

**BUILDING INFORMATION:**

DESCRIPTION: 2 Story Motor Vehicle Sales and service

SITE AREA: 47,076 sf

BUILDING AREA: Building footprint - 7,620 sf

OCCUPANCY CLASSIFICATION: B

CLASS OF CONSTRUCTION: Type 5B

BUILDING HEIGHT: 31' - 0"

FIRE PROTECTION: Building shall have smoke detectors and fire alarms per governing code. Life safety per 2000 NFPA 101 life safety code.

**SITE INFORMATION:**

47,076 sq. ft. ( 1.08 ACRES)

BUILDING FOOTPRINT: 7,620 sq. ft. (.17 ACRES) = 16% OF SITE

PAVED AREA: 29,784 sq. ft. (.68 ACRES) = 62% OF SITE

LANDSCAPED AREA: 9,672 sq. ft. (.23 ACRES) = 12% OF SITE

**PARKING:**

SALE CAR STALLS :42 Spaces  
CUSTOMER STALLS :37 Spaces  
HC STALLS :1 Spaces

TOTAL: 80 SPACES

**ADA NOTES**

**GRAB BARS:**  
MOUNT SIDE GRAB BAR 12" FROM REAR WALL. 42" LONG MIN. MOUNT REAR GRAB BAR 6" FROM SIDE WALL 36" LONG MIN.  
GRAB BARS SHALL PROVIDE 1 1/8" CLEARANCE FROM WALL, 1 1/4" - 1 1/2" DIA. AND SHALL BE MOUNTED 33" - 36" A.F.F. TO TOP.

**TOILET PAPER DISPENSER:**  
MOUNT 19" MIN. A.F.F. TO CENTER.

**TOWEL DISPENSER:**  
SLOT @ 40" A.F.F.

**TOILET SEAT:**  
SHALL BE @ 17" - 19" ABOVE FLOOR.

**MIRROR:**  
BOTTOM @ 40" A.F.F.

**SINK:**  
RIM @ 34" MAX A.F.F. CLEAR SPACE OF 29" FLOOR TO APRON.  
EXPOSED PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL ACCESSORIES.

**NOTE:**  
INSTALL ALL HC GRAB BARS AND ACCESSORIES PER STATE AND LOCAL CODES - G.C. IS RESPONSIBLE FOR VERIFYING COMPLIANCE

PROJECT  
**SUBURBAN WHEELS**

1518 N. STOUGHTON RD  
MADISON, WI 53704

**DEVELOPER/OWNER**  
GASS & RIEGERT  
AUTO COMPLEX INC.  
4910 Meinders Rd  
Phone: 608.838.7170  
Fax: 608.838.2420

**CONTRACTOR**  
RIEGERT BUILDERS  
4910 Meinders Rd  
McFarland, WI 53590  
Phone: 608.838.7170  
Fax: 608.838.2420

ARCHITECT  
**SIEGERARCHITECTS**

1501 Monroe Street  
Madison, WI 53711  
Phone: 608.283.6100  
Fax: 608.283.6101

PROJECT #  
0503

JUNE 7, 2006

**PLAN COMMISSION SUBMITTAL  
CONDITIONAL USE PERMIT**

SHEET INDEX

- C1 SITE PLAN
- C2 LANDSCAPING PLAN
- C3 LIGHTING PLAN
- C4 SITE DETAILS
- C5 EROSION CONTROL DETAILS

- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 ROOF PLAN

- A4.1 NORTH / EAST ELEVATION
- A4.2 SOUTH / SOUTHWEST ELEVATION

GENERAL SITE NOTES	
1:	CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2:	ACCESSIBLE ROUTES FROM ACCESSIBLE PARKING AND PASSENGER LOADING ZONES TO ALL BUILDING ENTRANCES ALONG 5' CONCRETE SIDEWALK SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF ADAAG 4.3
3:	MAIN DRIVE AISLE TO BE FLUSH WITH TOP OF SIDEWALK AT HOTEL CURB SIDE DROP-OFFS FOR ACCESSIBILITY PURPOSES.
4:	ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. IN THE EVENT THAT ACCESS MUST BE CLOSED FOR SOME PERIOD OF TIME, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE AFFECTED PROPERTY OWNERS, LOCAL POLICE AND FIRE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO CLOSING ACCESS.
5:	IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL CONDITIONS AND NOTIFY ARCHITECT AND ENGINEER OF ANY CHANGES OR DISCREPANCIES FROM AVAILABLE INFORMATION
6:	IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DAMAGED SIDEWALK AND MAKE SURE THAT IT MEETS CITY STANDARDS. EXISTING SIDEWALK SHALL BE PROTECTED FROM EQUIPMENT FOR THE DURATION OF PROJECT CONSTRUCTION.
7:	ALL WORK WITHING THE RIGHT-OF-WAY SHALL BE ACCORDING TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2002, OR LATEST EDITION. PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS BEFORE THE START OF WORK IN THE RIGHT-OF-WAY OR UTILITY CONNECTIONS.

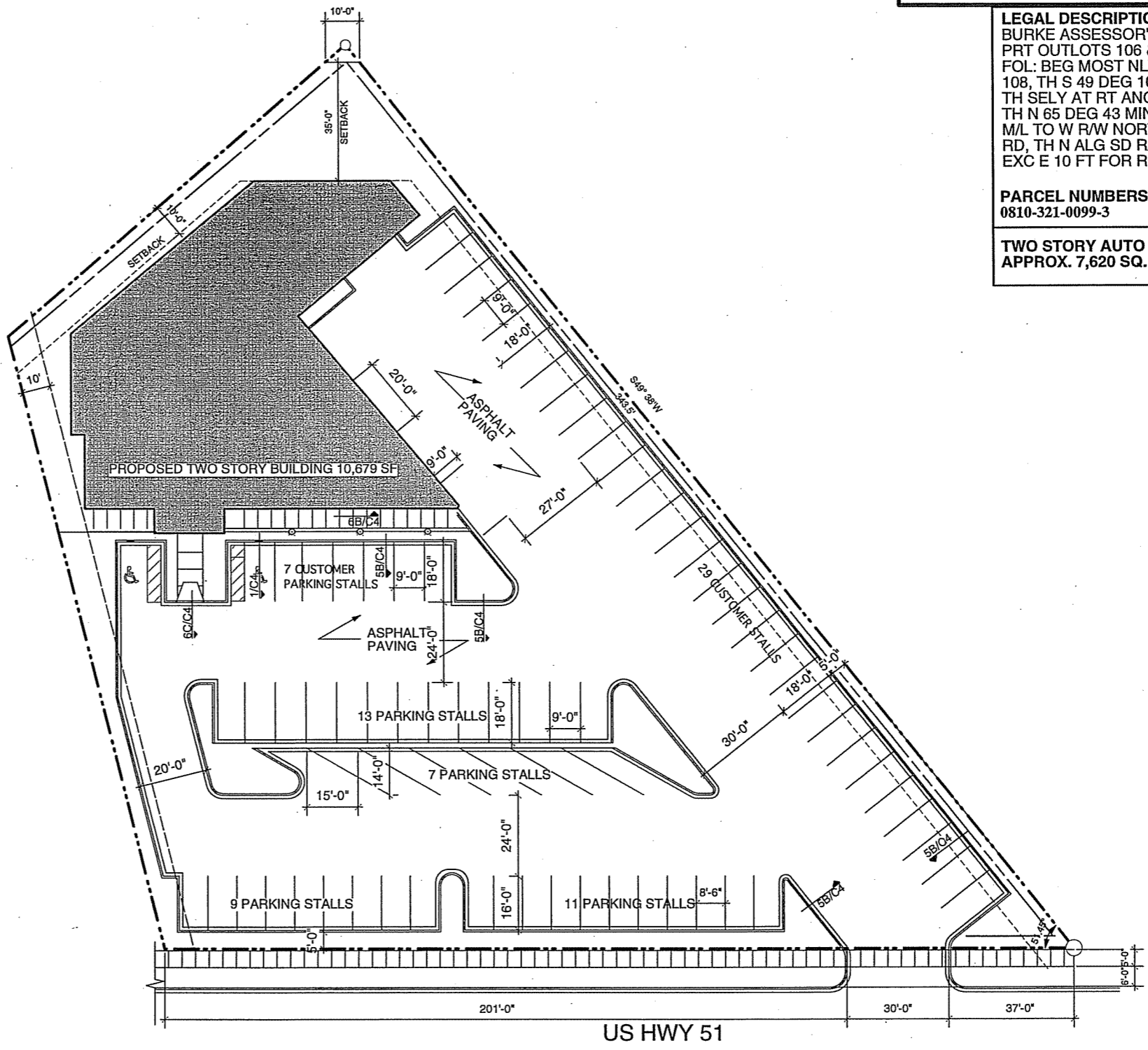
SITE INFORMATION	
SITE AREA:	47,076 sq. ft. (1.08 acres)
BUILDING FOOTPRINT:	TOTAL: 7,620 sq. ft. (.17 acres)
PARKING SPACES:	37 Customer/Employee Stalls, 1 Handicap Stall 42 Sales Stalls TOTAL: 80 Stalls

