

LAKE MENDOTA

DESCRIPTION OF RECORD

ALL THAT PART OF LOT THREE (3) OF SECTION TWELVE (12), IN TOWNSHIP SEVEN (7) NORTH, RANGE NINE (9) EAST, SITUATED IN THE CITY OF MADISON, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON STAKE 1,125.8 FEET WEST OF THE EAST 1/4 CORNER OF SAID SECTION TWELVE (12) AT THE INTERSECTION OF THE NORTHWEST LINE OF THE WESTPORT ROAD, NOW KNOWN AS SHERMAN AVENUE, AND THE NORTH LINE OF SAID LOT THREE (3); THENCE SOUTH 18° 41' WEST ALONG SAID NORTHWEST LINE OF SAID SHERMAN AVENUE 480.5 FEET TO THE NORTHEASTLY CORNER OF LAND NOW BELONGING TO JOSEPHINE O. BROWN; THENCE NORTH 40° 47' WEST ALONG THE NORTHERLY BOUNDARY LINE OF SAID BROWN LAND TO LOW WATER LINE OF LAKE MENDOTA; THENCE NORTHERLY ALONG SAID LOW WATER LINE 40 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE TO THE NORTHWEST LINE OF SAID SHERMAN AVENUE CROSSING SAID NORTHWEST LINE OF SHERMAN AVENUE AT A POINT 60 FEET NORTHERLY FROM THE NORTHEASTLY CORNER OF SAID BROWN LAND; THENCE SOUTHERLY ALONG SAID LINE OF SHERMAN AVENUE 60 FEET TO THE NORTHEASTLY CORNER OF SAID BROWN LAND; BEING A PARCEL OF LAND WITH A FRONTAGE OF 60 FEET ON SHERMAN AVENUE AND 40 FEET ON LAKE MENDOTA.

SURVEYOR'S CERTIFICATE:

I, Daniel V. Birrenkott, hereby certify that this survey is in compliance of Wisconsin Administrative Code; I also certify that I have surveyed and mapped the lands described herein and that the map is a correct representation in accordance with the information provided.

Daniel V. Birrenkott
Wisconsin Registered Land Surveyor No. S-1531.

DATED: 1-22-2004

Maps that do not show a seal legend in RED ink may contain unauthorized alterations to the original information and should be disregarded unless written by the Registered Land Surveyor whose signature appears above.

The Surveyor accepts no responsibility for non-original copies of this document.



LAKE MENDOTA

NORMAL HIGH WATER MARK
ELEVATION = 650.70'

TENNY PARK LOCKS
BOAT HOUSE
ON WATER EDGE

PLAT OF SURVEY

MARCH 4, 2004

N. SHERMAN AVENUE

Notes:

"The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes."
"Wellheads if present have not been delineated."
"This survey is subject to any and all easements and agreements both recorded and unrecorded."

SCALE 1" = 30'

LEGEND

- FOUND IRON STAKE
- PLACED 1"X24" IRON PIPE, 1.13 LBS./FT. MIN. WGT.
- PLACED CROSS IN CONCRETE
- () PREVIOUSLY RECORDED DATA

BIRRENKOTT SURVEYING INC.
LAND SURVEYING & PERC TESTING

P.O. BOX 237
1877 N. BRISTOL ST.

SUN PRUNE, WIS. 53590

(608) 637-7483
FAX (608) 637-1901

SURVEYED BY: MK
DRAWN BY: MK
CHECKED BY: RLM
APPROVED BY: D.V.B.

PREPARED FOR:
BORDER PATROL
22 N. CARROL ST., SUITE 340
MADISON, WI 53703
(608) 204-6155

JOB NO.
040201
SHEET 1 of 1
FB 250/1-3

WALL BRACING NOTES

- WSP - 1/2" WOOD STRUCTURAL PANEL
- GYP - GYPSUM BOARD PANEL
- SSW - SIMPSON STRONG WALL

- 1/2" OSB CONTINUOUS WALL SHEATHING - WALL BRACE METHOD #4 NAILING BY SMOOTH OR COMMON OR G2 DEFORMED NAILS, 6" O/C ON ALL EDGES & 12" O/C INTERMEDIATE.
- PROVIDE BLOCKING OR JOIST BELOW ALL BRACED WALL PANELS FOR PROPER FASTENING OF WALL PLATE. WALL PLATE TO BE FASTENED TO BLOCKING OR JOIST W/16d NAILS, 12" O/C.
- ALL VERTICAL JOINTS OF BRACED WALL PANELS SHALL OCCUR OVER COMMON STUD. HORIZONTAL JOINTS SHALL BE BACKED W/1/2" THICK BLOCKING.
- EXTERIOR CORNER FRAMING W/MIN. 2x6" WIDE OSB PANEL PER FIG. 21.255 OR A 200# TIE DOWN DEVICE.
- 1/2" & 5/8" GYPSUM BOARD - METHOD #4 4x8 & 4x9 BOARDS TO BE APPLIED VERTICALLY. FASTENERS 4" O/C ON ALL EDGES & 8" O/C INTERMEDIATE.

