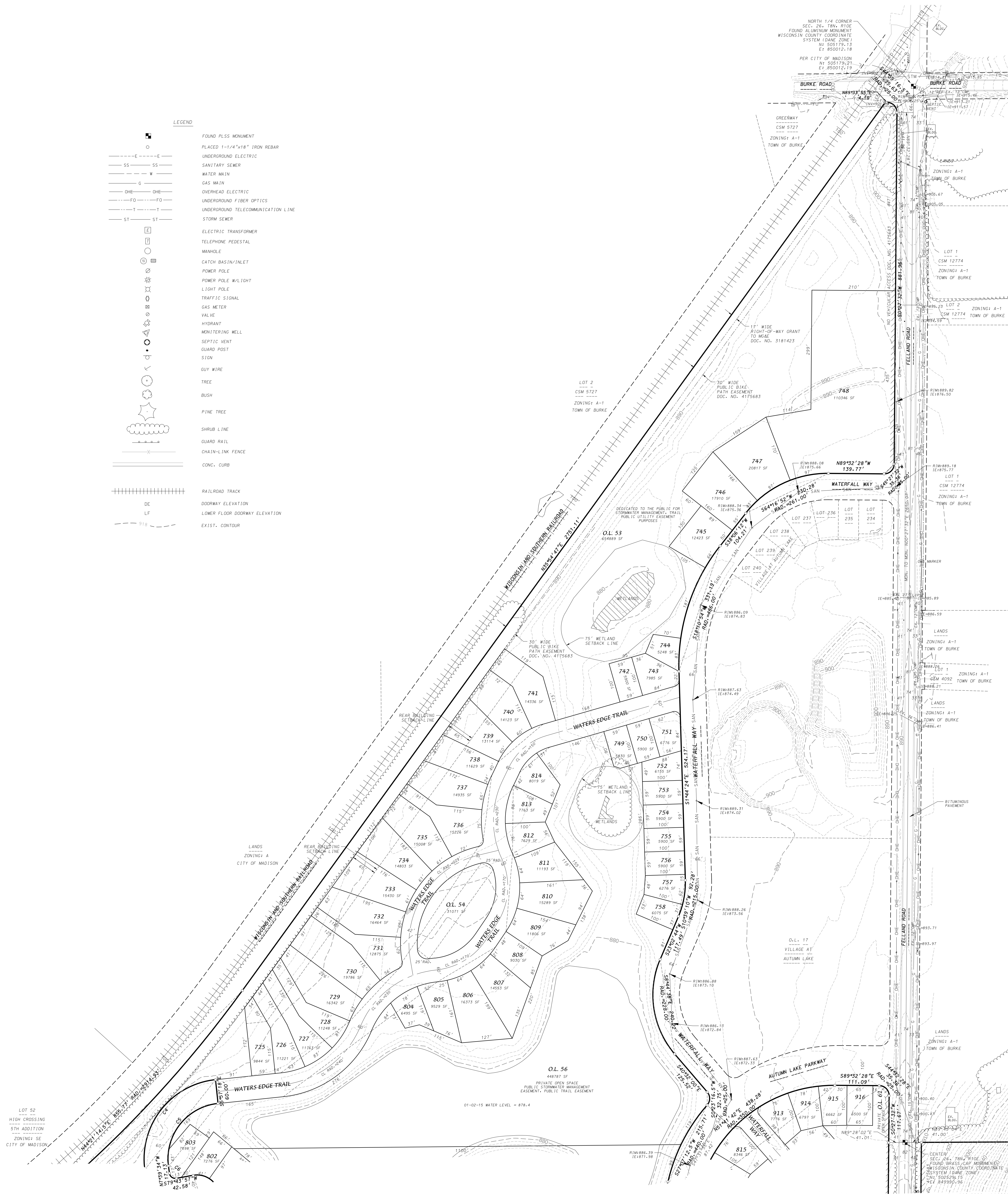


- LEGEND
- FOUND PLSS MONUMENT
PLACED 1-1/4"x18" IRON REBAR
UNDERGROUND ELECTRIC
SANITARY SEWER
WATER MAIN
GAS MAIN
OVERHEAD ELECTRIC
UNDERGROUND FIBER OPTICS
UNDERGROUND TELECOMMUNICATION LINE
STORM SEWER
ELECTRIC TRANSFORMER
TELEPHONE PEDESTAL
MANHOLE
CATCH BASIN/INLET
POWER POLE
LIGHT POLE
TRAFFIC SIGNAL
GAS METER
VALVE
HYDRANT
MONITORING WELL
SEPTIC VENT
GUARD POST
STON
GUY WIRE
TREE
BUSH
PINE TREE
SHRUB LINE
GUARD RAIL
CHAIN-LINK FENCE
CONC. CURB
RAILROAD TRACK
DOORWAY ELEVATION
LOWER FLOOR DOORWAY ELEVATION
EXIST. CONTOUR



- NOTES
- All intersection radii are 15 feet unless otherwise shown.
 - Existing Spring ID: 18-23. Lanes 40, 47-50, 62, 64-66.
 - Proposed Zoning: A-1. Lanes 40, 47-50, 62, 64-66.
 - A 40 foot building setback is required along Lake Road. The City Engineer may reduce the building setback to 30 feet if a noise analysis is completed using traffic volumes of full build-out and the City Engineer determines the noise values are acceptable at the 30 foot distance.
 - Underlying Public Utility Easements, Access Easements, Landscape Buffers, Public Sanitary Sewer, Water Main and Storm Sewer Easements, Public Driveway Easements, not shown herein will be released as part of the replatting process.
 - Underlying Public roads will be discontinued as part of the replatting process.