ZONING REQUIREMENT	PROPOSED
- 2 STALLS PER 1 REPAIR BAY	
- 1 STALL PER 2 REPAIR EMPLOYEES	
- 1 STALL PER 1 REPAIR MANAGER = 1	1 STALL
- 1 STALL PER 300sf OF GROSS FLOOR AREA = 10,679 sf / 300 = 36	36 STALLS
<b>TOTAL STALLS</b>	<b>81 STALLS</b>

**LEGAL DESCRIPTION:**  
 BURKE ASSESSOR'S PLAT NO. 1,  
 PRT OUTLOTS 106 & 108, DESC AS  
 FOL: BEG MOST NLY COR OUTLOT  
 108, TH S 49 DEG 10 MIN W 340 FT,  
 TH S ELY AT RT ANGLES 152 FT M/L,  
 TH N 65 DEG 43 MIN 54 SEC E 180 FT  
 M/L TO W R/W NORTH STOUGHTON  
 RD, TH N ALG SD R/W 261 FT TO POB,  
 EXC E 10 FT FOR ROAD

**PARCEL NUMBERS:**  
 0810-321-0099-3

**TWO STORY AUTO DEALERSHIP**  
 APPROX. 7,620 SQ. FT. FOOTPRINT



➔ **SITE PLAN**  
 SCALE: 1" = 20'

**PROFESSIONAL SEAL**

**SIEGER LLC**  
 ARCHITECTURE

1501 Monroe St. Madison, WI 53711  
 Phone: 608.283.6100 Fax: 608.283.6101

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PROJECT OWNER  
 GASS & RIGERT AUTO COMPLEX, INC.  
 4910 MEINDERS RD  
 MCFARLAND, WI 53558

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PROJECT NAME/LOCATION  
 SUBURBAN WHEELS  
 1518 N. STOUGHTON RD  
 MADISON, WI 53704

---

REVISIONS

DATE:	05.26.06
PROJECT#	0503

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SHEET #  
**C1**

**PLANT SCHEDULE**

Ref. 0001

MK	COMMON NAME	BOTANICAL	SIZE	QUAN
A	Thomless Honey Locust	Gleditsia triacanthos "Skyline"	2" B&B	3
B	Autumn Purple Ash	Fraxinus Americana	2" B&B	
C	Whitespire Bush	Betula populifolia Whitespire	1 1/2" B&B	
D	Canadian Tree Lilac	Syrina x prestoniae	1" - 5' HT.	
E	Royalty flowering Crab	Malus Royalty	1" - 5' HT.	
F	Eastern Redbud	Cercis canadensis	4' B&B	
G	Pyramidal Arborvitae	Thuja occidentalis Fatigata	5-gal. cont.	
H	Woodward Globe Arborvitae	Thuja occidentalis "Woodward"	5-gal. cont.	
I	Arrowwood Viburnum	Viburnum dentatrin	5-gal. cont.	
J	Tailhedge Buckthorn	Rhamnus frangula "columnaris"	3" pot	
K	Goldfinger	Potentilla fruticosa "Goldfinger"	18" pot	
L	Froebe Spirea	"Froebelii"	18" pot	
M	Japanese Barberry	Berberis thunbergii	1 gal.	
N	Hedge Cotoneaster	Cotoneaster lucidus	36" pot	
O	Blue Rug Juniper	Juniprus horizontalis	12" pot	
P	Hosta-Sagae	Fluctuans "Variegata"	1 gal.	
Q	Gro-Low Fragrant Sumac	Rhus Aromatica	1 gal.	
R	Austrian Pine	Pinus Nigra	6' BBI.	
S	Colorado Blue Spruce	Picea Pungens	6' BBI.	
T	Redmond Amer Linden	Tilia Americana "Redmond"	1 1/2" B&B	

- GENERAL NOTES**
- Mulch beds shall be washed stone mulch, 3" deep, 30" wide, or approved equal.
  - Mulch area shall be underlain with Landscape Fabric equal to DaWitt Pro 5'-28 mil. with edges to overlap 6" and 1 inch minimum on edging foundation of building. Provide at mulch bed areas black plastic edging.
  - Landscape Contractor shall space shrubs for growth in three years as appropriate.
  - Verify planter sizes at site with General Contractor.
  - Substitutions shall be verified with Architect and Owner for availability.
  - Verify removal of all existing trees with Owner/Architect prior to work.
  - Where quantities of one plant variety are called for, space plants equally within the area shown. The quantity number shown shall be supplied.
  - Single trees to be mulched with shredded bark 2" deep. Deciduous trees to have mulch circles 3' diameters. Evergreen trees to have mulch circles 1' beyond drip line.
  - Provide sod in area between building, parking, and sidewalks as shown on the plan. Provide seeded grass in all disturb areas around building and parking.

