

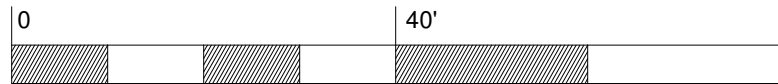
LOT

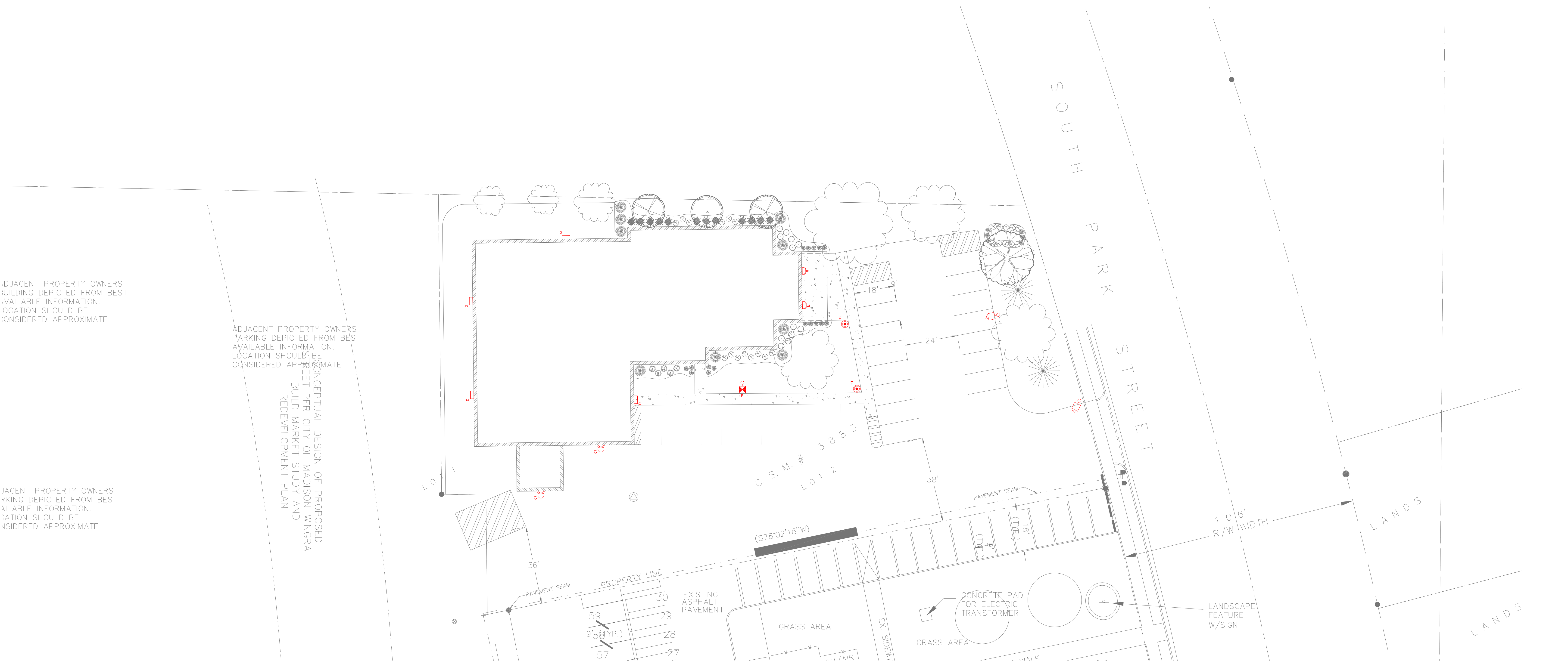
Illuminance (Fc)
Average = 1.78
Maximum = 11.8
Minimum = 0.1
Avg/Min Ratio = 17.80
Max/Min Ratio = 118.00

