

BUCKEYE MEADOWS CONDOMINIUMS, A CONDOMINIUM PLAT

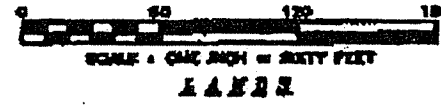
ALL OF LOTS 1-7, AND 9-17, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-0988 OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (1/4) OF THE NORTHWEST QUARTER (1/4) OF SECTION 15, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

NORTH

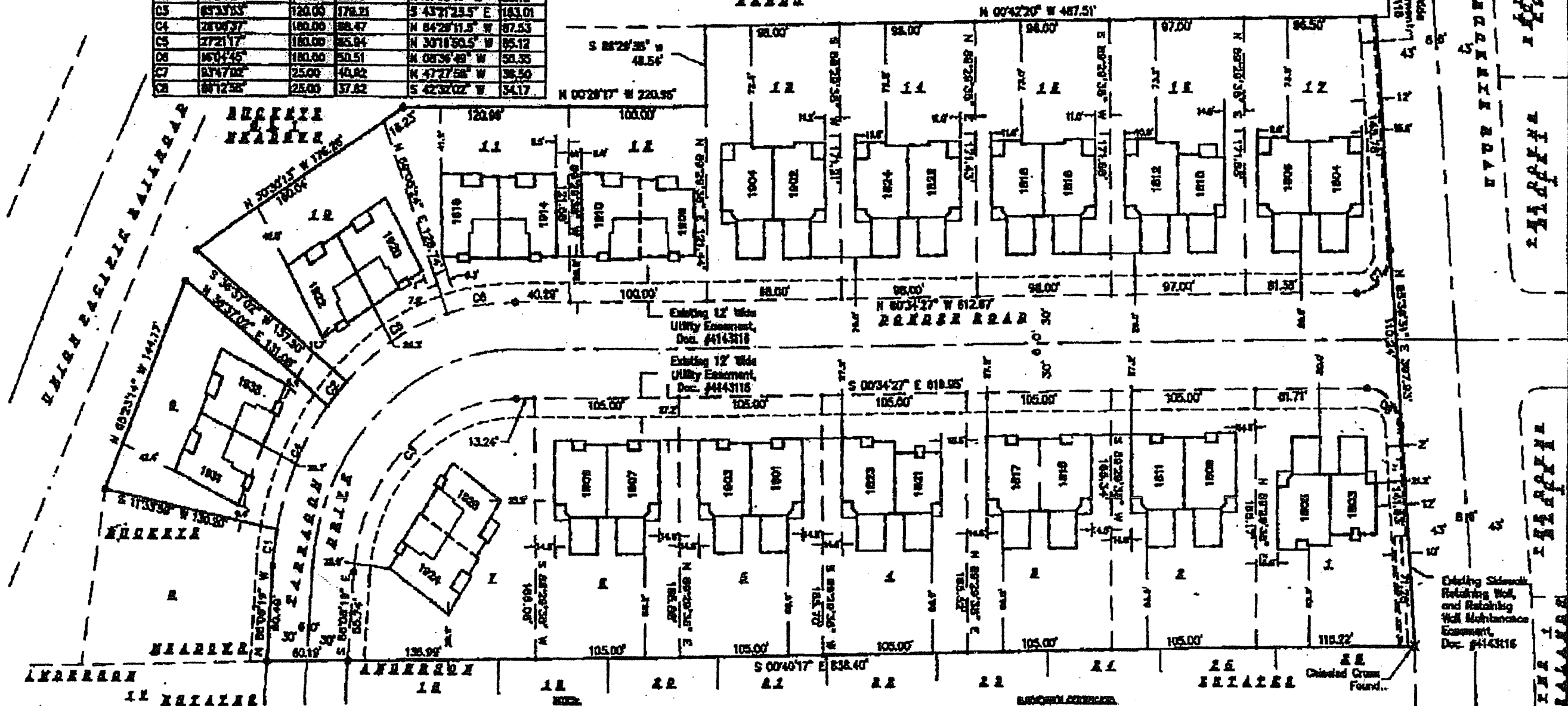
BEARINGS ARE BASED UPON THE RECORDED PLAT OF BUCKEYE MEADOWS

CURVE TABLE

NUMBER	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD
C1	073449°	180.00	23.88	N 82°20'64.5" W	23.88
C2	063424°	180.00	20.13	N 47°12'44" W	20.12
C3	033353°	120.00	178.21	S 43°21'23.5" E	143.01
C4	2810437°	180.00	88.47	N 84°28'11.5" W	87.53
C5	272117°	180.00	85.94	N 30°18'53.5" W	85.12
C6	163145°	180.00	50.51	N 08°36'48" W	50.35
C7	034702°	25.00	40.82	N 47°27'58" W	38.50
C8	081235°	25.00	37.62	S 42°32'02" W	34.17



4163216



LEGEND

- 3/4" SOLID IRON ROD FOUND
- 1-1/4" SOLID IRON ROD FOUND
- () INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

UNIT BOUNDARY

RECORDING DATA
CERTIFICATE OF REGISTER OF DEEDS

Received for recording this 20th day of February, 2006, at 12:16 o'clock P.M. and recorded in Volume 5-105B of Condominium Plats, on pages 1-3

Dane County Register of Deeds

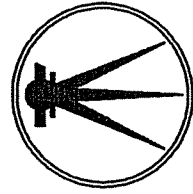
- NOTES:**
- For the recorded plat of BUCKEYE MEADOWS, each of which this plat is subject to a non-estoppel covenant for drainage purposes and shall be a condition of the plat in which recorded here the property line to the interior of each lot, except that the easement shall be under the plat in which the plat is recorded and the survey shall not be required on property lines shared with adjacent lots.
 - For the recorded plat of BUCKEYE MEADOWS, the lot area shall be determined by the area of the lot as shown on the plat and the survey shall not be required on property lines shared with adjacent lots.
 - For the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the preliminary zoning map of Chapter 20 of the Zoning Ordinance of the City of Madison. This requirement shall be satisfied by a separate recorded certificate.
 - For the recorded plat of BUCKEYE MEADOWS, lots north of the plat are shown as 1-1 and will be developed with 2-1 units. Lots on this plat may be subject to rules from the area or other projects.
 - For the recorded plat of BUCKEYE MEADOWS, surveys shall be "title-linked" with shared drainage areas located on Lots 1-7, and 9-17.
 - The sheets 2 & 3 for floor plans and additional notes.
 - The sheet 2 for the layout showing location of limited access streets.

