

Consultant

Notes

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**SITE DEVELOPMENT STATISTICS**

LOT AREA	607,839 S.F./13.95 ACRES			
DWELLING UNITS	112 D.U.			
LOT AREA/ D.U.	5,427 S.F./D.U.			
DENSITY	8 UNITS/ACRE			
BUILDING HEIGHT	1-2 STORY			
USABLE OPEN SPACE	76,472 S.F.			
GROSS FLOOR AREA (excluding basement)	232,510 S.F.			
FLOOR AREA RATIO	0.38			
UNIT MIX	DUPLEX	1Q-UNIT	6-UNIT	TOTAL
TWO BEDROOM	38	50	20	108
THREE BEDROOM			4	4
				112
VEHICLE PARKING				
UNDERGROUND/GARAGE	76	100	48	TOTAL 224
		HC		
SURFACE	43	8		51
TOTAL				275
BIKE PARKING				
UNDERGROUND/GARAGE				112
SURFACE				10
TOTAL				120

Revisions

SIP Submittal - September 16, 2009

Project Title

**Hanks Reserve**  
Lot 53 of  
Hanks Landing Golf Club  
1802 Maple Crest Drive  
9002 Hanks Reserve Lane

Drawing Title

**Site Plan**

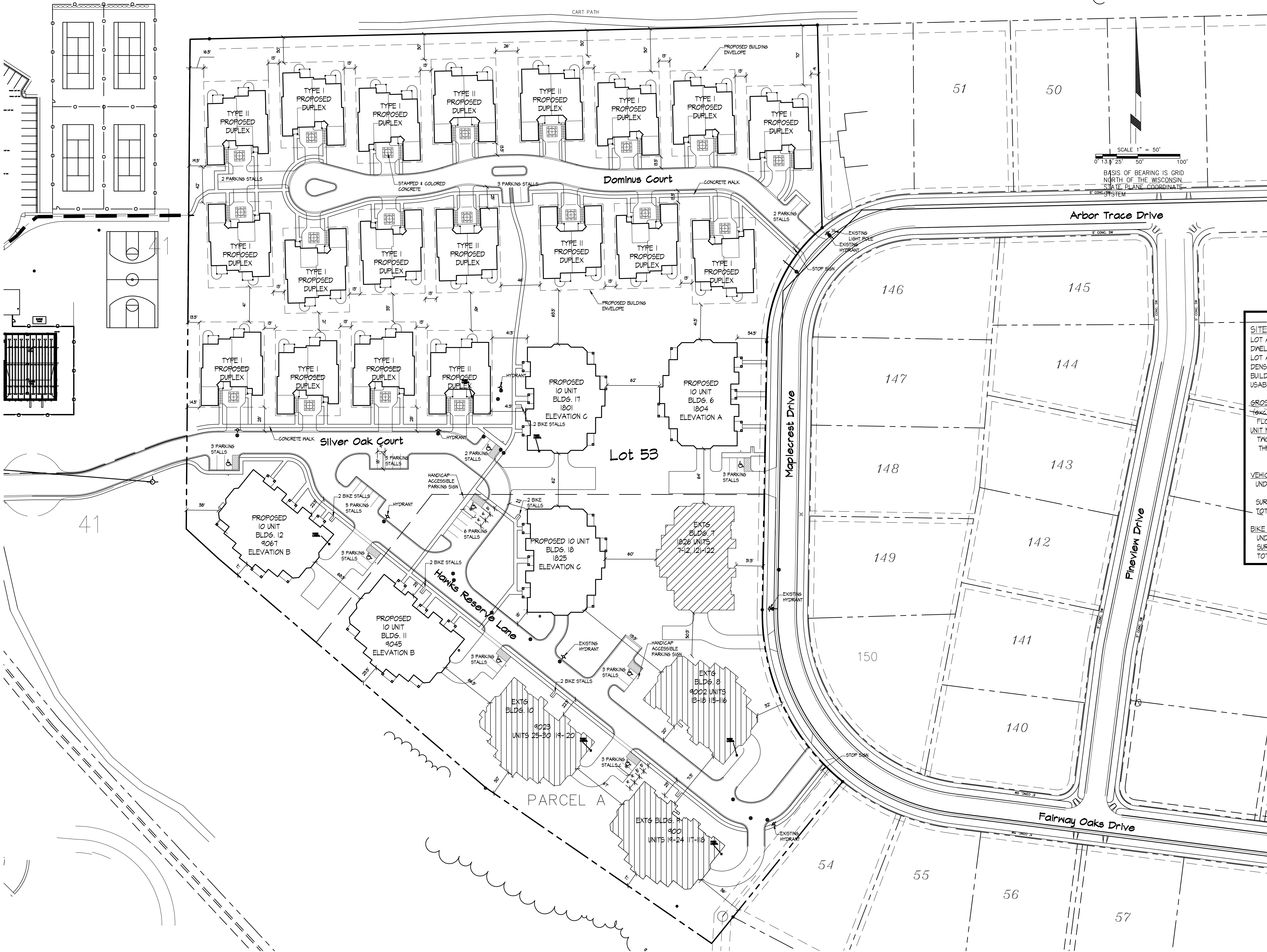
Project No.

**0922**

Drawing No.

**C-1.0**

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- GRADING AND EROSION CONTROL**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.
  2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 625 OF THE STANDARD SPECIFICATIONS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.
  3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 1996 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.3.6.2 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.
  4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED.
  5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
  6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.
  7. ALL GRADES SHOWN ARE FINISHED GRADES.
  8. ALL DIMENSIONS ARE TO FACE OF CURB.

**NOTES:**  
 1. BENCHMARK IS THE TOP NUT OF THE HYDRANT AT THE SOUTHWEST CORNER OF LOT 52. ELEVATION 252.62 CITY OF MADISON DATUM.