ALL NEW STREET TREES SPECIES PER MADISON REQUIREMT

**Planting Bed Schedule**

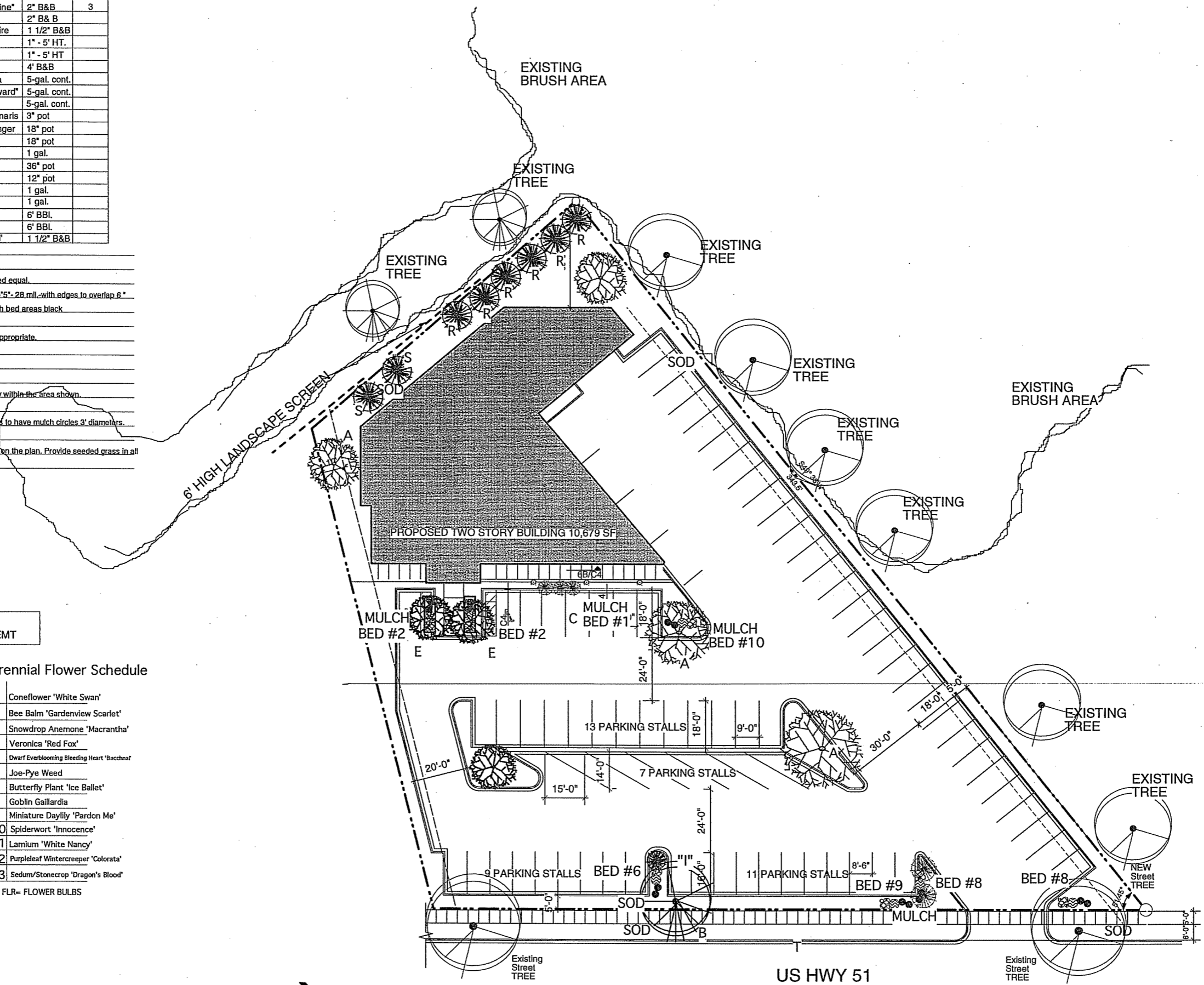
BED #1	4K-14"0"-12P-10FLR
BED #2	3K-10"0"-12P-20FLR
BED #3	4K-10"Q"-3N
BED #4	2M-6"Q"-2L
BED #5	8J-6"P"-6"G"-3L
BED #6	3"1"-6"Q"-2H
BED #7	5"1"-4"H"-10"Q"
BED #8	3"1"-10"Q"-5G
BED #9	2"1"-10"Q"
BED #10	5K-8"Q"-6H-7FLR
BED #11	10"Q"-16P-6M
BED #12	10"Q"-3"1"-10H-10FLR
BED #13	12"Q"-6H-3"1"-8N

FLR= FLOWER BULBS

**Native Perennial Flower Schedule**

Plant #1	Coneflower 'White Swan'
Plant #2	Bee Balm 'Gardenview Scarlet'
Plant #3	Snowdrop Anemone 'Macrantha'
Plant #4	Veronica 'Red Fox'
Plant #5	Dwarf Everblooming Bleeding Heart 'Bacneat'
Plant #6	Joe-Pye Weed
Plant #7	Butterfly Plant 'Ice Ballet'
Plant #8	Goblin Gaillardia
Plant #9	Miniature Daylily 'Pardon Me'
Plant #10	Spiderwort 'Innocence'
Plant #11	Lamium 'White Nancy'
Plant #12	Purpleleaf Wintercreeper 'Colorata'
Plant #13	Sedum/Stoncrop 'Dragon's Blood'

FLR= FLOWER BULBS



**LANDSCAPE PLAN**

SCALE: 1" = 20' - 0"

**SIEGER LLC ARCHITECTURE**  
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**SUBURBAN WHEELS**  
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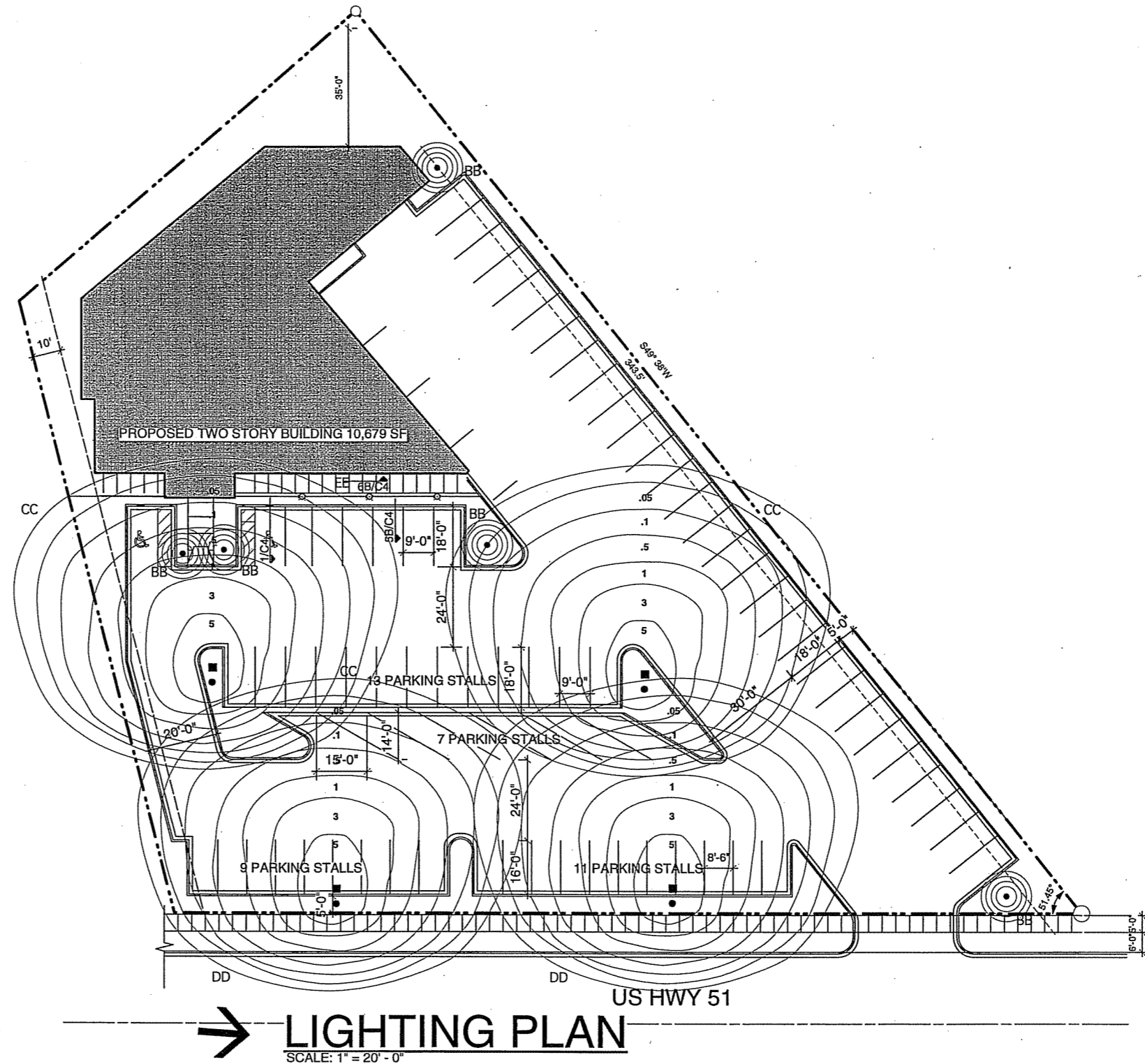
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 PROJECT#: 0603  
 SHEET # C2

