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SITE DEVELOPMENT STATISTICS	
LOT AREA	14,780 S.F./0.34 ACRES
DWELLING UNITS	49 D.U.
LOT AREA/ D.U.	302 S.F./D.U.
DENSITY	144 UNITS/ACRE
BUILDING HEIGHT	6 STORIES
GROSS FLOOR AREA	43,345 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	2.93
UNIT MIX	
EFFICIENCY	40
STUDIO/LOFT	3
ONE BEDROOM	26
TWO BEDROOM	6
TWO BEDROOM TH	4
TOTAL	49
VEHICLE PARKING	
SURFACE	0
UNDERGROUND	43 (42 + 1 COMMUNITY CAR)
TOTAL	43
BIKE PARKING	
FLOOR STALL SURFACE	4
WALL HUNG UNDERGROUND	5
FLOOR STALL UNDERGROUND	44
TOTAL	53

knothe
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ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.256.3696

Madison, WI 53706

KEY PLAN

ISSUED
Land Use Application - February 19, 2014

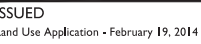
Revised - Month Day, Year
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Revised - Month Day, Year
PROJECT TITLE
WEBSTER ST

17, 19 & 25 N Webster
St. and 201 E Mifflin St.
SHEET TITLE
SITE PLAN

SHEET NUMBER

C-1.1
PROJECT NO. 1315
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Revised - Month Day, Year

PROJECT TITLE
WEBSTER ST

7, 19 & 25 N Webster
St. and 201 E Mifflin St.

