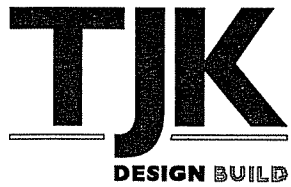


PROPOSED FACILITY FOR:

# REGENT STREET DEVELOPMENT

BOWEN COURT  
MADISON, WISCONSIN



TJK Design Build

612 West Main Street

Madison, WI 53703

608-257-1090

FAX 608-257-1092

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LOOKING NORTHEAST ON BOWEN COURT

**LEGEND**  
 - - - - - #51.1 EXISTING SPOT GRADE  
 - - - - - #52.2 PROPOSED SPOT GRADE

**D'AMFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Westwood Way, Madison, WI 53717  
 Phone: 608.833.2330 • Fax: 608.833.1089  
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**612 WEST MAIN STREET  
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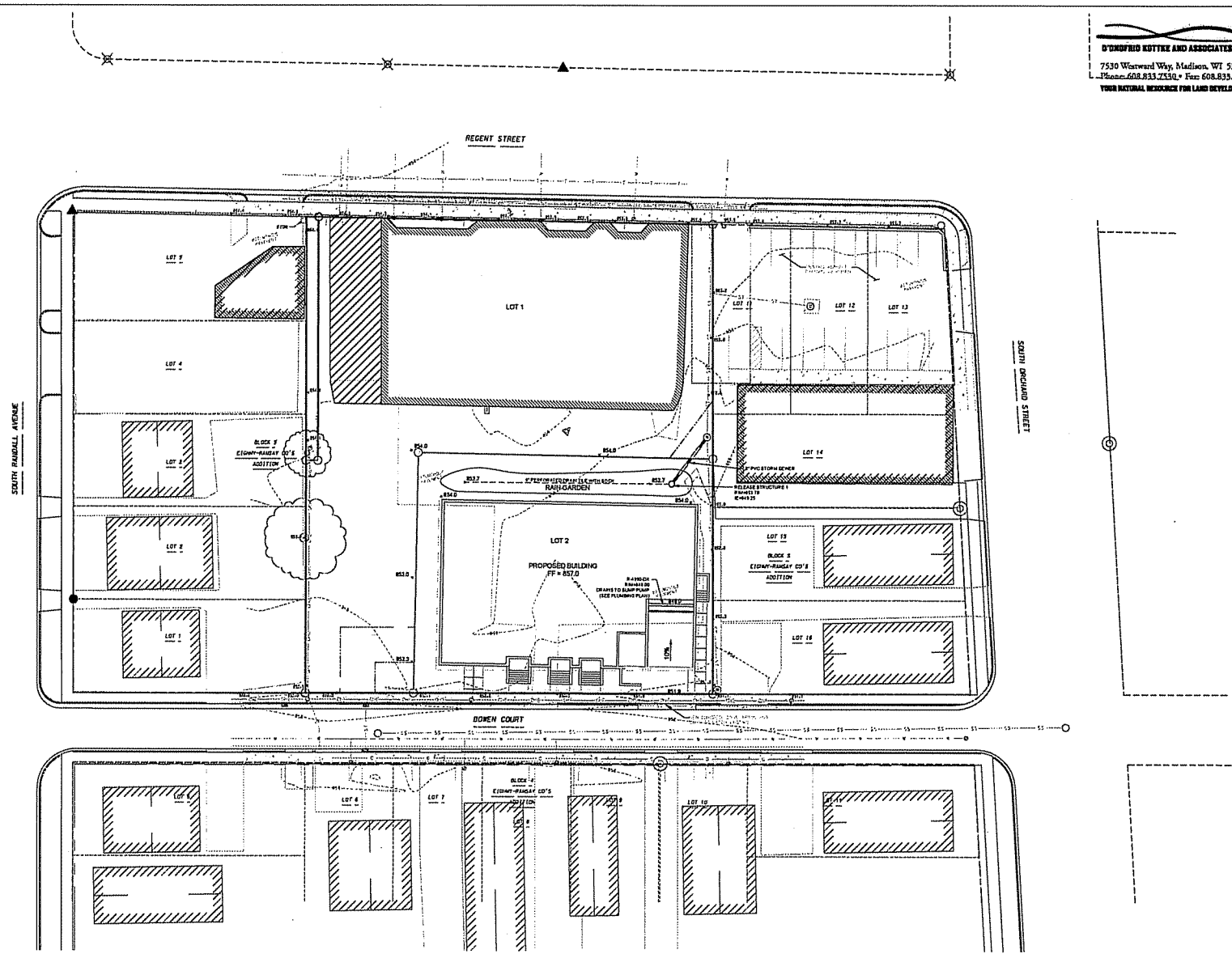
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**PROPOSED FACILITY FOR:  
 REGENT STREET**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.1**

6.24.15



**1 GRADING PLAN**  
 SCALE: 1" = 20' - 0"

**SITE UTILITY NOTES**

1. ALL SITE UTILITY WORK SHALL COMPLY WITH THE CITY OF MADISON CODE OF ORDINANCES. ALL MATERIALS SHALL BE IN COMPLIANCE WITH THE CITY'S MATERIAL STANDARDS.
2. SANITARY SEWER SHALL BE SDR 35 PVC.
3. SITE UTILITY CONTRACTOR SHALL COORDINATE WORK EFFORTS INVOLVING ANY OTHER UTILITIES WITH THEIR RESPECTIVE COMPANIES, MG&E, CHARTER, TDS, ETC.
4. UTILITIES LOCATED IN THE RIGHT-OF-WAY TO BE CONSTRUCTED AS PART OF A CITY OF MADISON IMPROVEMENT PROJECT.

