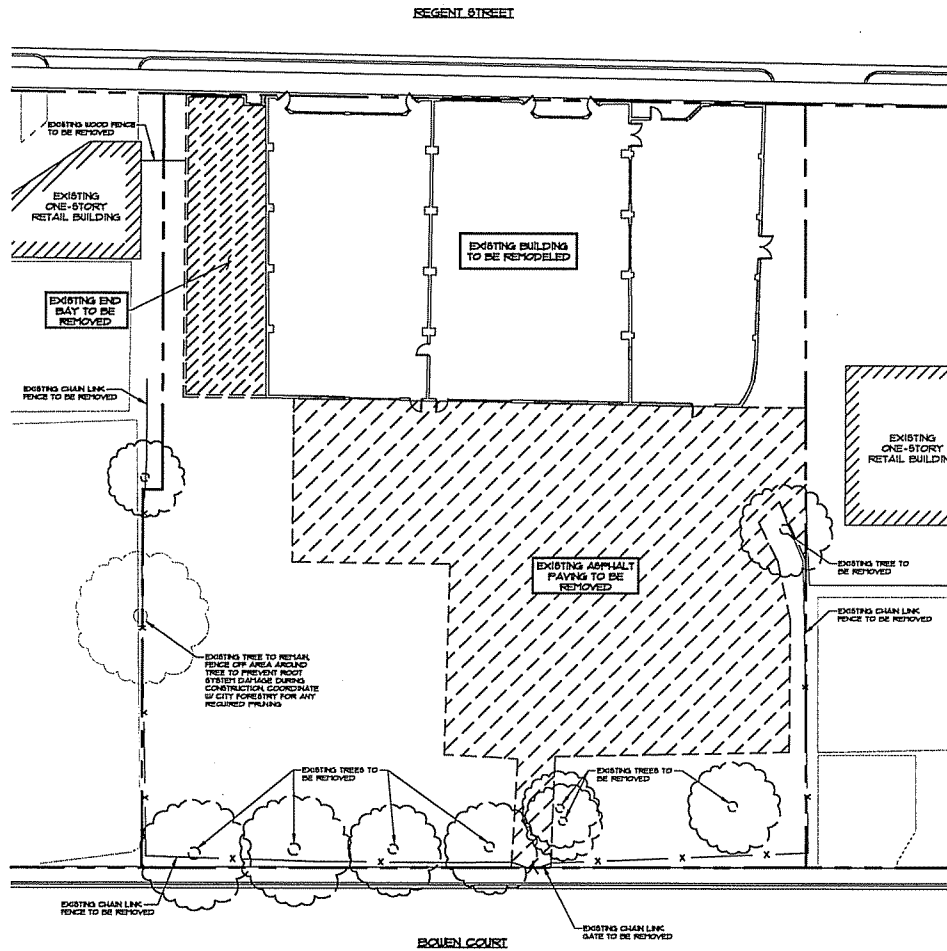
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PROPOSED FACILITY FOR:  
**REGENT STREET DEVELOPMENT**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.5**