WISCONSIN
MICHAEL S. MARTY
 S-2462
BELLEVILLE
 WI
LAND SURVEYOR

SURVEYED BY
 CALKINS ENGINEERING, LLC
 5010 VOEGES ROAD
 MADISON, WI 53718
 (608) 838-0444

DC-CE241
 SHEET 1 OF 3

Date: December 21, 2005
 Paper Space Plot View: Sheet1a2
 P:\CE241\Condo\Condo CE241.dwg



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

NOA T. PRIEVE & CHRIS W. ADAMS

REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

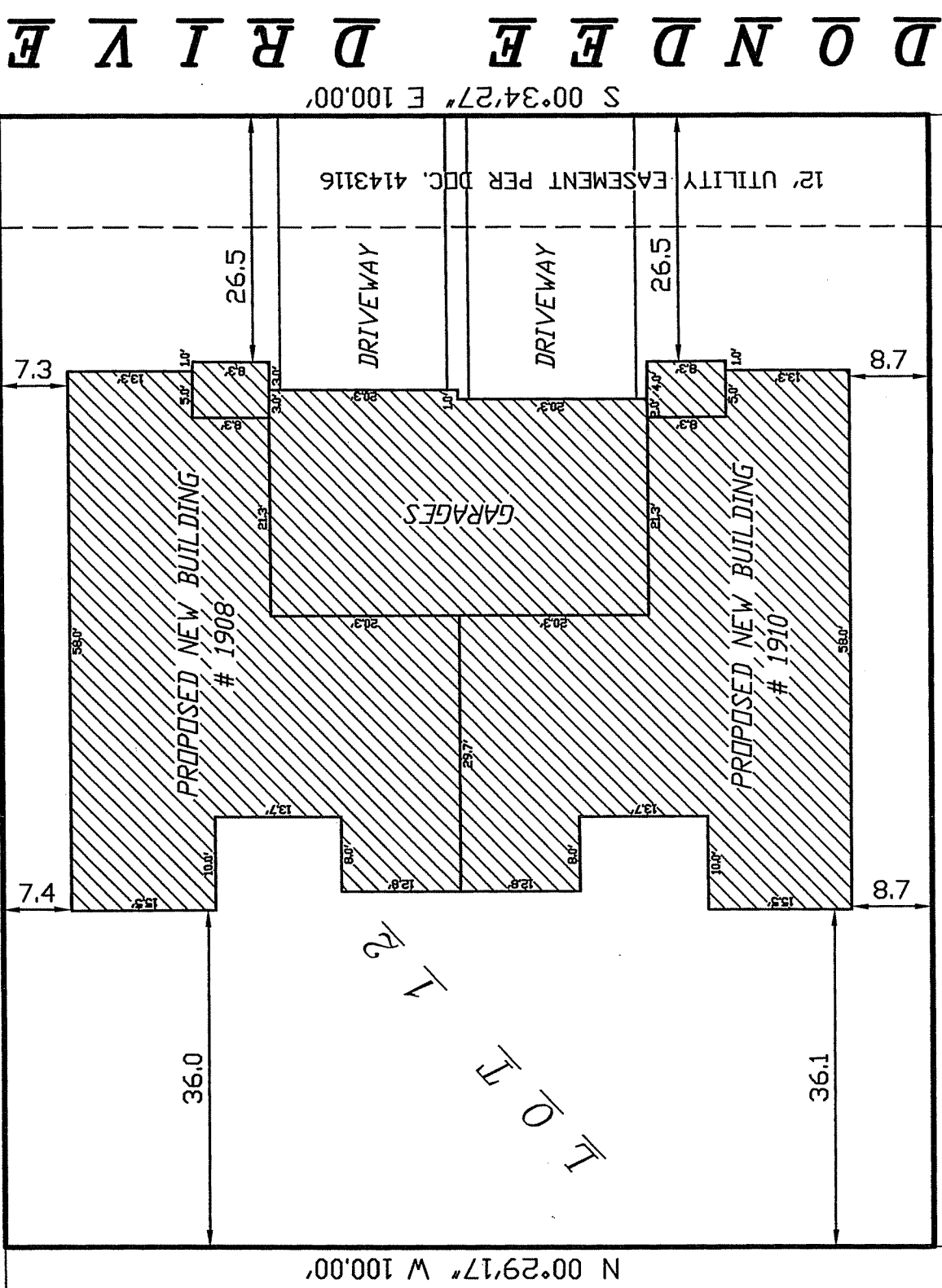
SITE PLAN

DESCRIPTION:

UNIT 1908 & 1910, BUCKEYE MEADOWS CONDOMINIUM, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

L O T 1 3

N 89°29'38" E 121.44'



N 00°29'17" W 100.00'

S 00°34'27" E 100.00'

D O N D E E D R I V E

S 89°29'38" W 121.59'

L O T 1 1

SCALE 1" = 20'

NOTES:

- 1.) THIS SITE PLAN IS NOT INTENDED TO BE A SURVEY OF THE PROPERTY LINES AND WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

PREPARED FOR:

ERIC GORDON
10 LAMPLIGHTER WAY
MADISON WI 53714

SITE PLAN DATE: 12-5-2013

AMERICAN DESING CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-405



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

THIS PLAN WAS CREATED AS A DRAFTING SERVICE ONLY. THE DESIGNER IN NO WAY EXPRESSES OR ASSUMES ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS IN ANY FORM

ELEVATIONS
SCALE: 1/4" = 1'