**D'ONOFRIO KOTYK AND ASSOCIATES, INC.**  
 7530 Westward Way, Madison, WI 53717  
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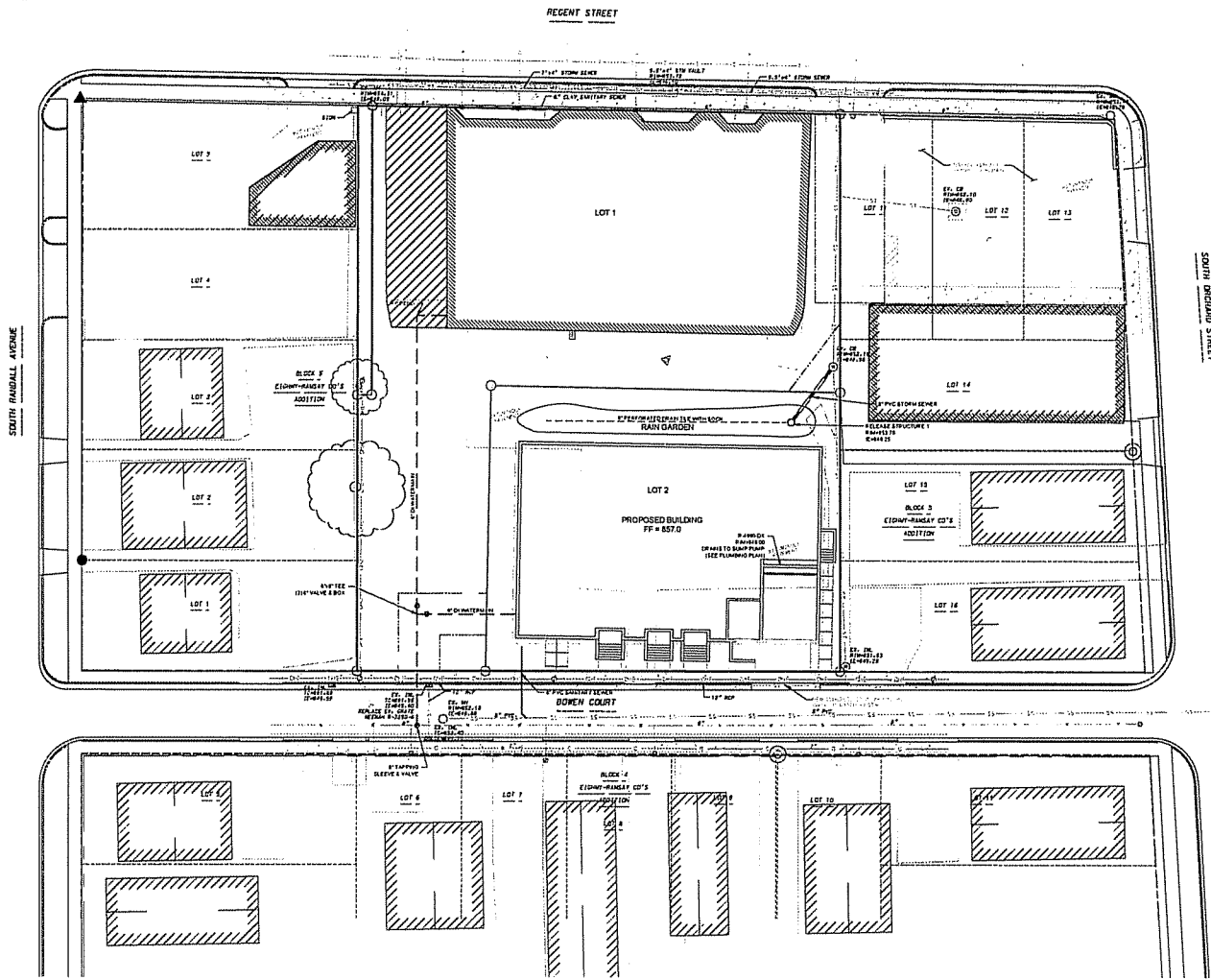
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PROPOSED FACILITY FOR:  
**REGENT STREET**  
 1313 REGENT STREET  
 MADISON, WI