7.22.15



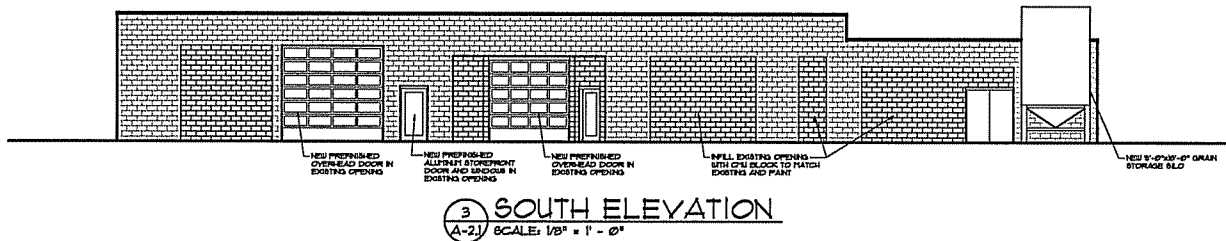
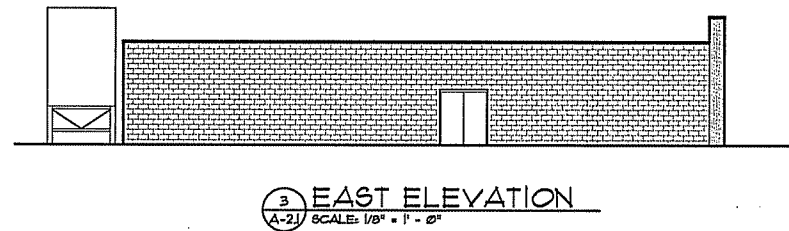
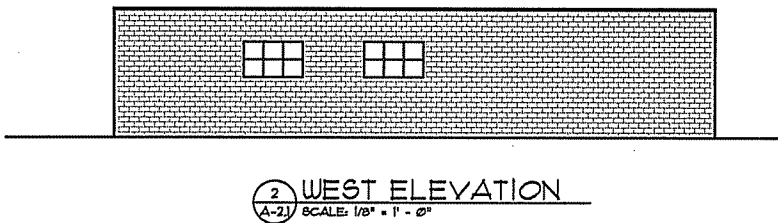
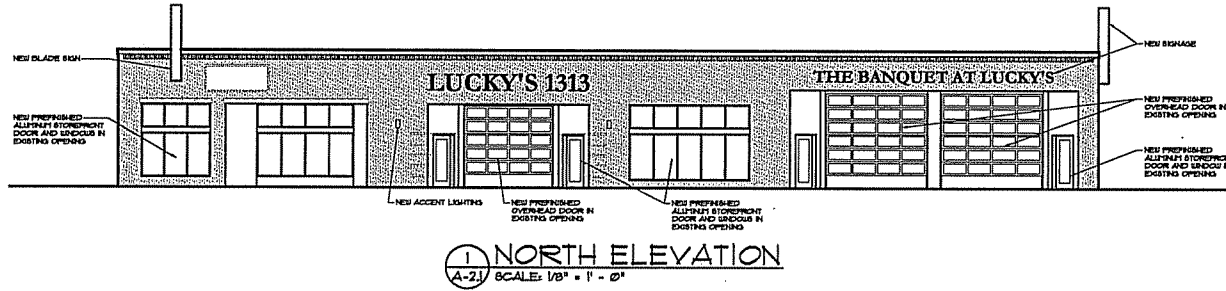
**1 SITE DEMOLITION PLAN**  
C-1.6 SCALE: 1/16" = 1' - 0"





EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS

TAG	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION/REMARKS
FB-1	COUNTY MATERIALS	FB-3424	STEEL GRAY	6" RETURN AND COLORED PORTLAND TO MATCH
FB-2	COUNTY MATERIALS	--	--	UTILITY BRICK TO MATCH FB-1
FB-3	FRESCAT	--	GRAY	6" WINDOW HEAD, 4" WINDOW SILL
LB-1	JAMES HARDIE	HARDYPLANK LAP SIDING	GREYISH YELLOW, 48" LONG, "MIDWOOD WHITE"	SELECT CEDAR/ELL LAP SIDING WITH 4" FURROWS
CP-1	--	--	PAC-CLAD "COLONIAL RED"	3" RED CORRUGATED PREFORMED METAL FLARE
CP-2	--	--	PAC-CLAD "COLONIAL RED"	PREFORMED METAL CAP FLASHING AT CHL FINISH AND ROOF AT POINT CORNER
CP-3	--	--	PAC-CLAD "CORNEAL"	PREFORMED METAL BLADE FLASHING AND CAP FLASHING AT MASONRY
CP-4	--	--	PAC-CLAD "STONE WHITE"	PREFORMED METAL CAP FLASHING AT MASONRY AND LAP SIDING
SP-1	--	--	WHITE	THERMALLY BROKEN VINYL SIDING AND PLATE DOORS WITH INSULATED LOGIC-2 GLASS



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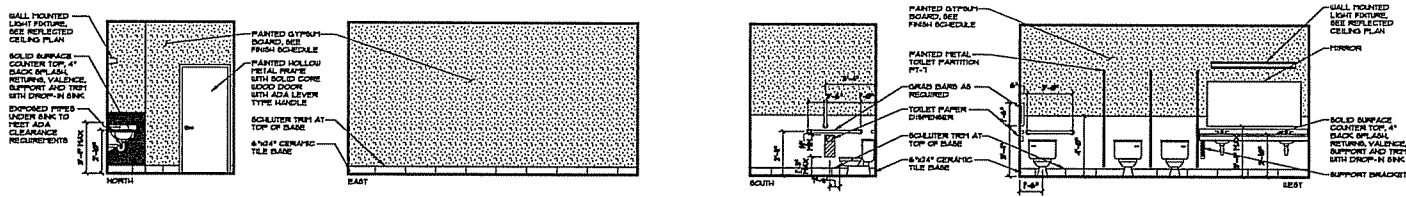
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PROPOSED FACILITY FOR:  
REGENT STREET DEVELOPMENT