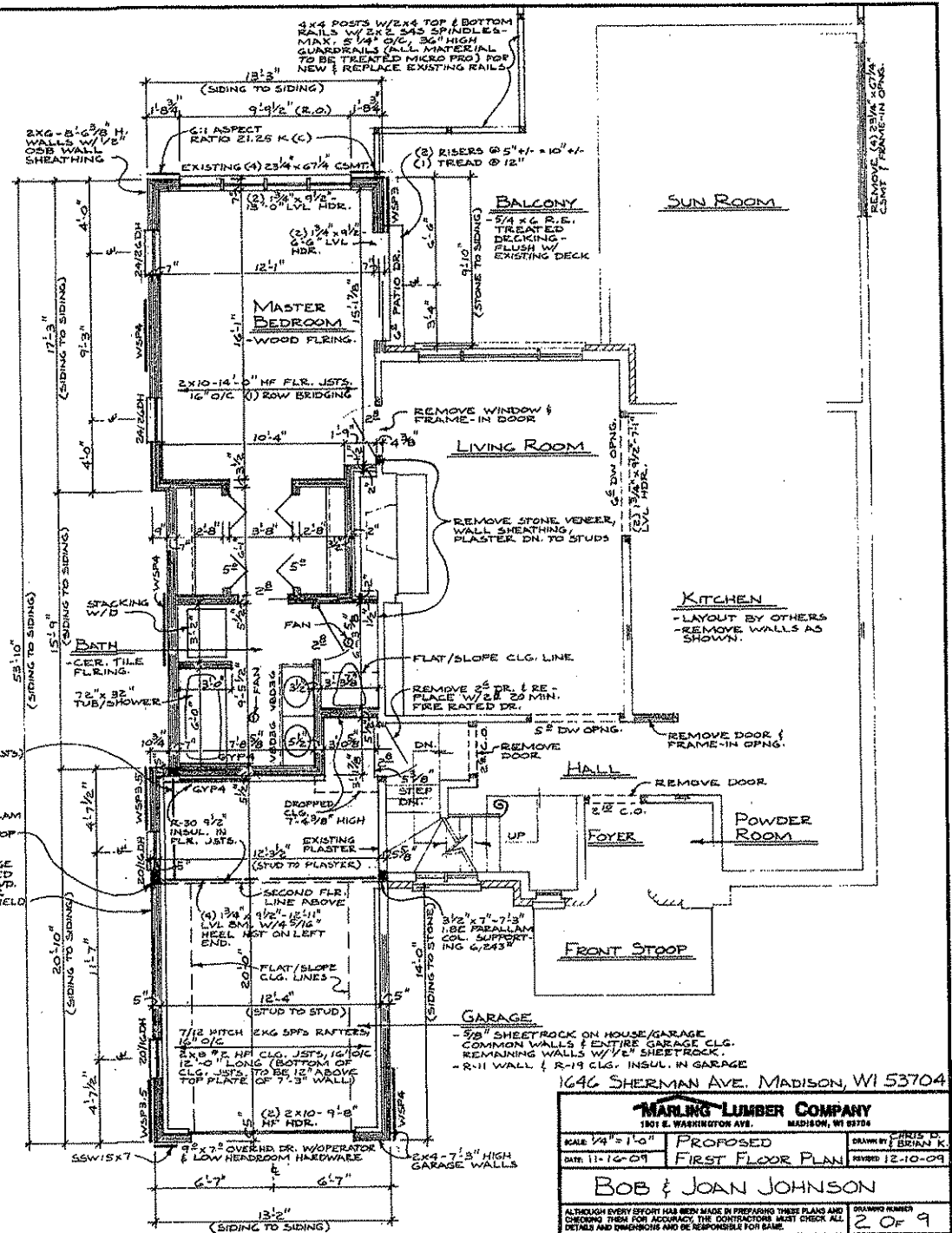
(2) 2x10 - 6'6" HF FLUSH BM. (FLUSH W/2x10 FLE. JSTB.)

3 1/2" x 7 1/2" - 7'3" I.B.E. PARALLAM COL. - SUPPORTING G/SSP BOTTOM OF BM. FLUSH W/TOP OF 7'3" WALLS.