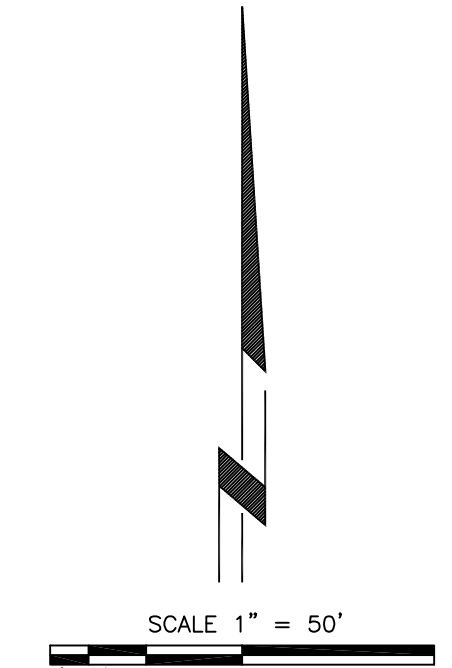
**LEGEND**

● SECTION CORNER FOUND	-X-X-X- SANGUIT LINE
○ IRON STAKE FOUND	▬ CATCH CURB
⊗ REBAR PLACED	▬ REJECT CURB
⊗ CHISEL CROSS	▬ PROPOSED CONCRETE PAVEMENT
⊙ DRILL HOLE	▬ PROPOSED CONCRETE SIDEWALK
⊙ SURVEY NAIL	▬ PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
⊙ HOOD STAKE	▬ PROPOSED SANGUIT REMOVE AND REPLACE PAVEMENT
⊙ RECORDED AS DATA MEASURED DATA	▬ NEW ASPHALT
⊙ SOIL BORING	▬ EX ASPHALT TO BE MILLED AND OVERLAID
⊙ SANITARY MANHOLE	▬ 1" 400.00 TOP OF WALL ELEVATION
⊙ YARD CLEANOUT	▬ 1" 899.00 BOTTOM OF WALL ELEVATION
⊙ STORM MANHOLE	▬ PERIMETER SILT FENCE
⊙ STORM INLET	▬ EROSION MATTING
⊙ STORM CATCH BASIN	▬ STRAW BALES
⊙ STORM CLEAN OUT	▬ INLET PROTECTION
⊙ APRON ENDWALL	▬ STRAW BALE/SILT FENCE
⊙ WATER MANHOLE	▬ INLET PROTECTION
⊙ HYDRANT	▬ STABILIZED CONSTR. ENTRANCE
⊙ WATER VALVE	
⊙ SIAMSE CONNECT	
⊙ POST INDICATOR VALVE	
⊙ GAS METER	
⊙ GAS VALVE	
⊙ TRAFFIC SIGNAL	
⊙ TRAFFIC CONTROL BOX	
⊙ LIGHT POLE	
⊙ ELECTRICAL OUTLET	
⊙ UTILITY POLE	
⊙ GUY WIRE / DEAD MAN	
⊙ TRAFFIC SIGNAL	
⊙ TRAFFIC CONTROL BOX	
⊙ ELECTRIC PEDESTAL	
⊙ ELECTRIC METER	
⊙ ELECTRIC MANHOLE	
⊙ TELEPHONE PEDESTAL	
⊙ TELEPHONE MANHOLE	
⊙ CABLE PEDESTAL	
⊙ SPRINKLER HEAD	
⊙ BOLLARD	
⊙ SIGN	
⊙ MONITORING WELL	
⊙ HANDICAP RAMP	
⊙ HANDICAP STALL	
⊙ STONE WALL	
⊙ FENCE LINE	
⊙ EDGE OF TREES	
⊙ PROPERTY LINE	
⊙ CENTER LINE	
▬ EXISTING BUILDING	
▬ EXISTING CONCRETE	
▬ EXISTING GRAVEL	
▬ EXISTING ASPHALT	
○ CANOPY SHADE TREE	
○ SHRUB	
○ CONIFEROUS TREE	
▬ WAT	-BURIED WATER MAIN
▬ SAN	-SANITARY SEWER
▬ ST	-STORM SEWER
▬ RD	-ROOF DRAIN
▬ OH	-OVERHEAD WIRES
▬ CATV	-BURIED CABLE TV LINE
▬ E	-BURIED ELECTRIC
▬ T	-BURIED TELEPHONE
▬ FO	-FIBER OPTIC
▬ G	-BURIED GAS MAIN
▬	-CONTOUR
▬	-SPOT ELEVATION
⊙ CAUTION	
▬ PROPERTY LINE	
▬ UTILITY EASEMENT	
▬ SETBACK LINE	
▬ EDGE OF WATER	
▬ WETLAND BOUNDARY	
▬ 100 YEAR FLOOD BOUNDARY	

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



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**HAWK'S LANDING**  
 LOT 53  
 MADISON, WISCONSIN  
 HAWKS CONDOMINIUM CORPORATION

Sheet Title:  
**OVERALL GRADING PLAN**

Revisions:

No.	Date	Description	By:
4	06-05	REVISED GRADING	DDA
4	29-05	PROFILE EDITS	PUK

Project Number:	Designed By:
090128	A&O
Date Issued:	Reviewed By:
9-16-09	A&O

Sheet Number:  
**C1.1**

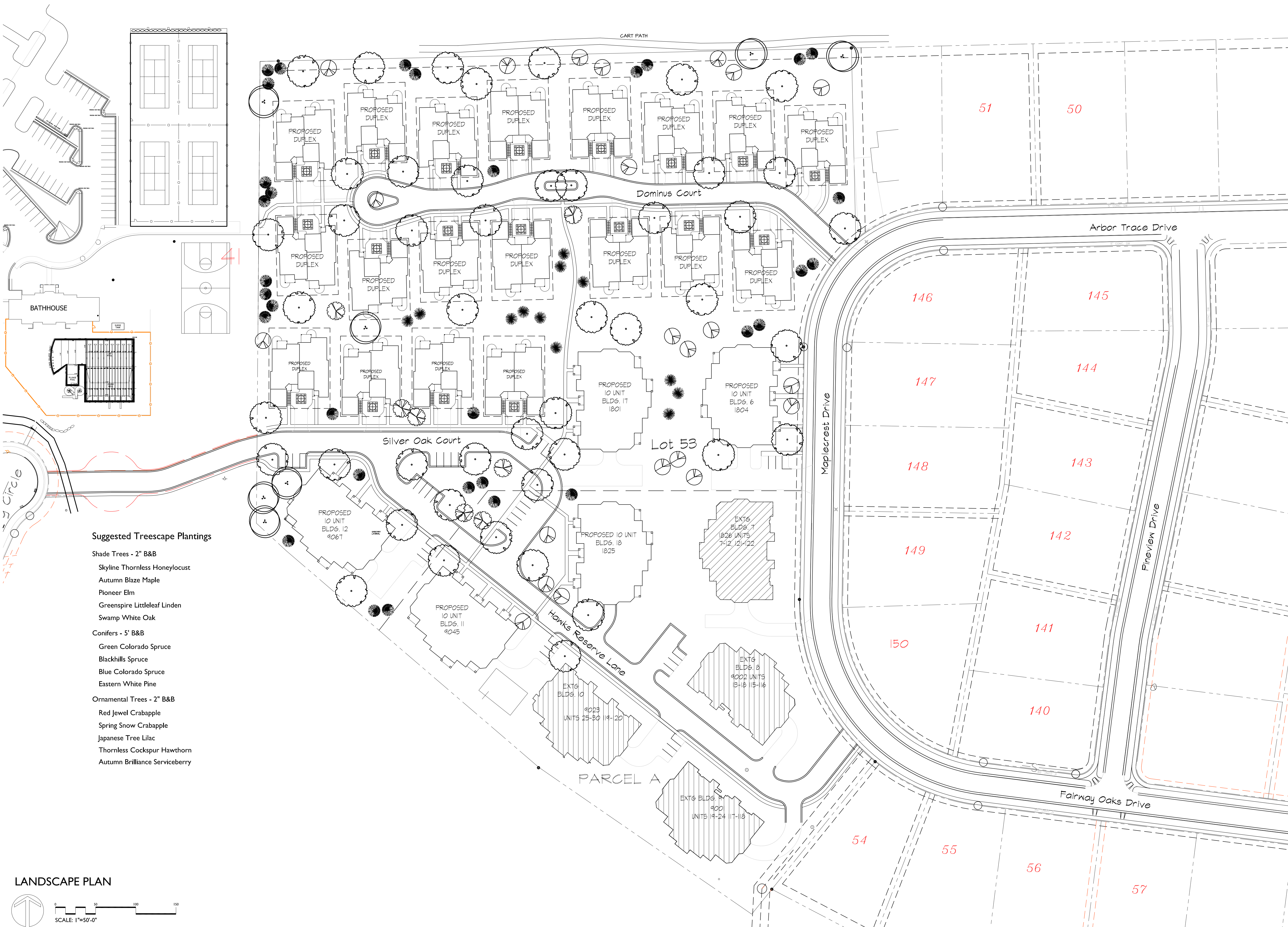


**HAWKS RESERVE**  
LOT 53 OF HAWKS LANDING GOLF CLUB  
1802 MAPLE CREST DRIVE

Checked By: SS  
Drawn By: MK  
9/16/09  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:

Job #  
**L1.1**

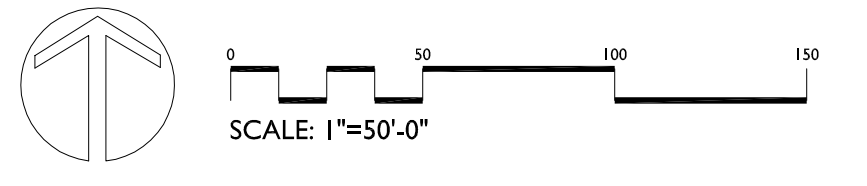
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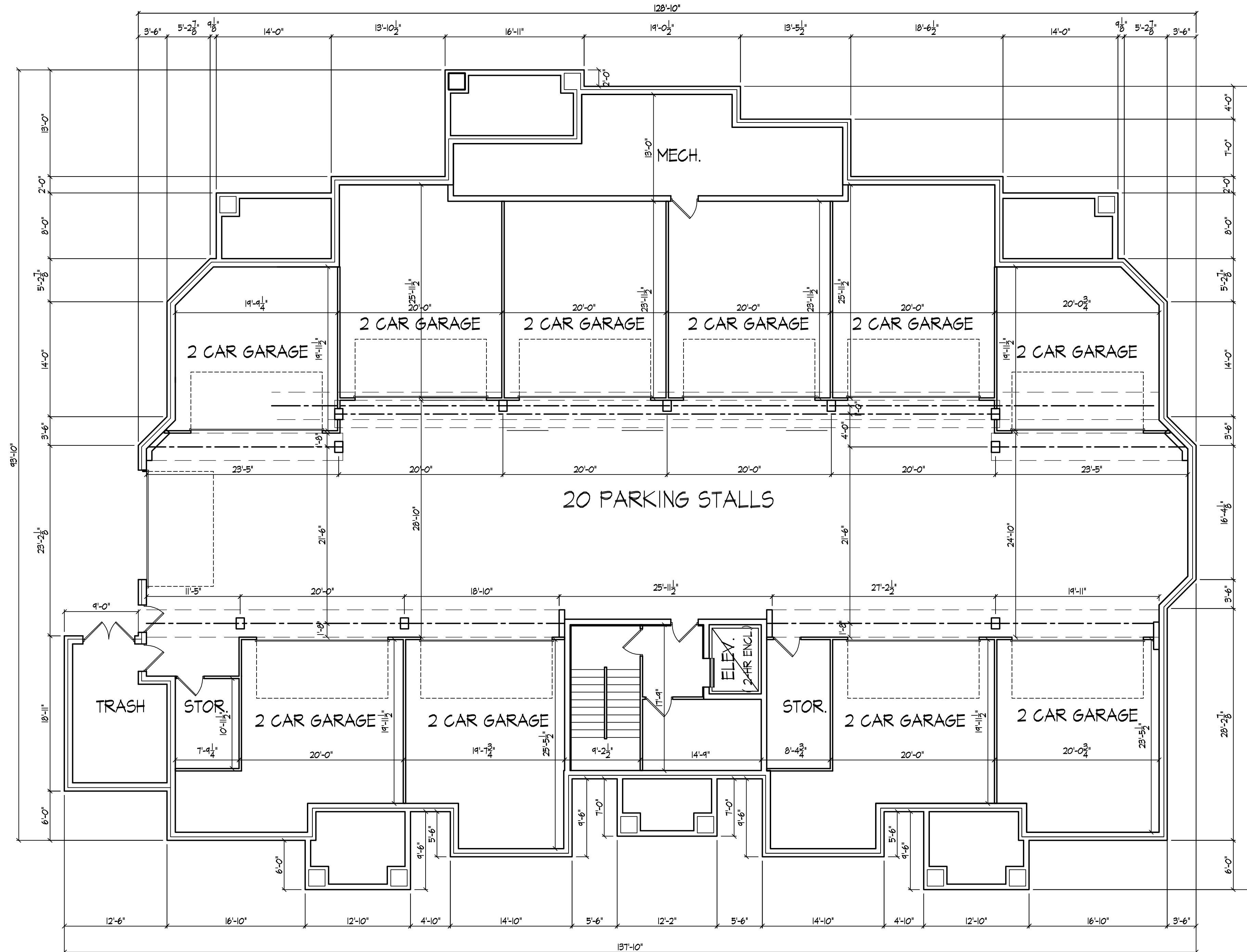
**Suggested Treescape Plantings**