FIXTURE MOUNTING HEIGHT: AS SHOWN
EXISTING POLES & LOCATIONS
ISOLINES AT .3 FC
PROPERTY LINE LIGHT LEVELS AT 4' AFG

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	0.38	7.1	0.0	N.A.	N.A.
SITE	1.00	25.5	0.0	N.A.	N.A.
LOT	1.78	11.8	0.1	17.80	118.00

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description	Lum. Watts
□	2	MAC515	SINGLE	16000	0.800	MAC2515-M (150W HPS)	188
□	1	AC525	SINGLE	51000	0.800	AC2525-M (250W HPS)	300
□	2	HC505	SINGLE	4000	0.800	HC505-D (50W HPS)	66
□	3	MGWC - 70	SINGLE	6400	0.800	MGWC0507-M (70W HPS)	90
□	2	MGWC - 150	SINGLE	16000	0.800	MGWC0515-M (150W HPS)	188
□	3	E8	SINGLE	6400	0.800	E8507-M (70W HPS)	86





FIXTURE SCHEDULE						
SYMBOL	TYPE	MANUFACTURER	CATALOG NO.	LAMPS		MOUNT DESCRIPTION
				NO.		
A	□	A	RUUD	MAC2515-M	1 150W HPS	17' POLE
B	⊗	B	RUUD	AC2525-M	1 250W HPS	25' POLE (EXISTING POLE)
C	⦿	C	RUUD	MGWC0515-M	1 150W HPS	15' AFG (EXISTING)
D	▭	D	RUUD	E8507-M	1 70W HPS	12' AFG (EXISTING)
E	⦿	E	RUUD	MGWC0507-M	1 70W HPS	EXISTING
F	⦿	F	RUUD	HCD505D	1 50W HPS	AT GRADE



SCALE: 1"=20'