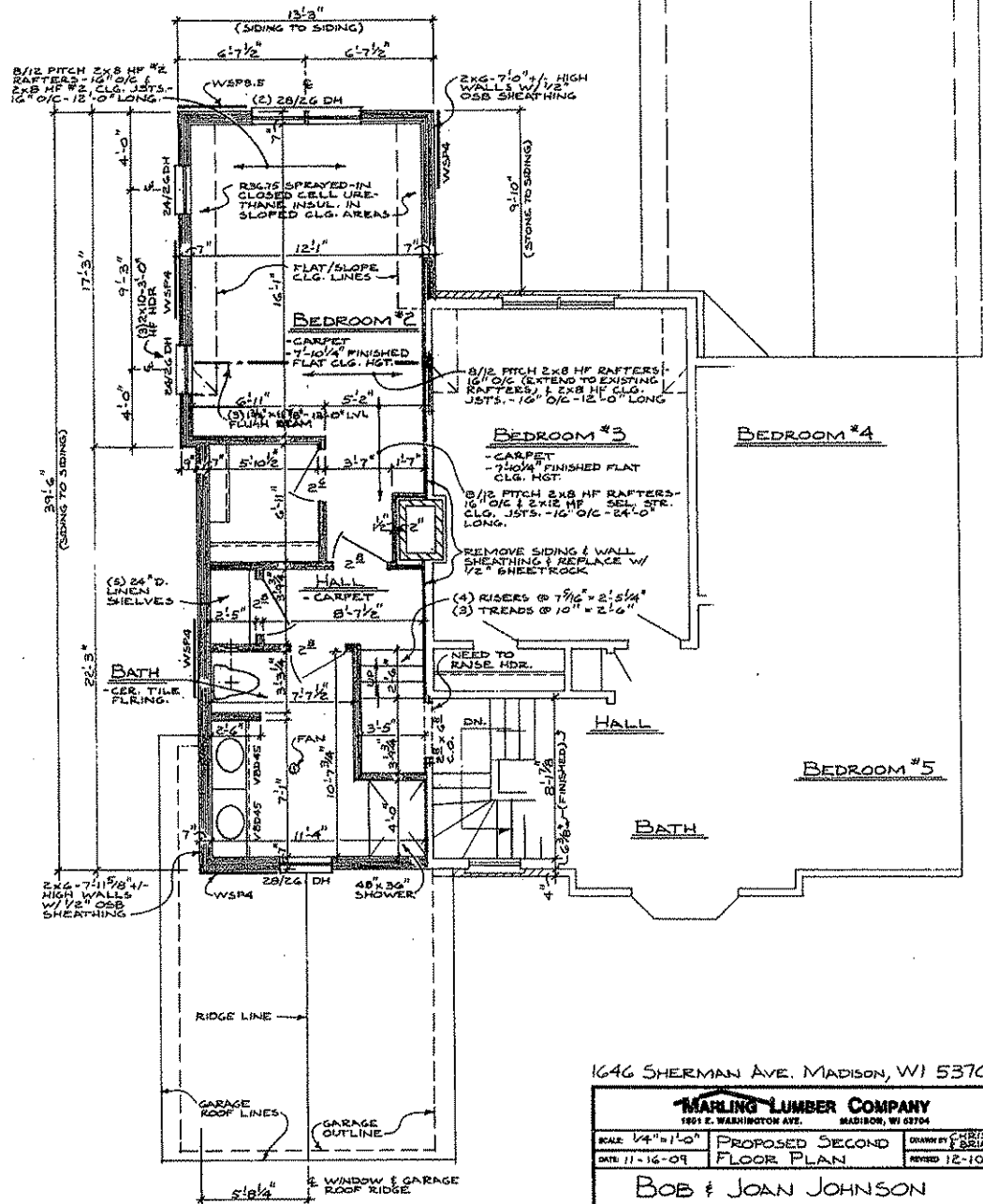
BOTTOM 2'0" OF GARAGE WALLS TO BE SHEATHED W/1/2" TREATED PLYWD. & W/3/8" WIDE WINTER GUARD ICE & WATER SHIELD

NOTES

- EXISTING FRAME WALLS
- NEW OR REMODELED FRAME WALLS
- EXISTING STONE VENEER
- ALL EXTERIOR DIMENSIONS ARE AS NOTED ALTHOUGH INTERIOR DIMENSIONS ARE STUD TO STUD.
- ALL HEADERS IN LOAD BEARING WALLS NOT NOTED TO BE (2) 2x10 HF 32 & BETTER
- BOTTOM OF ALL WINDOW HEADERS TO MATCH EXISTING
- ALL LVL BEAMS SHOWN ARE GFLAM 2.0E, 2950 FB MANUFACTURED BY GEORGIA PACIFIC CORP.
- 2x6 WALL W/POCKET DOOR - USE FLAT 2x4 STUDS TO CREATE DOOR POCKET.
- GUARDRAILS SHALL BE CONSTRUCTED TO PREVENT THE THROUGH PASSAGE OF A SPHERE W/A DIAMETER OF 4" OR LARGER & SHALL BE DESIGNED TO WITHSTAND A 200 LB. LOAD APPLIED IN ANY DIRECTION.