SHEET TITLE

FIRE

DEPARTMENT

ACCESS PLAN

SHEET NUMBER

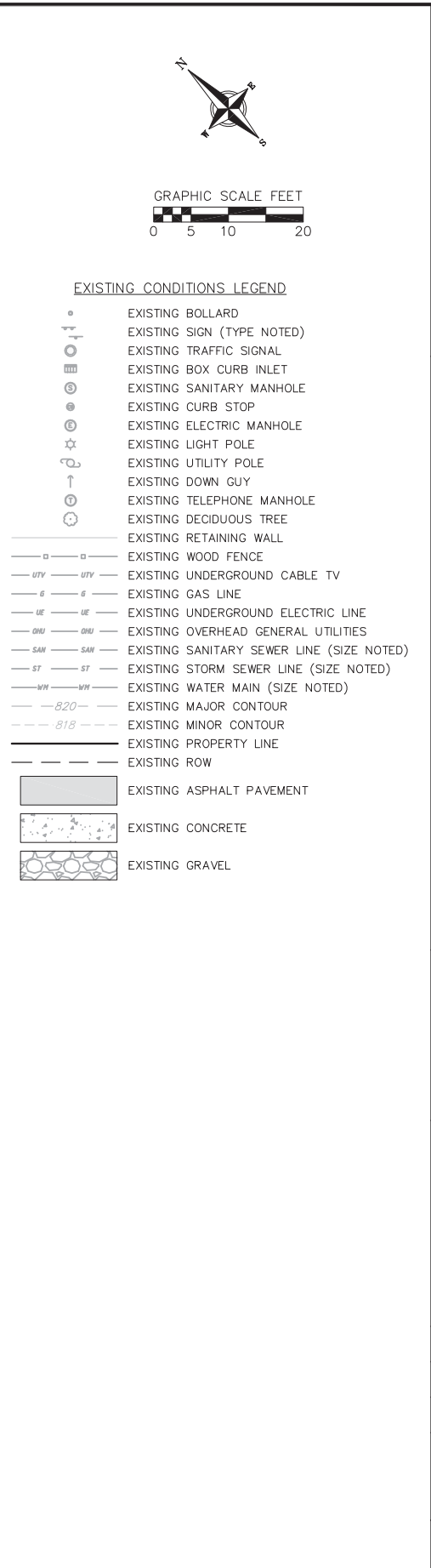
C-1.2

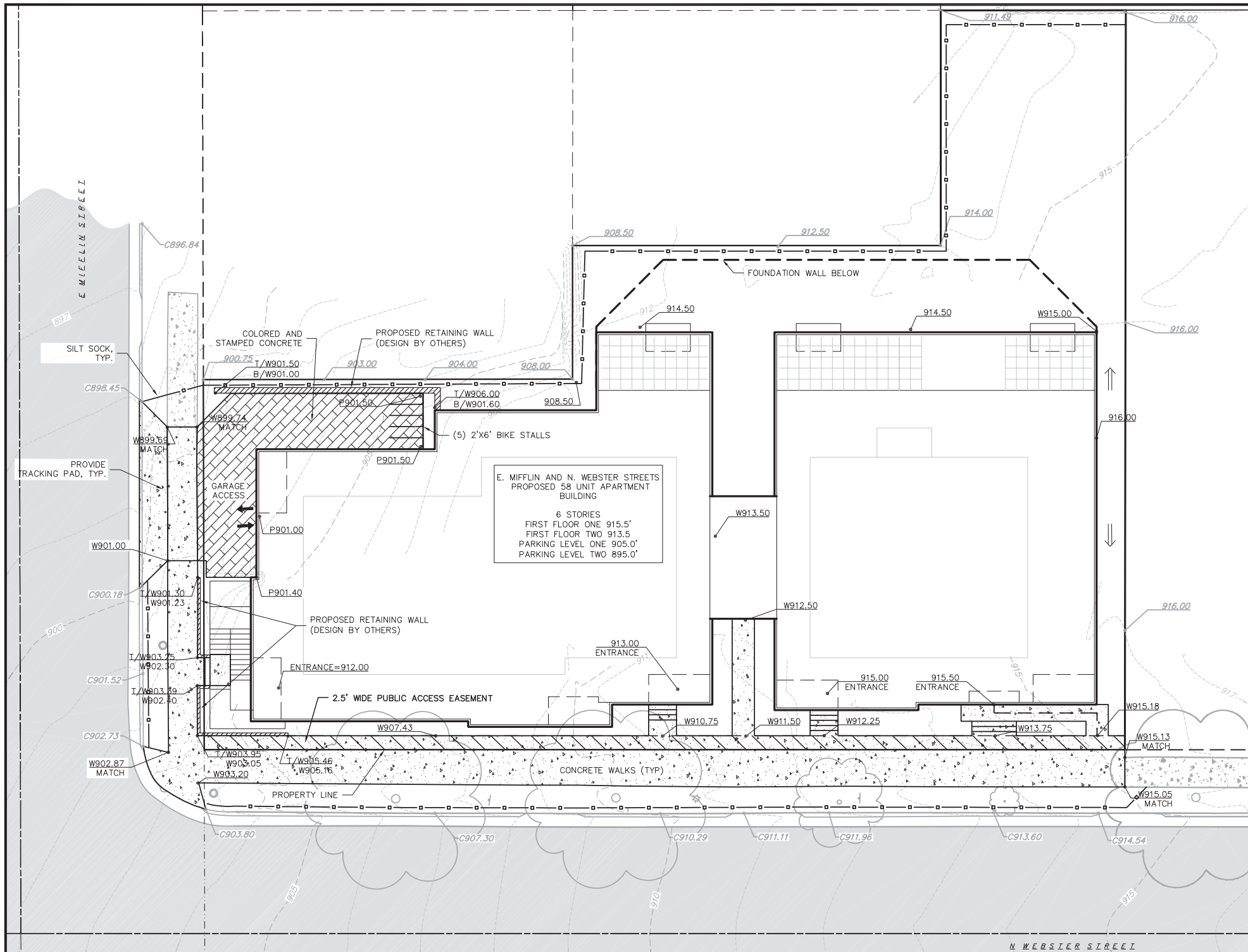
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FIRE DEPARTMENT ACCESS PLAN

$$1'' = 10' - 0'$$



SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).
9. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
5. ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD
PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE
CONSTRUCTION



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
 TELEFAX: 1-800-338-3660
 TDC (FOR HEARING IMPAIRED):
 1-800-542-2289
 WIS. STATUTE 182.0175 (1979)
 REQUIRES MINIMUM OF 3 WORKING DAYS
 NOTICE BEFORE YOU EXCAVATE.



GRAPHIC SCALE FEET

0 5 10 20





GRADING AND EROSION CONTROL LEGEND

- — — — — -820- — — — — — EXISTING MAJOR CONTOURS
 - - - - - -818- - - - - - EXISTING MINOR CONTOURS
 ● 862.33 EXISTING SPOT ELEVATIONS
 ● 863.13 PROPOSED SPOT ELEVATIONS