**C-1.2**

6.24.15

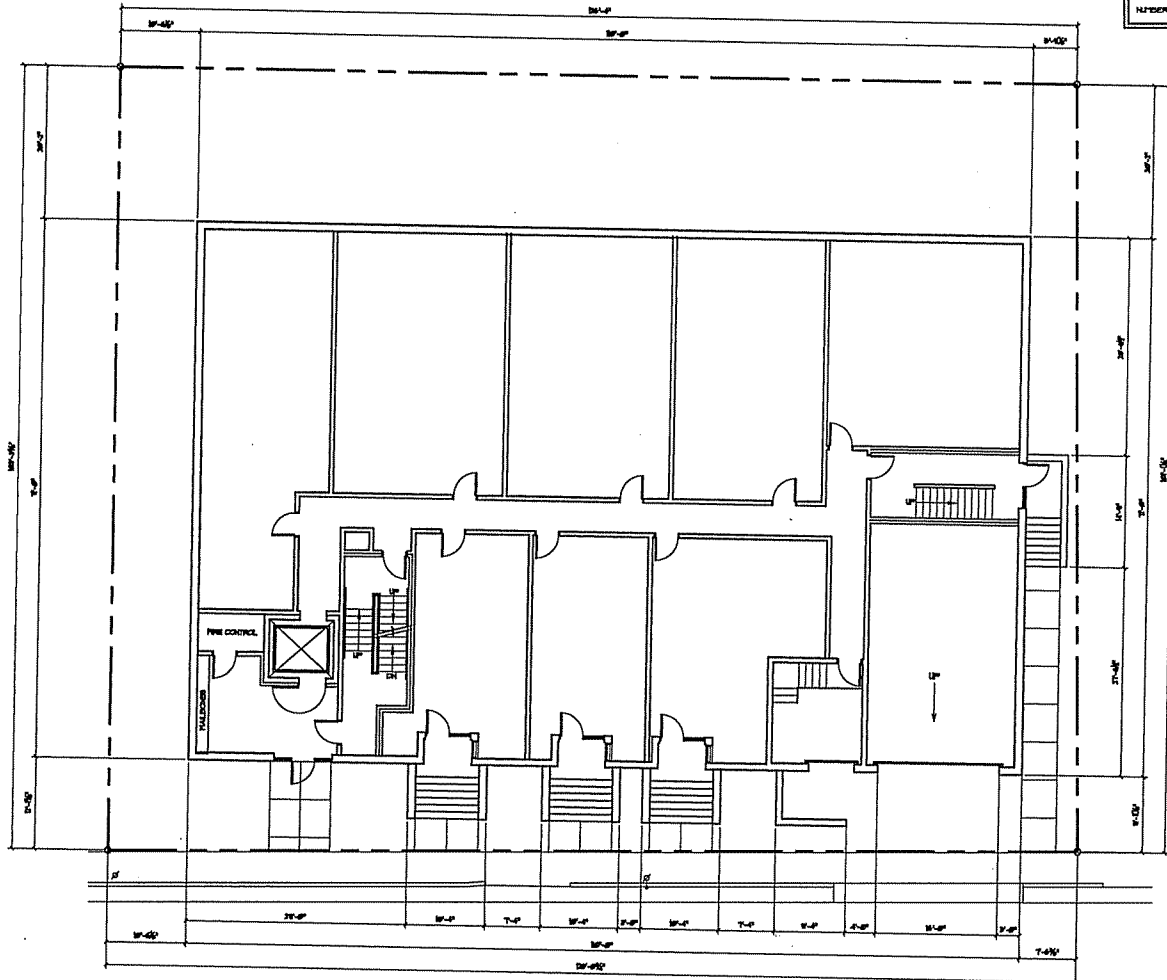


**SITE UTILITY PLAN**  
 SCALE: 1" = 20' - 0"

SITE INFORMATION BLOCK - LOT 2 (APARTMENTS)	
SITE AREA (TOTAL)	0.006 SQ FT = 0.33 ACRES
PROPOSED PAVEMENT	0.235 SQ FT
GREEN SPACE	4.410 SQ FT
UPPER LEVEL OPEN SPACE	0.744 SQ FT
TOTAL OPEN SPACE	0.003 SQ FT = 0.002 ACRES
NUMBER OF BUILDING STOREYS (ABOVE GRADE)	3
BUILDING HEIGHT	43'-0" ABOVE GRADE
TYPE OF CONSTRUCTION	NO. FULLY FINISHED
TOTAL SQUARE FOOTAGE OF BUILDING	31,033 SQ FT
USE OF PROPERTY	R-3
NUMBER OF PARKING STALLS	21 (UNDERGROUND)
NUMBER OF LANDSCAPE PORTS REQUIRED	SEE LANDSCAPE PLAN

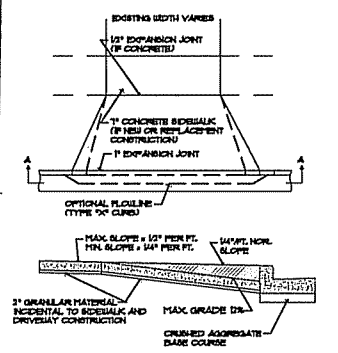
**LEGEND:**

- PROPERTY CORNER
- PROPERTY LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- ◆ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/ LIGHT
- MANHOLE
- WATER VALVE
- CURB INLET
- STORM SEWER ACCESS COVER
- 6"Ø UTILITY
- ⊕ MONITORED WELL



**BOWEN COURT**

**1 PROPOSED SITE PLAN**  
C-13 SCALE: 1/8" = 1' - 0"



**2 COMMERCIAL DRIVEWAY DETAIL**  
C-13 SCALE: N.T.S.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
1-800-243-8911  
TOLL FREE  
WIS STATUTE 192.075(1514)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



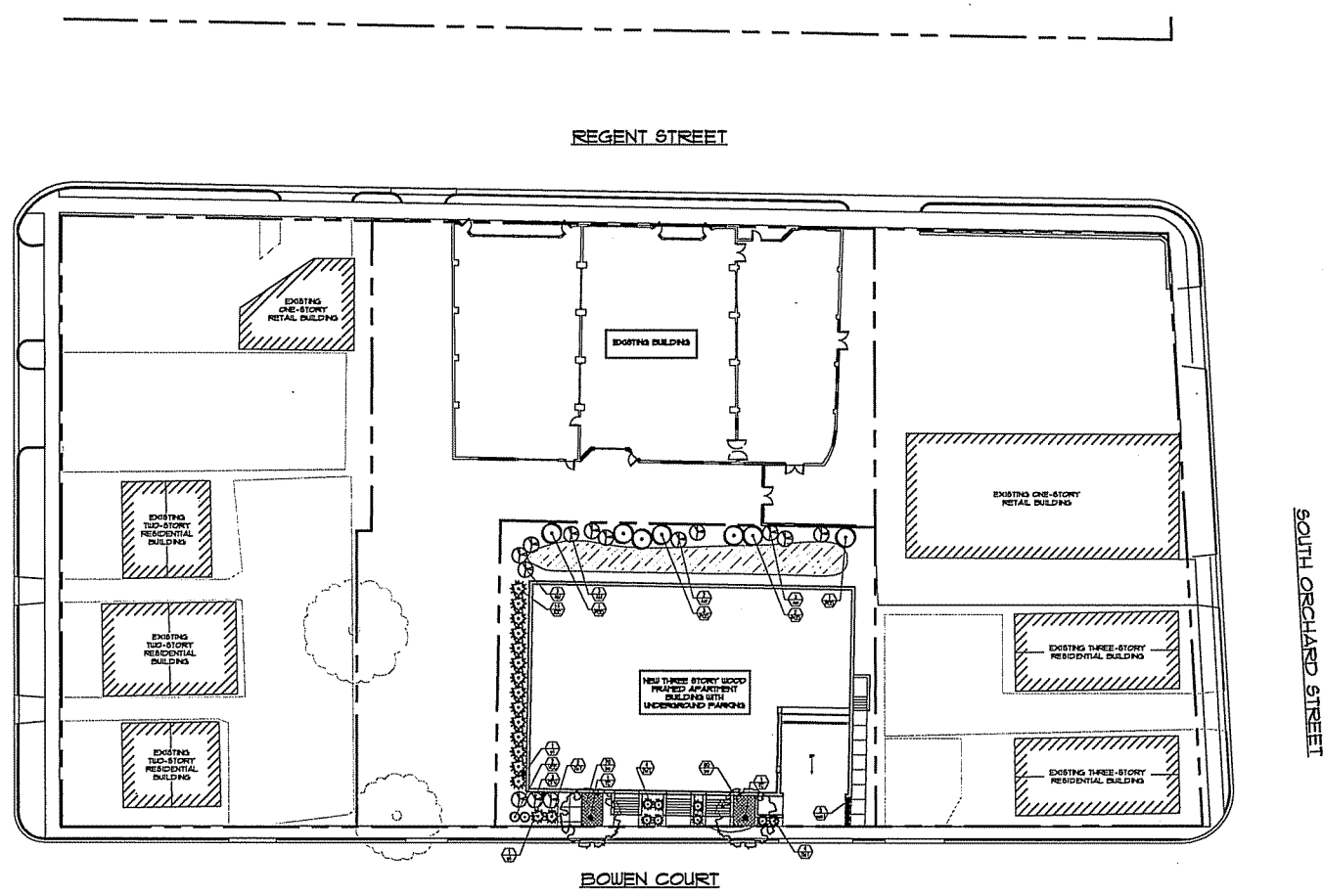
# LANDSCAPE WORKSHEET

Estimate of Plant and Costs

Plant Type/Element	Minimum Size of Production	Price	Quantity		Total	
			Quantity	Price	Quantity	Price
Utility Building 50'	10' x 10' x 10'	11			11	11
Full plant cost	1.0 per sq ft	11				
Planting cost	1.0 per sq ft	11				
Planting material	1.0 per sq ft	11				
Planting labor	1.0 per sq ft	11				
Planting equipment	1.0 per sq ft	11				
Planting water	1.0 per sq ft	11				
Planting fertilizer	1.0 per sq ft	11				
Planting mulch	1.0 per sq ft	11				
Planting soil	1.0 per sq ft	11				
Planting irrigation	1.0 per sq ft	11				
Planting maintenance	1.0 per sq ft	11				
Planting total						