- NEW EXTERIOR HOUSE WALLS
 - 1" SIDING
 - 1/2" OSB WALL SHEATHING
 - 5/8" 2 X 6 SPFS STUDS
 - 1/2" SHEETROCK
 - 7/8" THICK WALLS
- NEW EXTERIOR GARAGE WALLS
 - 1" SIDING
 - 1/2" OSB WALL SHEATHING
 - 3/8" 2 X 4 SPFS STUDS
 - 1/2" SHEETROCK
 - 5/8" THICK WALLS
- NEW HOUSE/GARAGE WALLS
 - 1/2" SHEETROCK (HOUSE SIDE)
 - 5/8" 2 X 6 SPFS STUDS
 - 5/8" F.S. SHEETROCK (GARAGE SIDE)
 - 6/8" THICK WALLS
- FRAMING DESIGN LOADS
 - RAFTERS
 - 30"/SF LIVE LOAD
 - 22"/SF DEAD LOAD
 - L/360 DEF.
 - D.O.L. 1:15
 - 2 X 8 HF #2 & BETTER -16" O/C
 - W/MAX. SPAN 13'-1"
 - 2 X 6 SPFS #2 & BETTER -16" O/C
 - W/MAX. SPAN 9'-6"
 - CEILING JOISTS
 - 20"/SF LIVE LOAD
 - 15"/SF DEAD LOAD
 - L/360 DEF.
 - D.O.L. 1:2
 - 2 X 8 HF #2 & BETTER -16" O/C
 - W/MAX. SPAN 14'-10"
 - 2 X 12 HF SEL. STR. -16" O/C
 - W/MAX. SPAN 24'-1"
 - FLOOR JOISTS
 - 40"/SF LIVE LOAD
 - 18"/SF DEAD LOAD
 - L/480 DEF.
 - D.O.L. 1:2
 - 2 X 10 HF #2 & BETTER -16" O/C
 - W/MAX. SPAN 13'-11"