**Lighting Notes:**

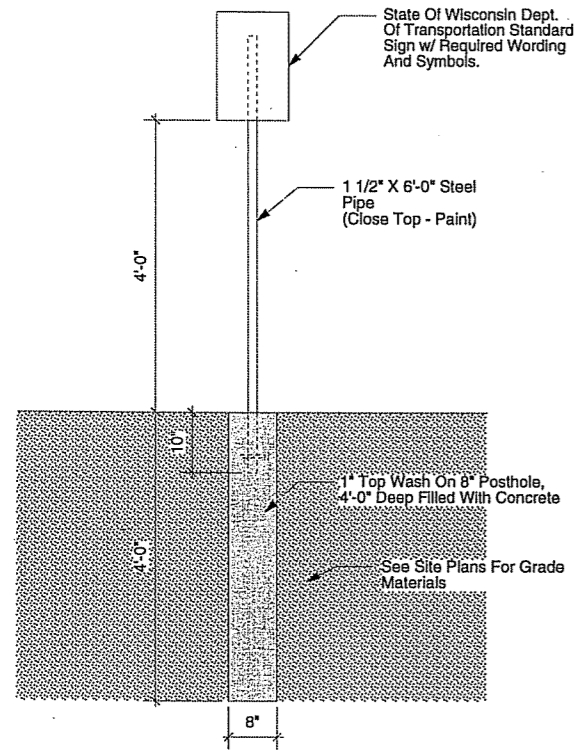
1. Pole lights (AA) see Detail 4/C2.1.
2. Bollard lights (BB) see Detail 3/C2.1.

**LIGHTING FIXTURE SCHEDULE**

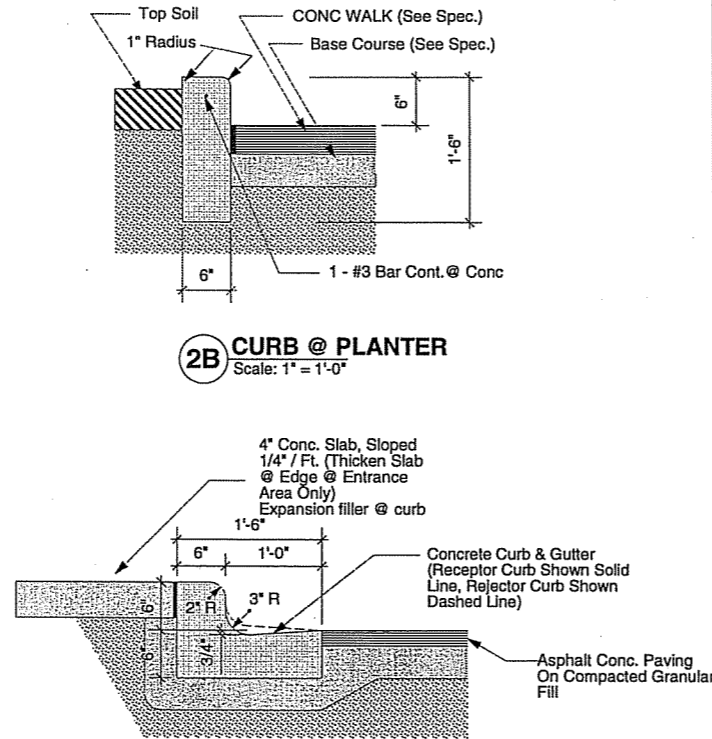
Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RUUD	#AC540-M	400W HPS	120	High Pressure Sod pkg area fixture.Mt on a 25' pole.
BB	RUUD	#HCF407-D	70W HPS	120	High Pressure Sodium bollard-walk lites
CC	RUUD	#MPN515-M	150W hps	120	Pole mounted at side of 25.pole 16' high direct at building
DD	STERNBERG-Prairie Style	0690 Homestead	100W HPS	120	High Pressure Sodium Decor globe Lites 12' pole



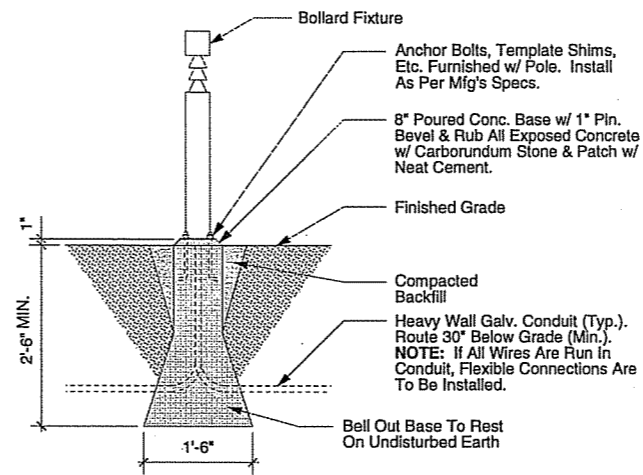
**LIGHTING PLAN**  
SCALE: 1" = 20' - 0"



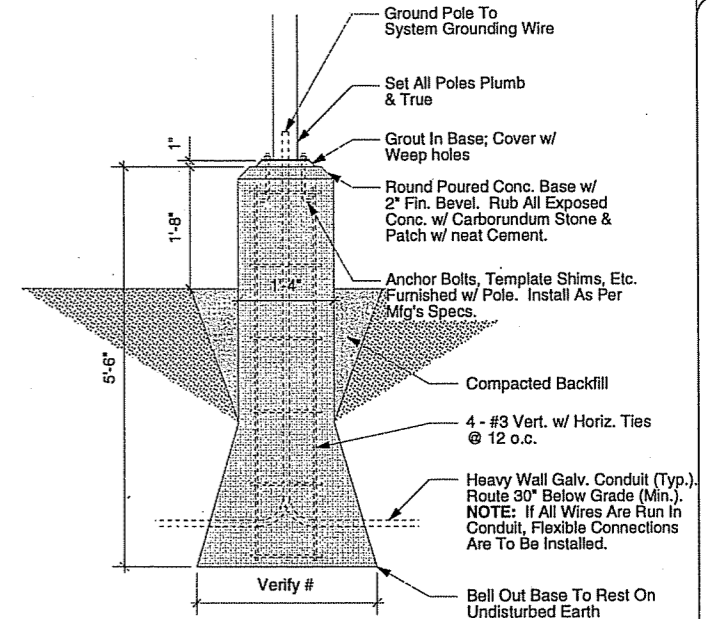
**1 HANDICAP PARKING SIGN**  
Scale: 3/4" = 1'-0"