- Shade Trees - 2" B&B
  - Skyline Thornless Honeylocust
  - Autumn Blaze Maple
  - Pioneer Elm
  - Greenspire Littleleaf Linden
  - Swamp White Oak
- Conifers - 5' B&B
  - Green Colorado Spruce
  - Blackhills Spruce
  - Blue Colorado Spruce
  - Eastern White Pine
- Ornamental Trees - 2" B&B
  - Red Jewel Crabapple
  - Spring Snow Crabapple
  - Japanese Tree Lilac
  - Thornless Cockspur Hawthorn
  - Autumn Brilliance Serviceberry

**LANDSCAPE PLAN**







**N**  
**BASEMENT FLOOR PLAN**  
1/8" = 1'-0"

Revisions

PRD Submittal - September 16, 2009

Project Title

Hank's Landing  
Condominiums  
Lot 53  
Madison, Wisconsin

Drawing Title

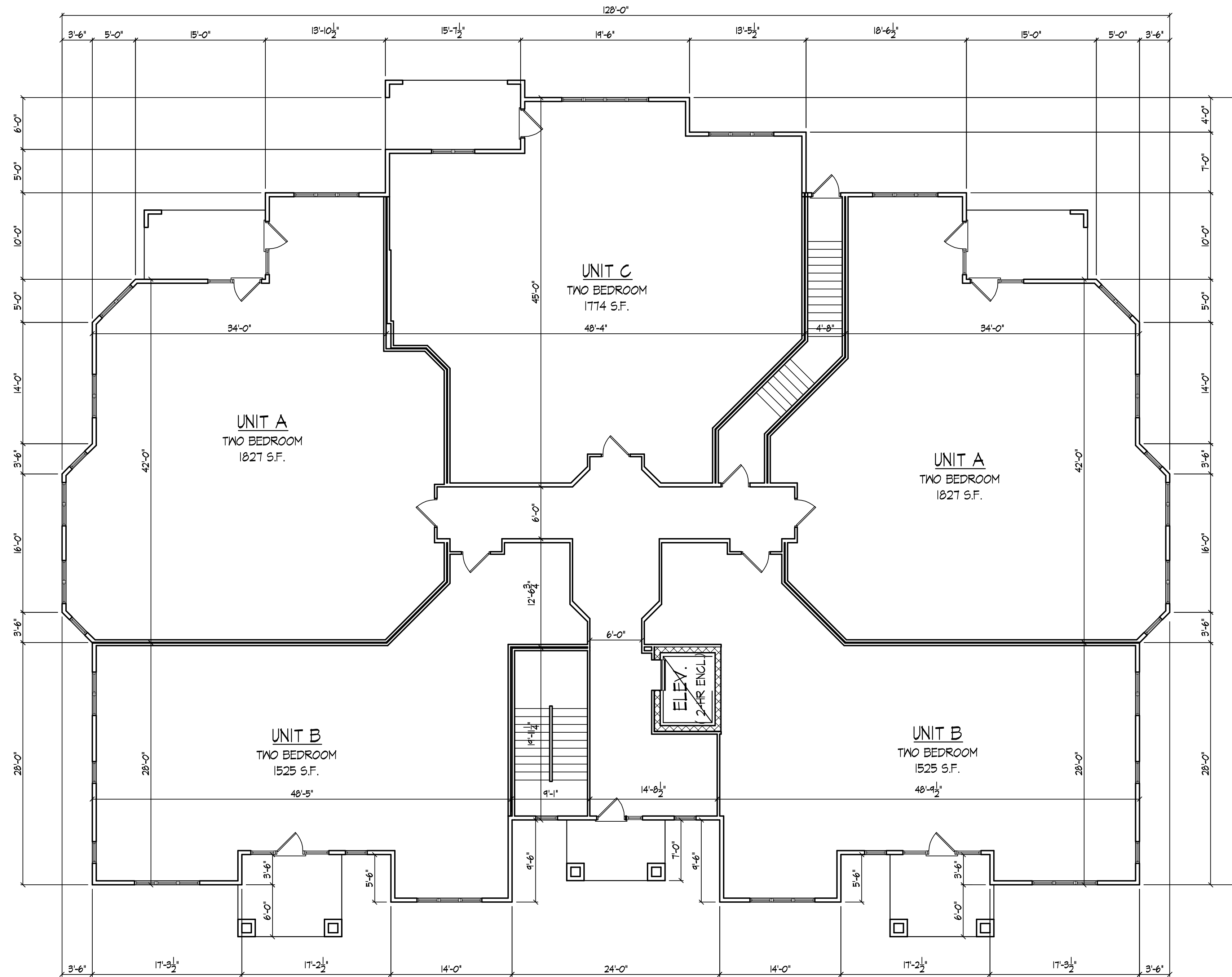
Basement Floor Plan

Project No.