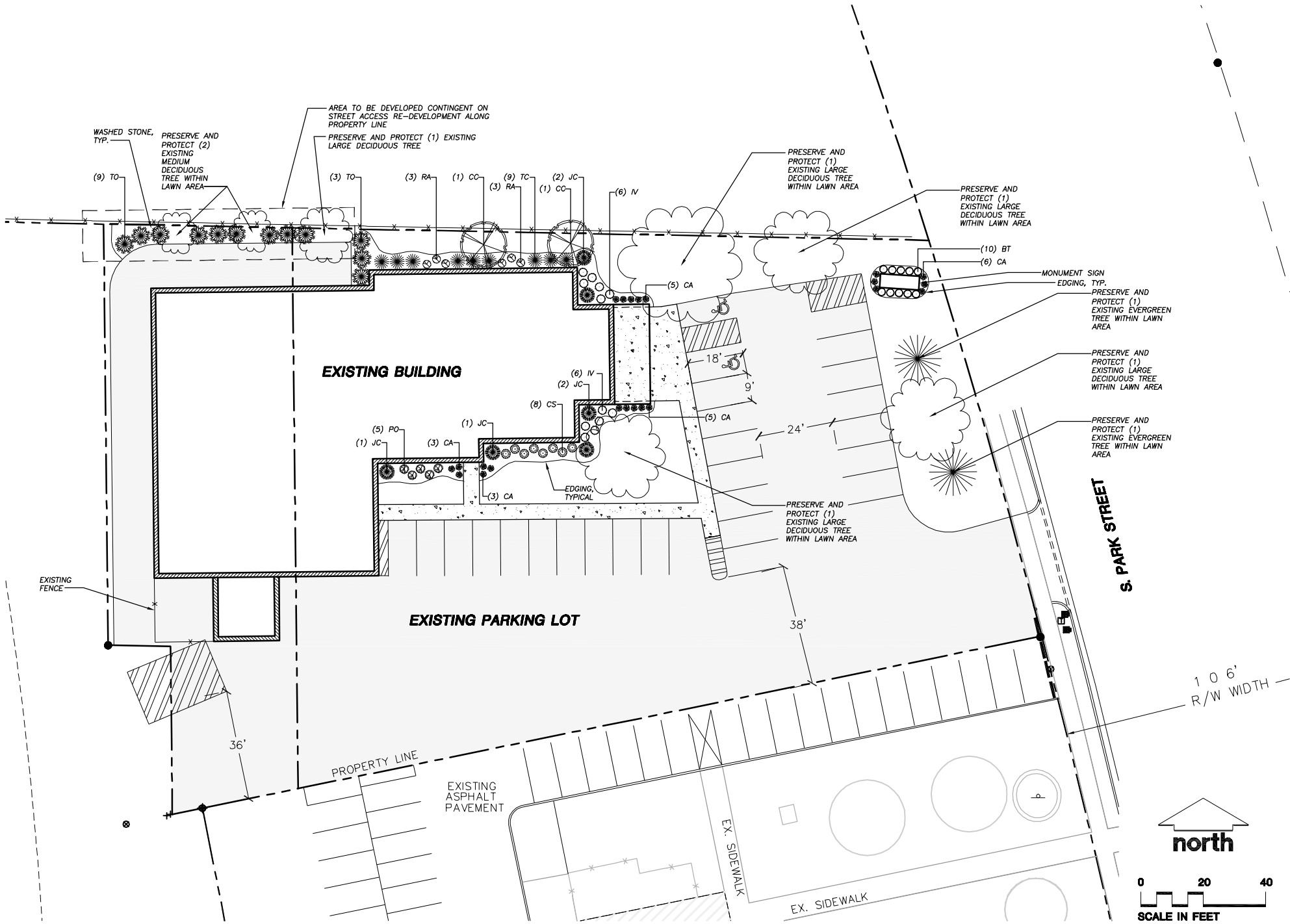
1414 PARK ST.
MADISON, WI

File: L:\2008\063287.dwg 06--3287 Landscape.dwg User: jlrhnm Plotted: Feb 12, 2013 -- 7:03am Xref's:

SITE INFORMATION BLOCK	
Site Address	1418 S. PARK ST. MADISON, WI
Site Square Footage	44,455
Site Developed Total Square Footage:	36,718
Number of Building Stories (above grade)	1
Building Height	<30 FT.
Total Square Footage of Building	APPROX. 11, 000
Use of property	COMMERCIAL
Number of employees	-
Existing Number of parking stalls:	
Large car	25
Accessible	2
Total	27

LANDSCAPE PLANT LIST						
SYM QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES						
EX 5	Existing Deciduous Tree	Multiple Species	VARIES	VARIES	35	175
MEDIUM DECIDUOUS TREES						
EX 2	Existing Deciduous Tree	Multiple Species	VARIES	VARIES	15	30
CC 2	J.N. Strain Muscledwood	CARPINUS caroliniana 'J.F. Strain'	1 1/2" Cal.	8.88	15	30
EVERGREEN TREES						
EX 2	Existing Evergreen Tree	Multiple Species	VARIES	VARIES	15	30
TO 12	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	40" Min. Ht.	#3Cont.	15	180
MEDIUM DECIDUOUS SHRUBS						
BT 10	Spring Fire Barberry	BERBERIS thunbergii 'Diabolica'	18" Min. Ht.	# 2 Cont.	2	20
CS 8	Kelsey Dwarf Dogwood	CORNUS sericea 'Kelsey'	18" Min. Ht.	# 2 Cont.	2	16
IV 12	Little Henry Sweetgale	ITEA virginica 'Little Henry'	18" Min. Ht.	# 2 Cont.	2	24
PO 5	Dwarf Common Ninebark	PHYSCARPUS opulifolius 'Little Devil'	18" Min. Ht.	# 2 Cont.	2	10
RA 6	Alpine Currant	RIBES alpinum	18" Min. Ht.	# 2 Cont.	2	12
MEDIUM EVERGREEN SHRUBS						
JC 6	Mountain Juniper	JUNIPERUS chinensis 'Mountain'	48" Min. Ht.	#3Cont.	3	18
TC 9	Dwarf Japanese Yew	TAXUS cuspidata 'Nana'	18" Min. Ht.	#2 Cont.	3	27
ORNAMENTAL GRASSES						
CA 22	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10 - 12" Ht.	# 1 Cont.	2	44
					TOTAL	616

