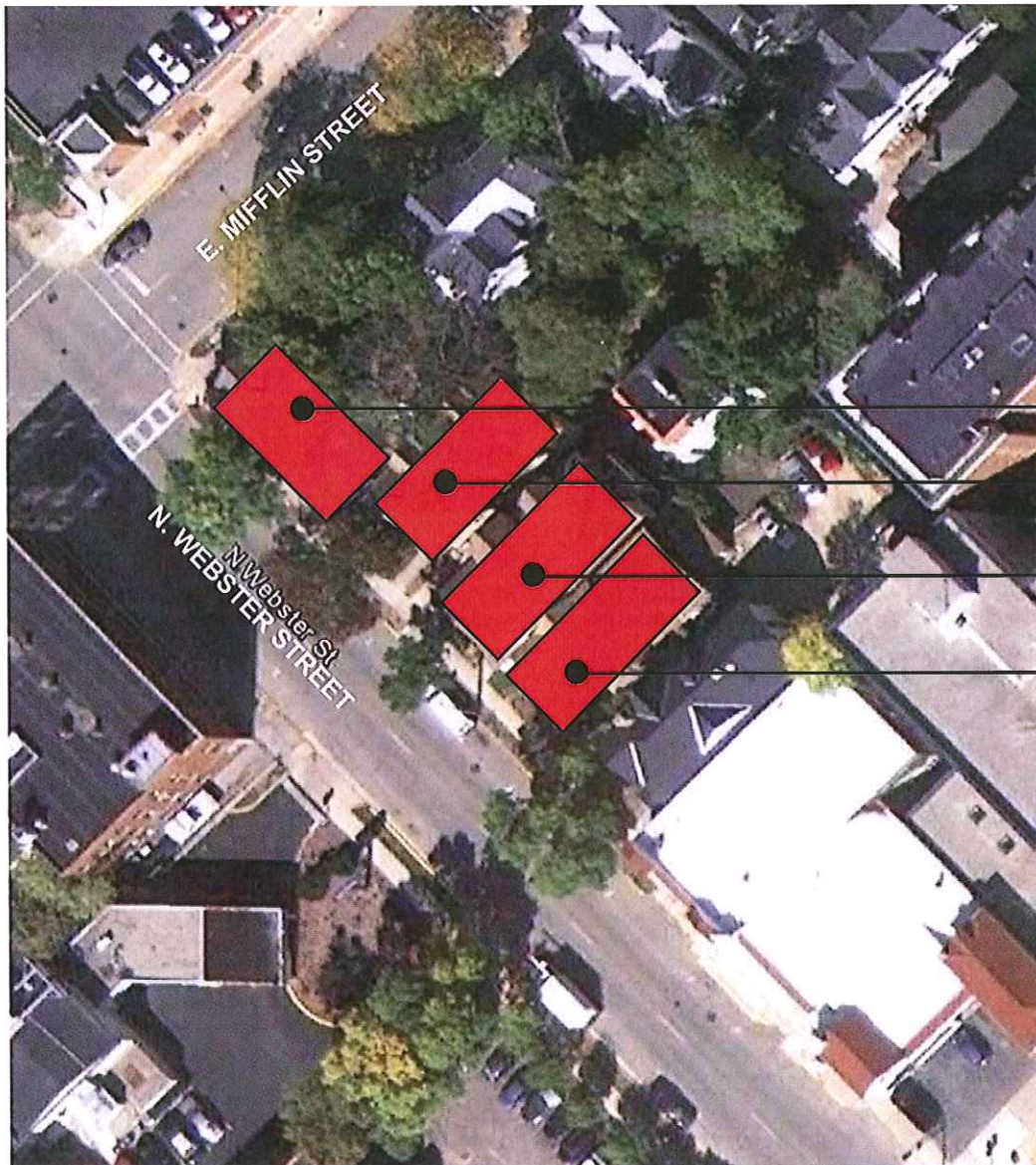


DEMOLITION STANDARDS & PHOTOS

17,19 25 N. Webster
201 E. Mifflin
Rezoning from DR1 to UMX
Madison, WI 53703



201 E. Mifflin Street
25 N. Webster Street
19 N. Webster Street
17 N. Webster Street

201 E. Mifflin



WEBSTER STREET ELEVATION



MIFFLIN STREET ELEVATION



STREET PERSPECTIVE

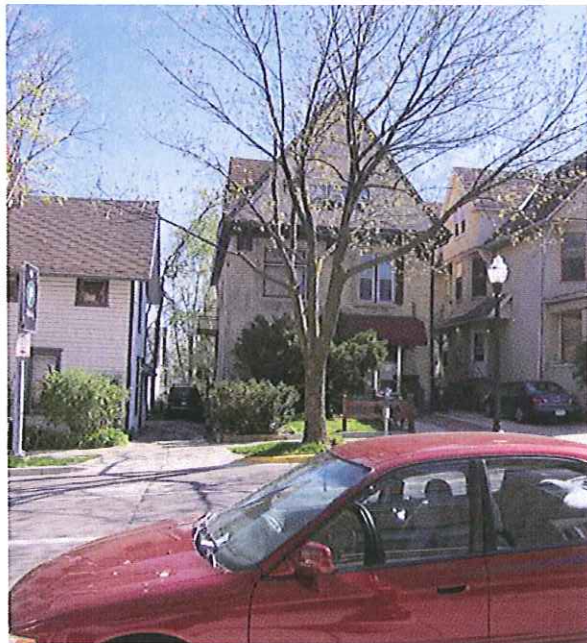
25 N. Webster Street



WEBSTER STREET ELEVATION



SIDE ELEVATION



WEBSTER STREET ELEVATION

19 N. Webster Street



WEBSTER STREET ELEVATION



WEBSTER STREET ELEVATION



REAR ELEVATION



REAR ELEVATION

17 N. Webster Street



WEBSTER STREET ELEVATION



WEBSTER STREET ELEVATION



REAR ELEVATION



SIDE ELEVATION



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September 7, 2013

Mr. J. Randy Bruce
Knothe & Bruce Architects
7601 University Avenue, Suite 201
Middleton, WI 53562

Re: Properties located at 201 East Mifflin Street and 17, 19 and 23/25 North Webster Street
Madison, Wisconsin

Dear Mr. Randy,

The following is my report on these properties.

Purpose

The purpose of the research and observations was to investigate the properties and to provide an opinion on condition, architectural significance and integrity.

Present Use

All of the subject properties are currently multiple tenant college student housing.

Background

Research began with a brief review of Sanborn maps and neighborhood images at the Wisconsin Historical Society archives. I also discussed the properties with Ms. Amy Scanlon, City of Madison Preservation Planner on July 25th. She provided information from her files on the properties.

On-site observations were conducted on August 1st by Kurt Straus, of Structural Integrity, Inc. and Preservation Architect Charles Quagliana. Rouse Management Company provided keys and we coordinated access with Randy the maintenance person. We gained access to each property and most of the apartments. Elements open to view were observed, photographs taken, field notes were recorded.

The location of these properties is on the eastern edge of the Capitol Neighborhood, part of the original plat of Madison of 1836, known as block 109. This area of the City was initially developed as single or two family residential between 1840 and 1860. *Wisconsin Historical Society image #31356, dated 1917, provides an early view of this area.*



From left to right: 201 E. Mifflin, 23/25, 19 and 17 N. Webster Street

These four residential structures have the following construction dates: 201 East Mifflin 1886, 17 North Webster 1872, 19 North Webster 1904 and 23/25 North Webster 1894. Other extant wood frame residential structures within the immediate area of this location also date from about the same time period. One notable property of interest within the block is the adjacent Robert M. Lamp House (22 N. Butler Street) designed by Frank Lloyd Wright, 1903. This property was designated a Madison Landmark in January 1976.

The four houses embody the general vernacular vocabulary of worker housing from the late 1800s and early 1900s common in this and similar neighborhoods within the Isthmus. The house at 19 N. Webster is a Queen Anne style influenced design. Generally modest in design, detail and finishes, these four homes have been converted to multiple tenant student housing.