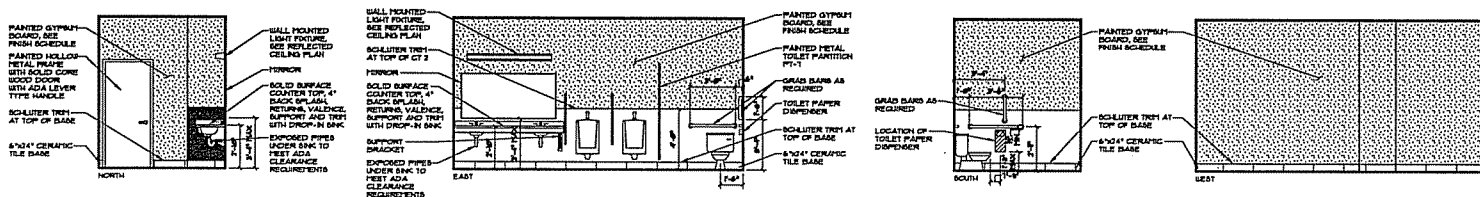
1313 REGENT STREET  
MADISON, WI

A-2.1

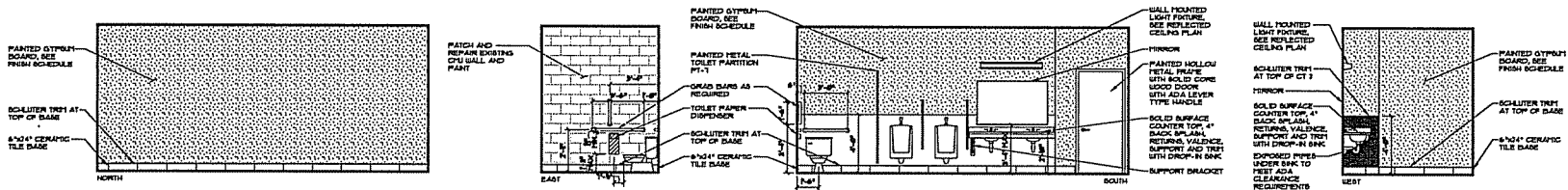
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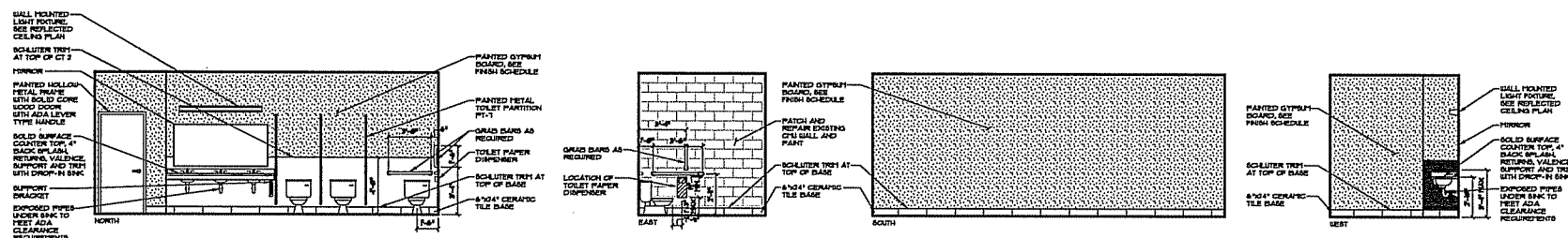
**1 INTERIOR ELEVATIONS ROOM 101 - WOMENS TOILET**  
A-BJ SCALE: 1/4" = 1' - 0"