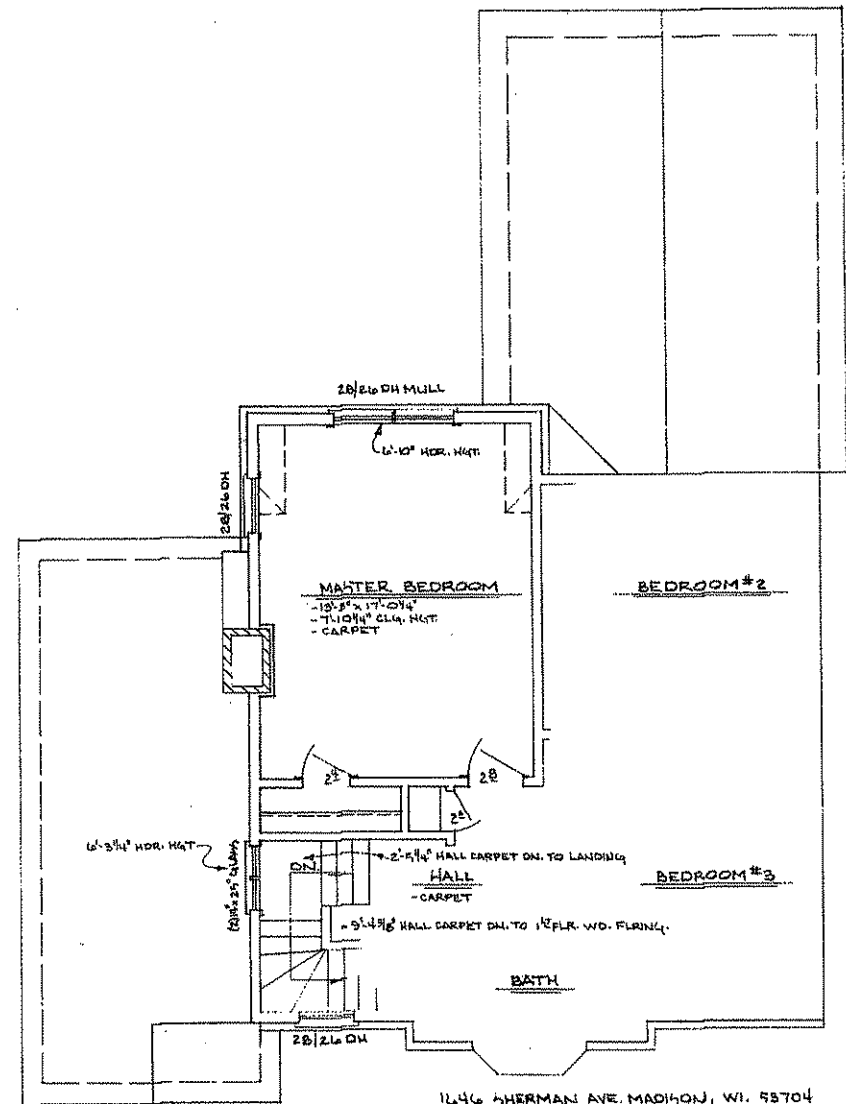
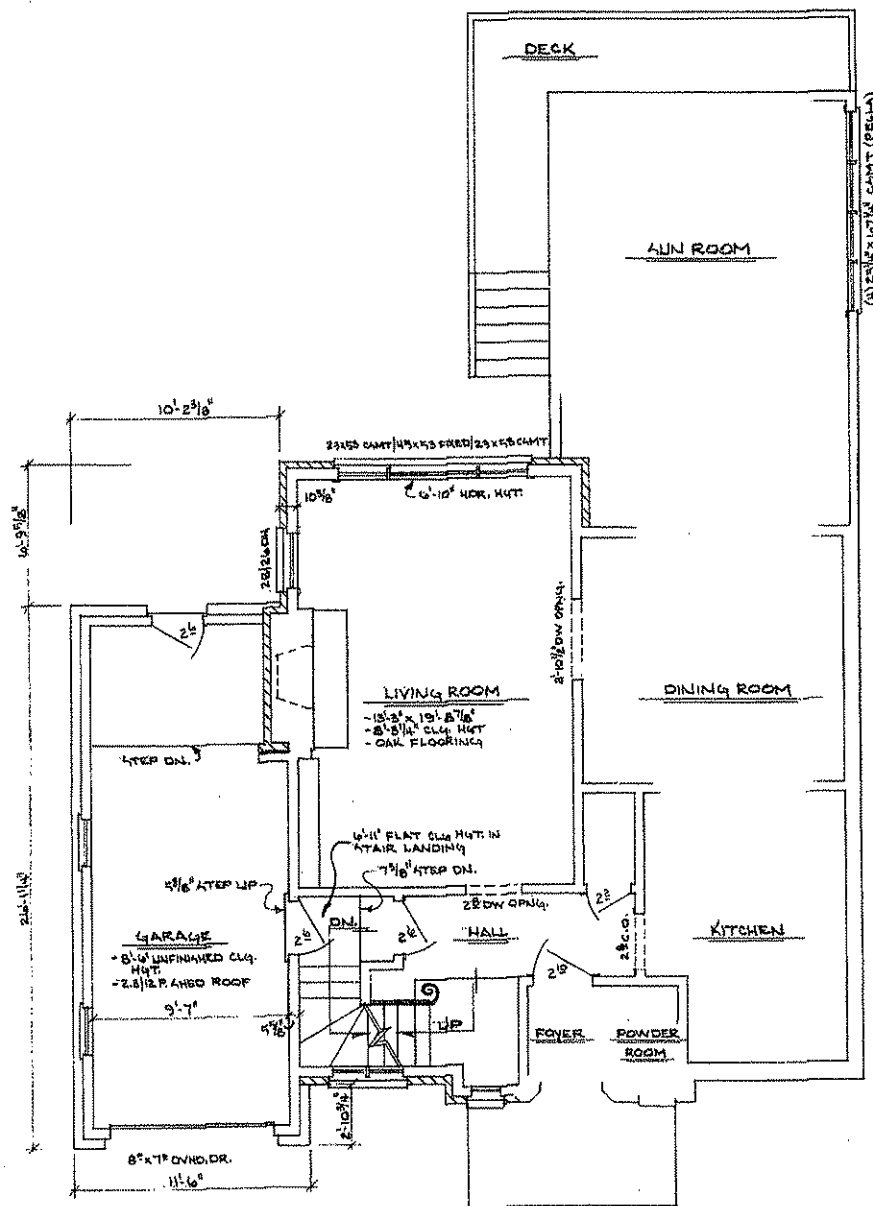
1646 SHERMAN AVE. MADISON, WI 53704

MARLING LUMBER COMPANY
1801 E. WASHINGTON AVE. MADISON, WI 53704

SCALE: 1/4" = 1'-0"	PROPOSED SECOND FLOOR PLAN	DRAWN BY: CHRIS D. BRIAN K.
DATE: 11-16-09		REVISED: 12-10-09

BOB & JOAN JOHNSON

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.