0922

Drawing No.

1



**TYPICAL FIRST FLOOR PLAN**  
1/8" = 1'-0"

Revisions  
FRD Submittal - September 16, 2009

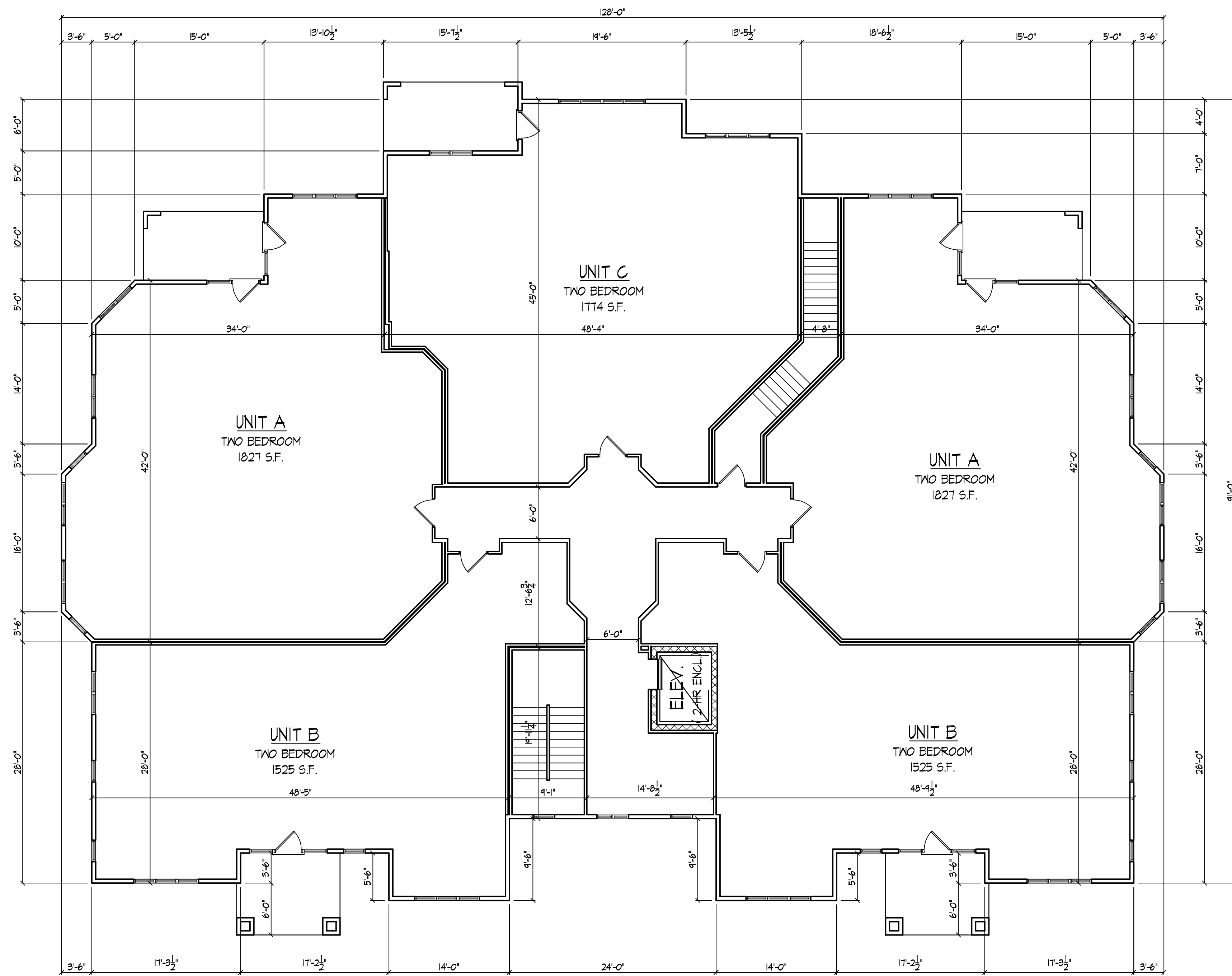
Project Title  
**Hank's Landing  
Condominiums  
Lot 53  
Madison, Wisconsin**

Drawing Title  
**First Floor Plan**

Project No. Drawing No.

**0922**

**2**



Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hank's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

**TYPICAL SECOND FLOOR PLAN**  
1/8" = 1'-0"

Drawing Title  
**Second Floor Plan**

Project No. Drawing No.