ABBREVIATIONS

- C - BACK OF CURB
P - EDGE OF PAVEMENT
W - EDGE OF SIDEWALK
T/W - TOP OF WALL
B/W - BOTTOM OF WALL

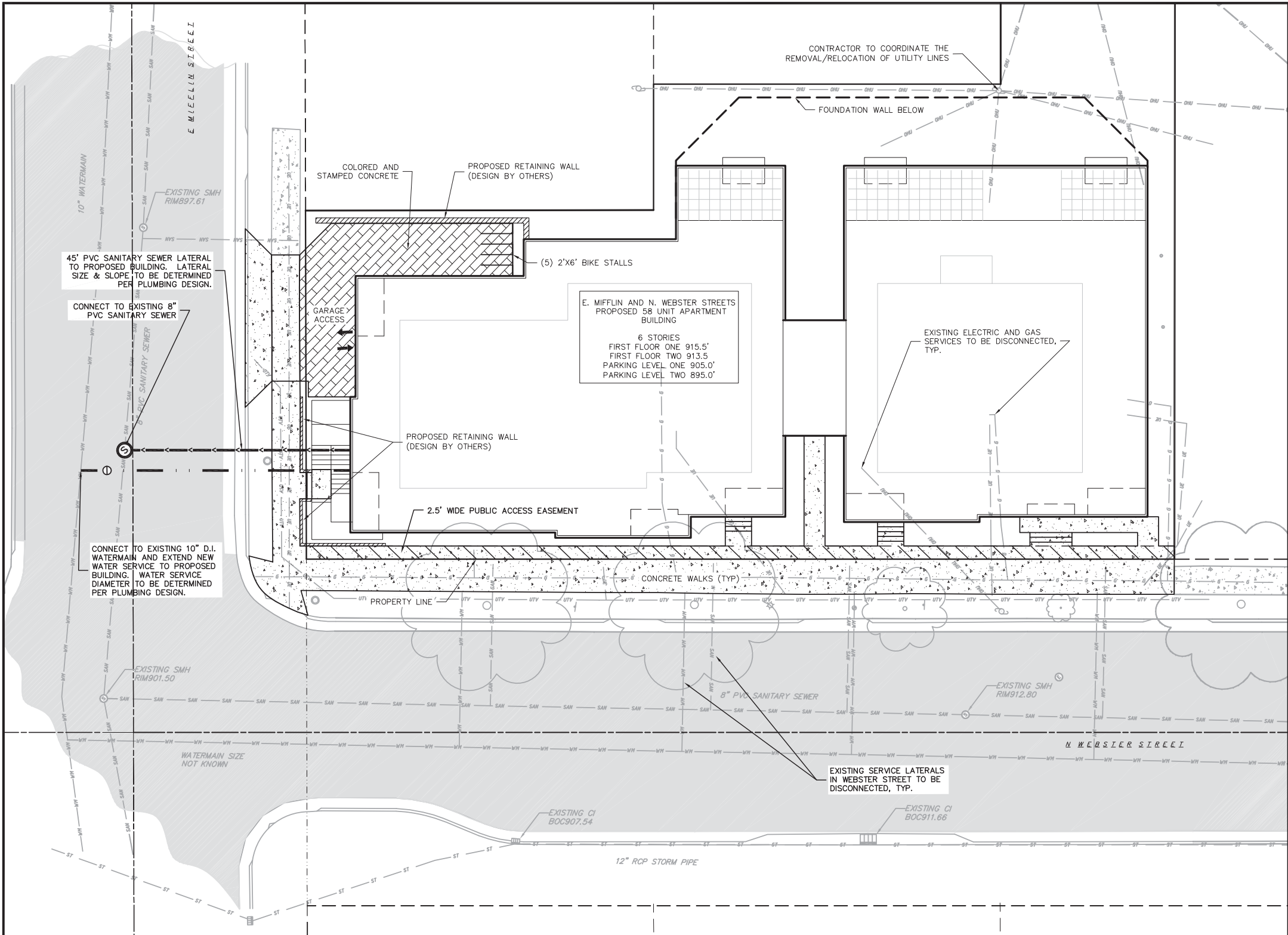
-
- ← DRAINAGE DIRECTION
 - SILT SOCK
 - ===== PROPERTY BOUNDARY
 - ===== PROPOSED BUILDING OUTLINE
 - ===== PROPOSED CURB AND GUTTER

- | | |
|-------------------------------------------------------------------------------------|---------------------------------------|
|  | EXISTING CONCRETE |
|  | PROPOSED CONCRETE |
|  | PROPOSED COLORED AND STAMPED CONCRETE |
|  | EXISTING ASPHALT PAVEMENT |

EROSION CONTROL MEASURE NOTES:

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY AN EROSION RESISTANT OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF ANY RECEIVING WATERWAY. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEDERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEEDS WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE 1 CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED BY MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.

SCALE	1"=20' (24"x36") 1"=40' (11"x17")
DATE	2/19/14
DRAFTER	JFEL
CHECKED	
PROJECT NO.	130037
SHEET	2 OF 3
DWG. NO.	C2.0



UTILITY NOTES:

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
- NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.

- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.

- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- THE DEVELOPER SHALL INSTALL THE 3MTM ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-YR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).



CALL DIGGER'S HOTLINE
1-800-242-8511
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TELEFAX: 1-800-336-3860
TDD (FOR HEARING IMPAIRED):
1-800-542-2285
WIS. STATUTE 192.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.



GRAPHIC SCALE FEET
0 5 10 20

EXISTING CONDITIONS LEGEND

- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING DECIDUOUS TREE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE

PROPOSED UTILITY LEGEND

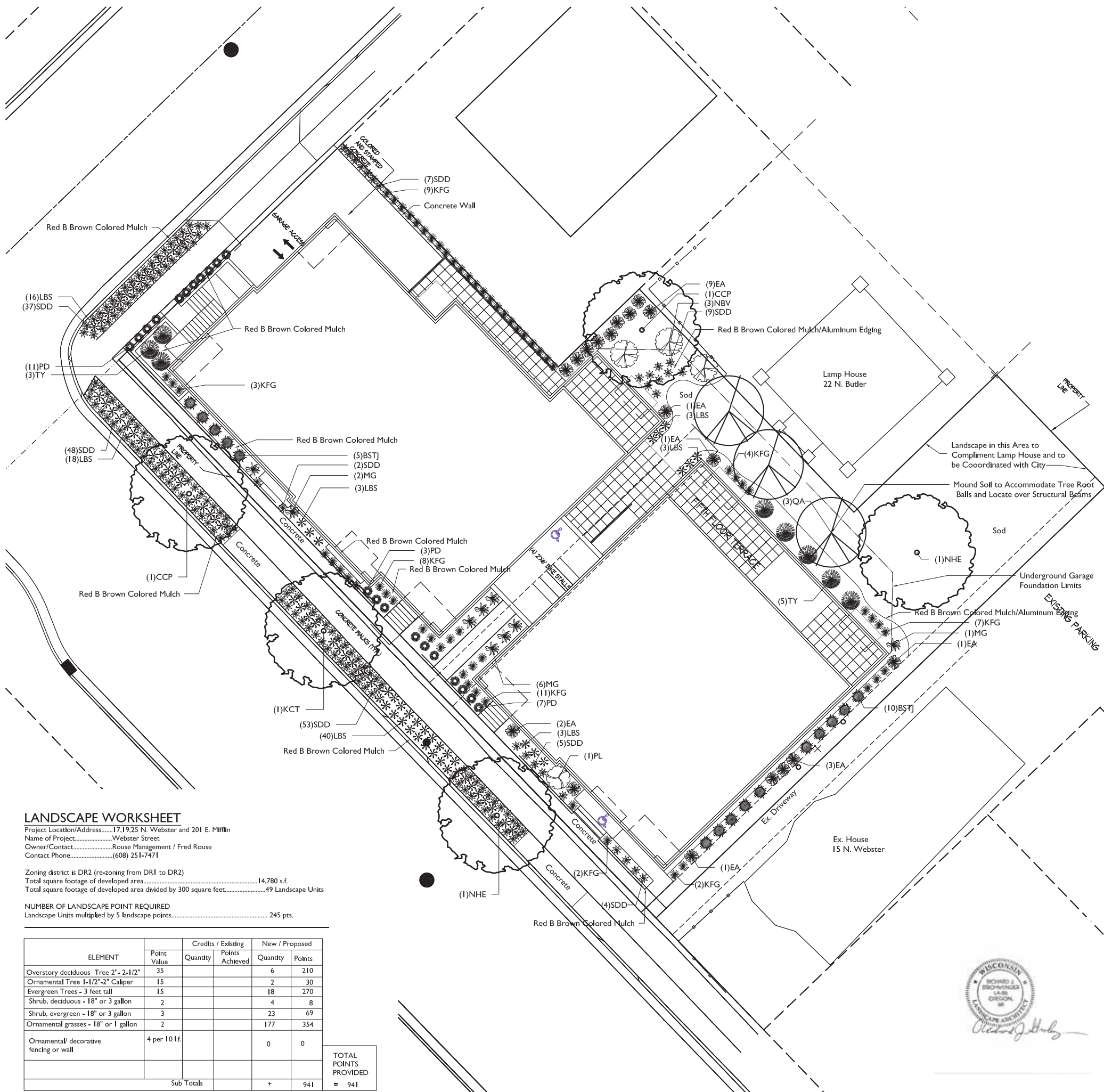
- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- WATER MAIN
- WATER VALVE
- CURB INLET
- SANITARY MANHOLE
- BUILDING OUTLINE
- PROPERTY BOUNDARY
- CONCRETE
- COLORLED AND STAMPED CONCRETE

UTILITY PLAN

E. MIFFLIN & N. WEBSTER STREETS
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISONS	NO.	DATE	REMARKS

SCALE 1"=20' (24"x36") 1"=40' (11"x17")
DATE 2/19/14
DRAFTER JFEL
CHECKED
PROJECT NO. 130037
SHEET 3 OF 3
DWG. NO. C3.0



LANDSCAPE WORKSHEET

Project Location/Address.....17,19,25 N. Webster and 201 E. Mifflin
Name of Project.....Webster Street
Owner/Contact.....Rouse Management / Fred Rouse
Contact Phone.....(608) 251-7471

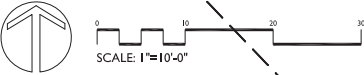
Zoning district is DR2 (re-zoning from DR1 to DR2)
Total square footage of developed area.....14,780 s.f.
Total square footage of developed area divided by 300 square feet.....49 Landscape Units

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2'-2-1/2"	35			6	210
Ornamental Tree 1-1/2"-2" Caliper	15			2	30
Evergreen Trees - 3 feet tall	15			18	270
Shrub, deciduous - 18" or 3 gallon	2			4	8
Shrub, evergreen - 18" or 3 gallon	3			23	69
Ornamental grasses - 18" or 1 gallon	2			177	354
Ornamental/ decorative fencing or wall	4 per 10 l.f.			0	0
Sub Totals				+	941
					TOTAL POINTS PROVIDED = 941

GENERAL NOTES

- A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3' wide beds for shrub groupings).
- C) "Aluminum Edging" to be "Curv-Rite" Aluminum Edging or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.
- F) Existing street trees shall be protected. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. No excavation is permitted within 5 feet of the outside edge of the tree trunk. If Excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-
<http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/PartI.pdf>.
- G) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing street trees to schedule inspecting the nursery stock and reviewing landscaping specifications with the landscaper.