Total Number of Plants: 220

14-201



## PLANTING SCHEDULE AND LEGEND

Key	Botanical Name	Common Name	Qty	Planting Size	Root Spec.	Specs	Comments
<b>Major Deciduous Trees</b>							
TC	<i>Tilia cordata</i> 'Yves Briot'	Jane Brille Umbrella Linden	2	2 1/2" cal	BAB	As shown	Straight leader, matched
<b>Deciduous Shrubs</b>							
AM	<i>Amelanchier canadensis</i>	Autumn Magic Chokeberry	11	2" HT/3 Gal	Core	As shown	Full plants
CV	<i>Caryophyllus forbesii</i>	Vance Candice Allspice	3	2" HT/3 Gal	Core	As shown	Full plants, matched
PD	<i>Physocarpus opulifolius</i>	Diable à la Mort	7	2" HT/3 Gal	Core	As shown	Full plants
VCC	<i>Viburnum acerifolium</i>	Dwarf Kowanshica Viburnum	3	1" HT/3 Gal	Core	As shown	Full plants, matched
<b>Evergreen Shrubs</b>							
ICC	<i>Ilex glabra</i> 'Compacta'	Compact hollyberry	14	2" HT/3 Gal	Core	As shown	Full plants, matched
TYT	<i>Taxus canadensis</i>	Taxus or made 'Taxus'	10	2" HT/3 Gal	Core	As shown	Full plants, matched
<b>Perennial, Ornamental Grasses, Vines and Groundcovers</b>							
lc	<i>Liriodendron tulipifera</i>	Winter Glow Bergenia	150	4"	Pots	12" x 6"	Full plants
cl	<i>Colymbium scutellaria</i>	Karl Foerster Reed Grass	3	1 Gal	Core	As shown	Full plants, matched
st	<i>Stachys germanica</i>	Dudman's Flye	3	1 Gal	Core	As shown	Full plants, 3 nearest robinhood
<b>Non-Plant Groundcover Treatment</b>							
Shaded Bark Mulch Shredded Natural Cypress at all planting beds							

LANDSCAPE PLAN  
SCALE: 1" = 20'



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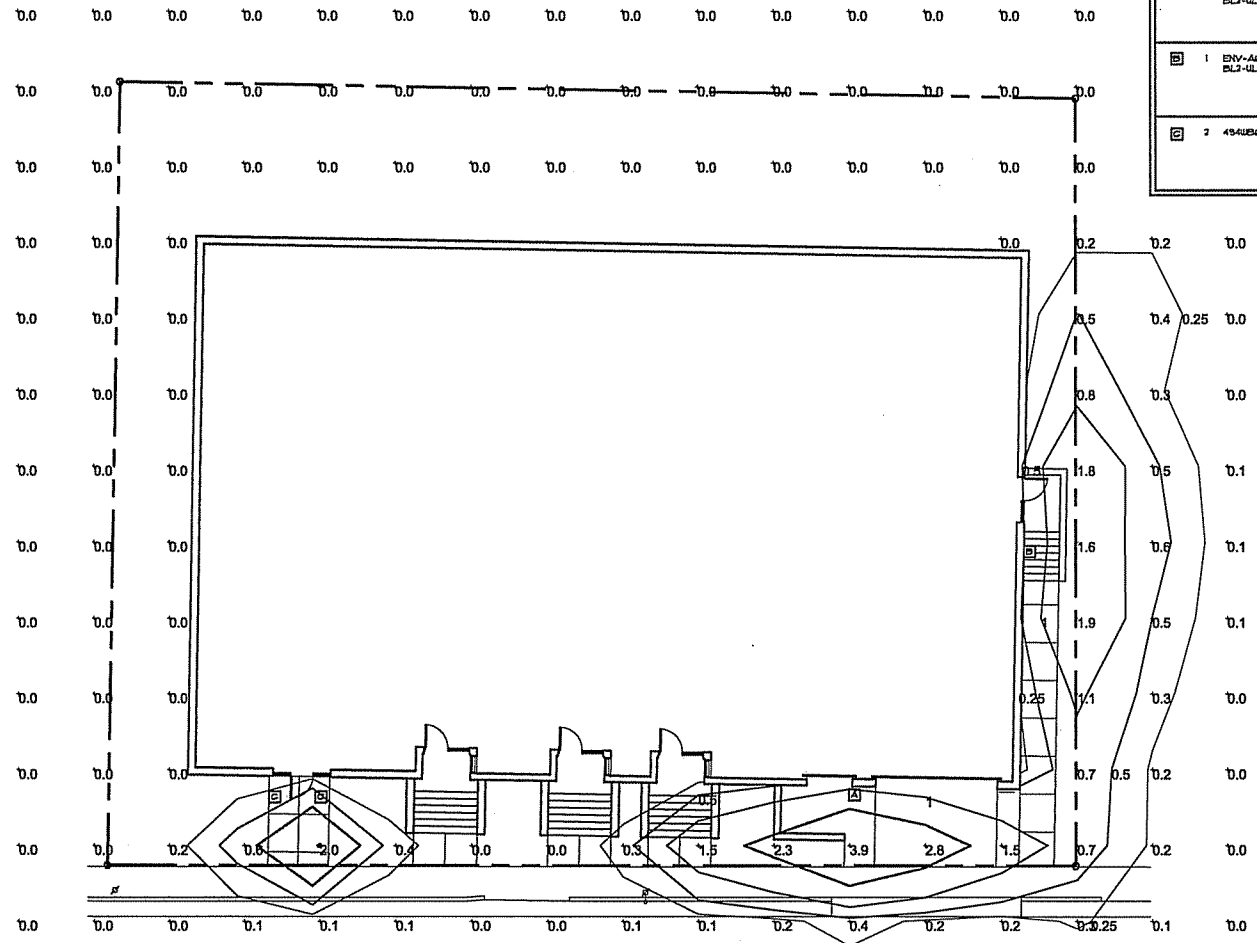
PROPOSED FACILITY FOR:  
**BOWEN COURT**  
1313 REGENT STREET  
MADISON, WI