CITY OF MADISON LANDSCAPE REQUIREMENTS:			
Developed Area:	36,718 Sq. Ft.		
Requirement:	1 Landscape Unit provided for each 300 Sq. Ft. of developed area		
Calculation:	36,718 sq. ft./300 sq. ft./Landscape unit =	122.39 Plant Units	
Requirement:	1 Landscape Unit consists of (5) Landscape Points		
Calculation:	122.39 Plant Units x 5 Landscape Points per unit =	611.95 Landscape Points	
Total Plant Units Required:	612.00 Landscape Points		
Total Plant Units Provided:	616.00 Landscape Points		
Species: Common Name	Species: Scientific Name	QTY	POINT VALUE TOTAL POINTS
Existing Large Deciduous Trees	Multiple Species	5	35 175
Existing Deciduous Tree	Multiple Species	2	15 30
J.N. Strain Muscledwood	CARPINUS caroliniana 'J.F. Strain'	2	15 30
Existing Evergreen Tree	Multiple Species	2	15 30
Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	12	15 180
Spring Fire Barberry	BERBERIS thunbergii 'Diabolica'	10	2 20
Kelsey Dwarf Dogwood	CORNUS sericea 'Kelsey'	8	2 16
Little Henry Sweetgale	ITEA virginica 'Little Henry'	12	2 24
Dwarf Common Ninebark	PHYSCARPUS opulifolius 'Little Devil'	5	2 10
Alpine Currant	RIBES alpinum	6	2 12
Mountain Juniper	JUNIPERUS chinensis 'Mountain'	6	3 18
Dwarf Japanese Yew (Brevifolia)	TAXUS cuspidata 'Nana'	9	3 27
Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	22	2 44
		TOTALS =	616



LEGEND (PROPOSED)	
---	PROPERTY LINE
---	18" CONCRETE CURB & GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT / SIDEWALK
---	POLYETHYLENE LANDSCAPE EDGING

---	EXISTING LARGE DECIDUOUS TREES (CANOPY TREES)
---	EXISTING EVERGREEN TREES
---	EXISTING MEDIUM DECIDUOUS TREES
---	MEDIUM DECIDUOUS TREE
---	EVERGREEN TREE
---	MEDIUM DECIDUOUS SHRUBS
---	MEDIUM EVERGREEN SHRUBS
---	ORNAMENTAL GRASS

- ### LANDSCAPE NOTES AND SPECIFICATIONS
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH DANE COUNTY AND CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE BASE SITE PLAN DOES NOT INCLUDE UTILITY INFORMATION AND IS AN APPROXIMATION OF SITE LAYOUT BASED ON CURRENT AERIAL PHOTOGRAPHY AND ADJACENT PROPERTY SURVEY INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
 - DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
 - GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
 - MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
 - MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING EXCEPT FOR TREE RINGS. ALL DECIDUOUS TREES NOT WITHIN EDGED LANDSCAPE BEDS OR PARKING ISLANDS SHALL BE INSTALLED WITH A 6" DIAMETER TREE RING WITH SHOVEL-CUT EDGING.
 - MATERIALS - MULCH: PLANTING FOUNDATION BEDS TO RECEIVE CLEAN, WASHED STONE SPREAD TO A CONSISTENT DEPTH OF FOUR INCHES OVER ENTIRE AREA. FERTILIZER SHALL BE IN ACCORDANCE WITH DANE COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SIZE AND COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
 - MATERIALS - WEED BARRIER FABRIC: ALL FOUNDATION PLANTING BEDS SHALL BE INSTALLED AN APPROVED WITH WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
 - MATERIALS - MULCH: LARGE AND MEDIUM DECIDUOUS TREES WITHIN LAWN AREAS TO RECEIVE A MINIMUM 6" TREE RING. TREE RING TO BE MULCHED WITH FINELY SHREDDED, WEED FREE, CEDAR BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE AREA. FERTILIZER SHALL BE IN ACCORDANCE WITH DANE COUNTY AND STATE OF WISCONSIN REQUIREMENTS. A SHOVEL-CUT EDGE TO BE INSTALLED AT A MINIMUM RADIUS OF 5' FROM CENTRAL LEADER OF TREE.
 - SEED: ALL DISTURBED LAWN AREAS SHALL BE SEEDED WITH EARTH CARPET'S 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
 - PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
 - CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
 - MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPENING AND REPLACEMENT OF BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
 - MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