Plant Material List				
Broadleaf Deciduous				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
2	CCP	Pyrus Calleryana 'Chanticleer'	Chanticleer Callery Pear	2 1/2" B&B
1	KCT	Gymnocladus dioica	Kentucky Coffeetree	2 1/2" B&B
2	NHE	Ulmus Pumila X U Japonica	New Horizon Elm	2 1/2" B&B
3	QA	Populus Tremuloides	Quaking Aspen	2" B&B
Conifer Evergreen				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
15	BSTJ	Juniperus Squamata 'Blue Star'	Blue Star Juniper	#2 CONT.
18	EA	Thuja Occidentalis 'Smaragd'	Emerald Arborvitae	4" B&B
8	TY	Taxus X Media 'Tauntontii'	Tauntont Yew	18" B&B
Perennial				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
61	KFG	Calamagrostis Acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	#1 CONT.
86	LBS	Schizachyrium Scoparium	Little Bluestem	#1 CONT.
9	MG	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#1 CONT.
21	PD	Sporobolus Heterolepis	Prairie Dropseed	#1 CONT.
165	SDD	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	#1 CONT.
Shrub				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
3	NBV	Viburnum Dentatum 'Morton'	Northern Burgundy Arwd Viburnum	4" B&B
1	PL	Syringa Meyeri 'Palibin'	Palibin Lilac	3" B&B



LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2830 PARMENTER STREET
P.O. BOX 620330
MIDDLETON, WI 53562-0330
TEL (608) 836-7041
FAX (608) 831-6266

WEBSTER STREET
17,19 and 25 N. WEBSTER STREET AND 201 E. MIFFLIN STREET
MADISON, WISCONSIN 53703

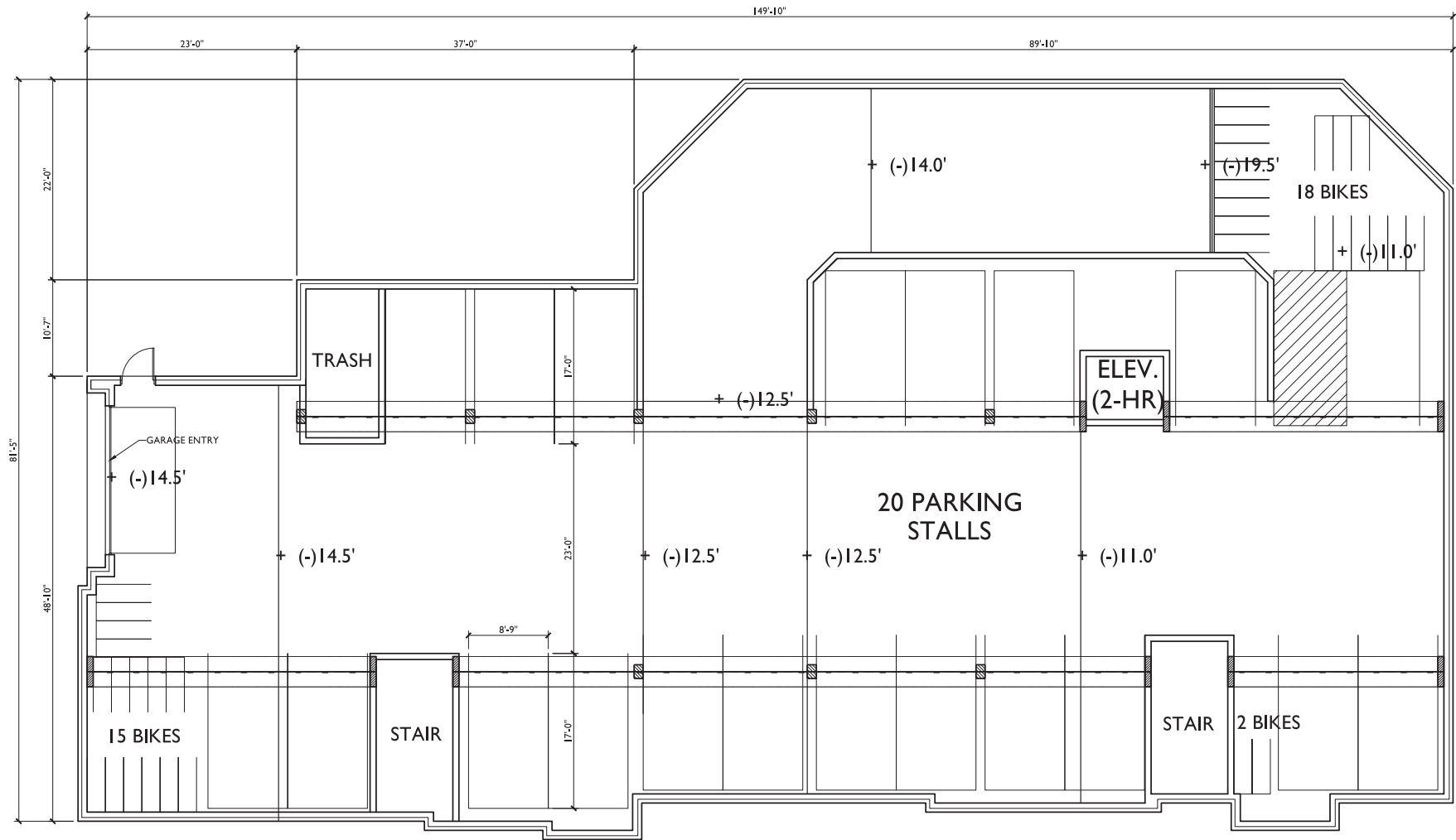
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Drawn By: 10/16/13 RS

