

LEGEND

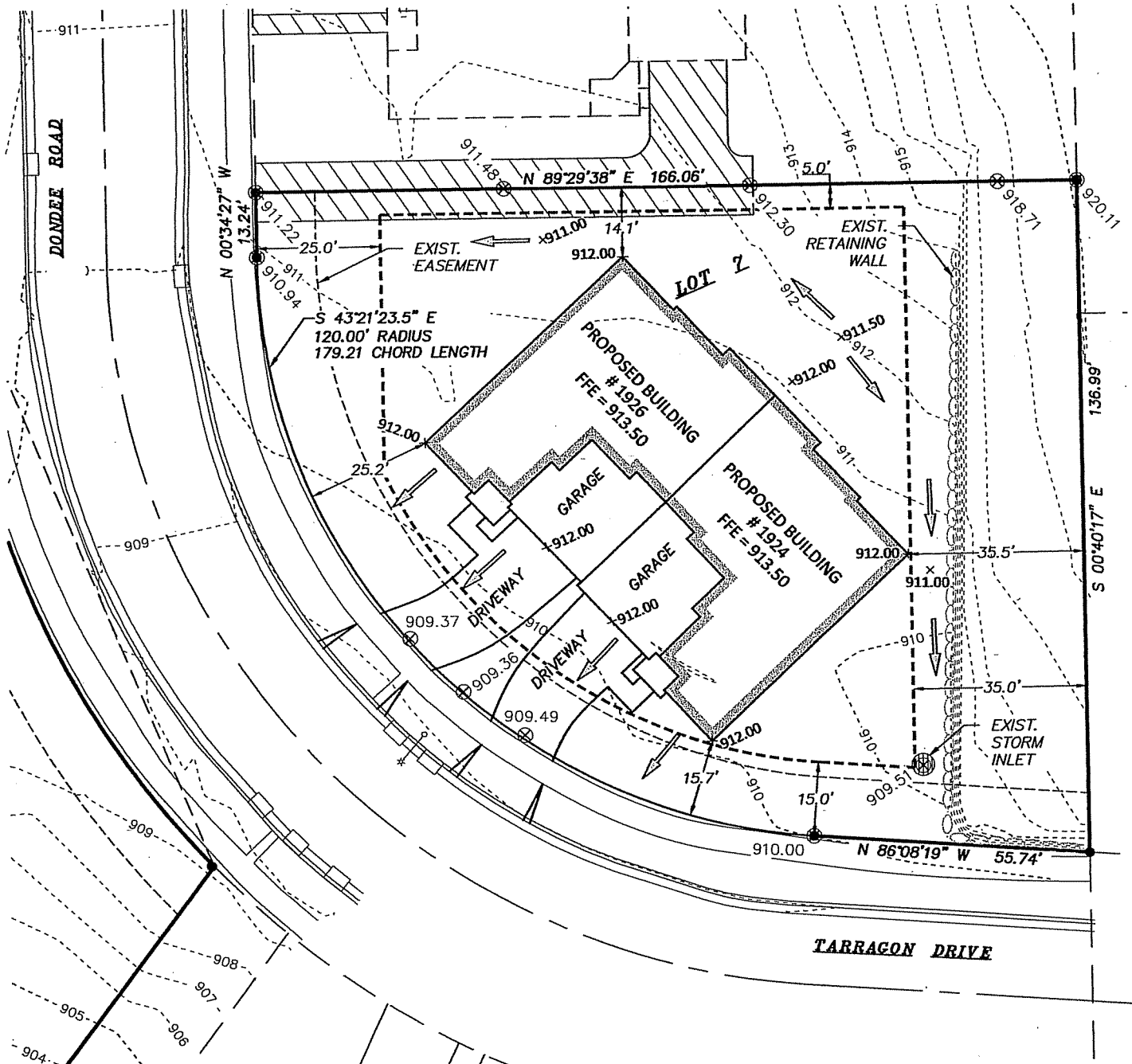
- × 905.00 PROPOSED SPOT ELEVATION
- ⊗ 901.47 EXISTING SPOT ELEVATION
- ← DRAINAGE ARROW
- - - - BUILDING SETBACK LINE
- - - - 12' EXISTING UTILITY EASEMENT

DESCRIPTION:

UNIT 1924 & 1926, BUCKEYE MEADOWS, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

NOTE:

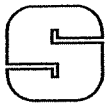
THE LOT COVERAGE AS DEFINED BY SECTION 28.211 OF THE ZONING CODE ON THIS LOT IS 33.2% (IMPERVIOUS AREA 6312 SQ.FT. / OVERALL LOT 19011 SQ.FT.)



LOT 7 PROPOSED GRADING AND DRAINAGE PLAN

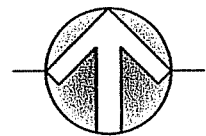
FRONT SETBACK AREA CALCULATIONS

A	25' FRONT YARD SETBACK AREA	2,853 SQ. FT.
B	DRIVEWAY AREA WITHIN 25' FRONT YARD SETBACK (25'X17')	794 SQ. FT.
C	25' FRONT YARD SETBACK IMPERVIOUS AREA (B/A)	27.8% COVERAGE

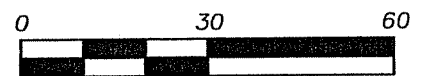


SNYDER & ASSOCIATES
Engineers and Planners

5010 Voges Road
Madison, Wisconsin 53718
608-838-0444



NORTH



SCALE: 1" = 30'