CURVE TABLE							
CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (DEGREES)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1	240.00	188.66	193.89	N21°56'21"E	046°11'14"		
2	175.00	105.45	107.12	N27°32'52"E	035°04'12"		
3	175.00	52.23	52.43	N01°10'36"E	017°40'20"		
4	200.00	287.02	320.11	N38°11'34"E	091°42'16"		
5	140.00	200.81	224.08	S38°11'34"W	091°42'16"		
6	15.00	21.69	24.24	N53°57'48.5"W	099°36'29"		
7	56.00	110.75	155.17	N18°50'23.5"W	162°51'17"		
8	15.00	17.02	18.10	N28°20'57.5"E	089°08'37"		
9	250.00	66.28	66.51	N01°43'42.5"E	016°34'07"	OUT-N06°33'21"W	
10	235.00	67.22	67.45	N18°14'08.5"E	016°26'45"		
11	15.00	19.44	21.15	N19°56'16.5"W	080°47'35"	OUT-N06°27'31"E	
12	150.00	186.63	201.43	N15°51'52"W	076°56'24"		
13	150.00	67.28	68.42	N02°56'54.5"E	039°18'51"		
14	50.00	60.66	65.43	N54°11'42.5"W	074°58'23"	OUT-N16°42'31"W	
15	57.00	86.68	259.66	N38°49'26.5"E	261°00'41"	OUT-S88°19'06"W	
16	95.00	24.24	44.65	S24°08'00"E	026°55'34"	OUT-S10°40'17"E	
17	150.00	150.46	157.61	S07°29'43.5"E	060°12'07"	OUT-S37°35'47"E	
18	150.00	124.42	134.29	S15°41'52"E	076°58'24"		
19	15.00	15.44	21.15	N85°16'08.5"E	080°47'35"		
20	235.00	0.86	0.86	N44°58'39.5"E	000°12'37"	OUT-N44°52'21"E	
21	180.00	141.49	145.42	N21°56'21"E	046°11'14"		

- OUTLOT DESIGNATION
- Dedicated to the Public for Park purposes
 - Dedicated to the Public for Alley purposes
 - Dedicated to the Public for Alley purposes
 - Dedicated to the Public for Alley purposes
 - Dedicated to the Public for Alley purposes
 - Private Open Space
 - Private Alley
 - Dedicated to the Public for Park and Open Space Purposes
 - Dedicated to the Public for Park, Stormwater Management and Trail purposes
 - Dedicated to the Public for Park, Stormwater Management and Trail purposes
 - Dedicated to the Public for Park, Stormwater Management and Trail purposes
 - Private Alley
 - Private Alley
 - Dedicated to the Public for Stormwater Management, Trail and Public Utility Easement purposes
 - Private Open Space
 - Private Open Space, Public Stormwater Management Easement and Public Trail Easement
 - Private Open Space, Public Stormwater Management Easement and Public Trail Easement
 - Dedicated to the Public for Alley purposes
 - Private Open Space
 - Dedicated to the Public for Alley purposes
 - Private Open Space
 - Private Open Space
 - Private Open Space
 - Dedicated to the Public for Park and Trail purposes
 - Dedicated to the Public for Park, Stormwater Management and Trail purposes
 - Dedicated to the Public for Park, Open Space and Stormwater Management purposes
 - Private Open Space

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregen, Registered Land Surveyor, S-2742, hereby certify that this preliminary plat is a true and correct representation of all the adjacent existing and divisions and of the boundaries of the replatting plot and features and that I have fully complied with the City of Madison Subdivision Ordinance.

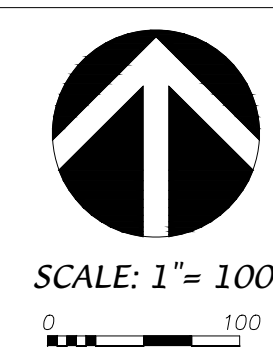
Dated this 20th day of January, 2015.

Brett T. Stoffregen, Professional Land Surveyor, S-2742



DATE: 01-20-15
REVISED:

FN: 14-07-117
Sheet Number:
2 of 2



PRELIMINARY PLAT

VILLAGE AT AUTUMN LAKE REPLAT

LOTS 1-519 AND OUTLOTS 1-15, OUTLOTS 18-39 AND VARIOUS DISCONTINUED ROADS WITHIN VILLAGE AT AUTUMN LAKE, LOCATED IN THE NE1/4, SW1/4, SE1/4 OF THE NW1/4, AND THE NE1/4, NW1/4, SW1/4 OF THE SW1/4, AND THE NW1/4 AND THE SW1/4 OF THE SE1/4 OF SECTION 26, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1009
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT