



**knothe • bruce**  
ARCHITECTS

Phone: 708 University Ave., Ste 201  
800.836.3690 Madison, WI 53706

KEY PLAN

SITE INDEX SHEET	
SITE	
C-1.1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
C-1.0	EXISTING CONDITIONS PLAN
C-2.0	GRADING AND EROSION CONTROL PLAN
C-3.0	UTILITY PLAN
LI	LANDSCAPE PLAN
ARCHITECTURAL	
A-P1.0	LOWER FLOOR PLAN
A-1.0	UPPER FLOOR PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND - FOURTH FLOOR PLAN
A-1.3	FIFTH FLOOR PLAN
A-1.4	LOFT FLOOR PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS

SITE DEVELOPMENT STATISTICS	
LOT AREA	14,780 S.F./0.34 ACRES
DWELLING UNITS	49 D.U.
LOT AREA/ D.U.	302 S.F./D.U.
DENSITY	144 UNITS/ACRE
BUILDING HEIGHT	6 STORIES
GROSS FLOOR AREA 43,345 S.F. (excluding underground parking)	
FLOOR AREA RATIO	2.93
UNIT MIX	
EMERGENCY	40
STUDIO/LOFT	3
ONE BEDROOM	26
TWO BEDROOM	6
TWO BEDROOM TH	4
TOTAL	49
VEHICLE PARKING	
SURFACE	0
UNDERGROUND	43 (42 + 1 COMMUNITY CAR)
TOTAL	43
BIKE PARKING	
FLOOR STALL SURFACE	4
WALL HUNG UNDERGROUND	5
FLOOR STALL UNDERGROUND	44
TOTAL	53

ISSUED  
Land Use Application - February 19, 2014

Revised - Month Day, Year

PROJECT TITLE

**WEBSTER ST**

17, 19 & 25 N Webster  
St. and 201 E Mifflin St.

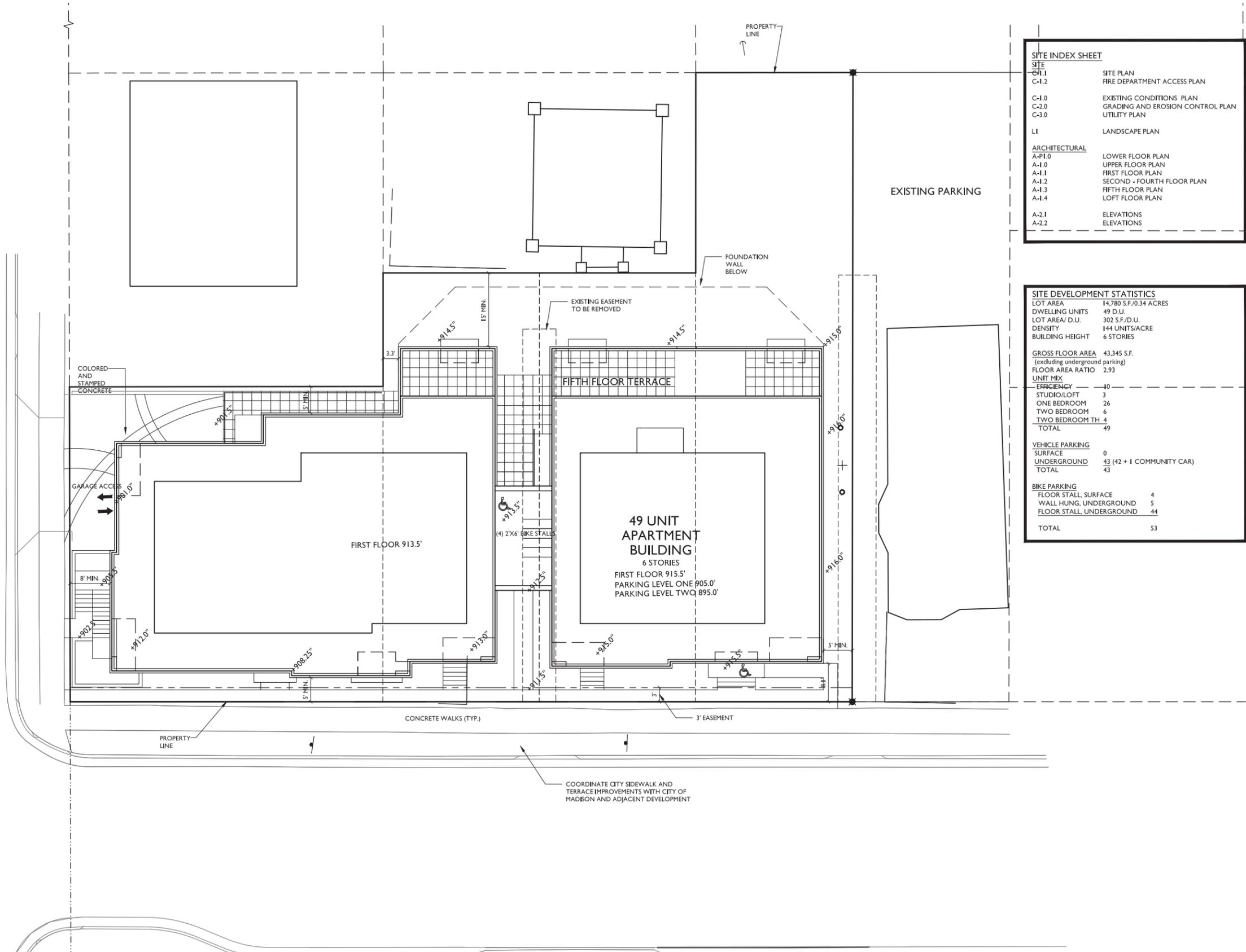
SHEET TITLE  
**SITE PLAN**

SHEET NUMBER

**C-1.1**

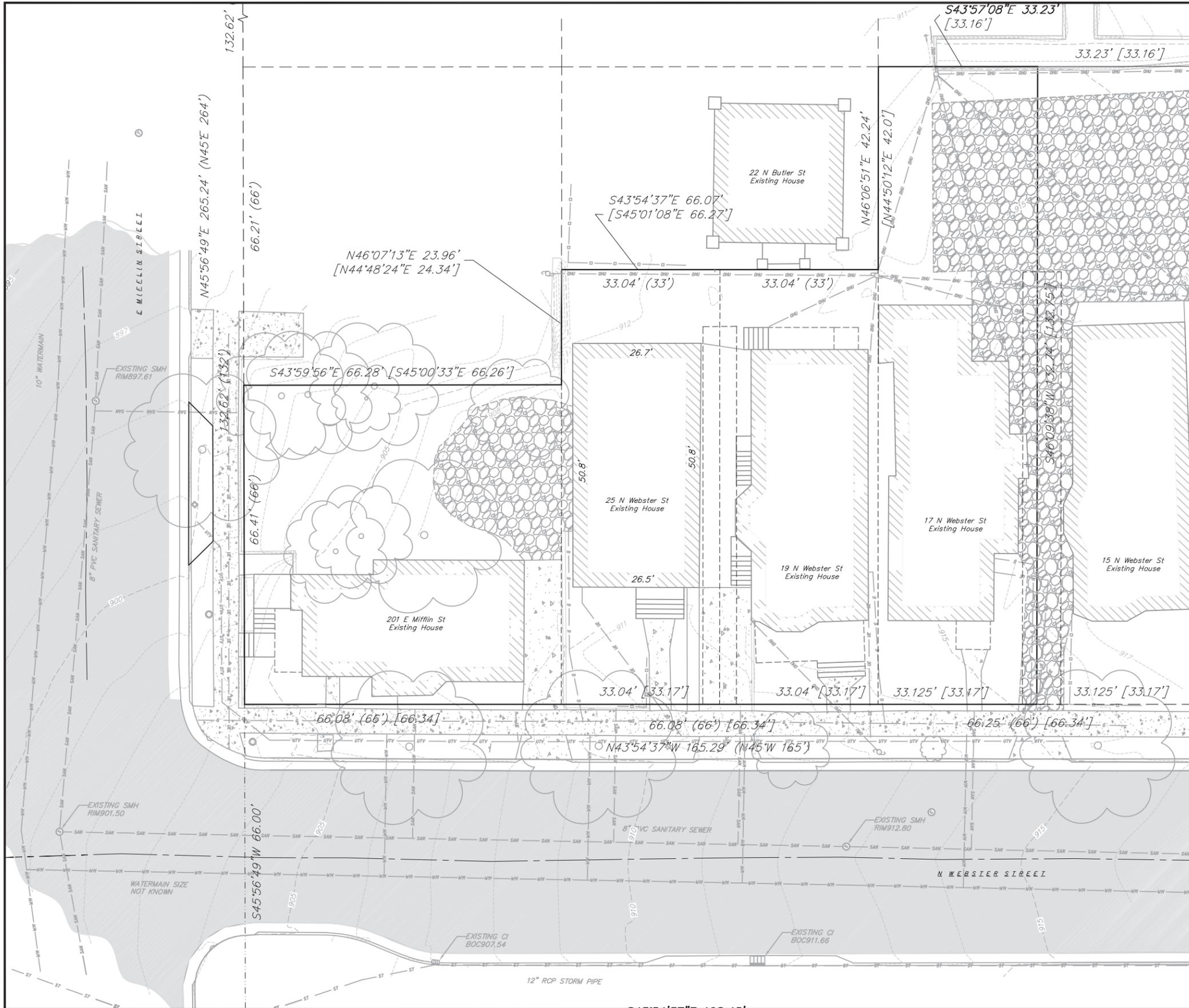
PROJECT NO. **1315**

© 2013 Knothe & Bruce Architects, LLC



**SITE PLAN**  
1" = 10'-0"





- EXISTING CONDITIONS LEGEND**
- EXISTING BOLLARD
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING TRAFFIC SIGNAL
  - EXISTING BOX CURB INLET
  - EXISTING SANITARY MANHOLE
  - EXISTING CURB STOP
  - EXISTING ELECTRIC MANHOLE
  - EXISTING LIGHT POLE
  - EXISTING UTILITY POLE
  - EXISTING DOWN GUY
  - EXISTING TELEPHONE MANHOLE
  - EXISTING DECIDUOUS TREE
  - EXISTING RETAINING WALL
  - EXISTING WOOD FENCE
  - EXISTING UNDERGROUND CABLE TV
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING PROPERTY LINE
  - EXISTING ROW
  - EXISTING ASPHALT PAVEMENT
  - EXISTING CONCRETE
  - EXISTING GRAVEL

**vierbicher**  
 planners | engineers | architects  
 REEDSBURG - MADISON - FRAIRIE DU CHEN  
 999 Fuller Drive, Suite 201, Madison, Wisconsin 53717  
 Phone: (608) 824-0232 Fax: (608) 824-0233

**EXISTING CONDITIONS PLAN**  
 E. MIFFLIN & N. WEBSTER STREETS  
 CITY OF MADISON  
 DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE  
 1"=20' (24"x36")  
 1"=10' (11"x17")

DATE  
 2/19/14

DRAFTER  
 JFEL

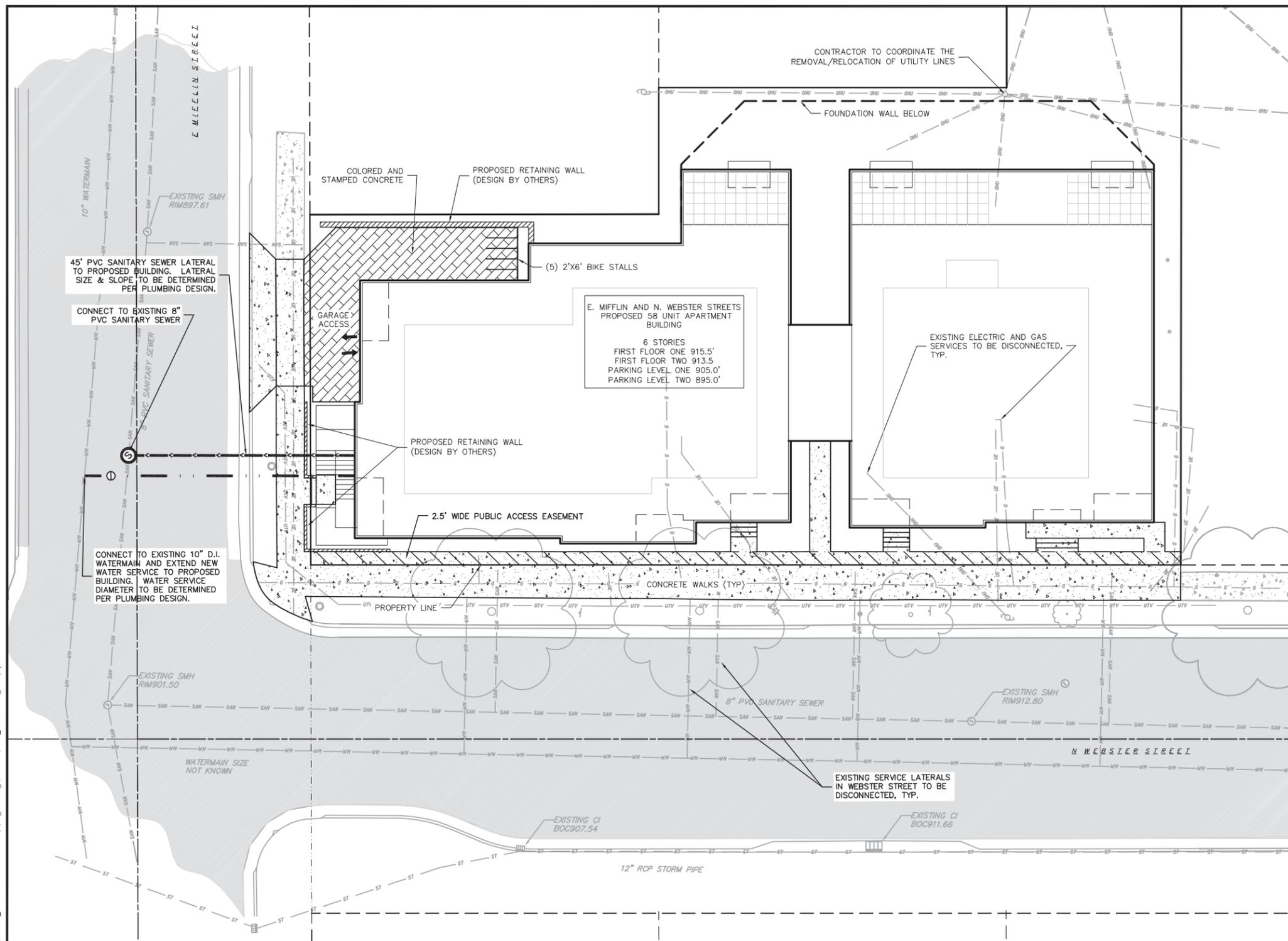
CHECKED

PROJECT NO.  
 130037

SHEET  
 1 OF 3

DWG. NO.  
 C1.0





CALL DIGGER'S HOTLINE  
1-800-242-8511  
TOLL FREE  
TELEFAX: 1-800-338-3860  
TDC (FOR HEARING IMPAIRED):  
1-800-542-2289  
WS. STATUTE 192.0715 (1979)  
REQUIRES MINIMUM OF 3 WORKING DAYS  
NOTICE BEFORE YOU EXCAVATE.



- EXISTING CONDITIONS LEGEND**
- EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC MANHOLE
  - EXISTING TRANSFORMER
  - EXISTING UTILITY POLE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING DECIDUOUS TREE
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING CHAIN LINK FENCE
  - EXISTING GENERAL FENCE
  - EXISTING WOOD FENCE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING ASPHALT PAVEMENT
  - EXISTING CONCRETE

- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - SANITARY SEWER PIPE (GRAVITY)
  - WATER MAIN
  - WATER VALVE
  - CURB INLET
  - SANITARY MANHOLE
  - BUILDING OUTLINE
  - PROPERTY BOUNDARY
  - CONCRETE
  - COLORED AND STAMPED CONCRETE

- UTILITY NOTES:**
- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
  - NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.

- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.

- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- THE DEVELOPER SHALL INSTALL THE 3M<sup>™</sup> ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).



**UTILITY PLAN**  
E. MIFFLIN & N. WEBSTER STREETS  
CITY OF MADISON  
DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE:  
1"=20' (24"x36")  
1"=40' (11"x17")

DATE: 2/19/14

DRAFTER: jfel

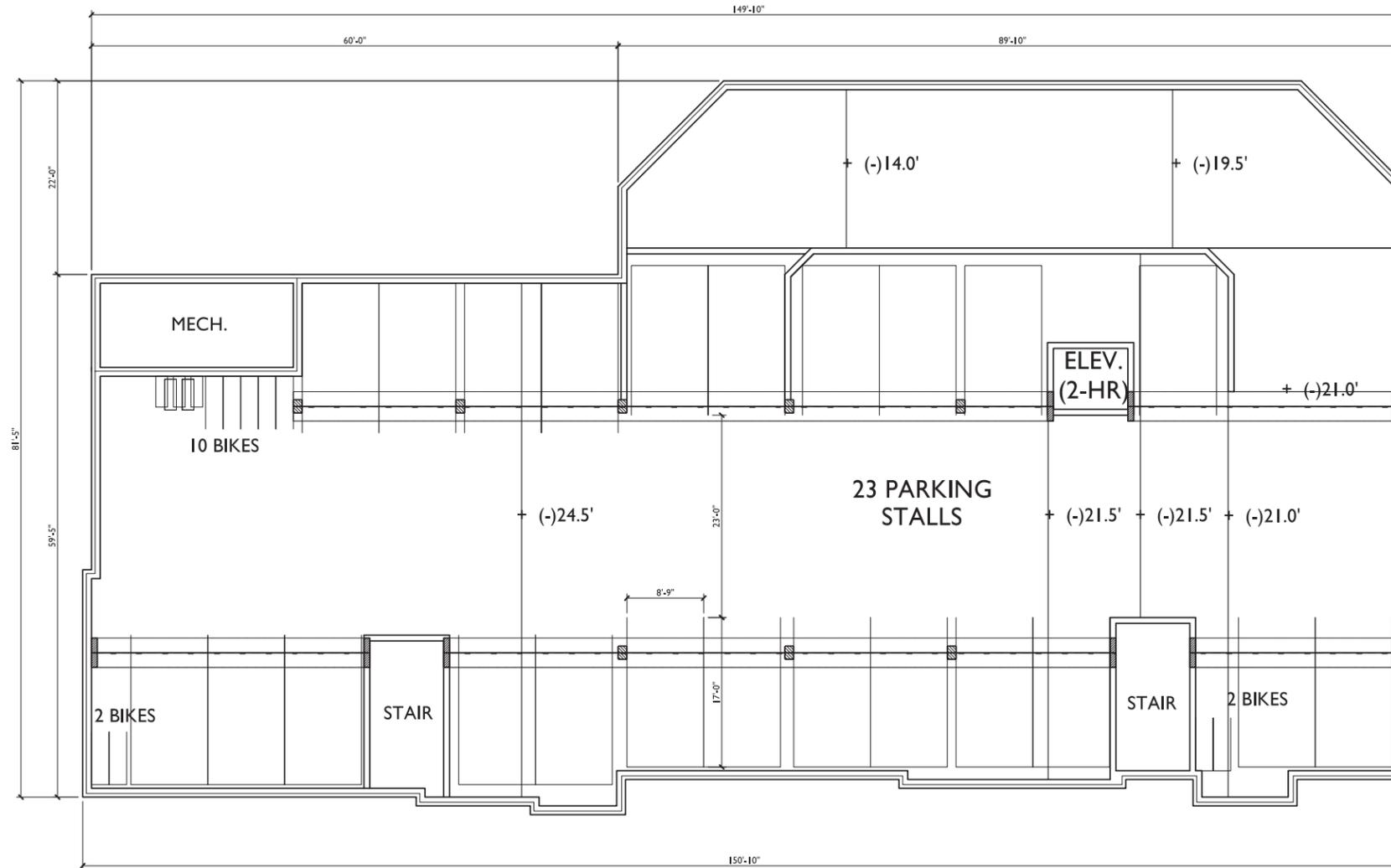
CHECKED: [ ]

PROJECT NO.: 130037

SHEET: 3 OF 3

DWG. NO.: C3.0





ISSUED  
 Land Use Application - February 19, 2014

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**LOWER LEVEL  
 PARKING PLAN**

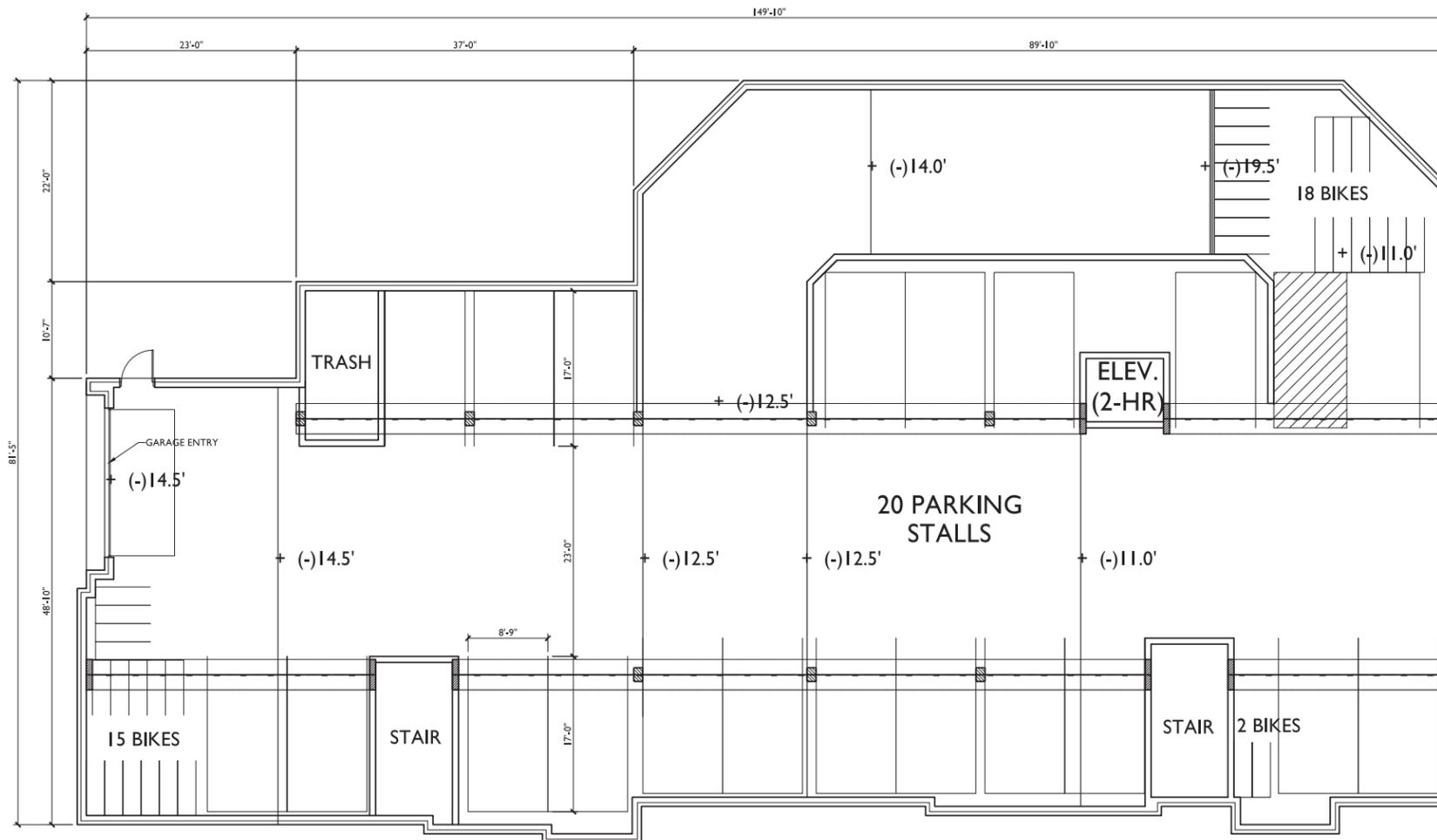
SHEET NUMBER

**A-P1.0**

PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC

**1 LOWER LEVEL PARKING PLAN**  
 A-P1.0 SCALE: 1/8"=1'-0"





ISSUED  
 Land Use Application - February 19, 2014

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**UPPER LEVEL  
 PARKING PLAN**

SHEET NUMBER

**A-1.0**

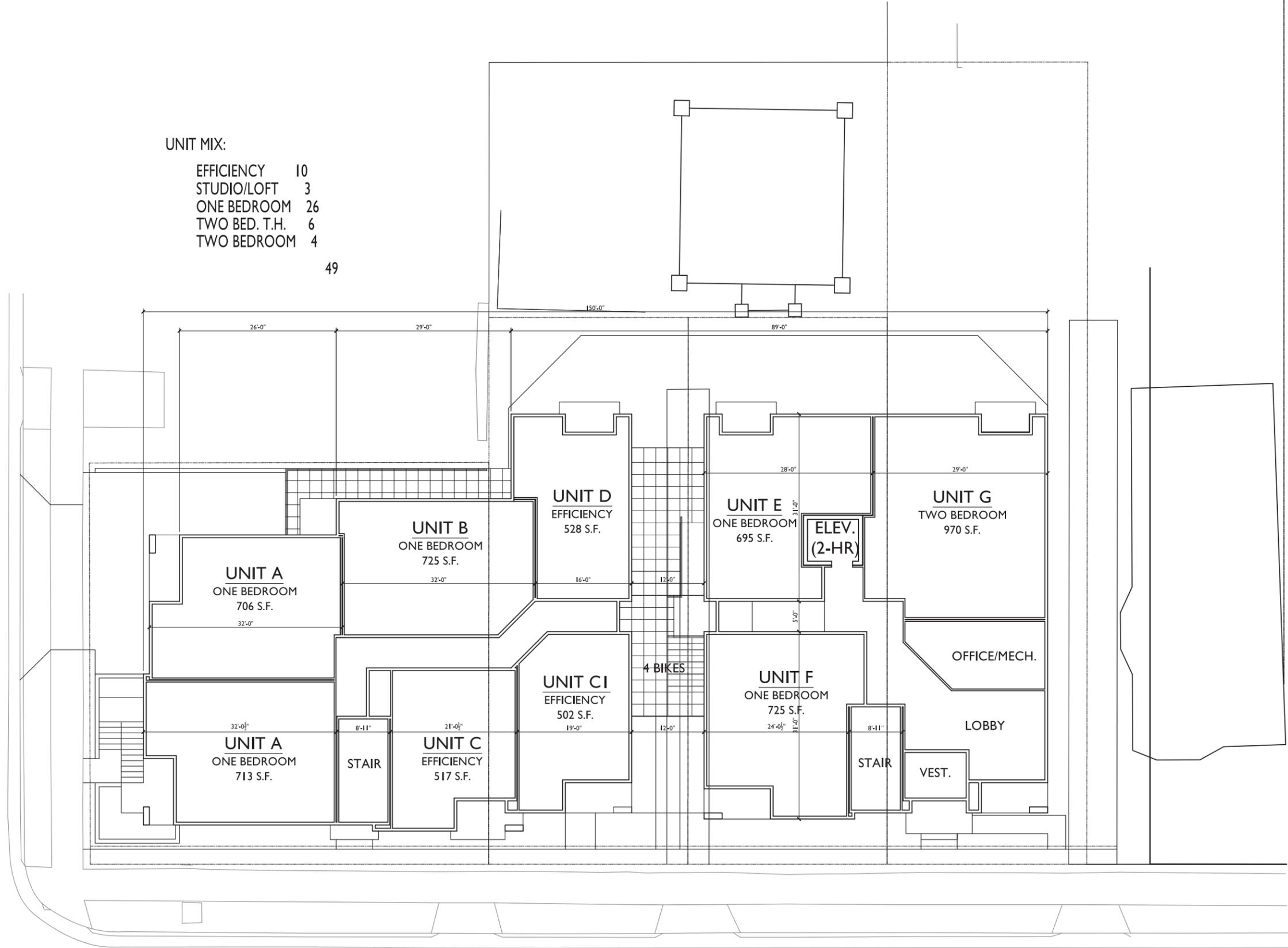
PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC

**UPPER LEVEL PARKING PLAN**  
 SCALE: 1/8"=1'-0"



UNIT MIX:

EFFICIENCY	10
STUDIO/LOFT	3
ONE BEDROOM	26
TWO BED. T.H.	6
TWO BEDROOM	4
	<b>49</b>



ISSUED  
 Land Use Application - February 19, 2014

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**FIRST FLOOR  
 PLAN**

**1 FIRST FLOOR PLAN**  
 A-1.1 SCALE: 1/8"=1'-0"

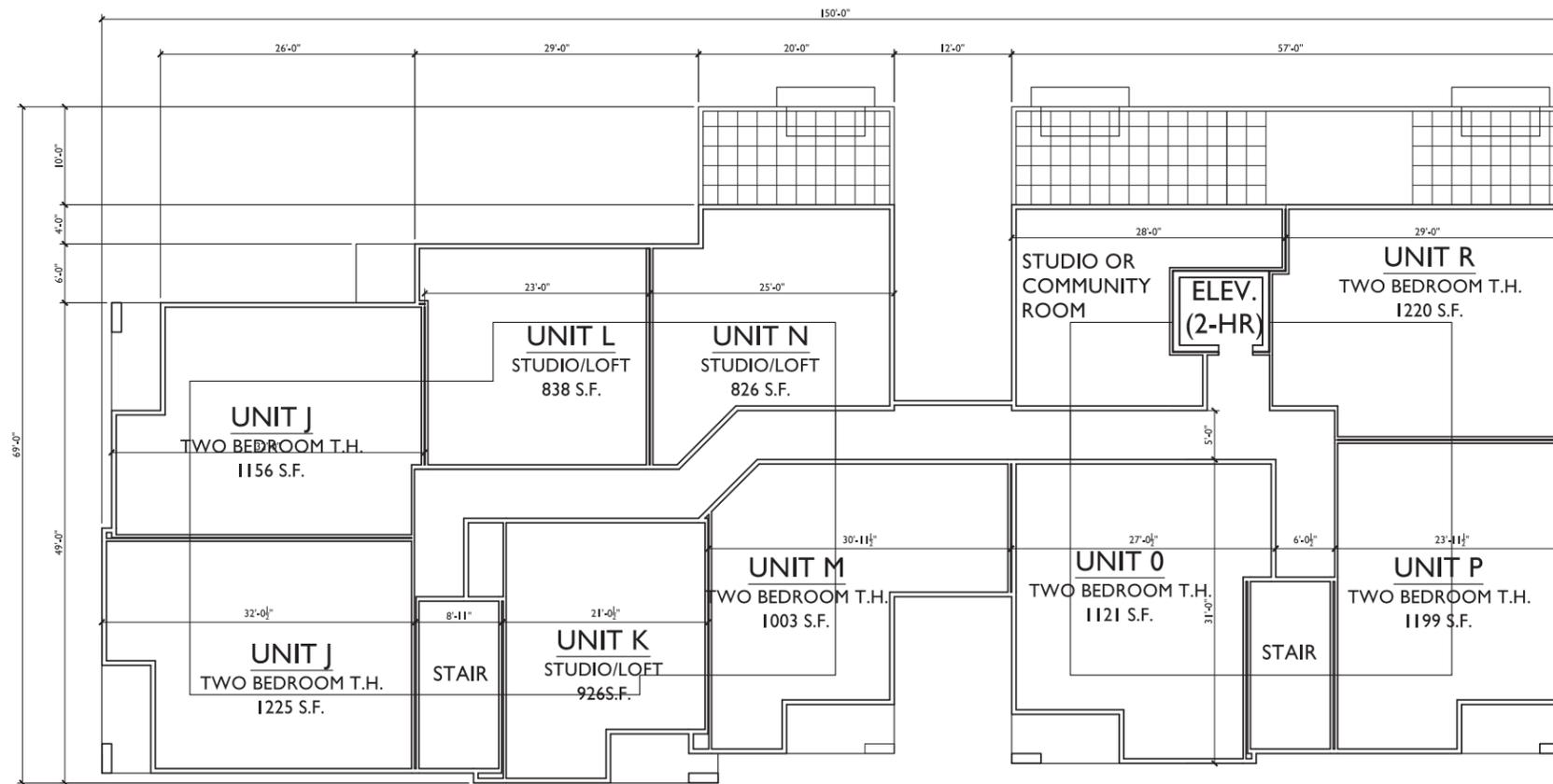


SHEET NUMBER

**A-1.1**

PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC





ISSUED  
 Land Use Application - February 19, 2014

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**FIFTH FLOOR  
 PLAN**

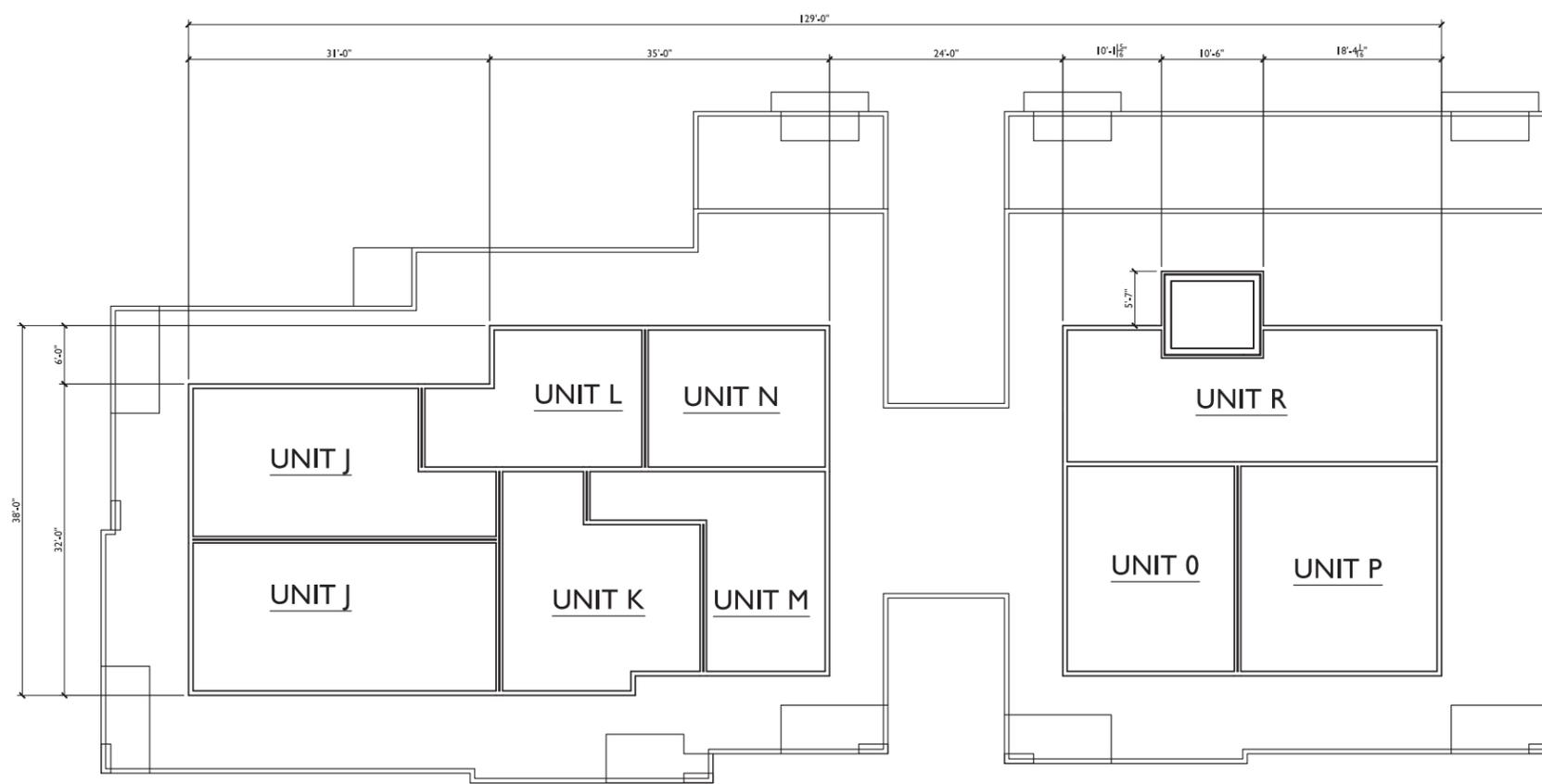
**FIFTH FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



SHEET NUMBER

**A-1.3**

PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC



ISSUED  
 Land Use Application - February 19, 2014

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**LOFT FLOOR  
 PLAN**

**1** LOFT FLOOR PLAN  
 A-1.4 SCALE: 1/8"=1'-0"



SHEET NUMBER

**A-1.4**

PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC



**1 WEBSTER ST ELEVATION**  
 A-2.1 SCALE: 1/8"=1'-0"



**2 MIFFLIN ST ELEVATION**  
 A-2.1 SCALE: 1/8"=1'-0"



1 REAR ELEVATION  
 A-2.2 SCALE: 1/8"=1'-0"

ISSUED  
 Land Use Application - February 19, 2014



2 SOUTHEAST ELEVATION  
 A-2.2 SCALE: 1/8"=1'-0"

PROJECT TITLE  
**WEBSTER ST**

17, 19 & 25 N Webster  
 St. and 201 E Mifflin St.  
 SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER

**A-2.2**

PROJECT NO. **1315**  
 © 2013 Knothe & Bruce Architects, LLC