PLAN START DATE: 03/03/08

AMERICAN DESIGN CONCEPTS

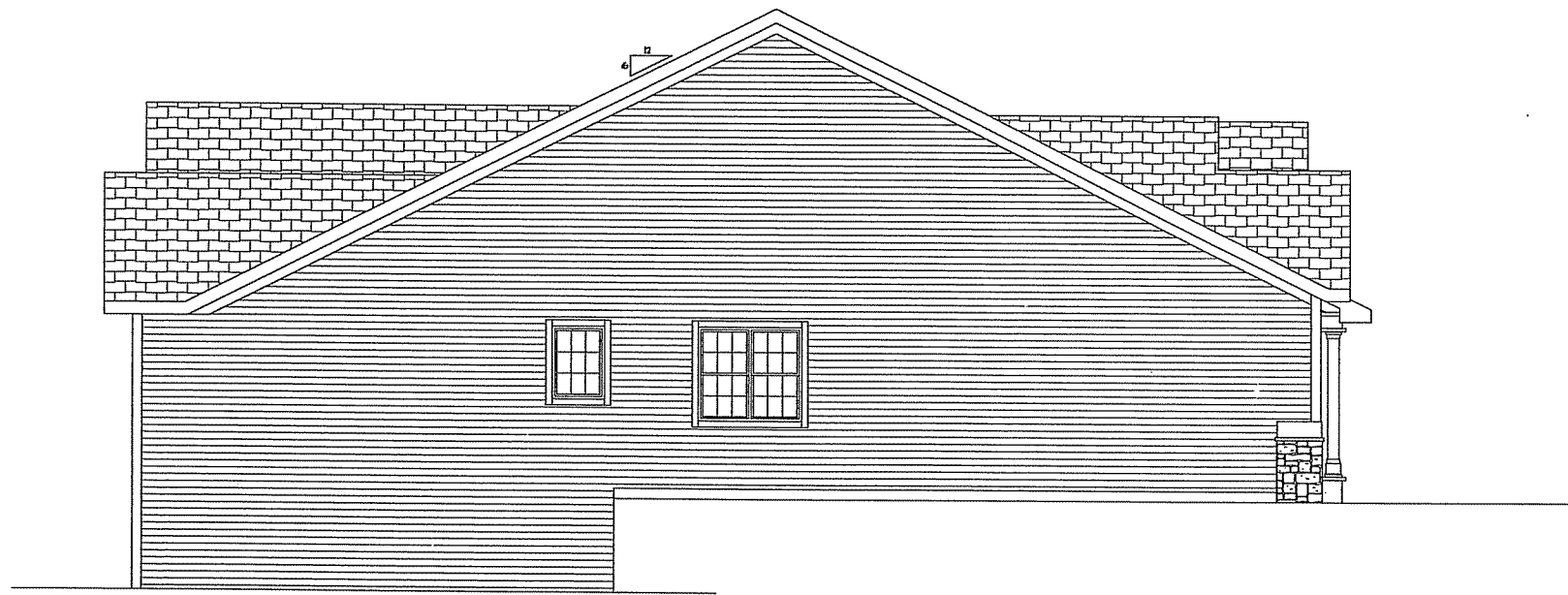
IMHOFF DON

A1

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MADISON
(608) 218-0110
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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SIDE ELEVATIONS
SCALE: 1/4" = 1'