1246 HERMAN AVE. MADISON, WI. 53704

MARLING LUMBER COMPANY
1801 E. WASHINGTON AVE. MADISON, WI 53704

SCALE AS NOTED	EXISTING FLOOR PLANS	DRAWN BY CHRIS D.
DATE: 11-16-09		REVISED

BOB & JOAN JOHNSON

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.

DRAWING NUMBER
4 OF 9

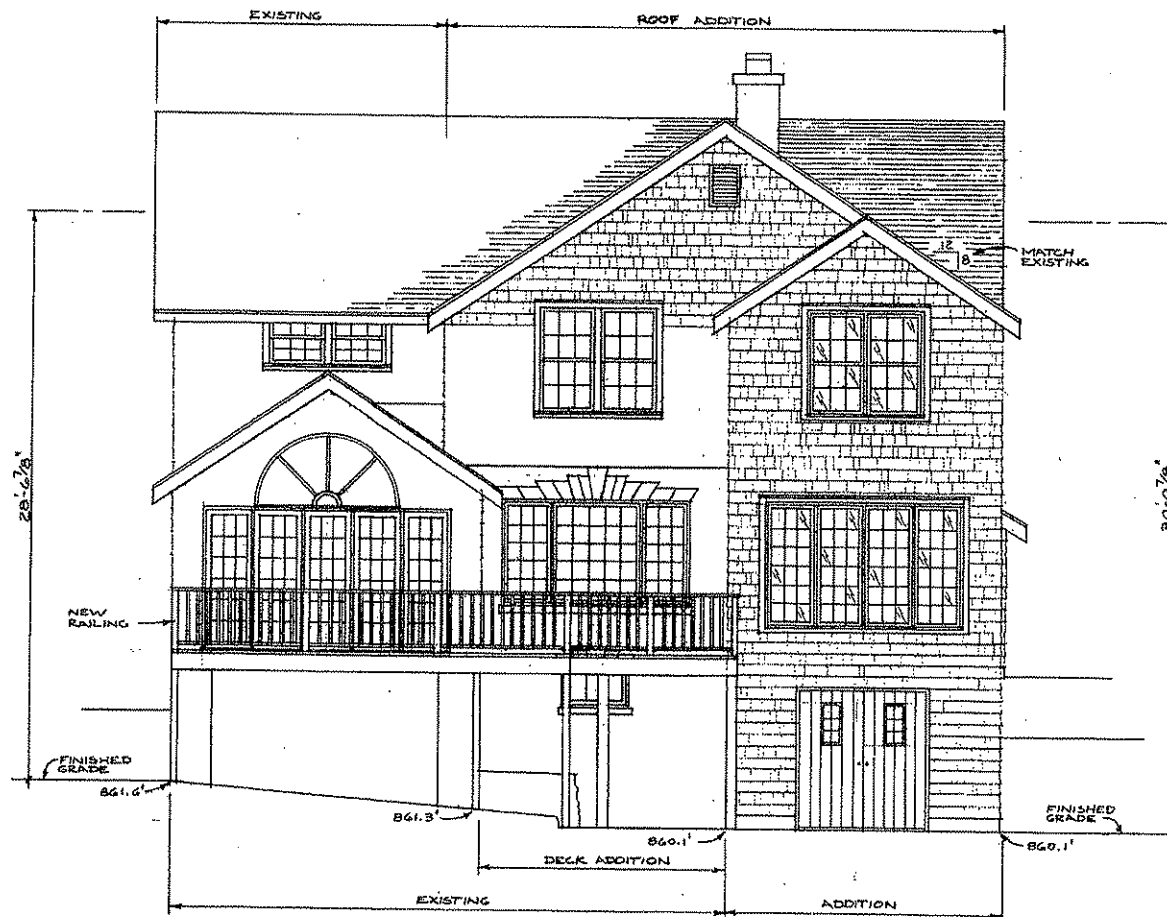
4 OF 9



1646 SHERMAN AVE. MADISON, WI 53704

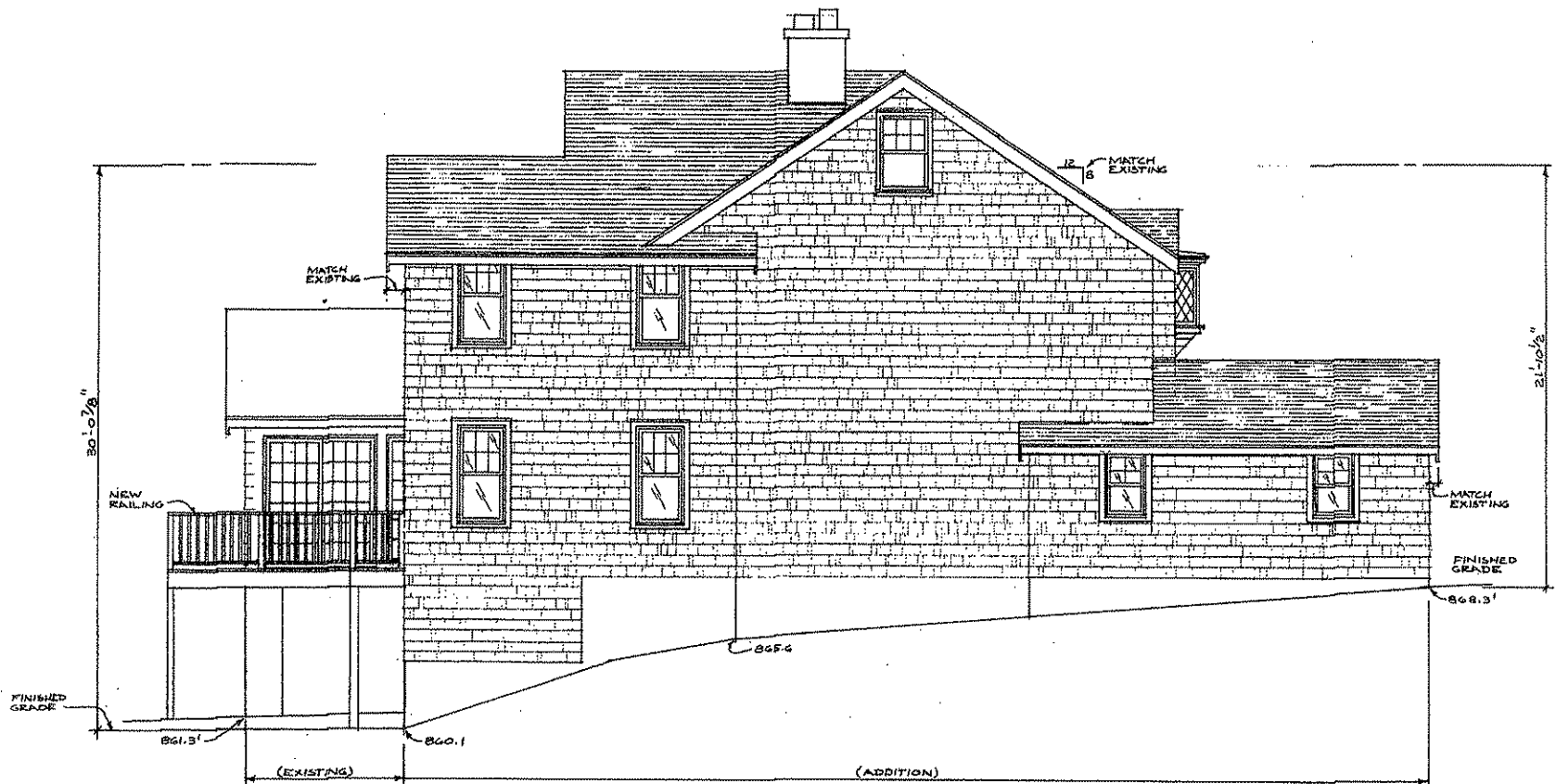
MARLING LUMBER COMPANY 1801 E. WASHINGTON AVE. MADISON, WI 53704	
SCALE 1/4" = 1'-0" DATE 11-16-09	FRONT ELEVATION BOB & JOAN JOHNSON
DRAWN BY CURTIS D. REVISOR 12-B-09	5 OF 9

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.



1646 SHERMAN AVE. MADISON, WI 53704

MARLING LUMBER COMPANY 1801 E. WASHINGTON AVE. MADISON, WI 53704		
SCALE: 1/4" = 1'-0" DATE: 11-16-09	REAR ELEVATION	DRAWN BY: CHRIS D. & BRIAN K. REVISED: 12-8-09
BOB & JOAN JOHNSON		
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.		
		DRAWING NUMBER 6 OF 9