LEGEND

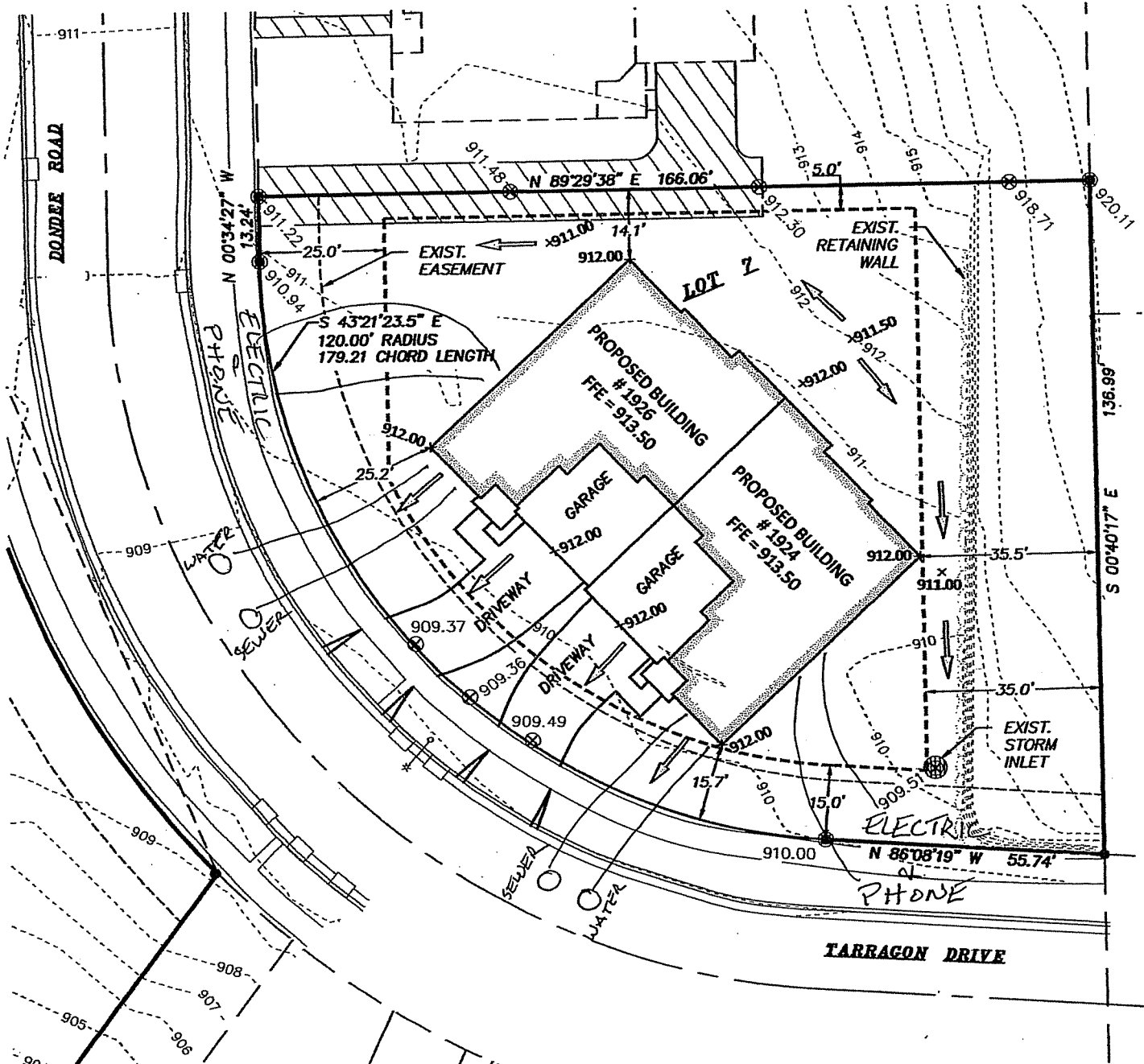
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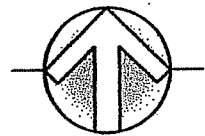
LOT 7 [REDACTED]

FRONT SETBACK AREA CALCULATIONS

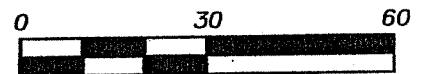
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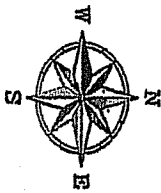


NORTH



SCALE: 1" = 30'

UTILITY



NOTES:

1. THE GARAGES ARE PART OF THE UNIT.
2. THE DECKS/PATIOS ARE LIMITED COMMON ELEMENTS APPURTENANT TO THE UNITS TO WHICH THEY ARE ATTACHED.
3. THE CONCRETE WALKS/DRIVES ARE LIMITED COMMON ELEMENTS.
4. EVERYTHING OUTSIDE OF THE UNIT BOUNDARIES AND LIMITED COMMON ELEMENTS ARE COMMON ELEMENTS.