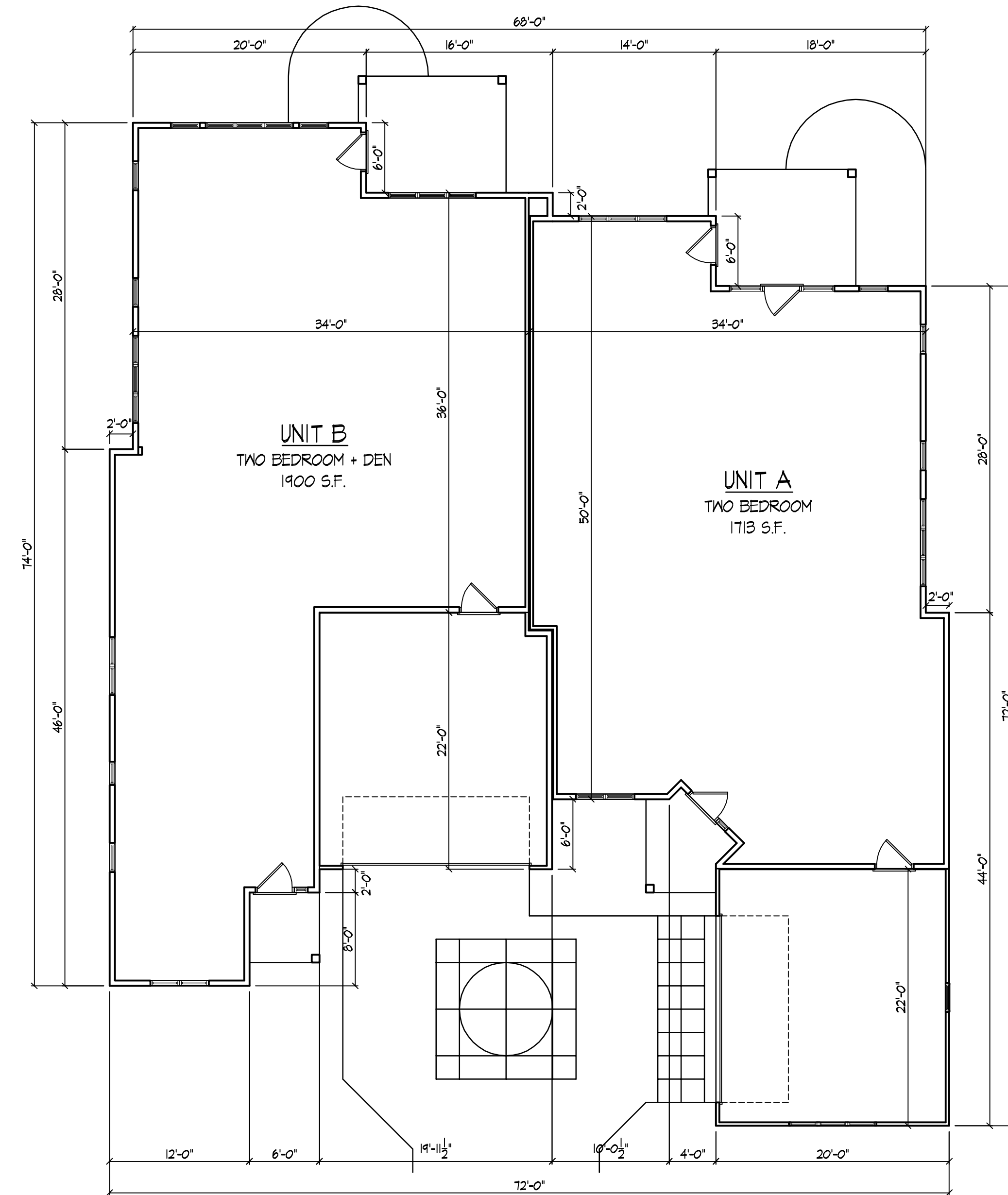
0922

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Notes

(1) BIKE STALL PER GARAGE



**FIRST FLOOR PLAN**  
1/8" = 1'-0"

Revisions

PRD Submittal - September 16, 2009

Project Title

**Hawk's Landing  
Condominiums  
Lot 53  
Madison, Wisconsin**

Drawing Title

**First Floor Plan -  
Duplex Type I**

Project No.