C-1.4

7.22.15

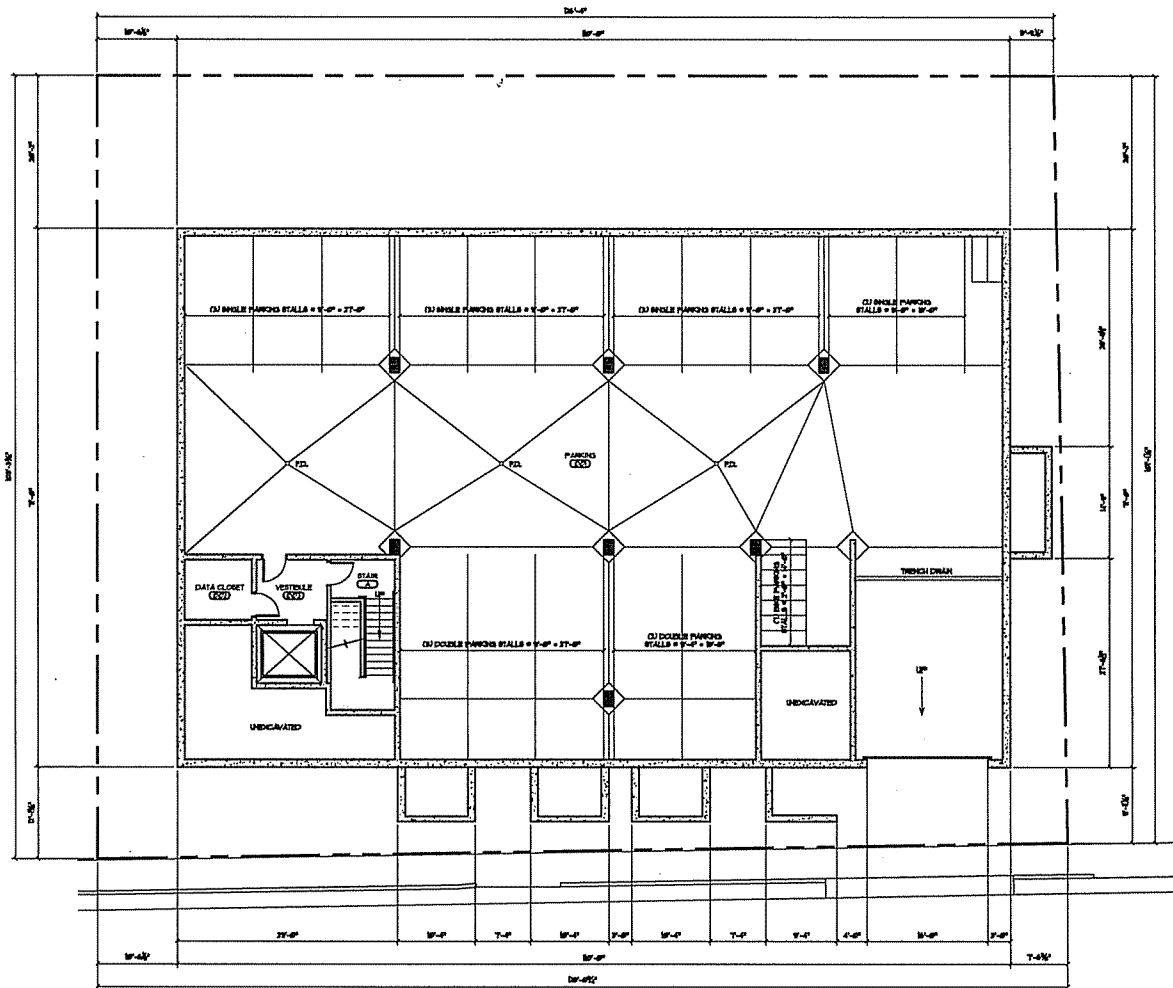
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone 1	+	0.1 fc	3.9 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE					
Label	Qty	Catalog Number	Description	Units	
A	1	ENV-AD1-LED-EI-BL3-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBARS WITH ASCULED OPTICS - TYPE 2 WITH BACK LIGHT CONTROL MOUNTED 16'-0" ABOVE GRADE	35	
B	1	ENV-AD1-LED-EI-BL3-ULG	ENTRI LED LUMINAIRE WITH UPLIGHT (2) LIGHTBARS WITH ASCULED OPTICS - TYPE 2 WITH BACK LIGHT CONTROL MOUNTED 16'-0" ABOVE GRADE	35	
C	2	454UB06	FORMED STEEL AND CAST ALUMINUM HOUSING, FORMED ENGRAINED ALUMINUM UPPER REFLECTOR, SPUN MATTE WHITE STEPPED ALUMINUM LOWER REFLECTOR WITH WHITE ENAMEL ALUMINUM TRIM RIMS MOUNTED 16'-0" ABOVE GRADE	15	