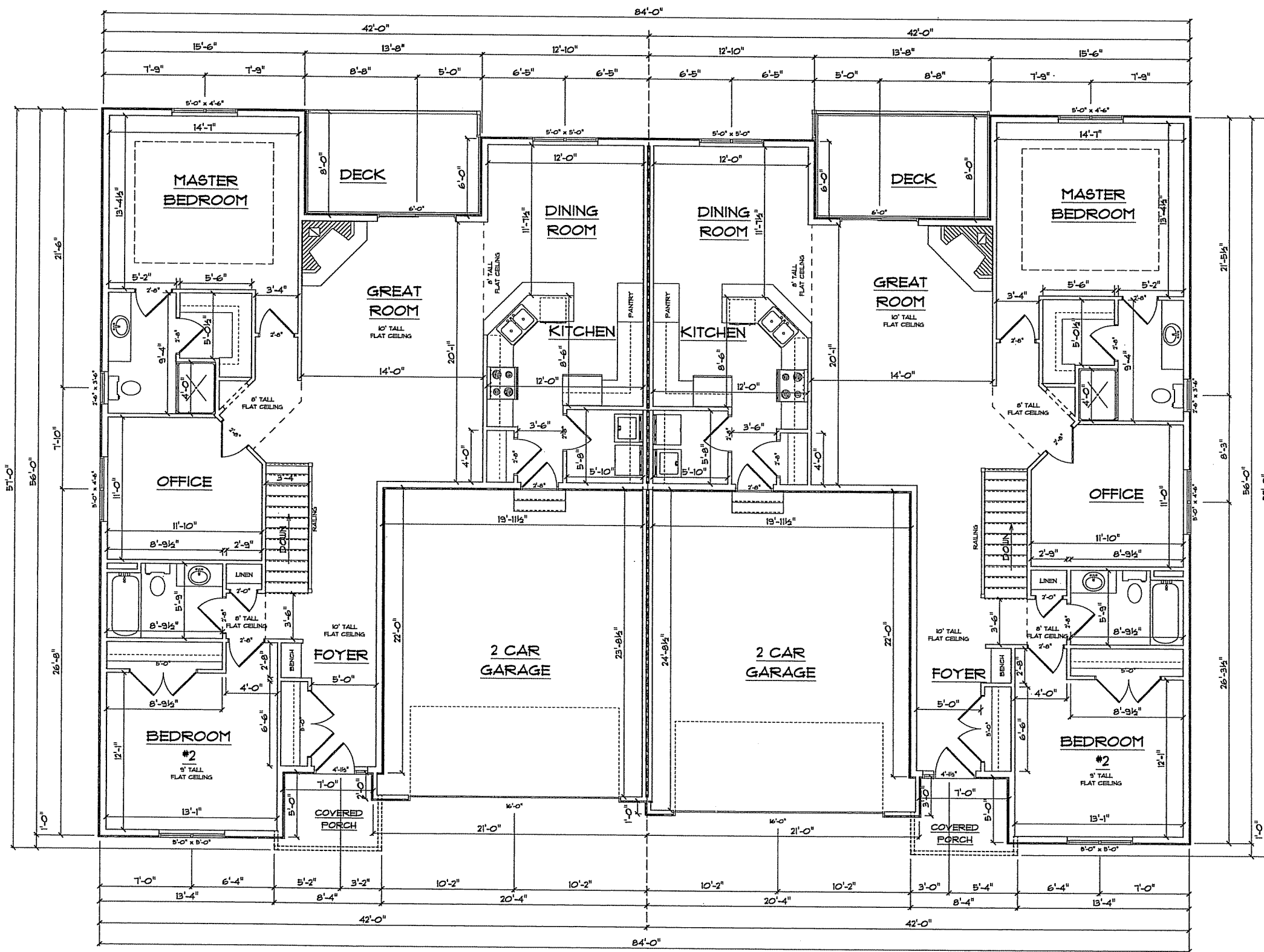
PLAN START DATE 2/20/15

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A2

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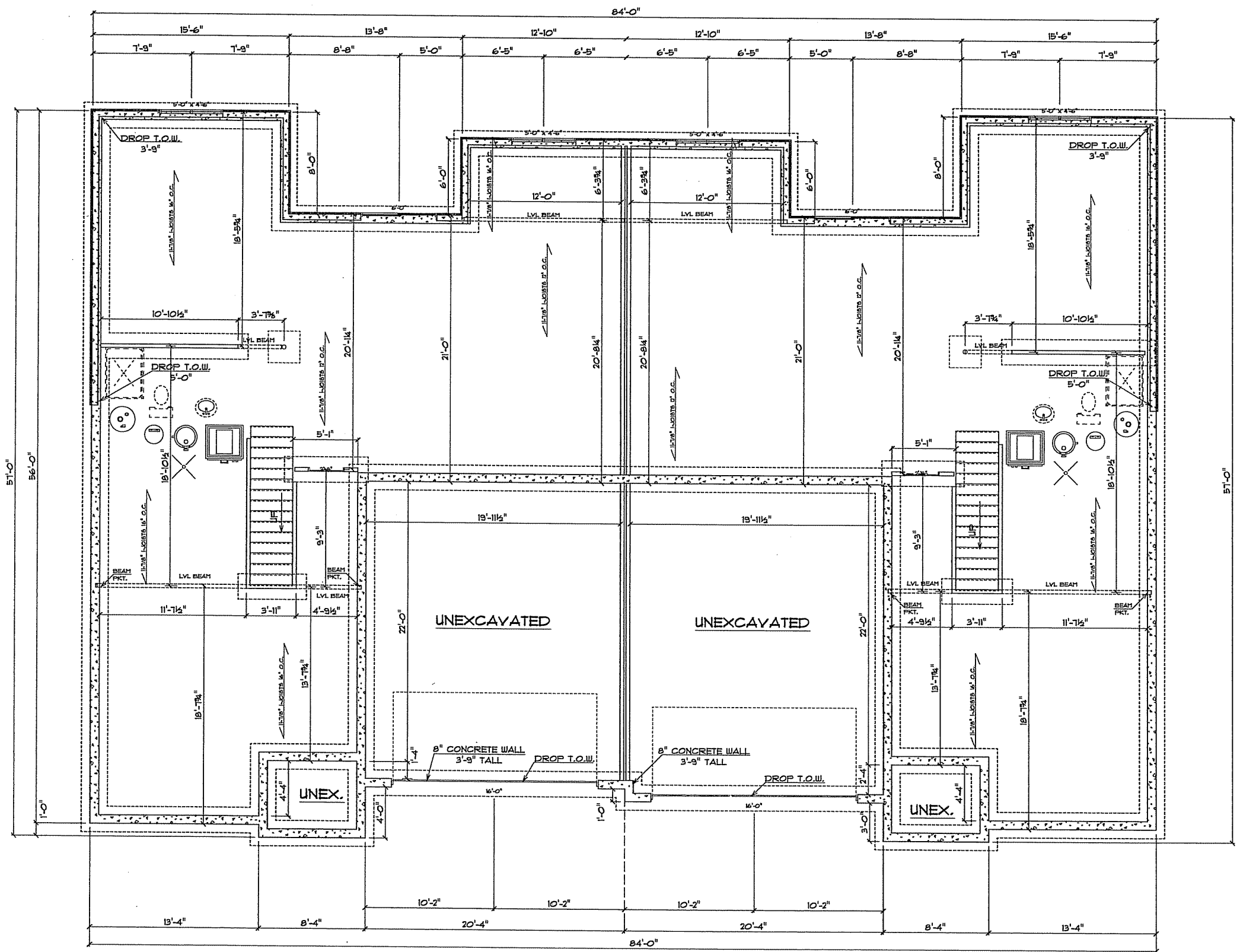
1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1627 SQFT FINISHED AREA PER UNIT

FIRST FLOOR, FLOOR PLAN
 5254 TOTAL SQFT
 SCALE: 1/4" = 1'