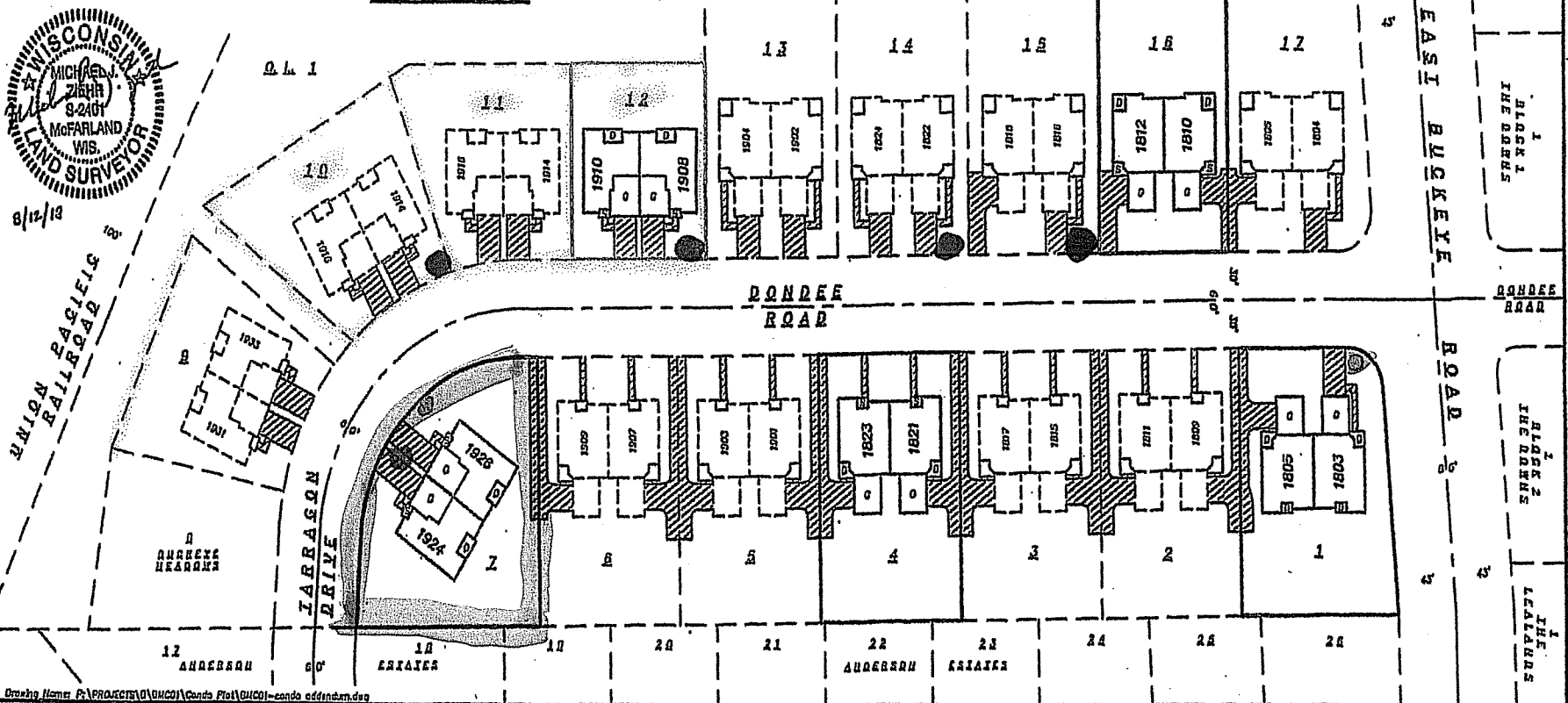
LEGEND


- D DECK/PATIO
- S STOOP
- G GARAGE
- L.C.E. (LIMITED COMMON ELEMENTS)

NOTES:

1. For the recorded plat of BUCKEYE MEADOWS, each lot within this plat is subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot except that the easement shall be twelve (12) feet in width on the perimeter of the plat. Easements shall not be required on property lines shared with driveways or public streets.
2. For the recorded plat of BUCKEYE MEADOWS, the brick block drainage easements shall be graded with the construction of each physical structure in accordance with the approved stormwater drainage plan on file with the city engineer and the zoning administrator as amended in accordance with the latest General Ordinances.
3. For the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the mandatory zoning section of Chapter 23 of the Madison General Ordinances. This requirement shall be satisfied by a separate recorded restriction.
4. For the recorded plat of BUCKEYE MEADOWS, lands south of the plat are zoned M-1 and shall be developed with M-1 uses. Lots on this plat may be subject to notes from this area, or other tracts.
5. For the recorded plat of BUCKEYE MEADOWS, Garages shall be "tilt-inward" with storage driveway where possible on Lots 1-3, and 8-11.

SITE LAYOUT



 <p>SNYDER & ASSOCIATES Engineers and Planners</p>	<p>PREPARED FOR: BUCKEYE MEADOWS CONDOMINIUMS 1022 DONDEE ROAD MADISON, WI 53710</p>	<p>PREPARED BY: SNYDER & ASSOCIATES, INC. 5010 VOEGS ROAD MADISON, WI 53718 (608) 638-0444 www.snyder-associates.com</p>	<p>FIRST ADDENDUM TO BUCKEYE MEADOWS CONDOMINIUMS, A CONDOMINIUM PLAT</p> <p>LOTS 1, 4, 7, 12 AND 18, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-098B OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.</p>	<p>R/S DWG/1 DATE: 03-20-2013</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; height: 50px;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>																					<p>SHEET 2 OF 3</p>

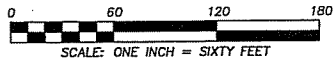
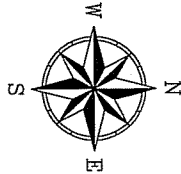
● STREET LIGHT
● FIRE HYDRANT
● STOP SIGN

RECORDING DATA

CERTIFICATE OF REGISTER OF DEEDS

Received for recording this _____ day of _____, 2015, at _____ o'clock _____ M. and recorded in Volume _____ of Condominium Plats, on pages _____, as Doc. No. _____

Dane County Register of Deeds



NOTES:

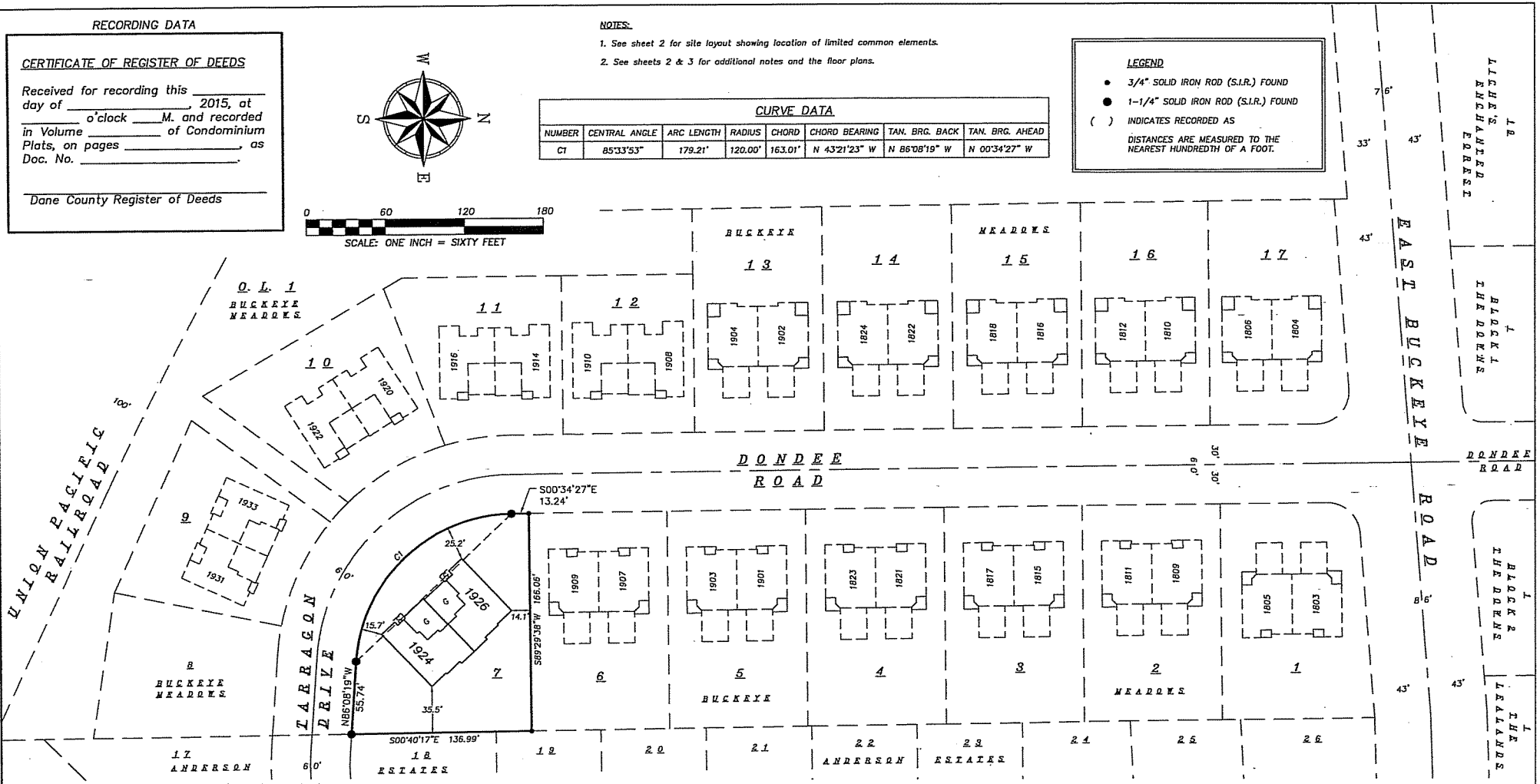
1. See sheet 2 for site layout showing location of limited common elements.
2. See sheets 2 & 3 for additional notes and the floor plans.

CURVE DATA

NUMBER	CENTRAL ANGLE	ARC LENGTH	RADIUS	CHORD	CHORD BEARING	TAN. BRG. BACK	TAN. BRG. AHEAD
C1	85°33'53"	179.21'	120.00'	163.01'	N 43°21'23" W	N 86°08'19" W	N 00°34'27" W

LEGEND

- 3/4" SOLID IRON ROD (S.I.R.) FOUND
 - 1-1/4" SOLID IRON ROD (S.I.R.) FOUND
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



P:\PROJECTS\B\BMC01-Buckeye\Condo Plat-3rd Addendum\BMC01-3rd addendum.dwg



SNYDER & ASSOCIATES
Engineers and Planners

PREPARED FOR:

BUCKEYE MEADOWS
CONDOMINIUMS
1822 DONDEE ROAD
MADISON, WI 53716

PREPARED BY:

SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WI 53718
(608) 838-0444
www.snyder-associates.com

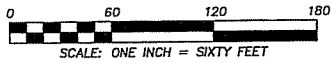
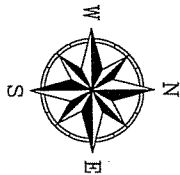
**THIRD ADDENDUM TO BUCKEYE MEADOWS
CONDOMINIUMS, A CONDOMINIUM PLAT**

LOT 7, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-096B OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

FN: BMC01
DATE: 12-01-2014

REVISIONS:

SHEET
1 OF 3



NOTES:

1. THE GARAGES ARE PART OF THE UNIT.
2. THE DECKS/PATIOS ARE LIMITED COMMON ELEMENTS APPURTENANT TO THE UNITS TO WHICH THEY ARE ATTACHED.
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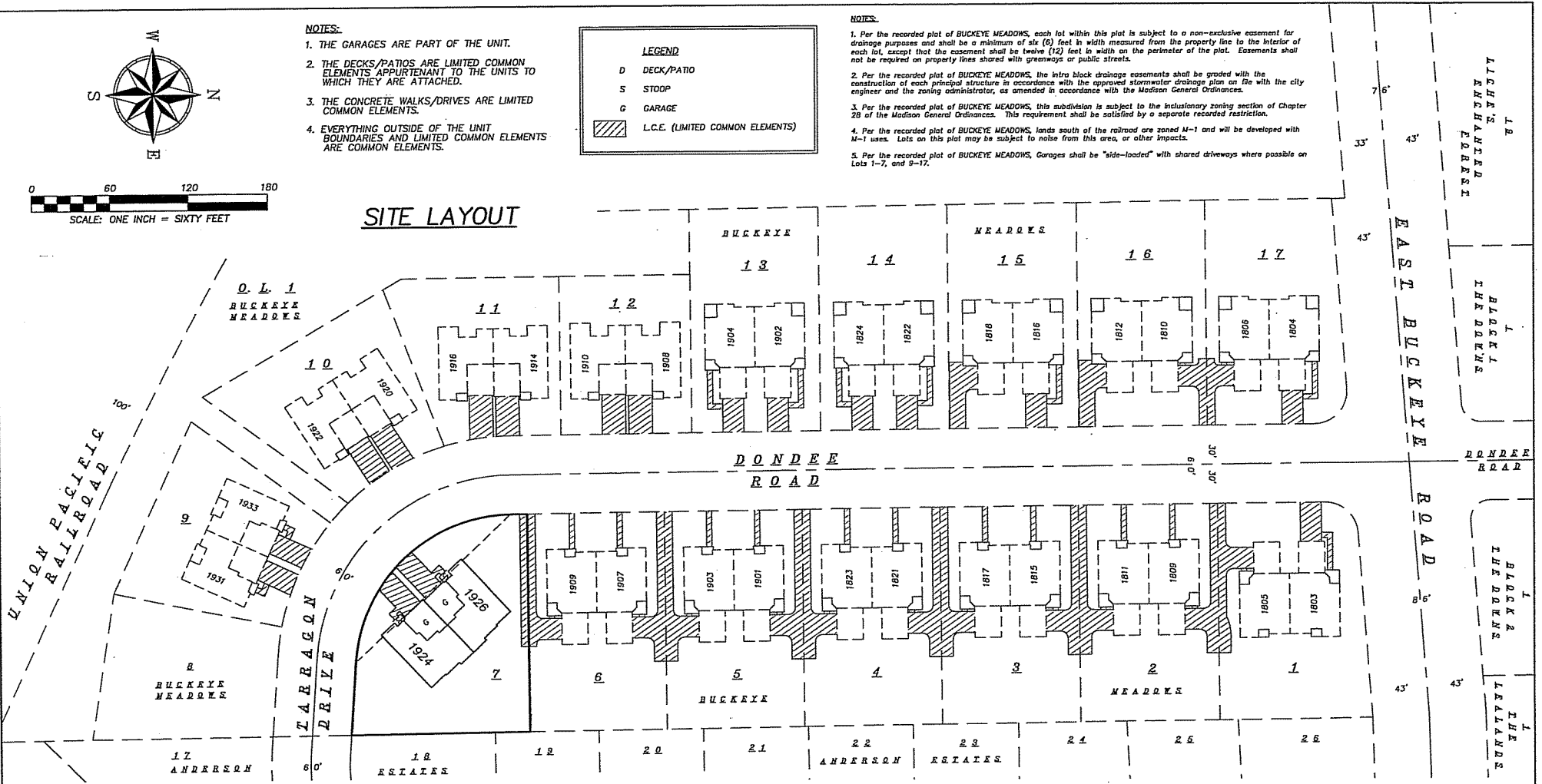
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- D DECK/PATIO
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- L.C.E. (LIMITED COMMON ELEMENTS)


NOTES:

1. For the recorded plat of BUCKEYE MEADOWS, each lot within this plat is subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot, except that the easement shall be twelve (12) feet in width on the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets.
2. For the recorded plat of BUCKEYE MEADOWS, the intra block drainage easements shall be graded with the construction of each principal structure in accordance with the approved stormwater drainage plan on file with the city engineer and the zoning administrator, as amended in accordance with the Madison General Ordinances.
3. For the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the inclusionary zoning section of Chapter 28 of the Madison General Ordinances. This requirement shall be satisfied by a separate recorded restriction.
4. For the recorded plat of BUCKEYE MEADOWS, lands south of the railroad are zoned M-1 and will be developed with M-1 uses. Lots on this plot may be subject to noise from this area, or other impacts.
5. For the recorded plat of BUCKEYE MEADOWS, Garages shall be "side-loaded" with shared driveways where possible on Lots 1-7, and 9-17.

SITE LAYOUT



P:\PROJECTS\B\BMC01-Buckeye\Condo Plat-3rd Addendum\BMC01-3rd addendum.dwg



SNYDER & ASSOCIATES
Engineers and Planners

PREPARED FOR:
BUCKEYE MEADOWS
CONDOMINIUMS
1822 DONDEE ROAD
MADISON, WI 53716

PREPARED BY:
SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
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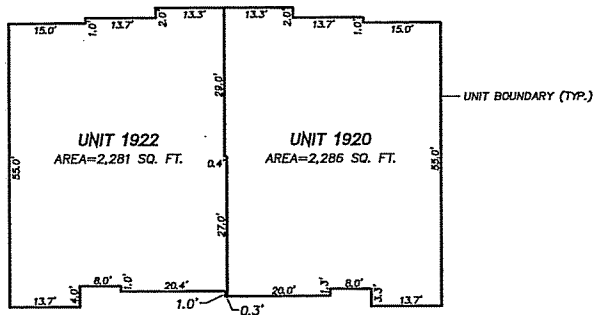
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FN: BMC01
DATE: 12-01-2014

REVISIONS:

SHEET
2 OF 3

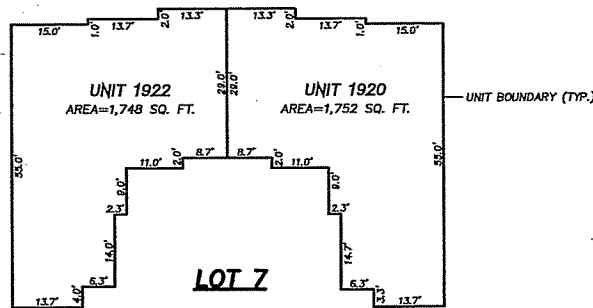


LOT 7

FIRST FLOOR PLANS

SCALE: 1" = 20'

NOTE: Dimensions for floor plans are based upon drawings furnished by the architect to the surveyor.



LOT 7

BASEMENT FLOOR PLANS

SCALE: 1" = 20'

SURVEYOR'S CERTIFICATE

I, Adam R. Gross, Professional Land Surveyor, hereby certify that in full compliance with the provisions of Chapter 703 of the Wisconsin Statutes, I have surveyed and mapped the following described lands:

Lot 7, Buckeye Meadows, as recorded in Volume 58-096B of Plats, on pages 499-500, as Document Number 4143116, Dane County Registry and located in the Southwest Quarter of the Northwest Quarter of Section 15, Township 7 North, Range 10 East, City of Madison, Dane County, Wisconsin.

I further certify that this condominium plat correctly represents the condominium described; that the floor plans are reproduced from plans furnished by the architect; and the location and identification of each unit and the common elements can be determined from the plat.

Dated this _____ day of _____, 2015.

Signed: Adam R. Gross, P.L.S. No. 3017

*There are no objections to this condominium or condominium amendment with respect to Chapter 703 Wis. Stats. and it is hereby approved for recording.