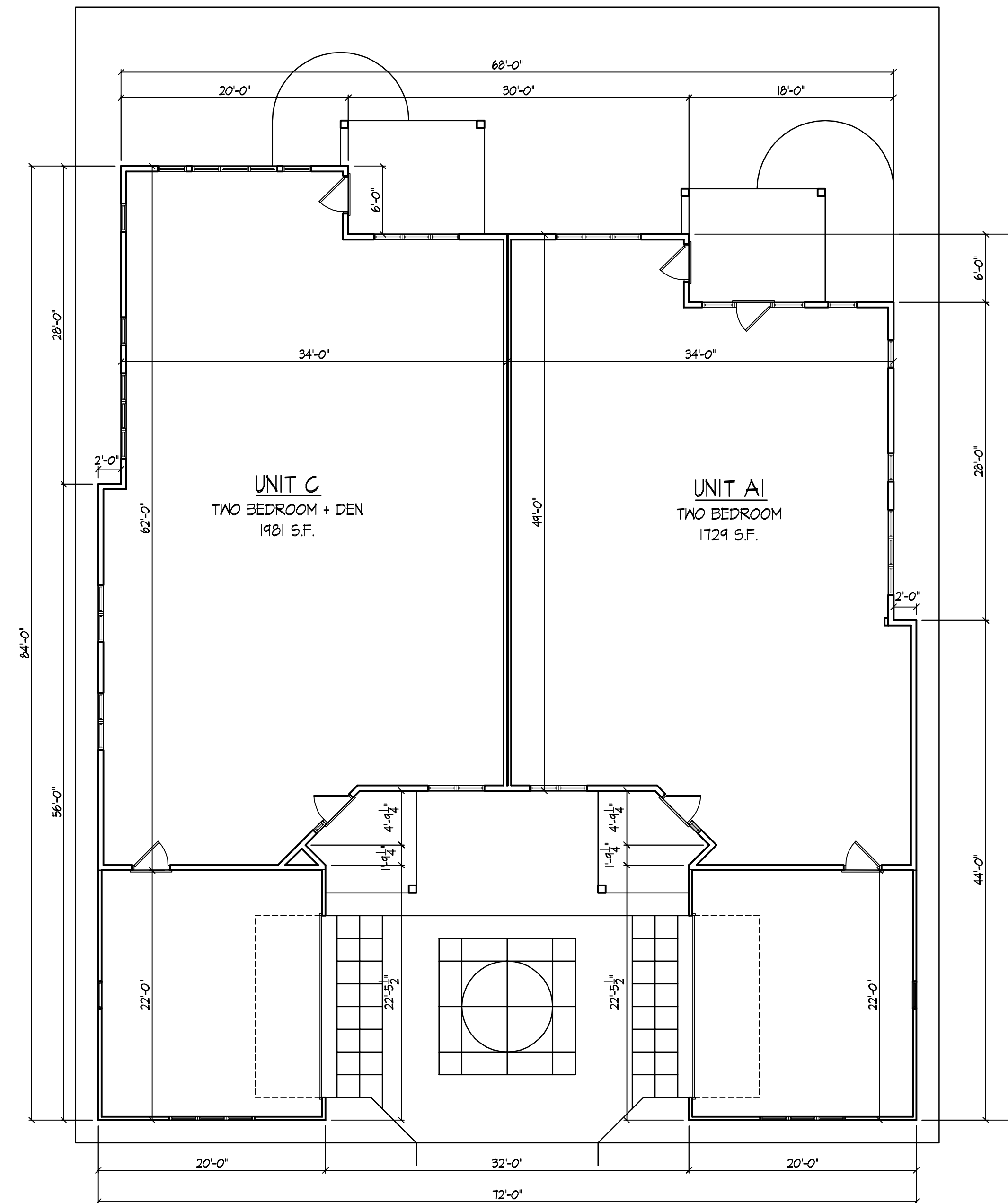
**0922**

Drawing No.

**4**

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Notes  
(1) BIKE STALL PER GARAGE



N  
FIRST FLOOR PLAN  
1/8" = 1'-0"

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hawk's Landing  
Condominiums  
Lot 53  
Madison, Wisconsin**

Drawing Title  
**First Floor Plan -  
Duplex Type II**

Project No. Drawing No.

0922

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Notes



○ FRONT ELEVATION A  
1/8" = 1'-0"



○ SIDE ELEVATION A  
1/8" = 1'-0"

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hank's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

Drawing Title  
**Elevations - A**

Project No. Drawing No.  
**0922 6**

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○ FRONT ELEVATION B  
1/8" = 1'-0"



○ SIDE ELEVATION B  
1/8" = 1'-0"

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hawk's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

Drawing Title  
**Elevations - B**

Project No. Drawing No.  
**0922 7**





○ **FRONT ELEVATION B**  
1/8" = 1'-0"



○ **SIDE ELEVATION B**  
1/8" = 1'-0"

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hawk's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

Drawing Title  
**Elevations - C**

Project No. Drawing No.  
**0922 8**



REAR ELEVATION A  
1/8" = 1'-0"

Elevation A



FRONT ELEVATION A  
1/8" = 1'-0"

TYPICAL MATERIALS

- SHAKE SIDING
- PRECAST BAND
- BRICK VENEER
- PRECAST WINDOW SILLS



REAR ELEVATION B  
1/8" = 1'-0"

Elevation B



FRONT ELEVATION B  
1/8" = 1'-0"

TYPICAL MATERIALS

- SHAKE SIDING
- PRECAST BAND
- STONE VENEER
- PRECAST WINDOW SILLS



REAR ELEVATION C  
1/8" = 1'-0"

Elevation C



FRONT ELEVATION C  
1/8" = 1'-0"

TYPICAL MATERIALS

- SHAKE SIDING
- HORIZONTAL SIDING
- PRECAST BAND
- STONE VENEER
- PRECAST WINDOW SILLS

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hank's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

Drawing Title  
**Elevations -  
Duplex Type I**

Project No. Drawing No.

0922

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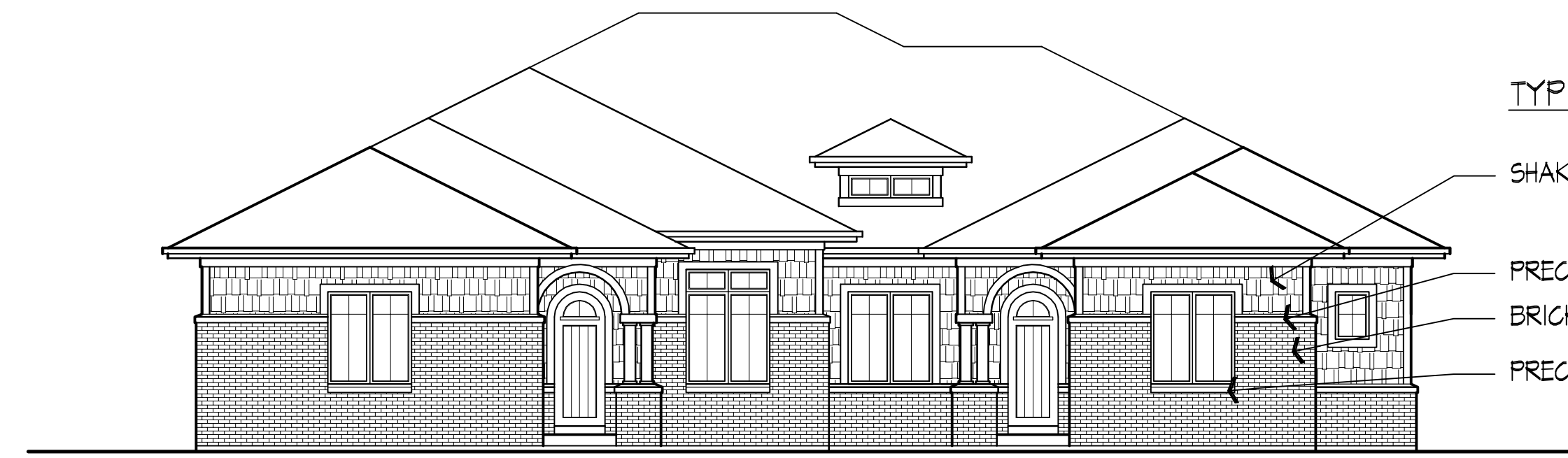
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REAR ELEVATION A  
1/8" = 1'-0"