**2 CURB AND GUTTER DETAIL @ walk**  
Scale: 1" = 1'-0"

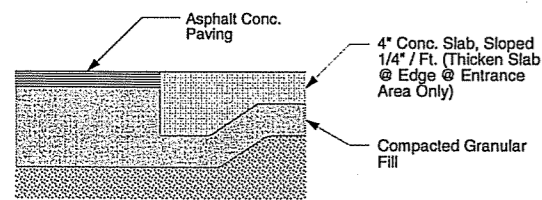


**3 BOLLARD BASE**  
Scale: 3/4" = 1'-0"

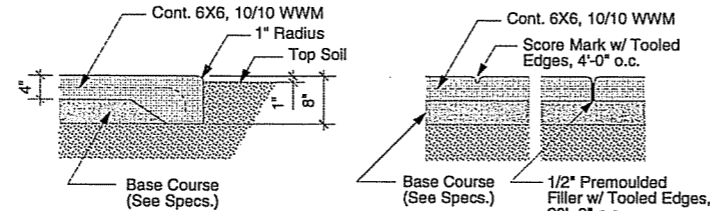


# As Required By Local Soil Conditions And Code Requirements.

**4 LIGHT POLE BASE**  
Scale: 3/4" = 1'-0"

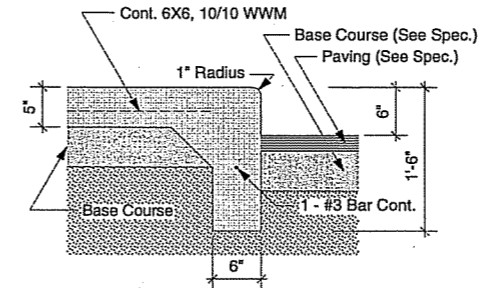


**5A CONCRETE WALK EDGE DETAIL**  
Scale: 1" = 1'-0"

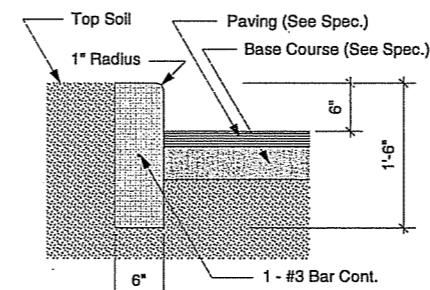


**6A WALK & LAWN**  
Scale: 3/4" = 1'-0"

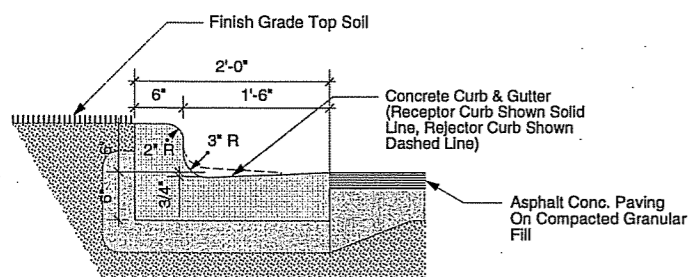
**6B WALK JOINT**  
Scale: 3/4" = 1'-0"



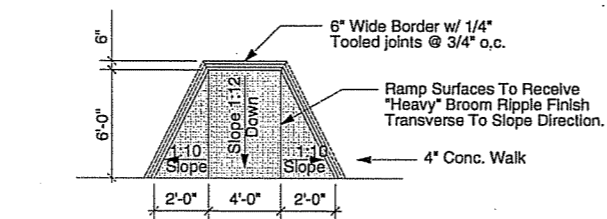
**7A WALK & CURB**  
Scale: 1" = 1'-0"



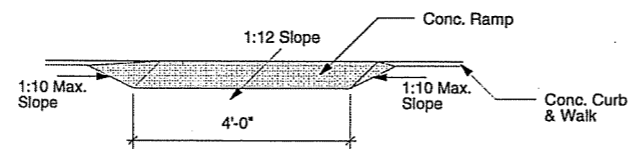
**7B CURB**  
Scale: 1" = 1'-0"



**5B CURB AND GUTTER DETAIL**  
Scale: 1" = 1'-0"



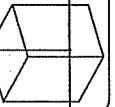
**6C HANDICAPPED RAMP**  
No Scale



**6D HANDICAPPED RAMP**  
No Scale

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**SIEGER LLC**  
ARCHITECTURE



PROJECT OWNER  
Gass & Riegert Auto Complex, Inc.  
4910 Meinders Road  
McFarland, WI 53558

PROJECT NAME/LOCATION  
SUBURBAN WHEELS  
1518 N. STOUGHTON RD  
Madison, WI 53704

REVISIONS

DATE  
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0503

SHEET #

**C4**



## 1. FILTER FABRIC FENCES

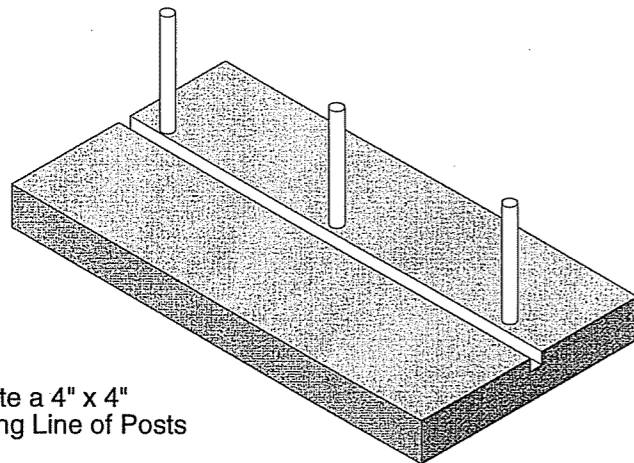
### DEFINITION

- A. A temporary sediment barrier consisting of a geotextile filter fabric stretched across and attached to supporting posts and entrenched.

### DESIGN CRITERIA AND REQUIREMENTS

- B. Timing - Filter fabric fences shall be installed prior to disturbing the upslope area.
- C. Removal - Filter fabric fences shall remain in-place and be maintained until the disturbed upslope area is stabilized by permanent best management practices.
- D. Placement - Filter fabric fences shall be placed on the contour per plan to the extent practicable. Filter fences may not be placed perpendicular to the contour on slopes of greater than 2%. Parallel fences may be used. The parallel spacing may not exceed the slope lengths for the appropriate slope specified above. The ends of the fence should be turned upslope 1 to 2 feet in elevation to prevent flanking.
- E. Height - Filter fabric fences may not exceed 24 inches in height (not including the anchored material).
- F. Support

1. Field constructed: The full height of the filter fabric fence shall be supported by 2" x 2" wooden posts or equivalent. The posts shall be driven at least 8 inches into the ground. The maximum spacing of the posts shall be 3 feet. The filter fabric shall be stapled using at least 0.5 inch staples to the upslope side of the posts.
2. Factory pre-assembled with support netting: The full height of the filter fabric fence shall be supported by 2" x 2" kiln dried hardwood posts or equivalent. The posts shall be driven at least 8 inches into the ground. The maximum spacing of the posts shall be 8 feet.



1 Set Posts and Excavate a 4" x 4" Trench Upslope Along Line of Posts

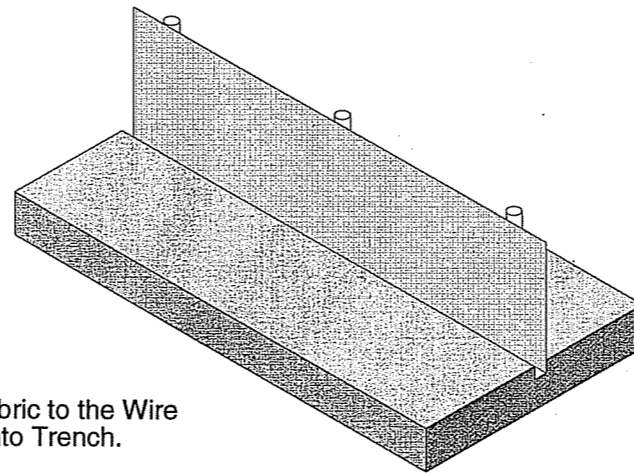
3. Anchoring - The filter fabric shall be anchored by spreading at least 8 inches of the fabric in a 4" x 4" trench or a 4" deep V-trench on the upslope side of the fence as shown in Figures 1 and 2. The trench shall be backfilled and compacted.

- G. Fabric Specifications - The filter fabric shall meet the following specifications:

1. Grab strength: 100lb. minimum in any principal direction (ASTM D - 1682).
2. Mullen Burst: Minimum 200 psi (ASTM D- 3786).
3. Equivalent opening size: Between 50 and 140 for soils with more than 15 percent by weight passing a No. 200 sieve.
4. Water flow rate of 10 gal/min/ft<sup>2</sup> at 50 MM constant head as determined by multiplying permittivity in sec-1 as determined by ASTM D - 4491 by a conversion factor of 74.
5. Ultra violet radiation stability of 90%.
6. Fabric with support netting shall be reinforced with an industrial polypropylene netting with a 3/4 inch spacing or equivalent. A heavy duty nylon top support cord or equivalent is required.

### MAINTENANCE

- H. Fabric filter fences shall be inspected within 24 hours after each rainfall or daily during periods of prolonged rainfall. Repair or replacement shall be made immediately.
- I. Sediment deposits should be removed after each storm event. Sediment deposits shall be removed when deposits reach one half the height of the fence.