Director of Planning and Community & Economic Development City of Madison _____ Date _____

P:\PROJECTS\19\BUCO1-Buckeye\Condo Plat-3rd Addendum\BUCO1-3rd addendum.dwg



SNYDER & ASSOCIATES
Engineers and Planners

PREPARED FOR:
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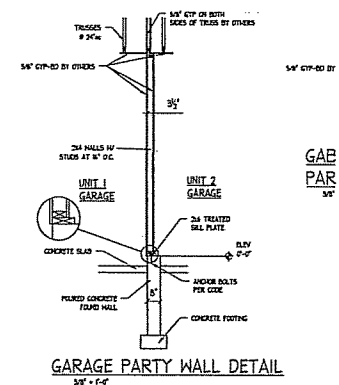
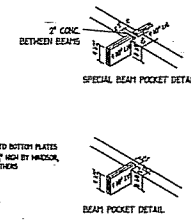
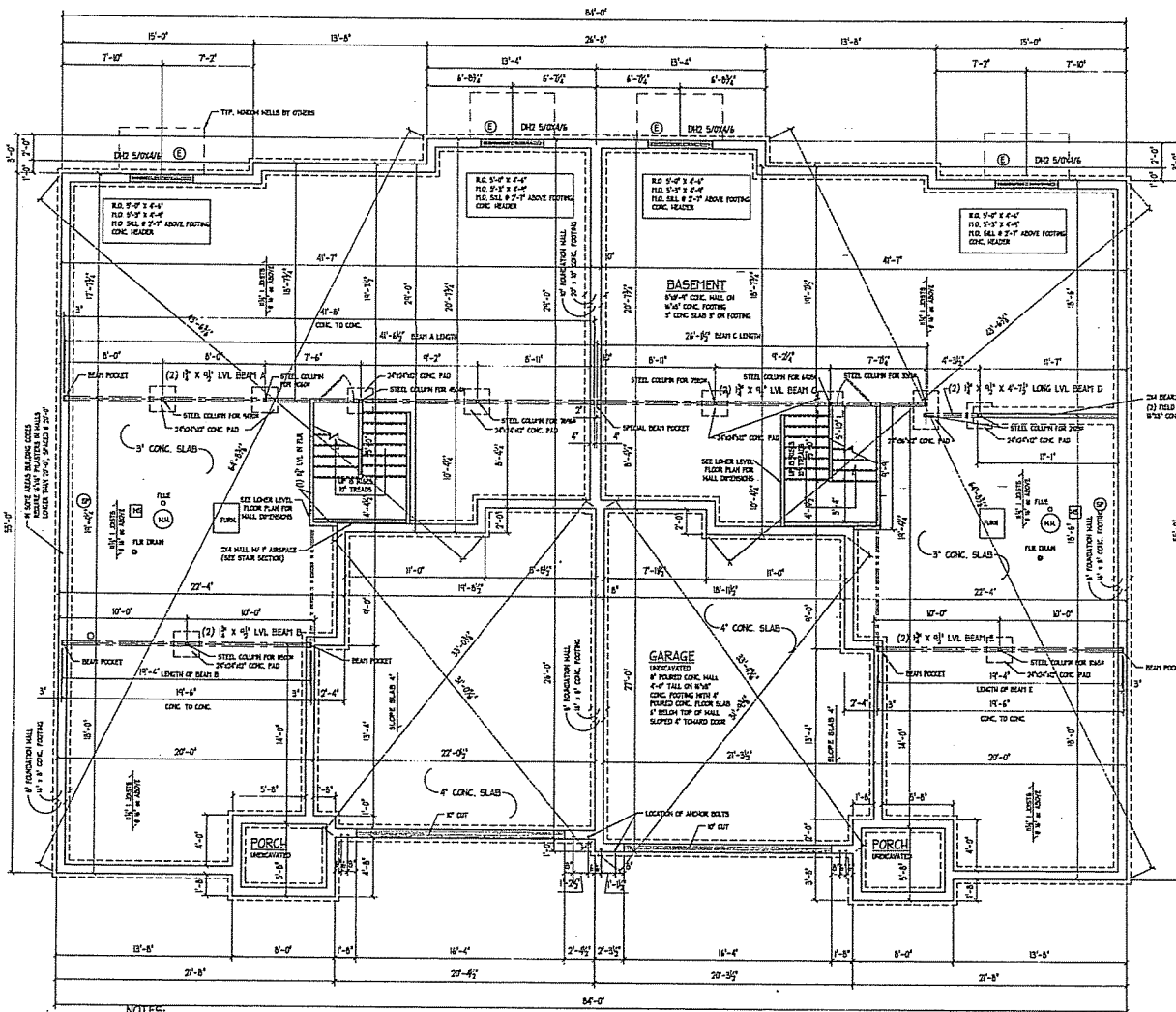
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PL: BUCO1
DATE: 12-01-2014

REVISIONS:

**SHEET
3 OF 3**



- NOTES:**
- 1) BASEMENT WINDOWS OTHER THAN NOTED, TO BE SIZED AND LOCATED BY BUILDER
 - 2) CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL, AND/OR STATE BUILDING CODES.
 - 3) REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