PLAN START DATE 12/04/13
 REVISED 12/14/13

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FOUNDATION PLAN
SCALE 1/4" = 1'-0"
956 SQFT FINISHED AREA PER UNIT

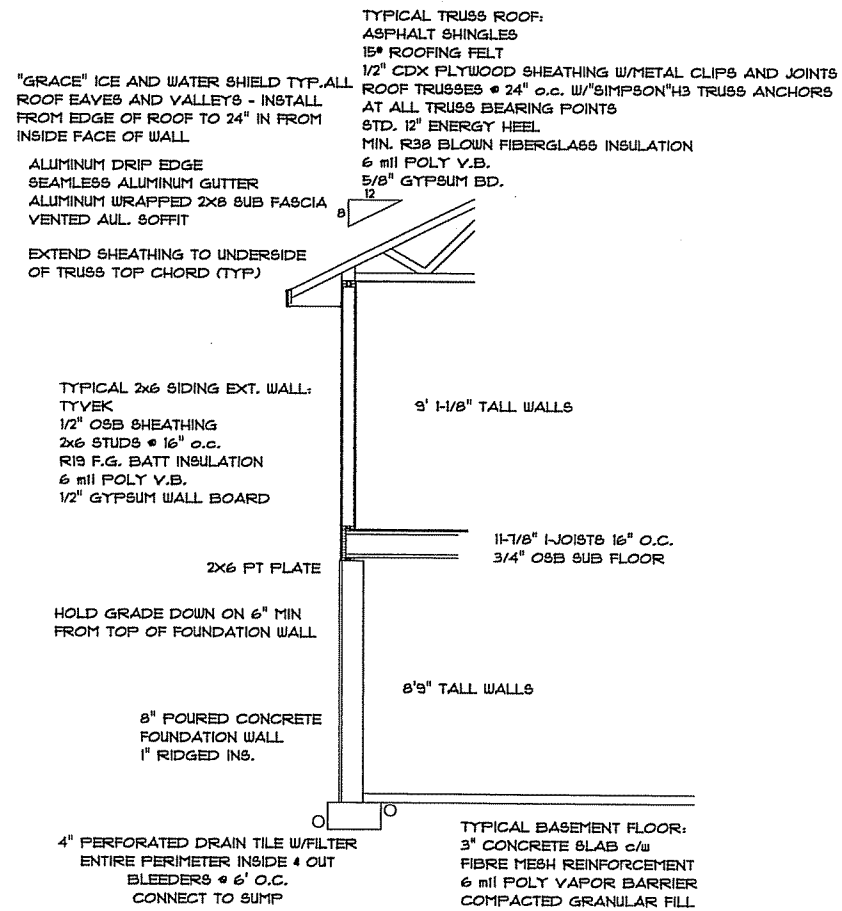
FOUNDATION PLAN
SCALE 1/4" = 1'

PLAN START DATE 12/03/13

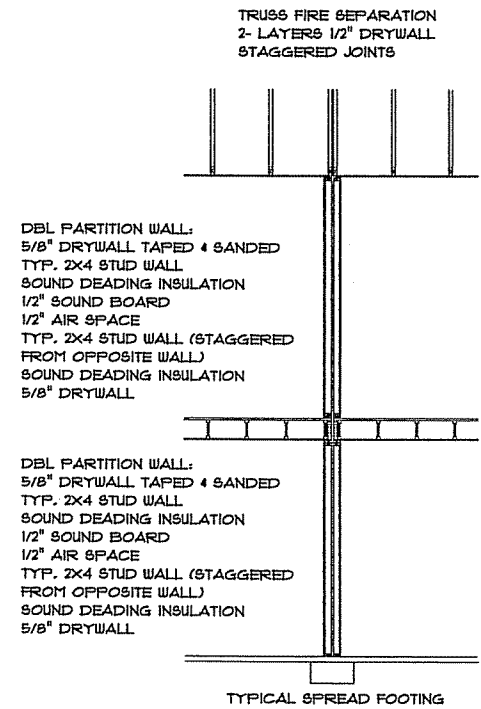
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MADISON
(609) 713-010
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SECTION THROUGH
NO SCALE



TRUSS FIRE SEPARATION
2- LAYERS 1/2" DRYWALL
STAGGERED JOINTS

DBL PARTITION WALL:
5/8" DRYWALL TAPED & SANDED
TYP. 2X4 STUD WALL
SOUND DEADING INSULATION
1/2" SOUND BOARD
1/2" AIR SPACE
TYP. 2X4 STUD WALL (STAGGERED
FROM OPPOSITE WALL)
SOUND DEADING INSULATION
5/8" DRYWALL

NOTE:
G.C. TO ENSURE COMMON WALLS MEET
OR EXCEED MINIMUM STANDARDS SET IN
WISCONSIN CONSTRUCTION STANDARDS COMM. 21.08,
AS WELL AS ALL APPLICABLE LOCAL CODES
OWNER TO BE CONSULTED ON ANY CHANGES

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SERVICE ONLY. THE DESIGNER IN NO WAY EXPRESSES
OR ASSUMES ANY RESPONSIBILITY FOR THE
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IN ANY FORM

DETAILS
SCALE: 1/4" = 1'