2. Attach Filter Fabric to the Wire and Extend into Trench.

## 2. TEMPORARY GRAVELED ACCESS ROADS

### DEFINITION

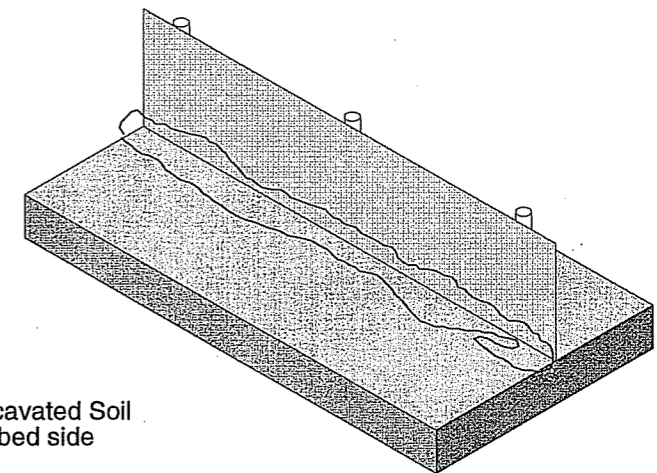
- A. A gravel stabilizing pad located at points of vehicular access and parking on the construction site.

### DESIGN CRITERIA AND REQUIREMENTS

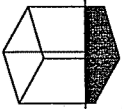
- B. Timing - The graveled access shall be installed as soon as practicable after the start of site disturbance.
- C. Removal - The graveled access shall remain in place and be maintained until the disturbed area is stabilized by permanent best management practices.
- D. Location - The graveled access shall be located to provide maximum use by all construction vehicles.
- E. Dimensions - The graveled access shall consist of at least 6 inches of 2 to 3 inch aggregate; 50 feet in length and 20' in width per plan.

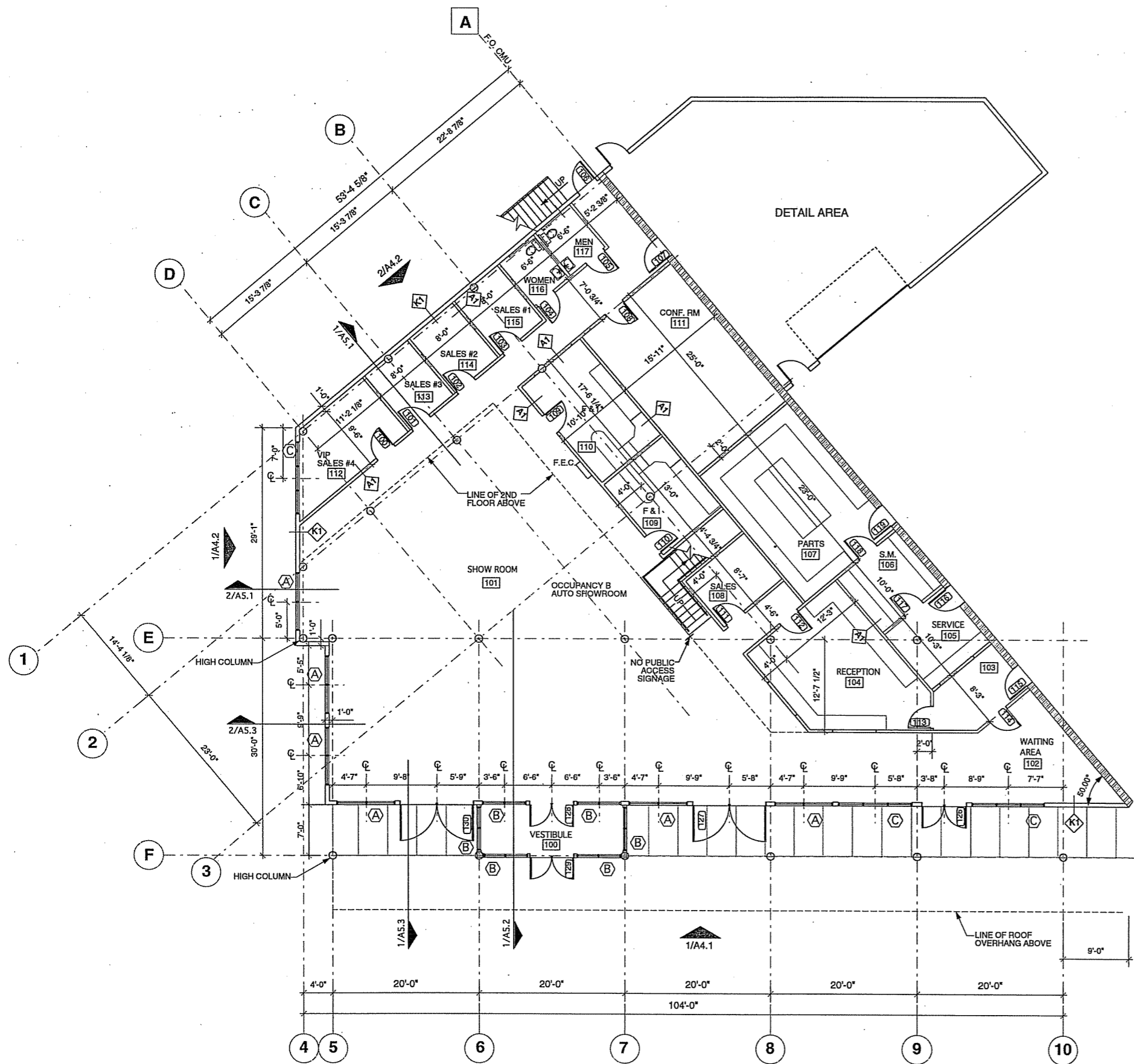
### MAINTENANCE

- A. The graveled access shall be inspected daily. Areas not meeting the design criteria and requirements shall be repaired or replaced immediately.



3. Backfill & Compact Excavated Soil against fence on disturbed side





**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

\*NOTE: Drawings are 50% scale for 11x17 print sets.

- GENERAL NOTES**
- 1: CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - 2: CONTRACTOR SHALL COORDINATE ALL PORTIONS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.
  - 3: CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ANY WALLS, FLOORS, CEILINGS AND/OR OTHER SURFACES WHICH MAY BE DISTURBED DURING THE INSTALLATION OF MECHANICAL, ELECTRICAL, SPRINKLER, OR OWNER PROVIDED WORK.
  - 4: DO NOT SCALE DOCUMENTS- HARD LINE DIMENSIONS SHALL SUPERCEDE MEASURED SCALE.
  - 5: REFER TO ELEVATIONS AND FOOTING PLAN FOR LOCATION OF EXTERIOR CLADDING.
  - 6: ALL INTERIOR FINISHES AND FURNISHINGS TO BE COORDINATED WITH OWNER.
  - 7: PROVIDE CORNERGUARDS AT ALL OUTSIDE WALL CORNERS. RE: 6/A7.2