Currently the City of Madison refers to this area as part of the Downtown Core, as reflected in the July 2012 Downtown Plan. The plan recommends the northern portion of the block should remain residential in use with a maximum building height of six stories. Clearly this area faces significant redevelopment pressures related to the changes in student housing patterns and recent and projected future development along the East Washington Avenue corridor.

General Observations

Exterior

The exteriors of all these structures retain their primary form. 201 E. Mifflin retains a significant portion of original exterior fabric but the two porches have been modified and partially rebuilt. An small addition was constructed on the rear of this house soon after original construction. 23/25, 19 and 17 N. Webster have lost portions of their defining elements, details and finishes. This includes front porches, decorative shingle patterns, brackets, wood banding, wood trim and surrounds, porch bases and railings are lost. 23/25 N. Webster has lost its original two story rear porch. Relative to their sites, each of these properties has lost their "back yard" to gravel parking.

Each of these structures exhibits deferred maintenance issues and deficiencies contributing to building deterioration. These include several roofs nearing the end of their useful life, failing flashings, opening in soffits and eaves allowing weather penetration and animal access. Squirrels

have been entering third floor apartments in the 23/25 building. Many gutters and downspouts are clogged with debris. Those that are functional are typically dumping water along the foundation walls contributing to basement water migration and foundation settlement issues. Rain water and snow melt are ponding between the 17 and 19 N. Webster Street buildings.



*Front view 23/25 N. Webster Street.
Original front porch and related details removed.*

All of the front porches on these structures have been altered or removed as part of general exterior changes or to comply with code requirements related to railings. Most rear porches exhibit settlement issues with noticeable deflections, tilting and/or sagging. Rear porches are in generally poor to fair condition and retain less original character.

Three of the properties have original wood multi-pane windows. Most of these have aluminum combination storm windows. These wood windows generally lack any weather stripping and are very leaky to air infiltration. The 17 N. Webster building has had all windows replaced with vinyl units. Most basement windows in these buildings have been boarded up likely due to security or vandalism issues.

The stone exterior basement walls of the buildings have areas of delamination and deterioration especially right above ground level. Retained moisture freezes and spalls off layers of the stone.



Image of 201 E. Mifflin St. showing the deterioration of the stone masonry foundations walls

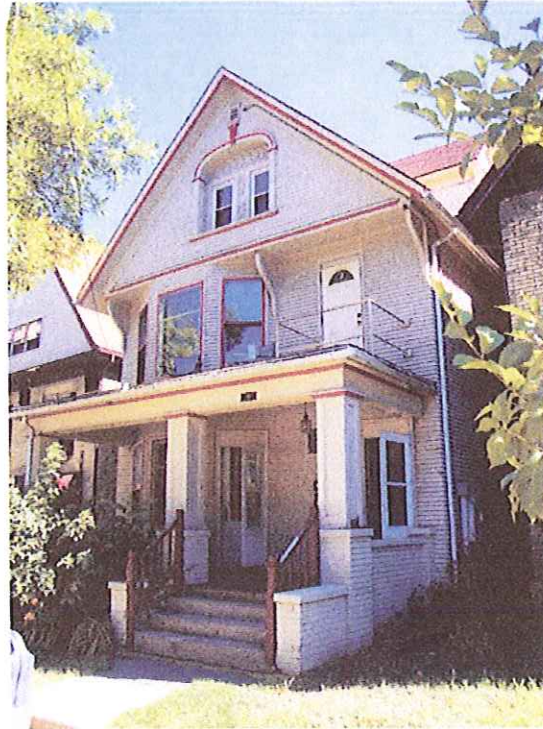
Stone, brick and mortar of the exterior walls of the 23/25 and 17 N. Webster buildings are generally in fair condition with some areas of cracking, bulging and deterioration evident, especially at corners. In particular 23/25 N. Webster Street has a substantial bulge in the NE corner walls due to settlement.