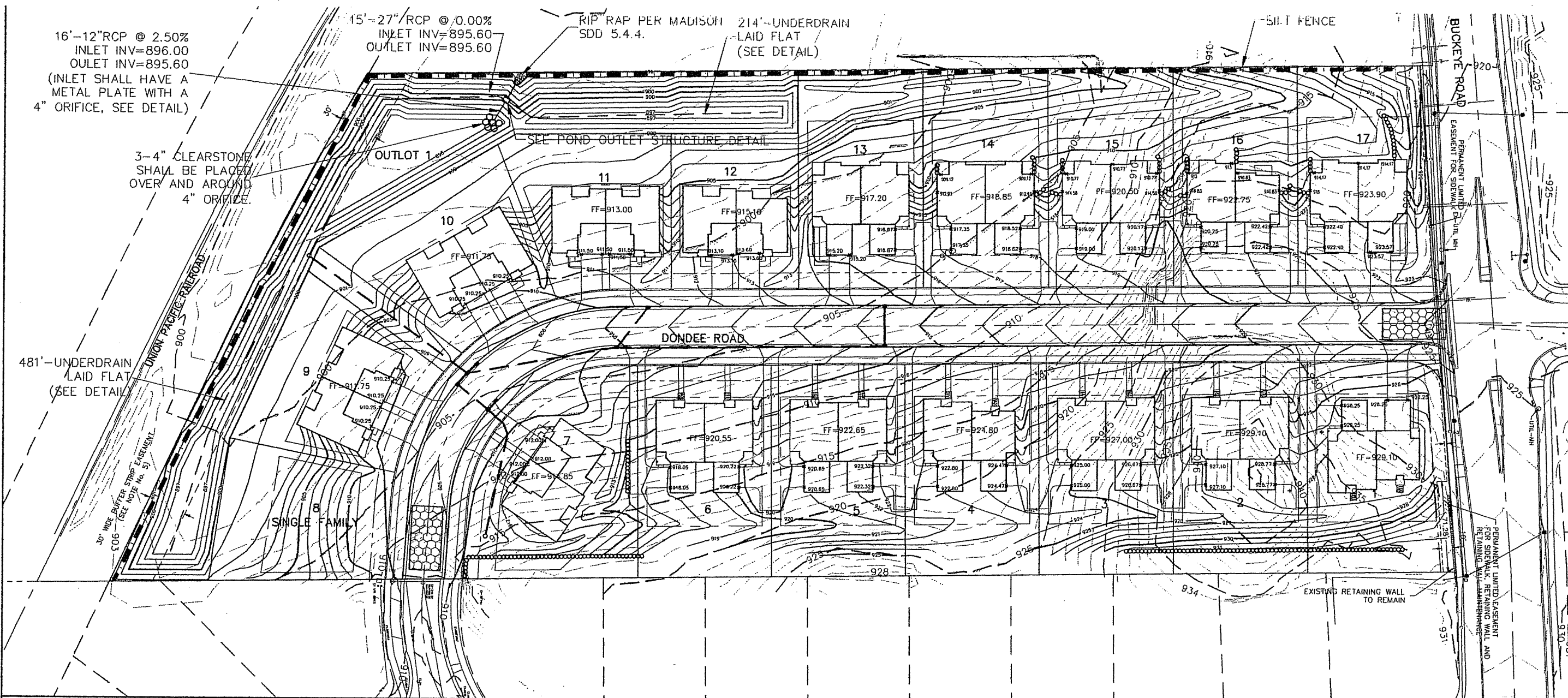
PLAN START DATE 5/20/13

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A6

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DESIGNED BY
1334 APFLEGGATE
MADISON
(608) 273-0710
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Calkins Engineering, LLC
 5010 Voges Road
 Madison, WI 53718
 (608) 838-0444

DATE: 06-30-05

REVISIONS:	DATE:
07-13-05	08-09-05
08-09-05	12-23-05
09-09-05	01-09-06

BUCKEYE MEADOWS
GRADING AND EROSION CONTROL PLAN

DRAWING NAME: P:\CE24\DESIGN\BASE.DWG
 FN: SEC41

EROSION CONTROL NOTES:

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL ROCK BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

AREAS OUTSIDE THE STREET RIGHT-OF-WAYS SHALL BE STABILIZED (E.G., SEED & MULCH, COMPOST, EROSION MAT, POLYMER) WITHIN 30 DAYS OF INITIAL DISTURBANCE, OR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE, WHICH EVER OCCURS FIRST.

SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATION AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 2.0 TONS PER ACRE. MULCH MUST BE CRIMPED.

FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISION SHALL BE MADE FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.

POLYMER MUST BE APPLIED TO DISTURBED AREAS THAT REMAIN UNSTABILIZED PAST THE SEEDING, FERTILIZING, AND MULCHING DATE INDICATED IN THE SCHEDULE.

ALL PROPOSED AND EXISTING DOWNSTREAM INLETS SHALL BE PROTECTED WITH WOOD TYPE D "CATCH ALL" INSERTS OR EQUIVALENT. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.

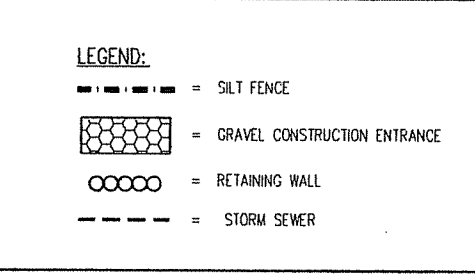
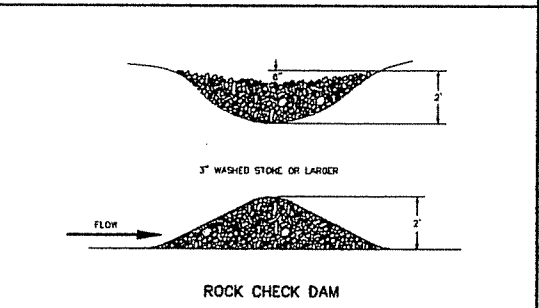
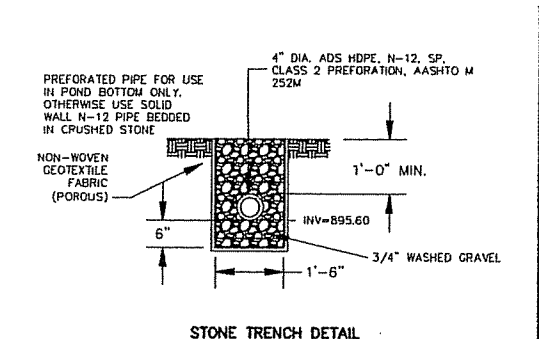
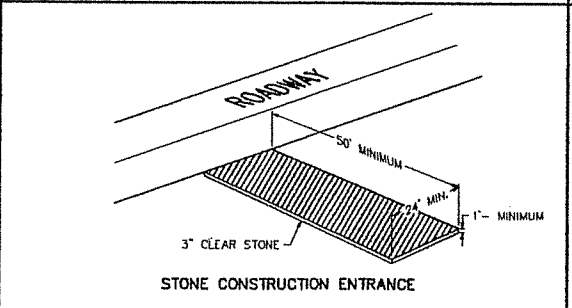
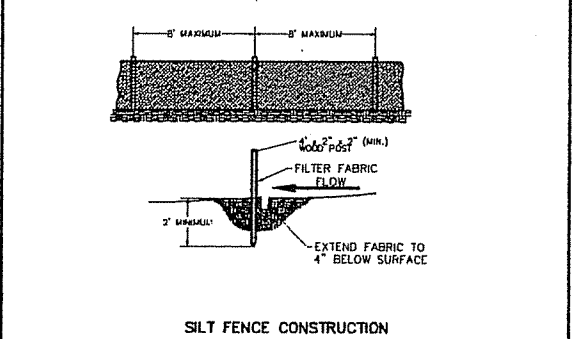
TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

SILT FENCE SHALL BE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM ANY SOIL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS SHALL BE STABILIZED WITH EITHER SEED & MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS.