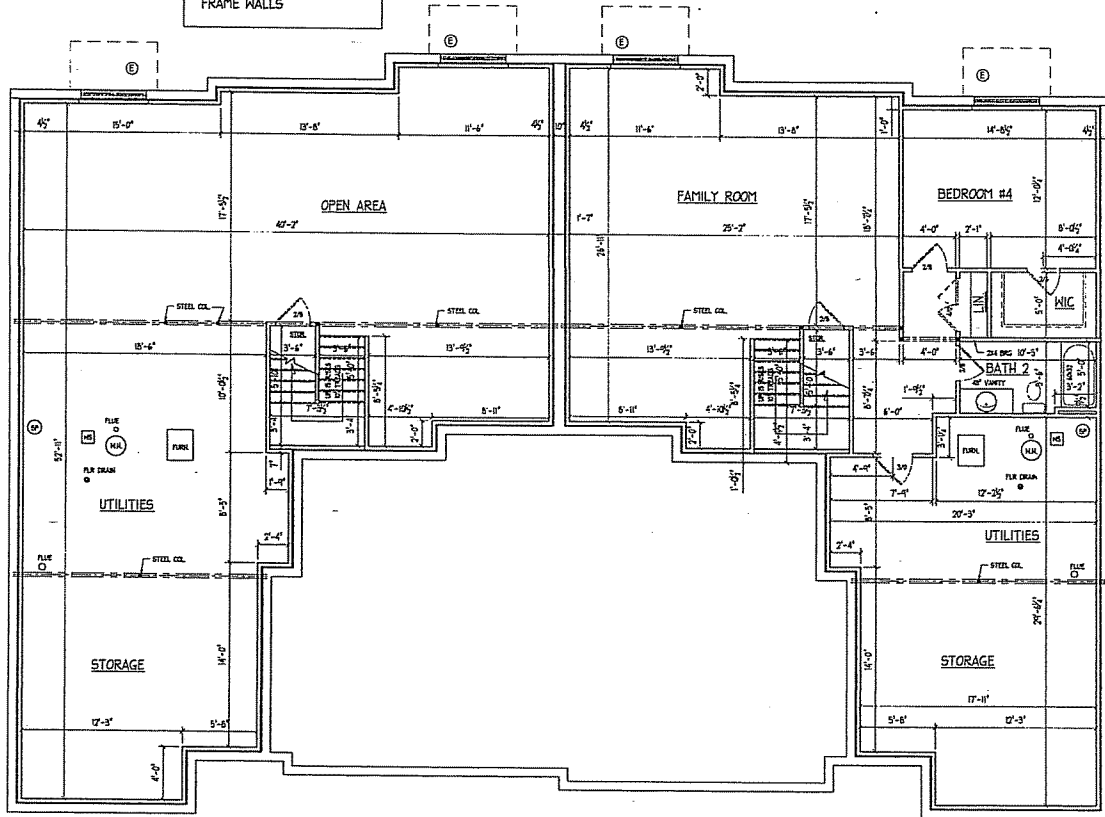
THE FOUNDATION CONTRACTOR SHALL INSTALL THE FOUNDATION STRAIGHT, SQUARE, LEVEL, PLUMB AND TO WITHIN 1/2" OF DIVISIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL NOTIFY THE BUILDER OF DISCREPANCIES IF ANY, THAT ARE FOUND ON THIS DRAWING.

REVISIONS	
DATE	DESCRIPTION

CLIENT: GREENE DEXTER / TERKOGAN DRIVE	DATE: 08/20/24	SCALE: 1/4" = 1'-0"
TITLE: GARAGE PARTY WALL	PROJECT: 2408-03	PAGE: 1

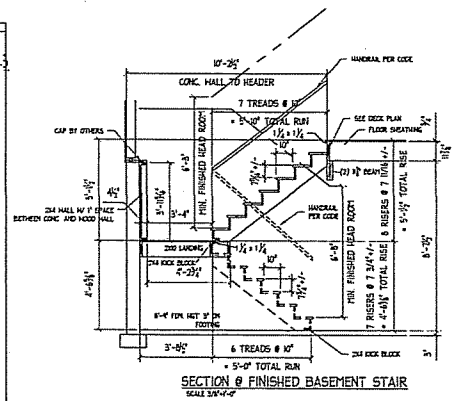
DATE: 08/20/24	PROJECT: 2408-03	SCALE: 1/4" = 1'-0"
DATE: 08/20/24	PROJECT: 2408-03	SCALE: 1/4" = 1'-0"

NOTE: ALL INTERIOR WALLS,
INTERIOR TRIM BY WINDSOR,
SEND MATERIAL LOOSE FIELD
FRAME WALLS

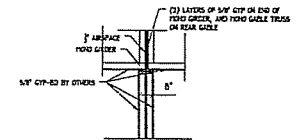


UNIT 1 UNFINISHED LOWER LEVEL

UNIT 2 FINISHED LOWER LEVEL
92, 50, FT.



SECTION @ FINISHED BASEMENT STAIR
SCALE 3/8\"/>



GABLE END ROOF TRUSS
PARTY WALL DETAIL
1/4\"/>

REVISIONS	
DATE	DESCRIPTION

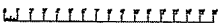
CLIENT: PINEHILL DUPLEX / TERRAZZO DRIVE	DATE:
PROJECT NO: 2408-03	DATE:
TITLE:	
DESIGNER:	
DRAWN BY:	
CHECKED BY:	
SCALE: 1/4\"/>	

I, **David C. Grogan**, Professional Engineer, No. 10200, State of Wisconsin, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Wisconsin.
 I, **David C. Grogan**, Professional Engineer, No. 10200, State of Wisconsin, do hereby certify that I am the author of the above design and that it was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Wisconsin.

cosgroves CONSTRUCTION Home • Commercial	David C. Grogan, Professional Engineer No. 10200, State of Wisconsin 1234 Main Street Madison, WI 53718 Phone: 608-261-1111 Fax: 608-261-1112 Email: info@cosgroves.com
-------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