The wood clapboard exteriors of 201 E. Mifflin and 19 N. Webster have large areas of peeling or deteriorating paint, deteriorating water table trim allowing water to penetrate the sill plates and many open gaps at junctures of siding and trim and in soffits.

None of the four houses appears to have exterior wall insulation of any kind and only minimal attic insulation. These houses are very energy inefficient.

The red brick chimney of 201 East Mifflin Street is in good condition. All other brick chimneys on these buildings are in need of repair, repointing or replacement. Many probably do not meet current codes for height or clearances.

Overall the exteriors of all the buildings are in fair condition, meaning there are signs of wear, failure and deterioration. They require remedial, repair and maintenance work to maintain a weather tight exterior enclosure especially related to the roofs, soffits and the foundation walls.



*View of the front 19 N. Webster.
The porch has several deterioration issues.*

Interior

The majority of interior spaces in the N. Webster Street properties have been significantly remodeled and modified to accommodate student housing. The floor plans of all first and second floors have been modified to accommodate additional bedrooms, kitchens, closets and bathrooms. Attics have been converted into living space. The majority of these modifications have been additive, some subtractive.

All of the kitchens have some contemporary low budget cabinets, laminate counter tops and vinyl floors. The bathrooms of these units are typically in poor to fair condition with leaks present and the need for constant caulking and minor repairs evident. Water leakage was observed and is anticipated to be causing deterioration of adjacent floors and wood framing in some of the bathrooms observed. Significant, but isolated, water damage to ceilings, walls and floors from roof leaks was observed in the N. Webster Street buildings.

The Webster Street houses have been torn apart and significantly modified. As a result of the many remodeling efforts, it is evident that redistribution of floor loads has created some floor deflections and settlement. Almost all of the plaster wall and ceiling surface exhibit some degree of cracking and delamination. This can also be attributed to structure movement as well as the age of the lath and plaster itself. Gypsum wall board ceiling and acoustic tile ceiling have been installed in some areas to conceal plaster delamination and cracking issues.

It appears that significant portions of any custom detail, built-ins, pocket doors and decorative work have been removed from these Webster street properties. Many rooms retain maple or oak wood floors with some fragments of decorative base, and trim remaining. Interior doors are

typically period four or five panel. Each property has a variety of doors, including contemporary hollow core flush doors.

The interiors of these buildings are in fair to poor condition. In my opinion this substandard housing. An extensive level of additional repair and rehabilitation work is required in each building.

The 201 E. Mifflin Street property is in generally better condition than the other properties. Overall the condition is good with finishes and materials requiring only cosmetic repairs. This building has the most original architectural interior treatment remaining and retains a significant amount of original floors, woodwork, surrounds, doors, trim and built-in cabinets.



*Typical hot water radiator.
17 N. Webster St first floor apartment.*

In all four buildings the existing mechanical, electrical and plumbing systems are functional and apparently generally code compliant. However, the age and state of maintenance of the equipment indicates upgrades and replacement that are not too far in the future. The buildings are heated by boilers supplying hot water to perimeter radiators or fin tube enclosures. These are controlled by thermostats. Electrical systems are a combination of knob and tube and contemporary Romex wiring. Evidence of original gas lighting remains in 201 E. Mifflin and 17 N. Webster.



*Front of 17 N. Webster Street.
The rear portion of this house is the original section.
The front addition was constructed sometime later.*

Hazardous materials are likely present in every building. Given the age of the buildings lead paint is likely present throughout. Some areas of mold were noted in 17 N. Webster building. Cement asbestos siding is found on the upper portions of the exteriors on 19 and 23/25 and N. Webster Street.