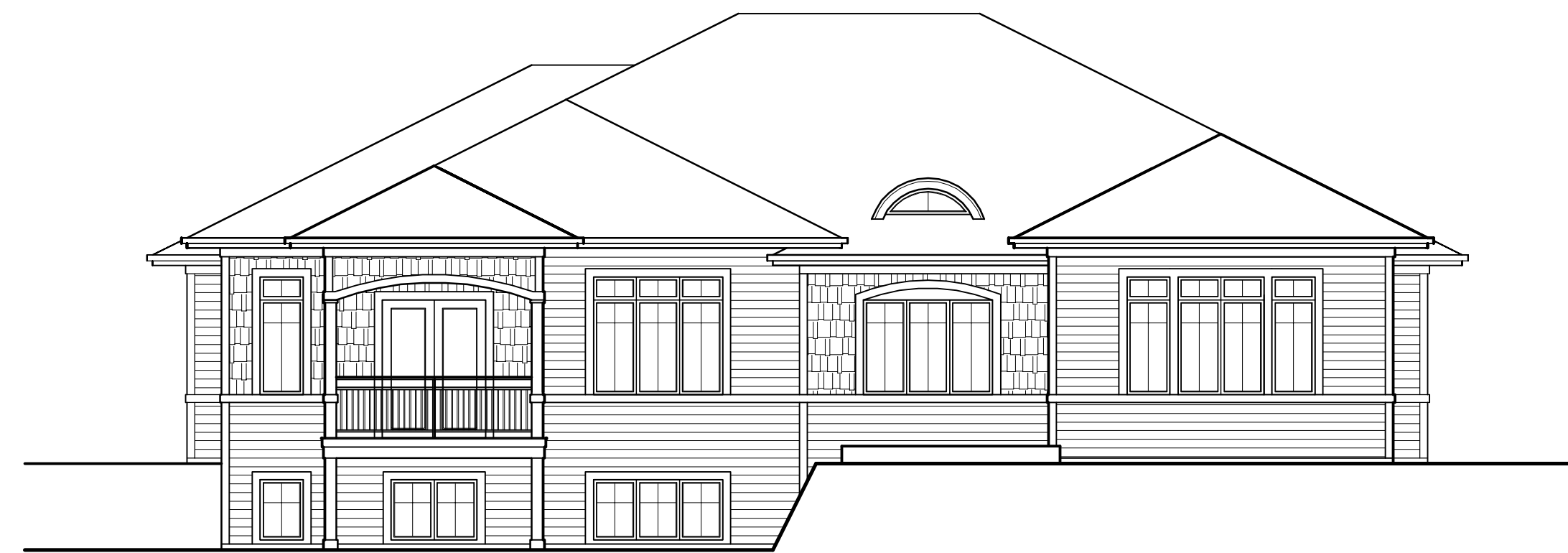
Elevation A



FRONT ELEVATION A  
1/8" = 1'-0"

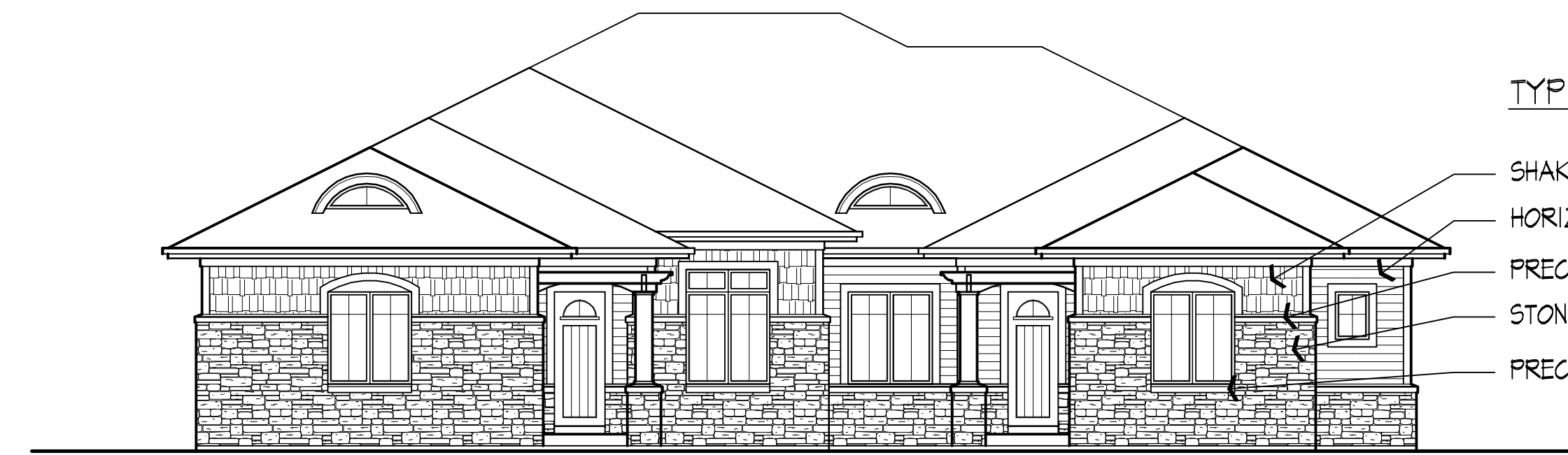
TYPICAL MATERIALS

- SHAKE SIDING
- PRECAST BAND
- BRICK VENEER
- PRECAST WINDOW SILLS



REAR ELEVATION B  
1/8" = 1'-0"

Elevation B



FRONT ELEVATION B  
1/8" = 1'-0"

TYPICAL MATERIALS

- SHAKE SIDING
- HORIZONTAL SIDING
- PRECAST BAND
- STONE VENEER
- PRECAST WINDOW SILLS



REAR ELEVATION C  
1/8" = 1'-0"

Elevation C



FRONT ELEVATION C  
1/8" = 1'-0"

TYPICAL MATERIALS

- SHAKE SIDING
- HORIZONTAL SIDING
- PRECAST BAND
- STONE VENEER
- PRECAST WINDOW SILLS

Revisions  
PRD Submittal - September 16, 2009

Project Title  
**Hank's Landing  
Condominiums**  
Lot 53  
Madison, Wisconsin

Drawing Title  
**Elevations -  
Duplex Type II**

Project No. Drawing No.

0922

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