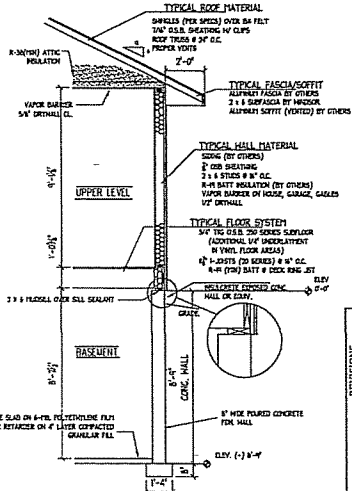
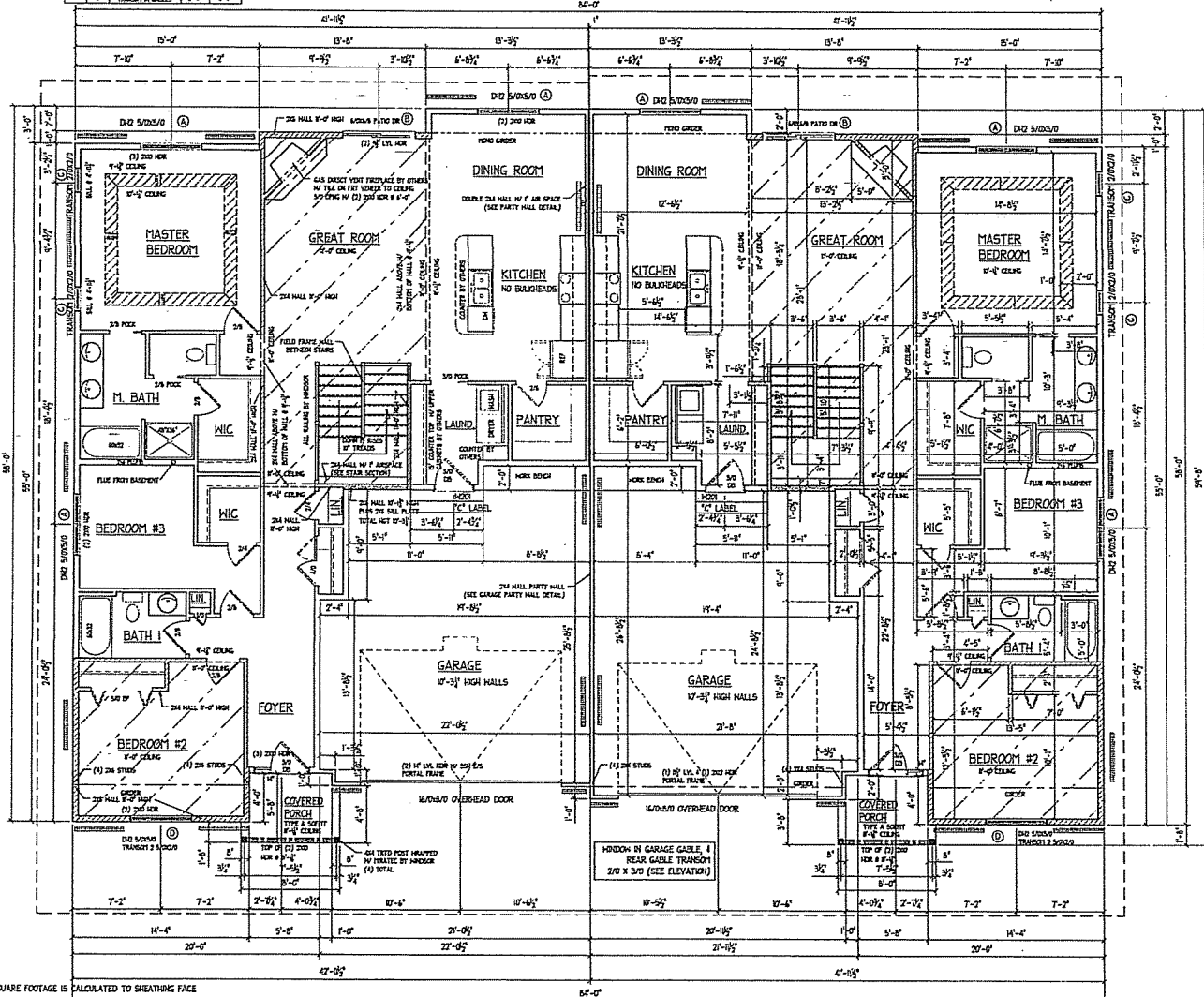
SEP 1 2 2019

EXTERIOR DIMENSIONS ARE TO STUD FACE



HATCH SCHEDULE			
SYM	QTY	NAME	R/O
1	1	DOUBLE SLING TRUSS	5'-0"
2	2	BLINDING FLOOR OR	5'-0"
3	4	TRANSOM	5'-0"
4	1	CURTAIN WALL W/ TRANSOM	5'-0"
5	1	DRAW HUNG TRAP IN BASE	5'-0"
6	1	TRANSOM IN CEILING	5'-0"

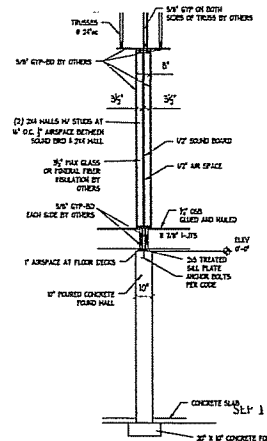
--- (Dashed line)	CONTRACTOR GRADED 6" O.C. # 4 REBAR, 12" O.C. # 6 REBAR
--- (Solid line)	TOTAL 7" BAPPED PAUL 2 MILLS PER INCH



NOTES: REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

NOTE: CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL AND / OR STATE BUILDING CODES.

TYPICAL WALL SECTION
3/8" = 1'-0"



HOUSE PARTY WALL DETAIL
3/8" = 1'-0"

- NOTES:
- FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE
 - EXTERIOR DIMENSIONS ARE TO STUD FACE UNLESS NOTED; INTERIOR DIMENSIONS ARE TO STUD FACE
 - HALL INSULATION BY OTHERS - APPROVED TO INSULATE CORNERS AND TRANSOMER AREAS
 - LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2X10 @ 24" BTR SPP UNLESS NOTED

FLOOR PLAN UNIT 1
1/32" = 1'-0"

EXTERIOR DIMENSIONS ARE TO STUD FACE

FLOOR PLAN UNIT 2
1/32" = 1'-0"

UNIT 1 1757 SQ. FT.
UNIT 2 1757 SQ. FT.
TOTAL 3514 SQ. FT.

REVISIONS	DATE	BY	DESCRIPTION

CLIENT / DESIGNER	DUPLIX / PROGRESS DRIVE
TITLE	
DATE	
DRAWN BY	
CHECKED BY	
PROJECT NO.	
SCALE	
DATE	

COB ROVE CONSTRUCTION

2408-10 FLS 1/4" = 1'-0"