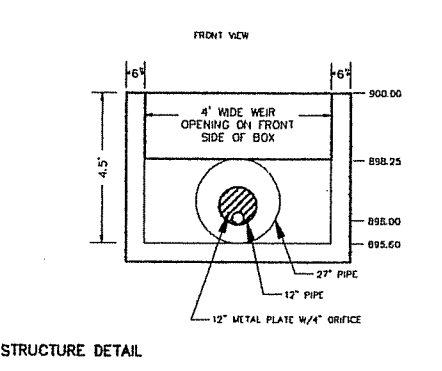
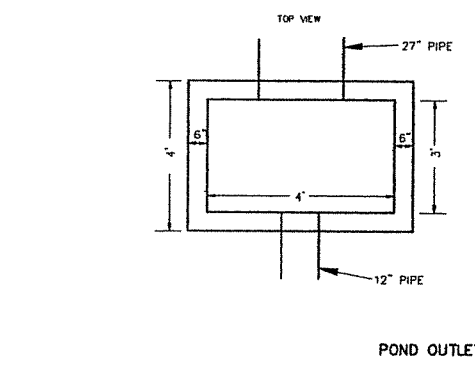
RIP RAP SHALL BE INSTALLED PER CITY OF MADISON STANDARD DETAIL DRAWING 5.4.4.

DETENTION BASIN SHALL BE CONSTRUCTED PRIOR TO ANY OTHER GRADING.

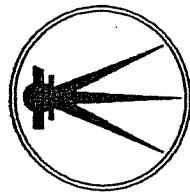


PROJECT SCHEDULE:
 EROSION CONTROL MEASURES INSTALLED:
 SEPTEMBER 1, 2005
 BEGIN GRADING: SEPTEMBER 1, 2005
 FERT., SEED, & MULCH: JUNE 1, 2006
 VEGETATION ESTABLISHED: AUGUST 1, 2006

SCALE: 1" = 40' (24"x36")
 SCALE: 1" = 80' (11"x17")



Calkins Engineering, LLC
 Civil Engineers & Land Surveyors



WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

NDA T. PRIEVE & CHRIS W. ADAMS

REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

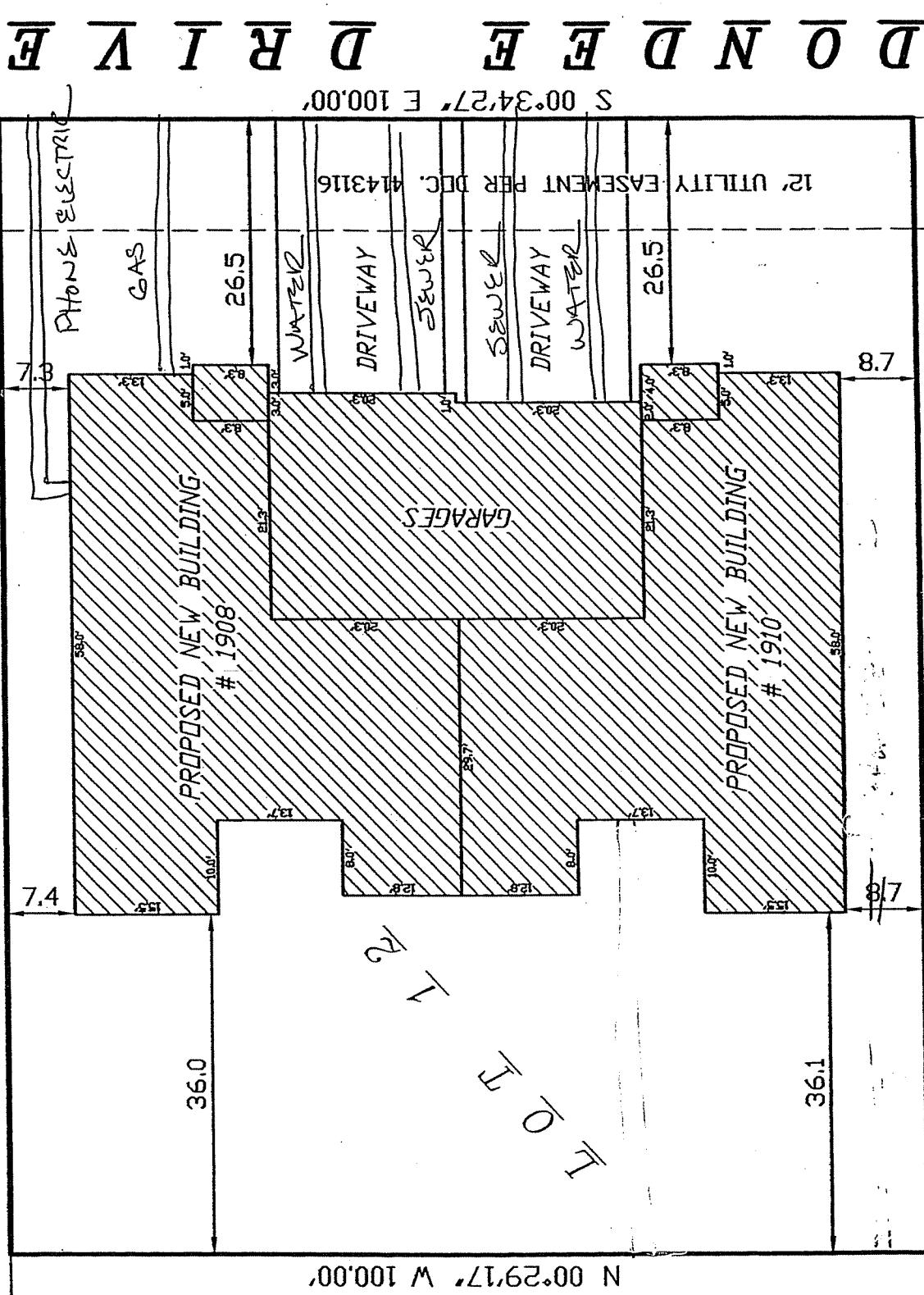
SITE PLAN

DESCRIPTION:

UNIT 1908 & 1910, BUCKEYE MEADOWS CONDOMINIUM, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

LOT 13

N 89°29'38" E 121.44'



DRIVE

S 00°34'27" E 100.00'

S 89°29'38" W 121.59'

LOT 11

SCALE 1" = 20'

NOTES:

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- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

PREPARED FOR:

ERIC GORDON
10 LAMPLIGHTER WAY
MADISON WI 53714

SITE PLAN DATE: 12-5-2013
AMERICAN DESIGN CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-405

UTILITY PLAN

DWARF CRAB TREE

SPREADING YEW

BURNING BUSH

Set of GOLD JUNIPER

SPIRA

WILLIAMSON SURVEYING & ASSOCIATES, LLC
 104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
 T. PRIEVE & CHRIS W. ADAMS
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 PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

SITE PLAN

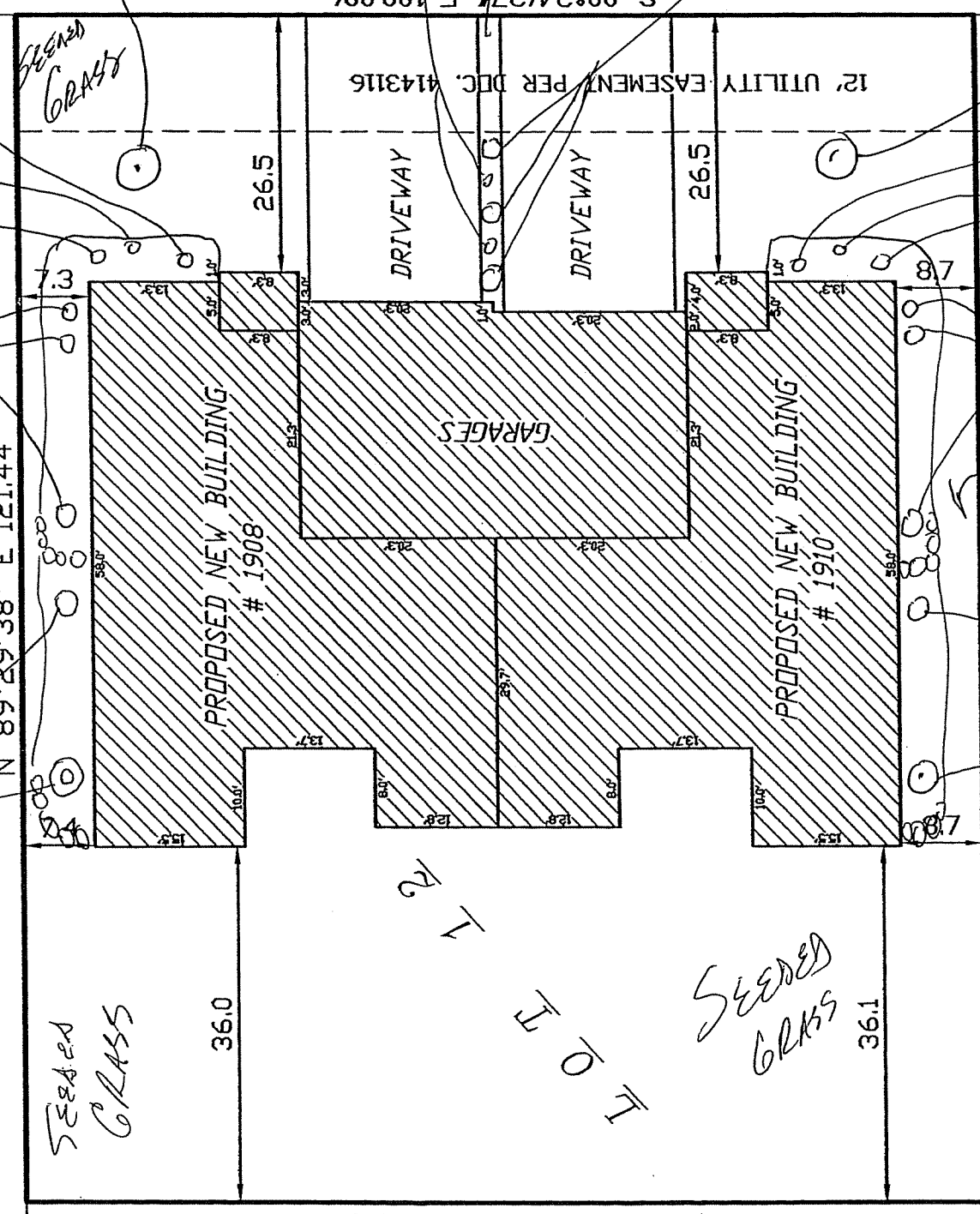
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LOT 13
 MATED GRASS

AUTUMN BLOSS 2 1/2" DIA

N 00°29'17" W 100.00'



SPIRA

WASH STONE

EMERALD GREEN ARBOR VITAE

AUTUMN BLOSS 2 1/2"

SPIRA

Set of GOLD JUNIPER

BURNING BUSH

SPREADING YEW

NOTES:

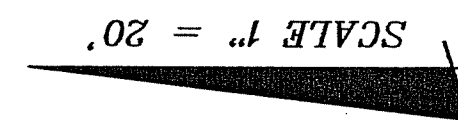
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KOREAN WILAC

DWARF CRAB TREE

PREPARED FOR:

ERIC GORDON
 10 LAMPLIGHTER WAY
 MADISON WI 53714



SITE PLAN DATE: 12-5-2013
 AMERICAN DESIGN CONCEPTS (PLAN DATE 12/03/13)

JOB NO: 13W-405

LANDSCAPE PLAN

by STANLEY GREENE INC.