**SIEGER LLC**  
ARCHITECTURE

1501 Monroe St. Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101

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PROJECT OWNER:  
GASS & RIEGERT AUTO COMPLEX, INC.  
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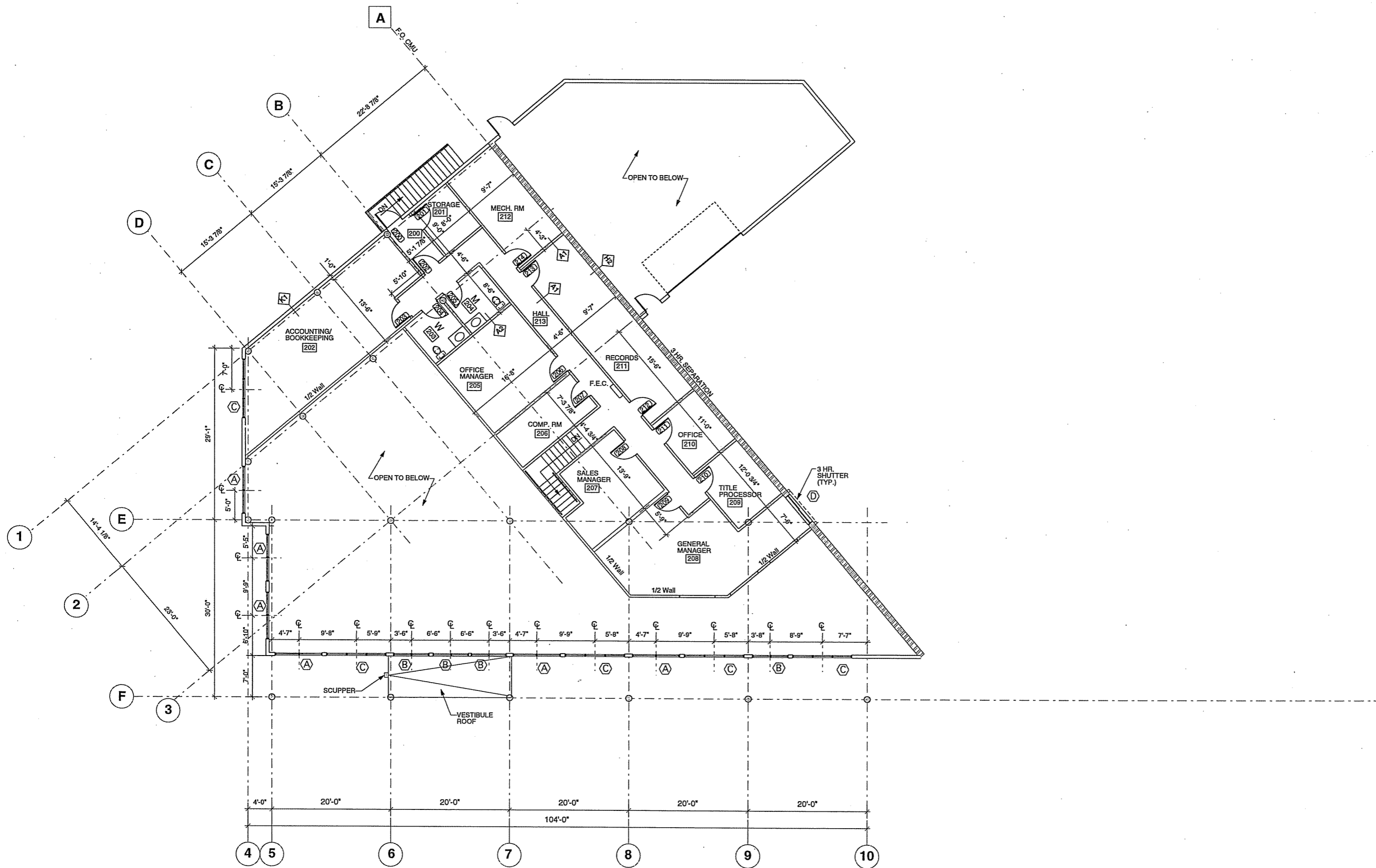
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PROJECT NAME & LOCATION:  
SUBURBAN WHEELS  
1518 N. STOUGHTON RD  
MADISON, WI 53704

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DATE: 5.26.06  
PROJECT#: 0503  
SHEET #

**A1.1**



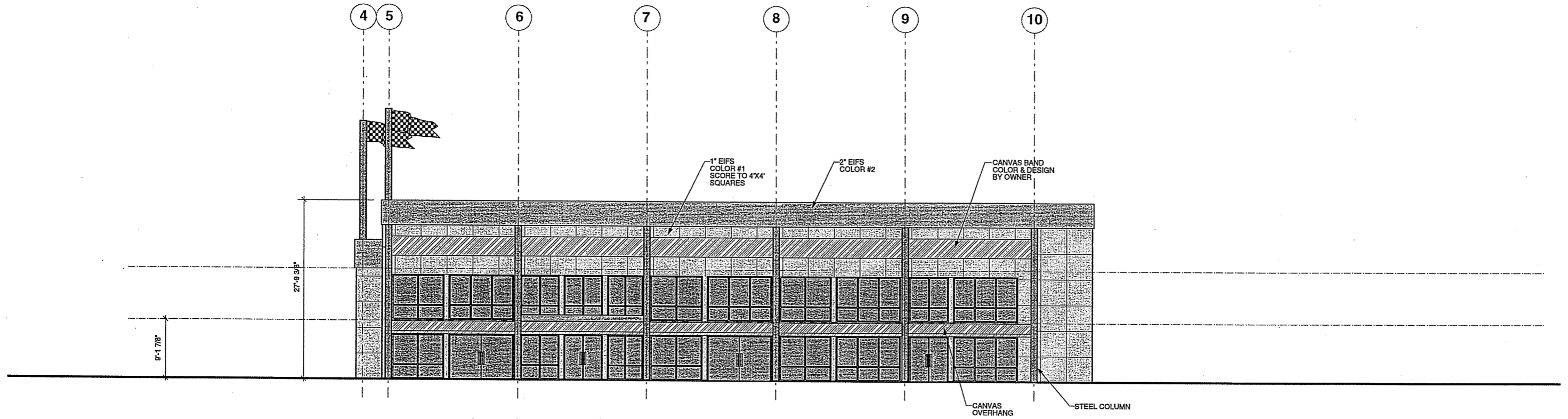
**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1' - 0"

\*NOTE: Drawings are 50% scale for 11x17 print sets.

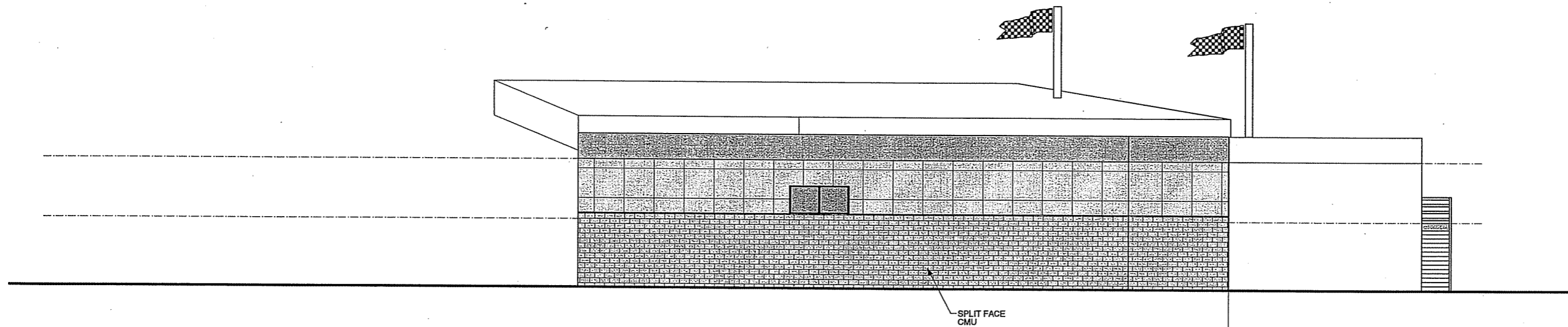
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**1 EAST ELEVATION**  
SCALE: 1/8" = 1' - 0"