BOWEN COURT

1 PROPOSED PHOTOMETRIC PLAN  
C-1.5 SCALE: 1/8" = 1' - 0"

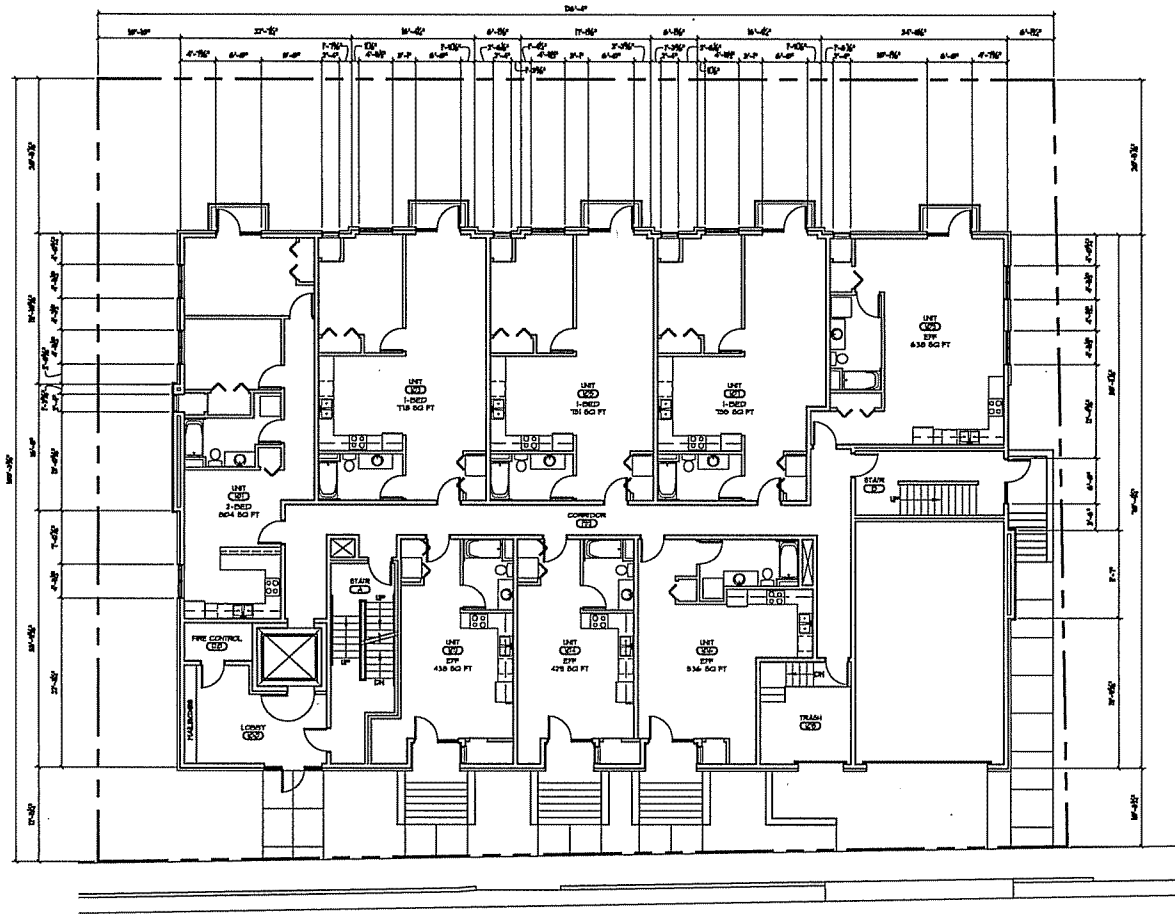


**PROPOSED PARKING LEVEL**

SCALE: 1/8" = 1' - 0"  
0' 4' 8' 12' 16' 20'

**FLOOR PLAN GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FACE OF 6" MD OR CONCRETE.
2. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY, TRIP CABINETS, SHELVING, PLUMBING FIXTURES, TOWEL BARS, SHOWER RODS, HANDRAILS, AND ALL OTHER ACCESSORIES AND FIXTURES.
4. DESIGN WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
5. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
6. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER TUB, APPLIANCE, CABINETRY, AND VANITY DIMENSIONS.
7. COORDINATE WALL THICKNESS AND FURRING BEHIND WASHER / DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
8. LOCATE DOORS WITH WALLS CENTERED ON WALL, HALL, CLOSET OR 3" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
9. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DESIGN, BEARING, AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS RECOMMENDED BY MANUFACTURER.
10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CALK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.

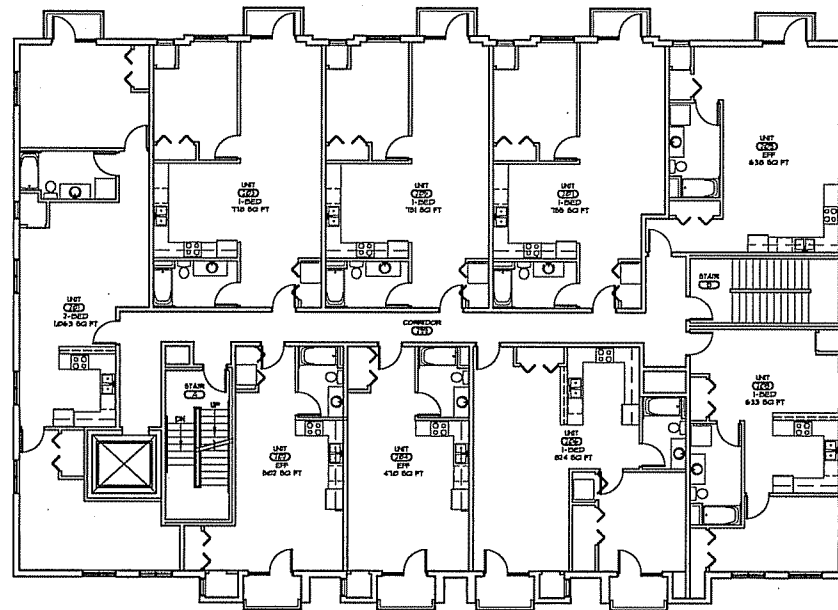


**1** PROPOSED FIRST FLOOR  
A-12 SCALE: 1/8" = 1' - 0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE.
2. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY, TRIM, CABINETS, SHELVING, PLUMBING FIXTURES, TOWEL BARS, SHOWER RODS, HANDRAILS, AND ALL OTHER ACCESSORIES AND FIXTURES.
4. DESIGN WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
5. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
6. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER, TUB, APPLIANCE, CABINETRY, AND VANITY DIMENSIONS.
7. COORDINATE WALL THICKNESS AND FINISH BEHIND WASHERS/DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
8. LOCATE DOORS WITHIN WALLS CENTERED ON WALL, HALL, CLOSET OR 3" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
9. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DESIGN, BEARING, AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS REQUIRED BY MANUFACTURER.
10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CALK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.



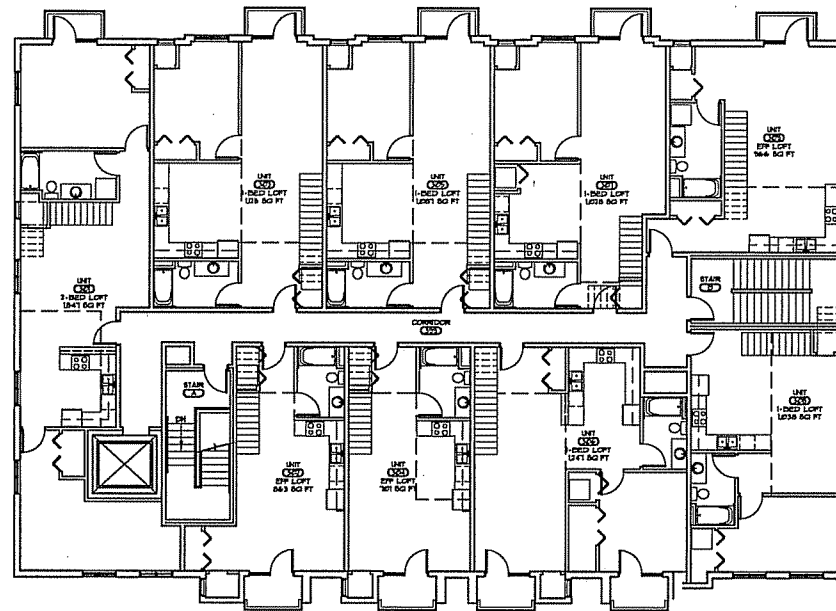


**1** PROPOSED SECOND FLOOR 

A-13 SCALE: 1/8" = 1' - 0"  
0 4' 8' 16'-0"