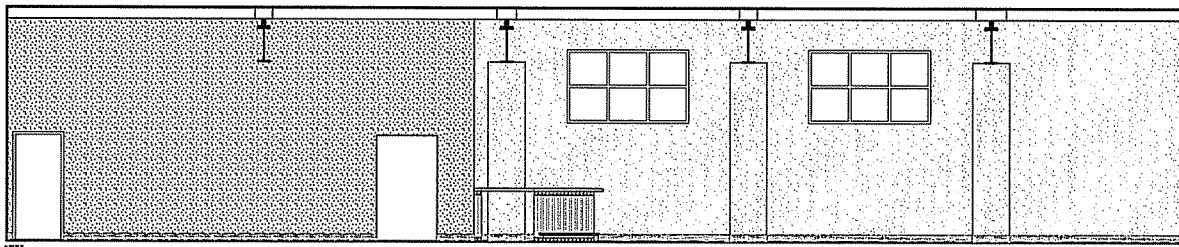
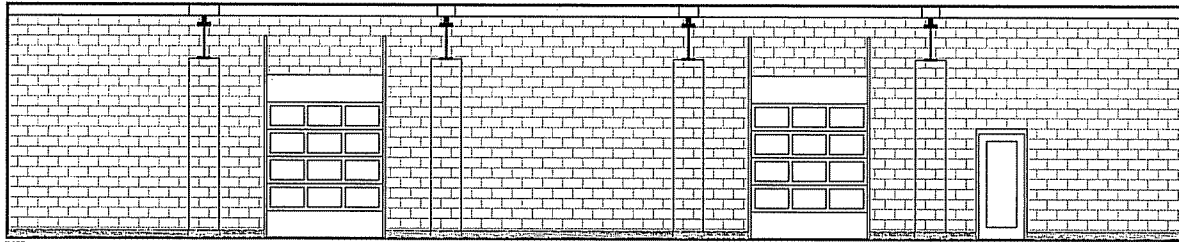
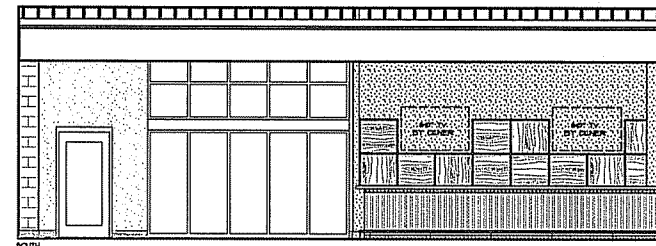
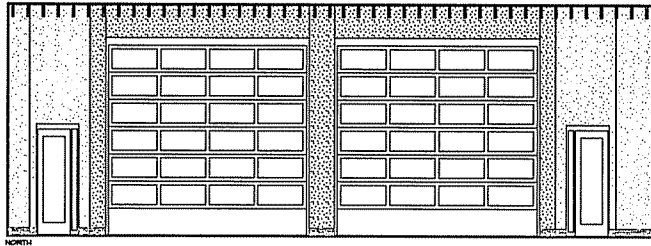
**2 INTERIOR ELEVATIONS ROOM 102 - MENS TOILET**  
A-BJ SCALE: 1/4" = 1' - 0"



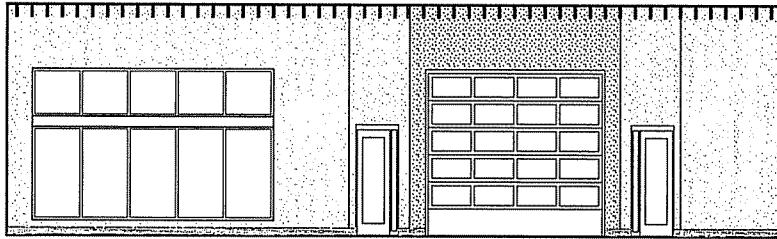
**3 INTERIOR ELEVATIONS ROOM 103 - MENS TOILET**  
A-BJ SCALE: 1/4" = 1' - 0"



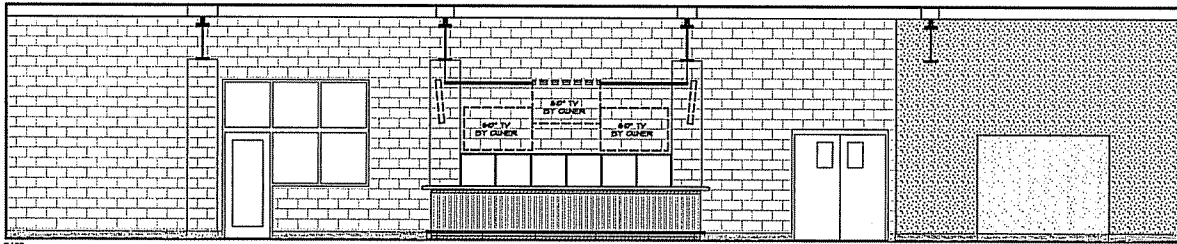
**4 INTERIOR ELEVATIONS ROOM 110 - WOMENS TOILET**  
A-BJ SCALE: 1/4" = 1' - 0"



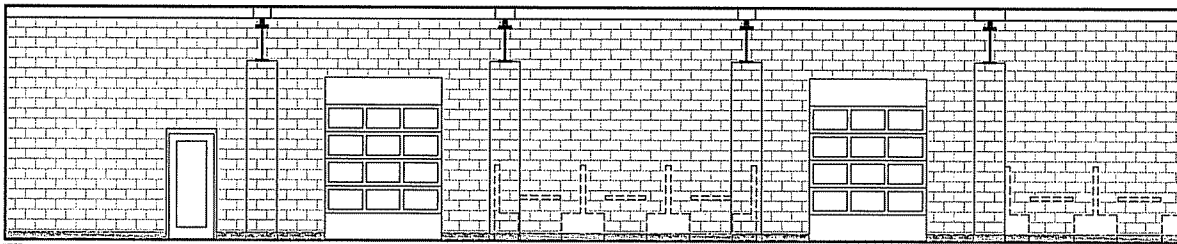
**1** INTERIOR ELEVATIONS ROOM 104 - BANQUET HALL  
A-5.2 SCALE: 1/4" = 1' - 0"



NORTH

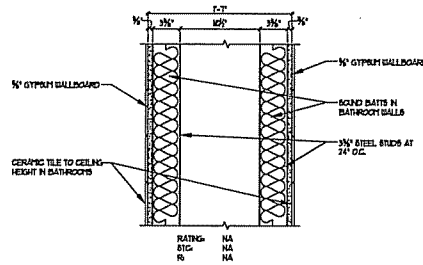


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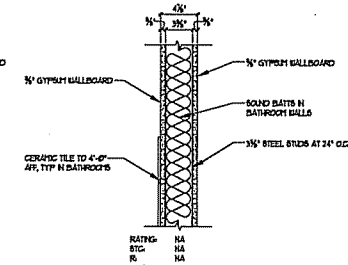


WEST

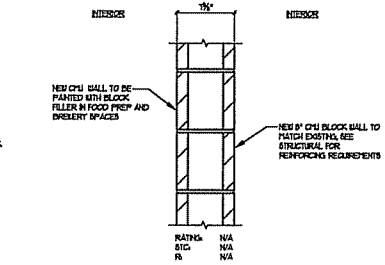
1 INTERIOR ELEVATIONS ROOM 105 - BAR SEATING  
A-5.3 SCALE: 1/4" = 1' - 0"



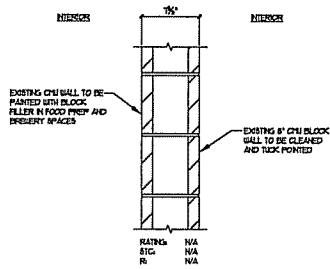
**8** PARTITION TYPE 'P8' DETAIL  
SCALE: NTS



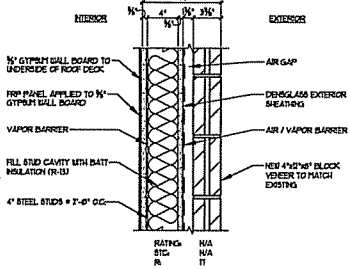
**7** PARTITION TYPE 'P7' DETAIL  
SCALE: NTS



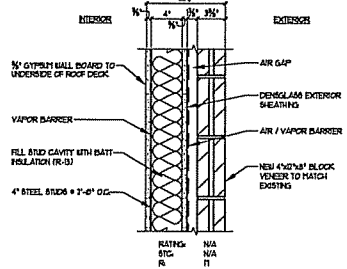
**6** PARTITION TYPE 'P6' DETAIL  
SCALE: NTS



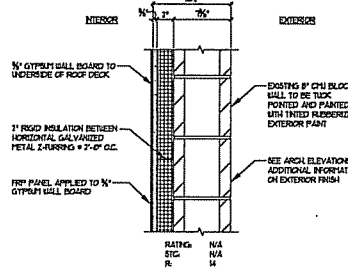
**5** PARTITION TYPE 'P5' DETAIL  
SCALE: NTS



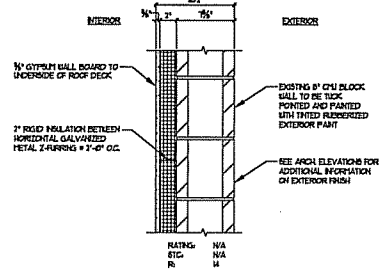
**4** PARTITION TYPE 'P4' DETAIL  
SCALE: NTS



**3** PARTITION TYPE 'P3' DETAIL  
SCALE: NTS



**2** PARTITION TYPE 'P2' DETAIL  
SCALE: NTS



**1** PARTITION TYPE 'P1' DETAIL  
SCALE: NTS