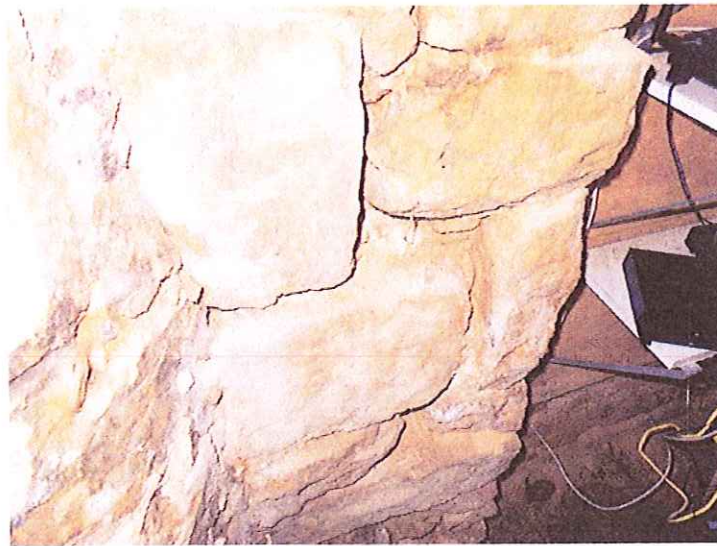
Structural Issues

Structural issues at 17 North Webster Street were noted in the basement. The basement is divided into three spaces; two were accessible. Most of the basement has a dirt floor. The presence of fuel oil smell was noted in the west section. The interior surfaces of the foundation walls were in poor condition. Significant deterioration was noted in the mortar. Several holes were observed that were crudely punched in the walls in various locations for access to services and other areas.

Other portions of the basement are an inaccessible crawlspace. The roof lines in the front of the building were generally poor. Significant deformations were observed in the regions of the dormers. On the exterior, large areas of masonry on the north and south elevations have spalled faces, likely due to the presence of water and freeze thaw cycling.

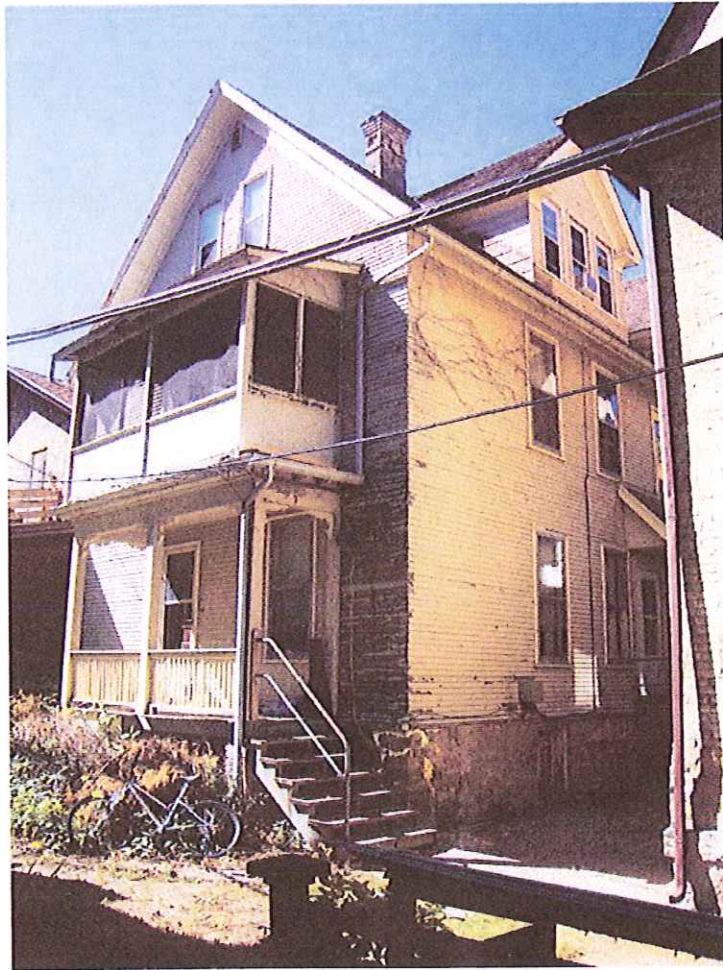


*Image showing damaged roof framing at dormer framing.
17 N. Webster St.*

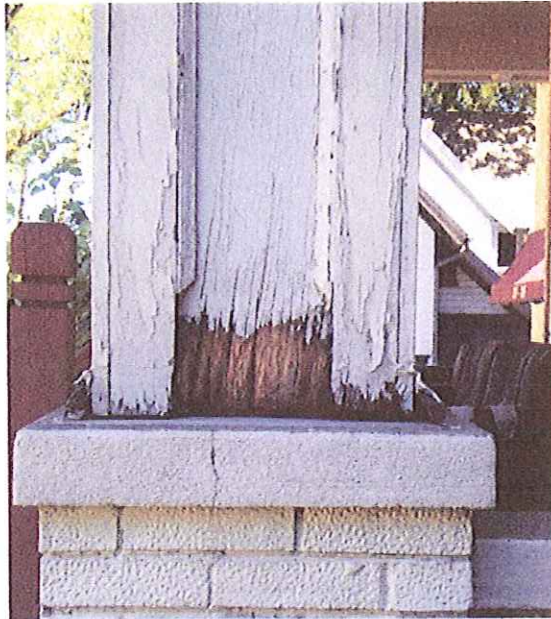


*Image showing significant deterioration
of mortar in foundation walls 17 N. Webster St.*

At 19 North Webster Street the most significant issues is the poor condition of the rear porch. This porch is leaning and floors and roof are deteriorated. Some recent repairs to deteriorated floor framing have been carried out. More similar repairs will be likely, soon. At the front porch there is deterioration within at least one of the wooden roof support columns and at the interface where the brick pier of the porch abuts the house framing at the north side.



*Image showing dilapidated rear porch.
19 N. Webster St.*



*Deteriorated porch column.
19 North Webster St.*



*Image showing the path of water infiltration
into framing areas at the porch and house intersection.
19 N. Webster St.*

Water has gotten behind the siding and likely caused damage to some wood framing behind. The extent of the damage is unknown due to the presence of finishes. On the interior many cracks were observed in the ceilings of the upper floor. The roof and ceiling framing is likely lightly built allowing the cracking to result over time. The basement foundation wall at the northeast corner is significantly deteriorated. Spray foam has been used to fill gaps in the foundation wall to prevent water intrusion.



Image showing deteriorated stone foundations and spray insulation filler at 19 N. Webster St.

23/25 North Webster has some significant structural issues. The exterior walls are constructed of brick. Although most areas are in fair condition, some portions of the exterior brick wall at first floor and foundation wall along the north wall and most significantly at the northeast corner are in poor condition. Significant damage was noted due to the lack of adequate support offered by a retaining wall at a lower parking lot.

Movement in the lower retaining wall or soil erosion (or both) at this wall has likely led to foundation settlement and rotation in the wall present today. The outward movement (bulge) in the foundation wall at the northeast corner is approximately two to four inches. A heavily patched section of the masonry brick is present on the back of the building (east). The condition currently appears somewhat precarious and eventually may become unstable and lead to a partial collapse of the wall, floors, and roof.



Northeast corner of 23/25 N. Webster St.

Cracking was observed in many of the masonry stone lintels. The brick mortar lines of the walls appeared to sag near corners suggesting that there have been some ongoing settlements at the corners likely the result of long term washing of fine soil particles with in the bearing regions of the soils below the masonry foundations. An interior survey confirmed issues with the north wall, especially at the northeast corner of the building. Large cracks were present near the corner at the east wall. There were also large cracks and gaps between the exterior north wall and several interior walls that had originally been integrated into it. Some roof framing deformations were noted in the area of the dormers possibly attributable to undersized headers and collecting rafters at the dormer edges.



Southeast corner of 23/25 N. Webster St.

Some deterioration of the trim along the water table located at the height of the first floor rim joist was observed at 201 East Mifflin Street. The trim has been channeling water into the interior of the wall in some locations. It is likely that some framing deterioration exists behind the deteriorated water table.



*Image showing water infiltration and location of possible damage to framing at the water table trim.
East side of 201 E. Mifflin St.*

The top of grade along the driveway was within the depth of the rim joist along the driveway. Water along the driveway is likely penetrating into the framing here also. The foundations appeared to be in fair condition. There were general areas of infiltration, particularly along the driveway and apparent exfiltration, specifically at exfoliating paint coatings on the foundation walls. The interior foundations had significant regions of deterioration from water infiltration. The nature of the deterioration was eroded and degraded mortar and rubble stone. The most damage was found at the wall along the driveway and along the base of the wall to approximately two feet off the basement slab.

Findings

Historical Significance

A judgment concerning historical significance of the properties (the association with events or lives of persons significant in our past) cannot be determined without intensive research into specific activities and their impact. It should be noted that the City of Madison has little historical information concerning these properties indicating they likely are not historically significant. City files do indicate that 17 N. Webster was the home of the Jonas family whose primary trade was clothing/tailors.

Architectural Significance

The architectural significance of the original single family properties along N. Webster Street is low. These properties can not easily be associated with the original designer or architect and it likely they were simply builder designed and constructed from pattern books of the period. These houses were originally modest residences in a modest neighborhood. *See Wisconsin Historical Society image # 23828, dated 1928, for a view of the surrounding neighborhood.* They were typical worker housing of the late 1800s and early 1900s possessing some level of craftsmanship and detail but not of a high quality.

Currently available city documentation and field observations indicate major remodeling projects were accomplished in the Webster Street properties. Although the properties retain basic form and some features conveying elements of the original, they have lost a significant portion of their defining distinctive characteristics. Some interesting fragments remain, such as the entry hall and stairway in 17 N. Webster Street.

The house at 201 E. Mifflin Street does possess a modest level of architectural significance with its fine interior woodwork, stairs, doors and built ins. All are generally intact and in good condition.

Architectural Integrity

The overall architectural integrity of the three Webster Street properties is low. Much of the original character defining elements have been removed or covered over. I estimate that less than 30% of the character defining features or elements, interior and exterior, remains intact on any of these properties.

The overall integrity of the 201 E. Mifflin Street property interior is estimated to be 80% with much of the character defining elements still in place and in good condition.



Entry hall and stair of 201 E. Mifflin Street.

Architectural Context

It is my opinion that the architectural context of all these properties is low. For the first two thirds of their history, these buildings were part of a dense residential area with some businesses intermixed. Originally dominated by single family homes with a few rental units, the area has gradually transformed to multi-family and student housing. Recent high and mid-rise housing has completely changed the demographic composition, street character and general feeling of this area. In addition, an entire block of houses was removed to construct the adjacent Capitol Square North parking structure on East Mifflin Street.

Structural

Overall the structural condition of these residences, in excess of 100 years old, is about average as compared to similar structures of this date and use. Each building does have some structural issues, mostly related to water penetration into the exterior walls and foundations and resulting deterioration and decay. Common to this era of construction, and increased by multiple interior remodeling projects in these buildings, is the uneven distribution of floor loads by support walls. This causes deflections of floors and ceiling resulting in uneven floors, plaster wall and ceiling cracking and out of plumb walls and doors openings.

Summary

17, 19 and 23/25 N. Webster Street: Typical vernacular family residences from the late 19th and early 20th century, not noteworthy historically or architecturally, significant loss of context, moderate loss of integrity, moderate rehabilitation and code related upgrades required for continued use. The cost of rehabilitation, code upgrades and energy saving upgrades would far exceed a reasonable return on investment.

201 E. Mifflin Street: Typical vernacular residence from the late 19th century, interesting architecturally, significant loss of context, good overall integrity, moderate rehabilitation and code related upgrades required to retain the property.

Conclusion

Given that the context of the area has changed significantly and considering the properties do not possess a high level of historical or architectural significance, and recognizing the low level of integrity of three of the buildings, and amount of rehabilitation work required for continued use, I would not consider the retention of any of the N. Webster Street buildings mandatory.

In the case of the 201 E. Mifflin Street building, I suggest that the due to its integrity and interior architectural features, generally good overall condition and its narrow floor plate, that consideration should be given to offering the public the opportunity to purchase the house for a nominal amount, with the condition that it be relocated. Relocating the house to a vacant parcel in close proximity would be a very green and sustainable effort. The house could be cost effectively rehabilitated for single family use or possibly upgraded for multiple tenant usage.

Preservation Issues

It must be acknowledged that the degree of repair and rehabilitation required on all of the buildings, since they are in need of deferred maintenance and code related upgrades, may not be cost effective. Rehabilitation for suitable compatible uses may not cost effectively extend the service life of these buildings.

The preservation of the best buildings within the urban environment is an inherently sustainable activity with the reuse of the building, building components and materials and the embodied energy they represent. If the 201 E. Mifflin Street building can be reused in place or relocated economically, it would be a very sustainable option to consider.

If removal of the buildings is necessary, deconstruction should be the preferred method of removal. Deconstruction involves carefully removing materials, elements and components that can be reused and recycled. There are substantial components, materials and elements to reuse and recycle within these buildings. A comprehensive reuse and recycling plan, meeting City of Madison requirements, will be necessary to obtain a demolition permit.

Also note that prior to a demolition permit being approved, the Madison Landmarks Commission will need to review and approve the proposed action.

Sincerely,



Charles J. Quagliana, AIA, NCARB
Preservation Architect

201 E. Mifflin Street



TYPICAL LIVING ROOM



TYPICAL KITCHEN



TYPICAL BATHROOM



TYPICAL BEDROOM

25 N. Webster Street



TYPICAL LIVING ROOM



TYPICAL KITCHEN



TYPICAL BATHROOM



TYPICAL COMMON AREA

19 N. Webster Street



TYPICAL LIVING ROOM



TYPICAL KITCHEN

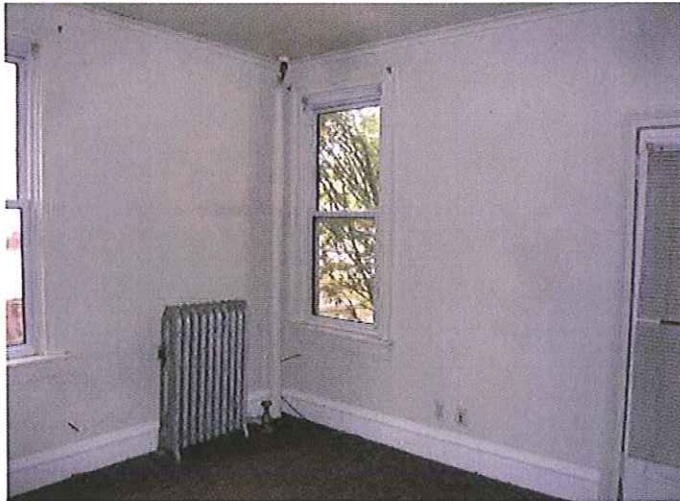


TYPICAL BATHROOM



TYPICAL BEDROOM

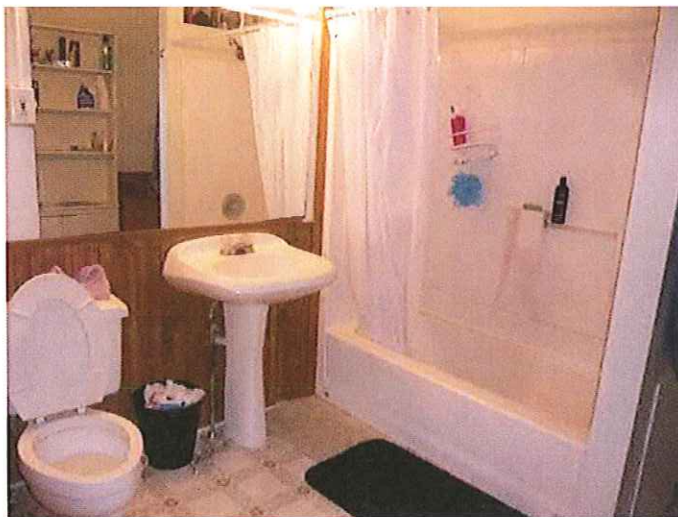
17 N. Webster Street



TYPICAL LIVING ROOM



TYPICAL KITCHEN



TYPICAL BATHROOM



TYPICAL BEDROOM