Revised: 2/18/14 RS
Revised:
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L1

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1 UPPER LEVEL PARKING PLAN
A-1.0 SCALE: 1/8"=1'-0"



ISSUED
Land Use Application - February 19, 2014

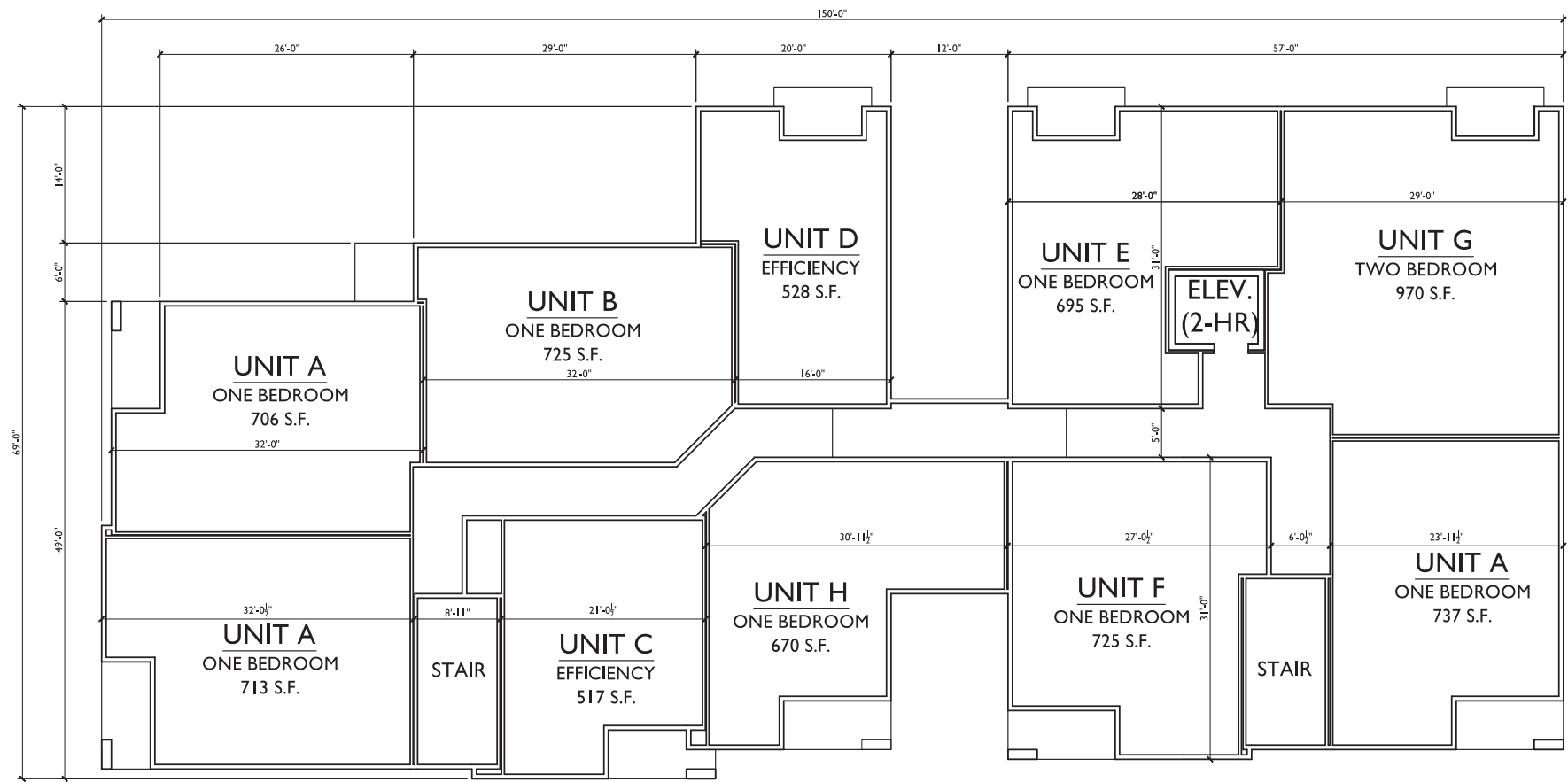
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UPPER LEVEL
PARKING PLAN

SHEET NUMBER

A-1.0

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1
A-1.2

SECOND - FOURTH FLOOR PLANS

SCALE: 1/8"=1'-0"



ISSUED
Land Use Application - February 19, 2014

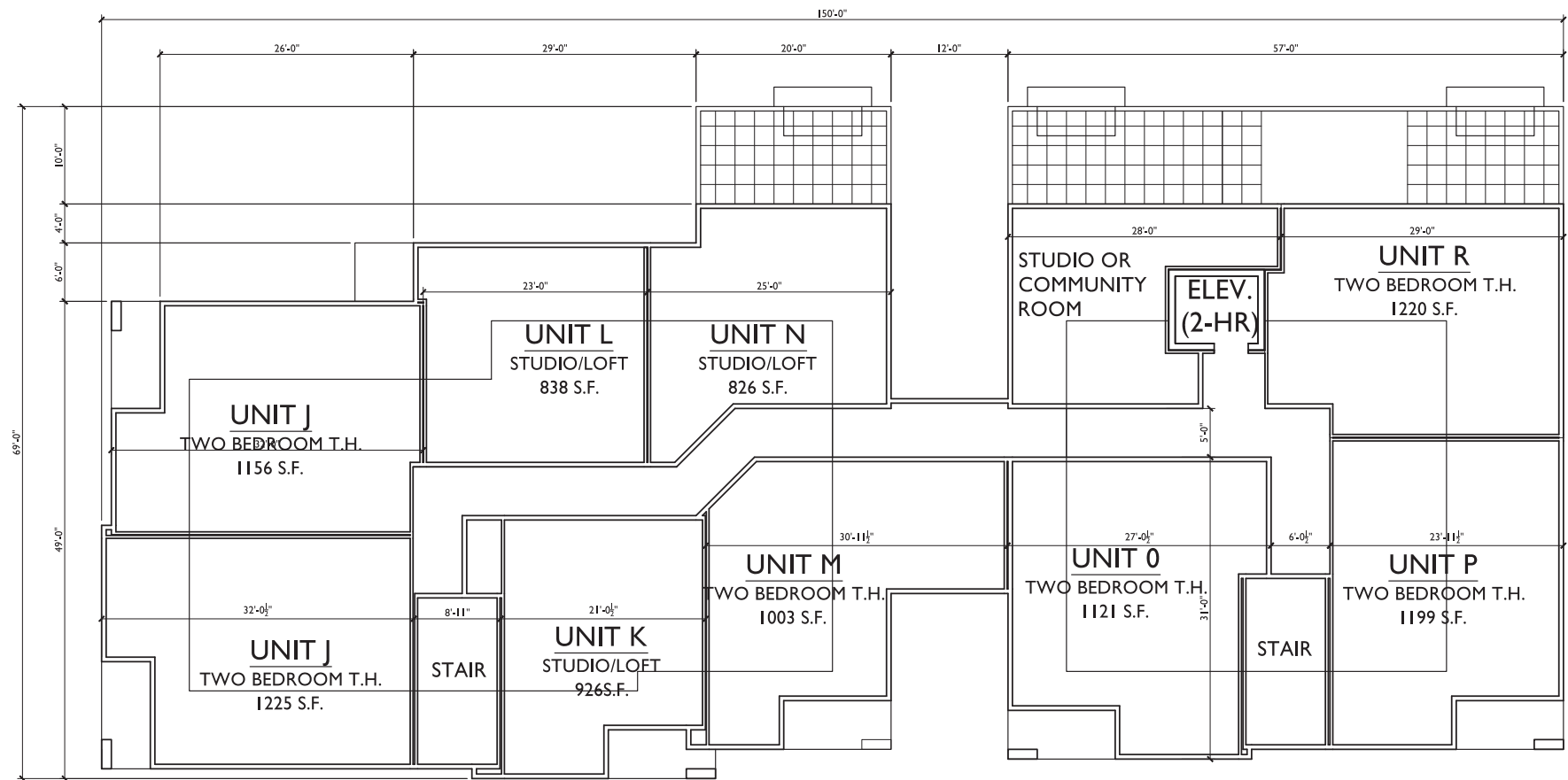
PROJECT TITLE
WEBSTER ST

17, 19 & 25 N Webster
St. and 201 E Mifflin St.
SHEET TITLE
SECOND-FOURTH
FLOOR PLAN

SHEET NUMBER

A-1.2

PROJECT NO. 1315
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1
A-1.3

FIFTH FLOOR PLAN

SCALE: 1/8"=1'-0"



ISSUED
Land Use Application - February 19, 2014

PROJECT TITLE
WEBSTER ST

17, 19 & 25 N Webster
St. and 201 E Mifflin St.
SHEET TITLE
FIFTH FLOOR
PLAN

SHEET NUMBER

A-1.3

PROJECT NO. 1315
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Land Use Application - February 19, 2014

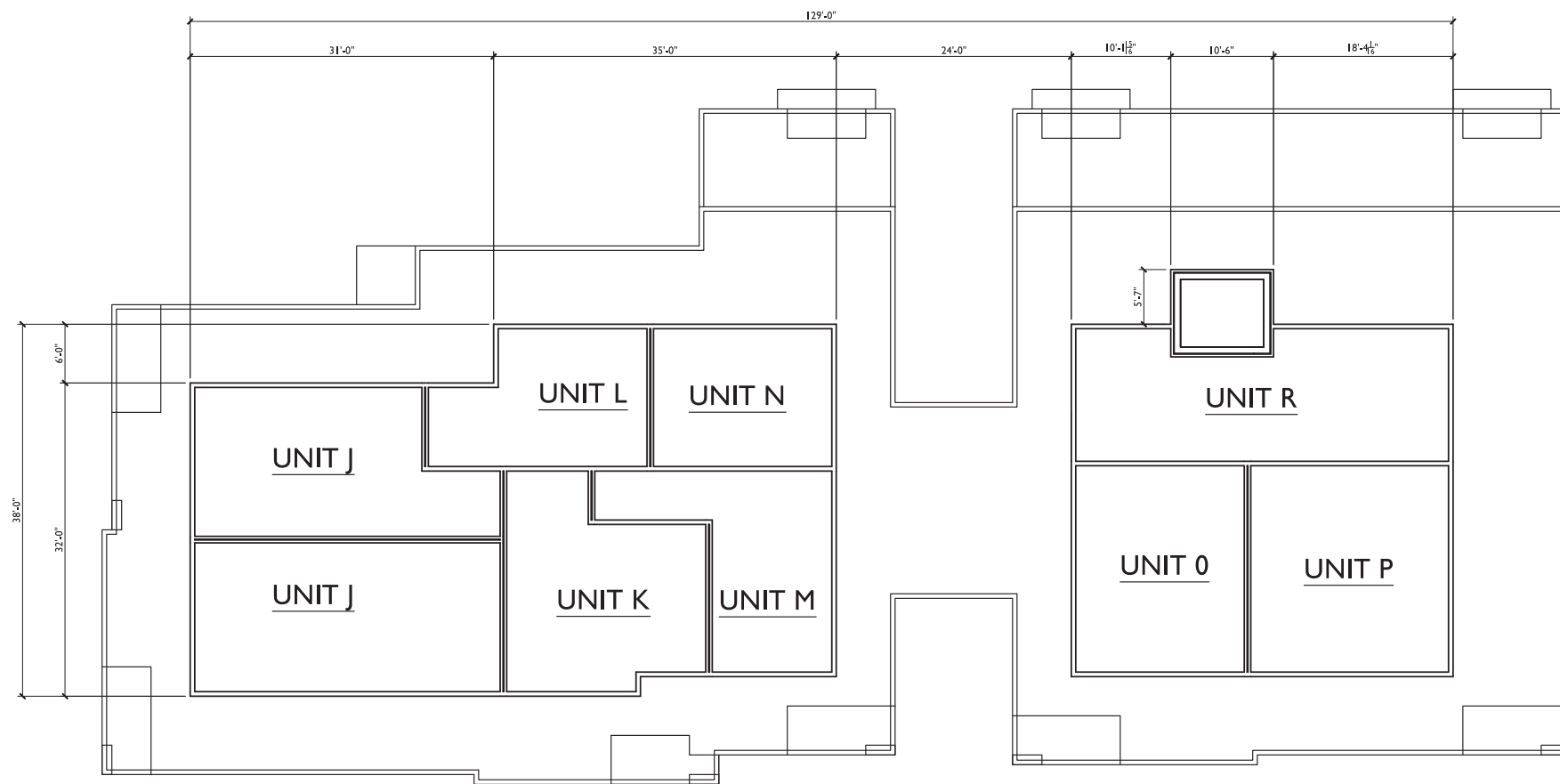
PROJECT TITLE
WEBSTER ST

17, 19 & 25 N Webster
St. and 201 E Mifflin St.
SHEET TITLE
LOFT FLOOR
PLAN

SHEET NUMBER

A-I.4

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I LOFT FLOOR PLAN
A-I.4 SCALE: 1/8"=1'-0"



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Land Use Application - February 19, 2014

PROJECT TITLE
WEBSTER ST

17, 19 & 25 N Webster
St. and 201 E Mifflin St.
SHEET TITLE
ELEVATIONS

SHEET NUMBER

A-2.1

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