**FLOOR PLAN GENERAL NOTES**

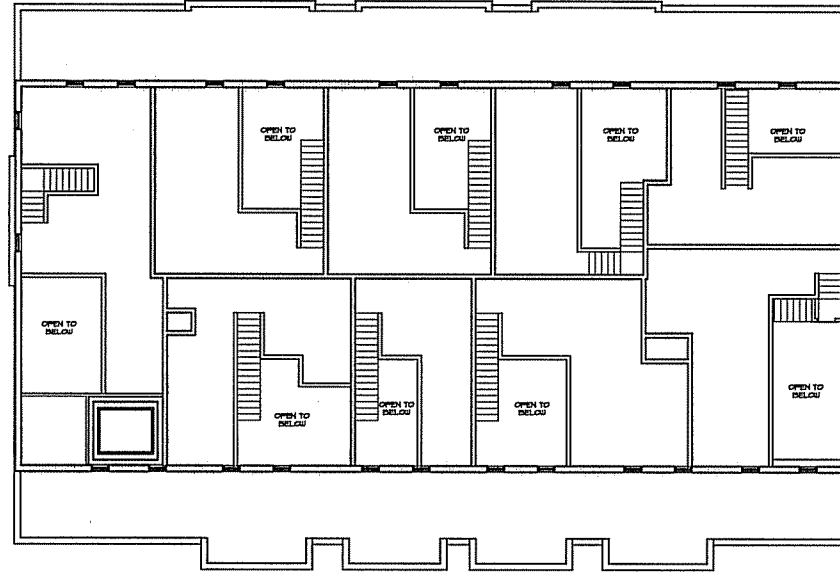
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3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY, TRIM, CABINETS, SHELVING, PLUMBING FIXTURES, TOWEL BARS, SHOWER RODS, HANDRAILS, AND ALL OTHER ACCESSORIES AND FIXTURES.
4. DEMISING WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
5. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
6. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER, TUB, APPLIANCE, CABINETRY, AND VANITY DIMENSIONS.
7. COORDINATE WALL THICKNESS AND FIRING BEHIND WASHER/DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
8. LOCATE DOORS WITHIN WALLS CENTERED ON WALL, HALL, CLOSET OR 6" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
9. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DESIGN, BEARING, AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS RECOMMENDED BY MANUFACTURER.
10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CALK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.



**PROPOSED THIRD FLOOR**  
A-1.4 SCALE: 1/8" = 1' - 0"  
0' 4' 8' 16'-0"

**FLOOR PLAN GENERAL NOTES**

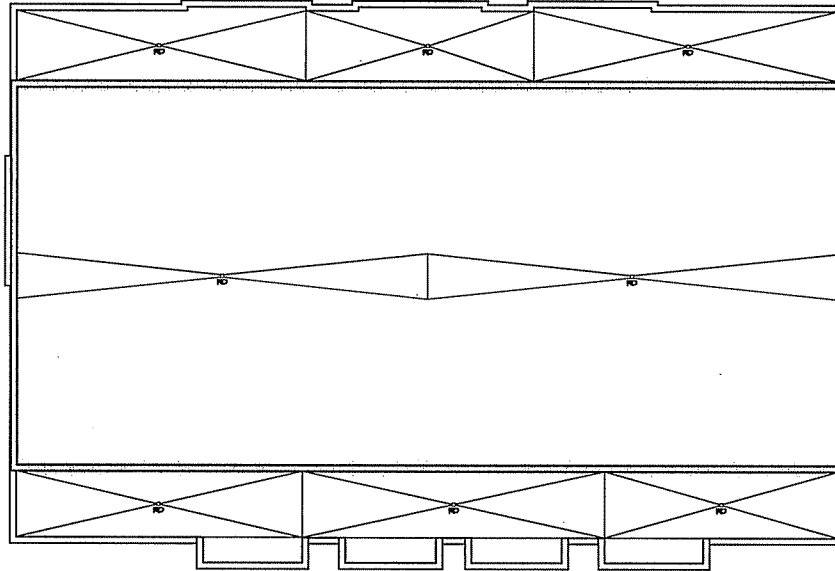
1. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE.
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4. DEMISING WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
5. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
6. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER, TUB, APPLIANCE, CABINETRY, AND VANITY DIMENSIONS.
7. COORDINATE WALL THICKNESS AND FINISHES BEHIND W/ASHER / DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
8. LOCATE DOORS WITHIN WALLS CENTERED ON WALL, HALL, CLOSET OR 3" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
9. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DEMISING, BEARING, AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS RECOMMENDED BY MANUFACTURERS.
10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CALK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.



**PROPOSED LOFT LEVEL PLAN**  
SCALE: 1/8" = 1' - 0"  
A-1.5

**FLOOR PLAN GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE.
2. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY, TRIM, CABINETS, SHELVING, PLUMBING FIXTURES, TOILET BARS, SHOWER RODS, HANDRAILS, AND ALL OTHER ACCESSORIES AND FIXTURES.
4. DESIGN WALLS SHOWN AS ENTIRE WALL THICKNESS ON BOTH UNITS.
5. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
6. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER, TUB, APPLIANCE, CABINETRY, AND VANITY DIMENSIONS.
7. COORDINATE WALL THICKNESS AND FURRING BEHIND WASHER / DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
8. LOCATE DOORS WITH WALLS CENTERED ON WALL, HALL, CLOSET OR 14" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
9. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DESIGN, BEARING, AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS RECOMMENDED BY MANUFACTURER.
10. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC, PLUMBING, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS.
11. CHASES CONTAINING ROOF DRAIN PIPING TO BE INSULATED ON ALL SIDES WITH SOUND ATTENUATION INSULATION. CALK GYPSUM BOARD PERIMETER WITH ACOUSTICAL SEALANT.