JSD Professional Services, Inc.
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"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

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MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
808.848.6060 PHONE | 808.848.2265 FAX

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SERVICES PROVIDED TO:
**SARA INVESTMENT
REAL ESTATE LLC**

6264 NESBITT ROAD
MADISON, WI 53719

PROJECT:
**KOMBUCHA TEA
PRODUCTION**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: **08-3287**

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JLF 02-05-13
DRAWN: JLF 02-05-13
APPROVED: MAS 02-11-13

PLAN MODIFICATIONS: DATE:
CITY OF MADISON 02-12-13

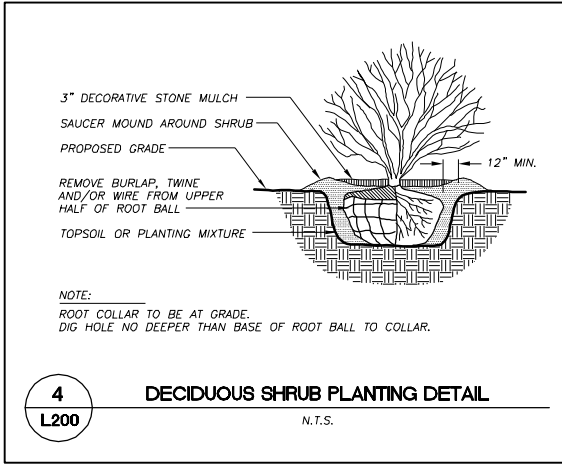
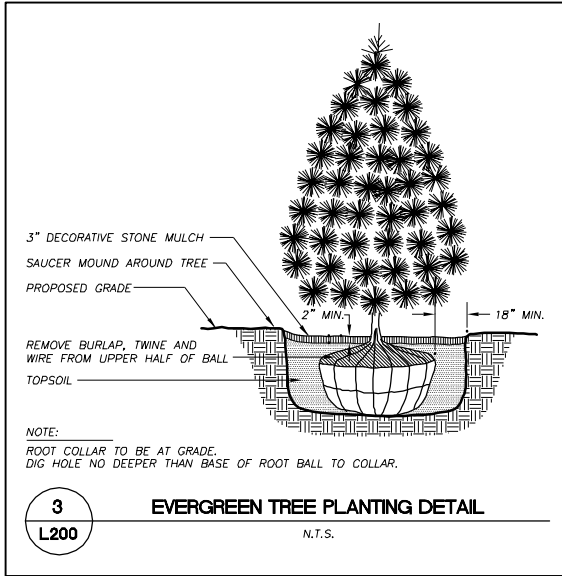
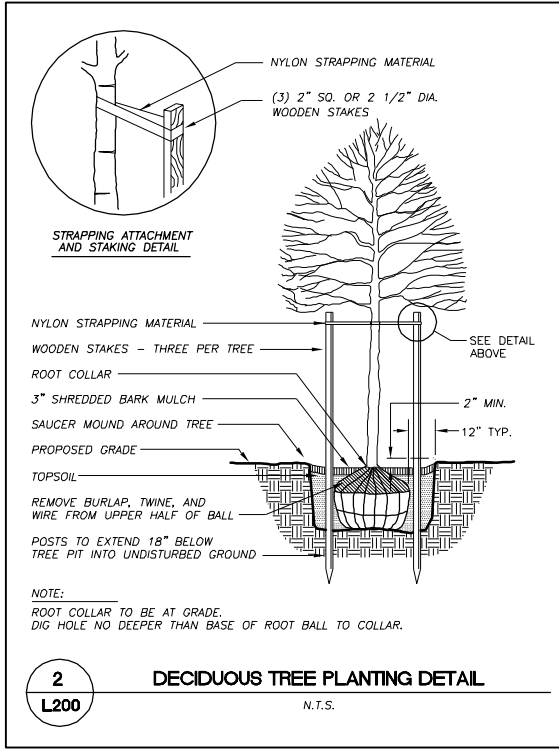
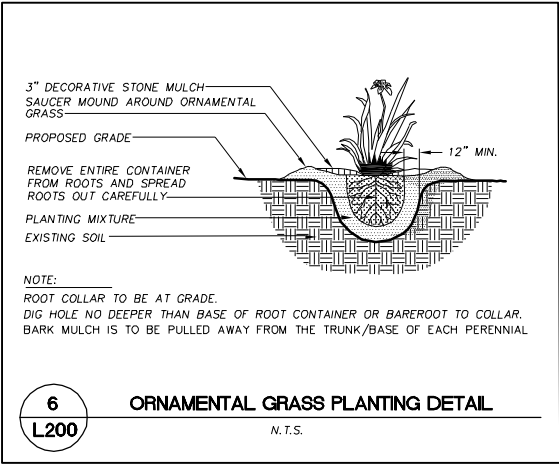
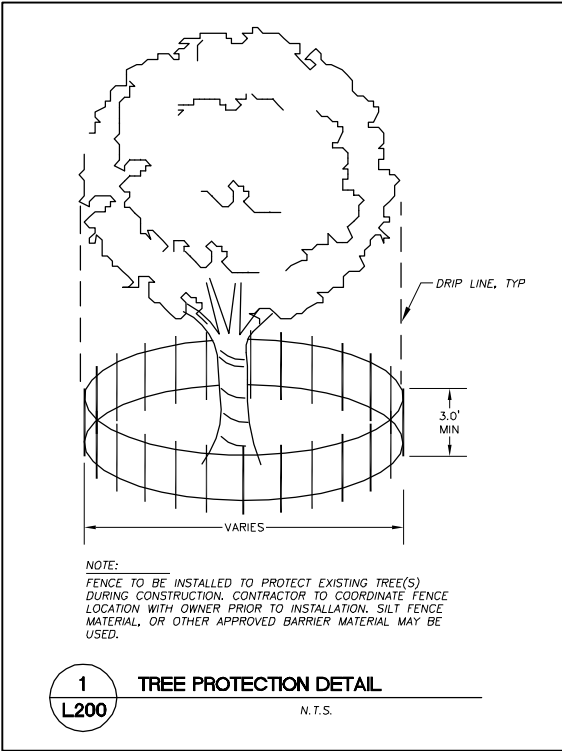
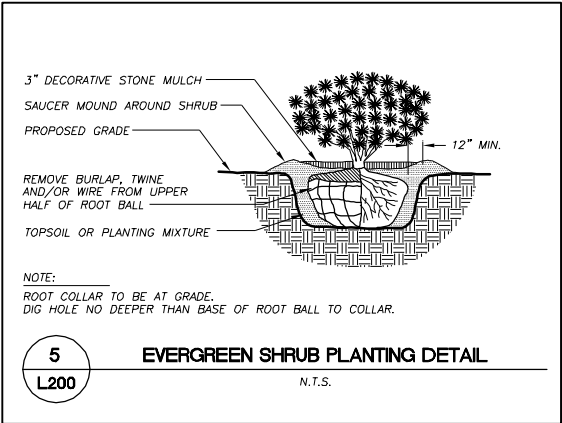
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LANDSCAPE PLAN

SHEET NUMBER:
L100

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DRAWN: JLF 02-05-13
APPROVED: MAS 02-11-13

PLAN MODIFICATIONS:	DATE:
CITY OF MADISON	02-12-13

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