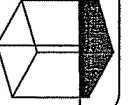


**2 NORTH ELEVATION**  
SCALE: 1/8" = 1' - 0"

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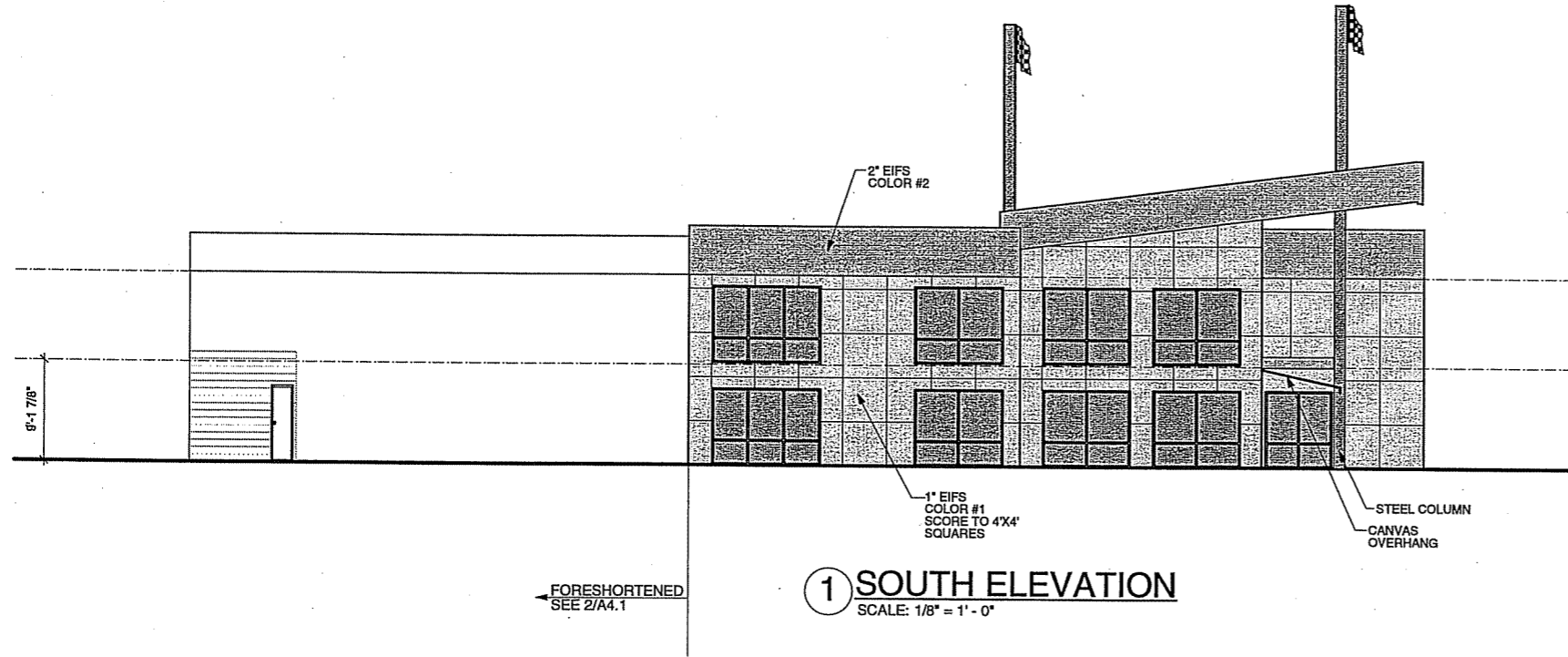
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SUBURBAN WHEELS  
1518 N. STOUTHTON RD  
MADISON, WI 53711

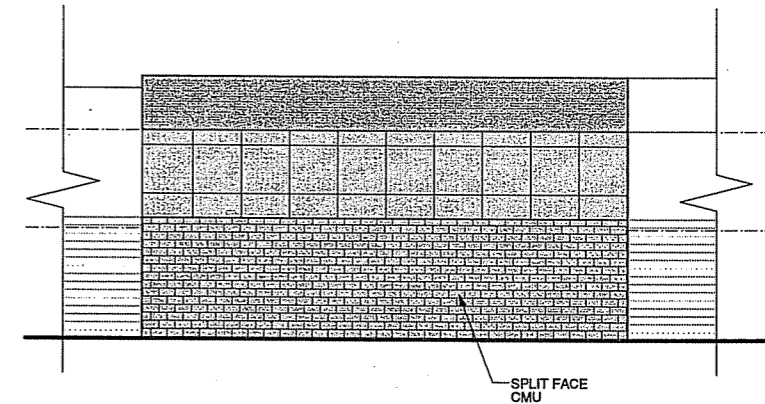
REVISIONS

DATE: 05.26.06  
PROJECT#: 0503

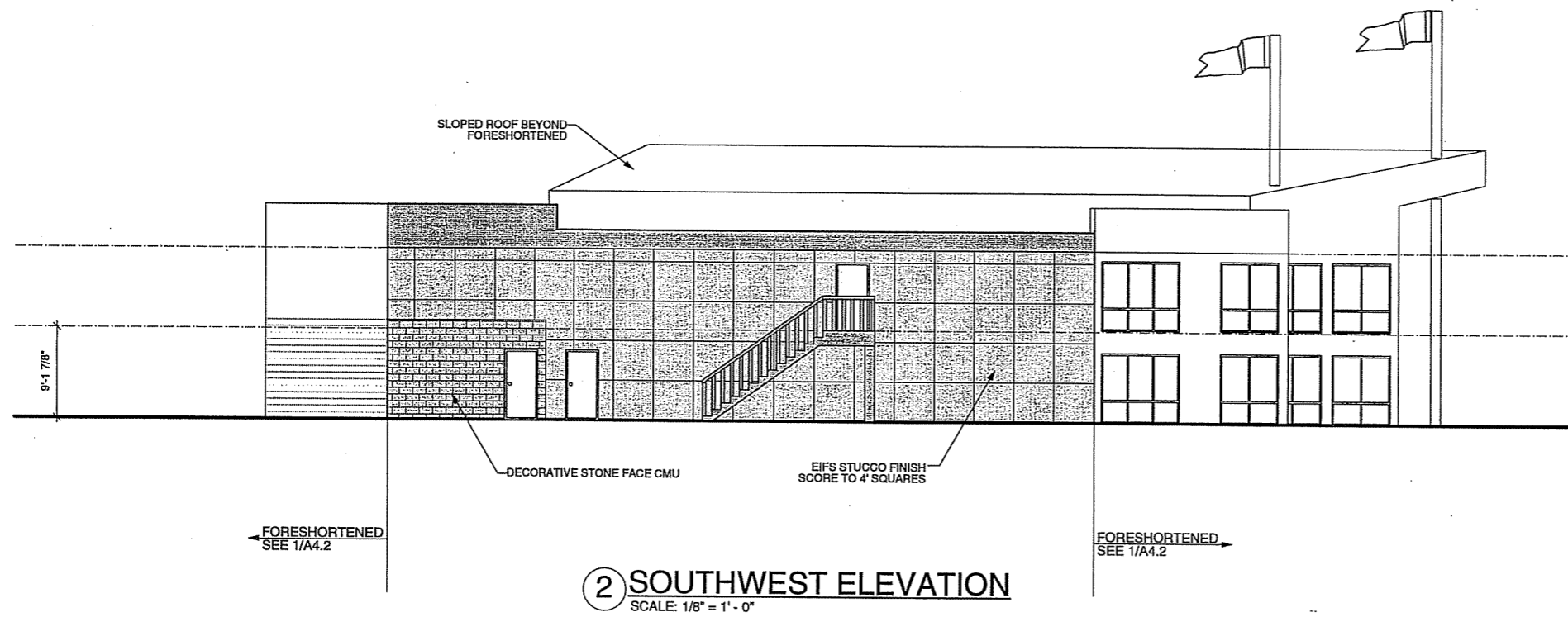
SHEET #  
**A4.1**



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1' - 0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1' - 0"



**2 SOUTHWEST ELEVATION**  
SCALE: 1/8" = 1' - 0"

\*NOTE: Drawings are 50% scale for 11x17 print sets.

1501 Monroe St. Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101



PROJECT OWNER  
GASS & RIEGERT AUTO COMPLEX INC.  
4910 MEINDERS ROAD  
MCFARLAND, WI 53558

PROJECT NAME/LOCATION  
SUBURBAN WHEELS  
1518 N. STOUTON RD  
MADISON, WI 53711

REVISIONS

DATE: 05.26.06  
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SHEET #  
**A4.2**