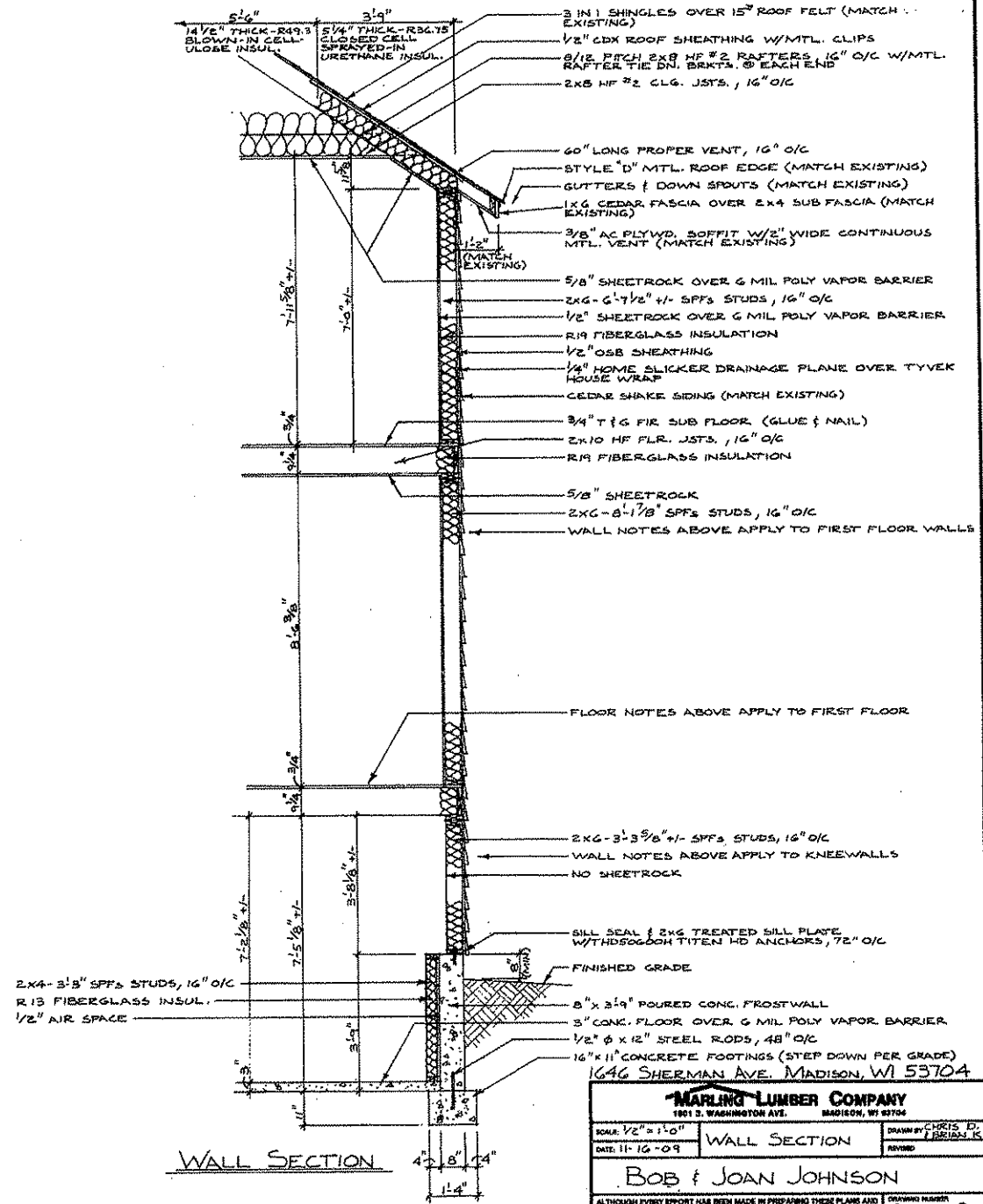
1646 SHERMAN AVE. MADISON, WI 53704

MARLING LUMBER COMPANY 1811 E. WASHINGTON AVE. MADISON, WI 53704		DESIGNED BY CHRIS D. JOHNSON
SCALE 1/4" = 1'-0"	LEFT ELEVATION	DRAWN BY JOAN JOHNSON
DATE 11-16-09	REVISED 12-8-09	
BOB & JOAN JOHNSON		
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.		DRAWING NUMBER 7 OF 9



1646 SHERMAN AVE. MADISON, WI 53704

MARLING LUMBER COMPANY 1231 E. WASHINGTON AVE. MADISON, WI 53704		
SCALE 1/8" = 1'-0" DATE 11-16-09	RIGHT ELEVATION BOB & JOAN JOHNSON	DRAWN BY CARIS D. BROWN REVISED 12-8-09 12-10-09
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.		
DRAWING NUMBER 8 OF 9		



WALL SECTION

MARLING LUMBER COMPANY 1801 S. WASHINGTON AVE. MADISON, WI 53704		
SCALE: 1/2" = 1'-0" DATE: 11-16-09	WALL SECTION	DRAWN BY: CHRIS D. FABIAN REVISED:
BOB & JOAN JOHNSON		
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR SAME.		
9 OF 9		