1
**PROPOSED ROOF PLAN**
NORTH  
 A-1.6 SCALE: 1/8" = 1' - 0"



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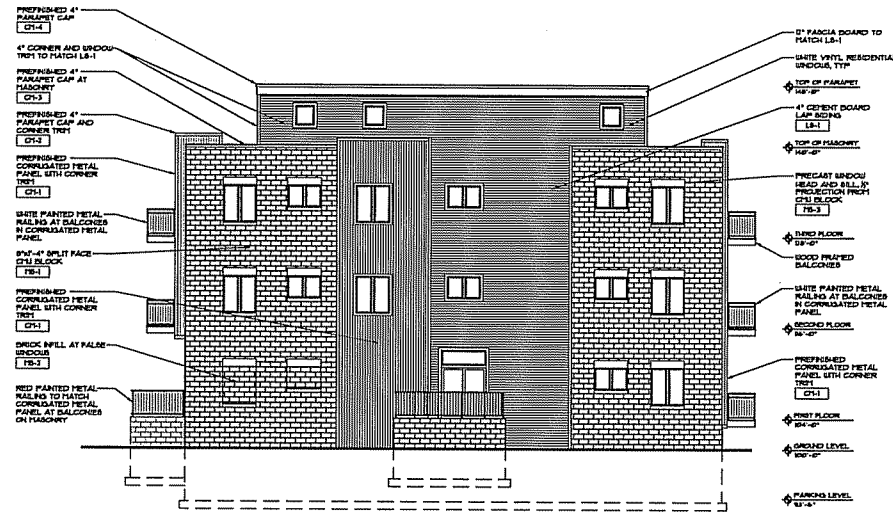
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PROPOSED FACILITY FOR:  
**REGENT STREET DEVELOPMENT**  
 1313 REGENT STREET  
 MADISON, WI

**A-1.6**  
 7.22.15

EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS				
TAG	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION/REMARKS
FB-1	COUNTY MATERIALS	98-348A	STEEL GRAY	2" RETIERS AND COLORED FORTAN TO MATCH
FB-2	COUNTY MATERIALS	--	--	UTILITY BRICK TO MATCH FB-1
FB-3	PRECAST	--	GRAY	6" BRICK HEAD, 4" BRICK SILL
LB-1	JAMES HARDIE	HANDPLANK LAM SIDING	SHERRILL BELLEFLORE "SILVER" "NEUTRAL WHITE"	SELECT CERTAINTEED LAM SIDING WITH 4" ENDGROOVE
CP-1	--	--	"PAC-CLAD "COLONIAL RED"	4" RIB CORRUGATED PREFINISHED METAL PANEL
CP-2	--	--	"PAC-CLAD "COLONIAL RED"	PREFINISHED METAL CAP FLASHING AT CEILING
CP-3	--	--	"PAC-CLAD "COLONIAL RED"	PREFINISHED METAL FLASHING AT ENTRY CANOPY
CP-4	--	--	"PAC-CLAD "STONE WHITE"	PREFINISHED METAL FLASHING AT HANDPLANK LAM SIDING
SP-1	--	--	DATE	THERMALLY BROKEN VINYL WINDOWS AND PAINT DOORS WITH INSULATED GLASS-2 GLAZING

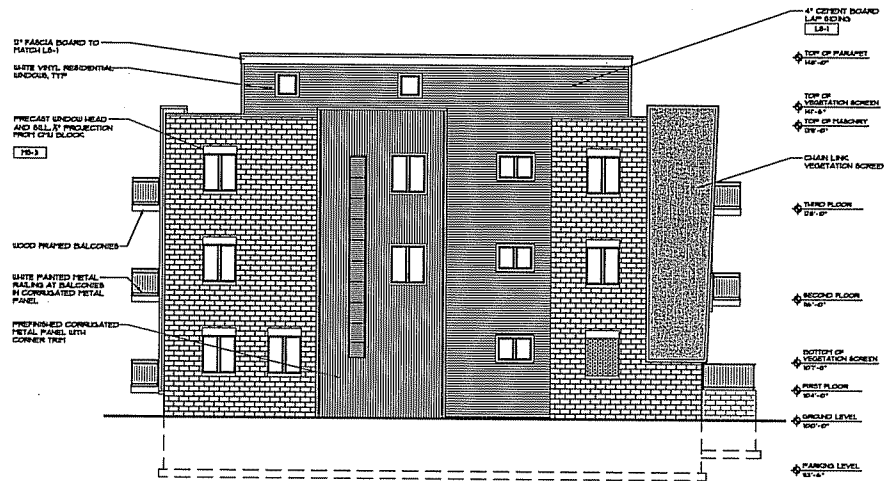


1 PROPOSED EAST ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"



2 PROPOSED SOUTH ELEVATION  
A-2.1 SCALE: 1/8" = 1' - 0"

EXTERIOR FINISH MATERIAL SCHEDULE - APARTMENTS				
TAG	MANUFACTURER	PROJECT NUMBER	COLOR	DESCRIPTION/REMARKS
FB-1	COUNTY MATERIALS	NO-348A	STEEL GRAY	4" PRECAST AND COLORED PORTLAND TO MATCH
FB-2	COUNTY MATERIALS	--	--	UTILITY BRICK TO MATCH FB-1
FB-3	PRECAST	--	GRAY	8" WINDOW HEAD, 4" WINDOW SILL
LB-1	JAMES HARDIE	HANDY-PLANK LAP SIDING	SHERRILL WILLIAMS, "DU" T&G, "TRIPLE-GLAZED SHUTE"	SELECT CEDAR-PILE LAP SIDING WITH 4" EXPOSURE
CP-1	--	--	PAC-GLAD "COLONIAL RED"	1/2" RIB CORRUGATED PREFORMED METAL PANEL
CP-2	--	--	PAC-GLAD "COLONIAL RED"	PREFORMED METAL CAP FLASHING AT CH-1
CP-3	--	--	PAC-GLAD "CHARCOAL"	PANCA AND SCHITZ AT ENTRY CANOPY AND CAP FLASHING AT MACHINERY
CP-4	--	--	PAC-GLAD "STONE WHITE"	PREFORMED METAL CAP FLASHING AT HANDY-PLANK LAP SIDING
SP-1	--	--	WHITE	THERMALLY BROKEN WHITE BRASS AND PATIO DOORS WITH INSULATED DOUBLE GLASS



**1** PROPOSED WEST ELEVATION  
A-2.2 SCALE: 1/8" = 1' - 0"



**2** PROPOSED NORTH ELEVATION  
A-2.2 SCALE: 1/8" = 1' - 0"