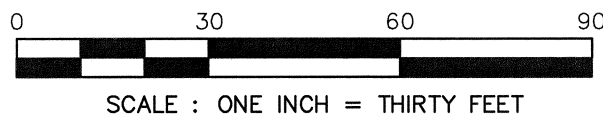


PRELIMINARY PLAT OF DOLORES LILLGE SUBDIVISION

ALL OF LOTS 20 AND 21, HEATHER DOWNS WEST, AS RECORDED IN VOLUME 50 OF PLATS, ON PAGES 12-13, AS DOCUMENT NUMBER 1596200, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



CURVE TABLE

NUMBER	ARC LENGTH	CENTRAL ANGLE	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	58.18	66°40'00"	50.00	N34°37'31"E	54.95
				(N34°15'20"E)	
C2	26.94	30°52'02"	50.00	N52°31'33"E	26.61
				(N52°09'19"E)	

LOT AREA TABLE

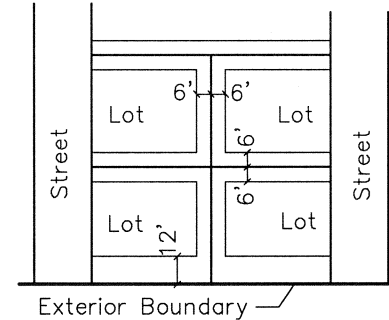
NAME	SQUARE FEET	ACRES
1	16,167	0.3711
2	8,277	0.1900
3	6,514	0.1495
4	6,009	0.1379
5	6,054	0.1390
6	5,364	0.1231

LEGEND

- SOLID IRON ROD FOUND SIZE NOTED
- ⊙ IRON PIPE FOUND OUTSIDE DIAMETER NOTED
- 1-1/4" X 24" SOLID IRON RE-ROD SET, WT. 4.30 lbs./ft. ALL OTHER CORNERS MARKED WITH A 3/4"x18" SOLID IRON ROD, WT. 1.50 lbs./ft.
- G— BURIED GAS LINE
- W— WATER MAIN
- SAN— SANITARY SEWER
- ST— STORM SEWER
- E— BURIED ELECTRIC
- ⊗ WATER VALVE
- ⊞ TV PEDESTAL
- ⊞ ELECTRIC PEDESTAL
- ⊞ TELEPHONE PEDESTAL
- ⊞ FIRE HYDRANT
- ⊞ MAILBOX
- ⊞ SANITARY SEWER MANHOLE
- ⊞ DECIDUOUS TREE
- ⊞ CONIFEROUS TREE
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- DRAINAGE ARROW SEE NOTE 15

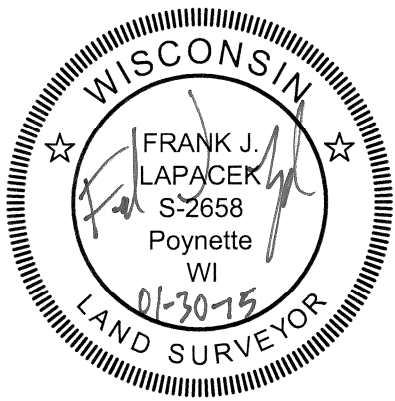
TYPICAL DRAINAGE EASEMENTS:

(see notes 13 and 14)



NOTES:

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Date of field work: 12-29-2014
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Total parcel area = 48,385 square feet or 1.1108 acres.
- 8) The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin State Statutes.
- 9) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20145100587, 20145100581 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- 10) Elevations are based upon NAVD88 datum. The top nut of the hydrant at the intersection of Cherboureg Court and Brittany Boulevard has an elevation of 1040.74'. Elevation was transferred to the site using Trimble RTK GPS.
- 11) Surveyor was provided a copy of Title Commitment No. F-13062119 from Dane County Title Company, dated October 03, 2013. (Numbers in parenthesis represent items in Schedule B - Section II Exceptions.) [Surveyor's note are in brackets]
(11) All matters as may affect the captioned premises as shown on the recorded plat of Heather Downs West, recorded as Document Number 1596200, as modified by Correction Instrument recorded May 4, 1979 in Volume 1057 of Records, page 32 as Document Number 1619533. [This is a change in owners certificate]
as modified by Release of Easement by Madison Gas and Electric Company recorded April 18, 2000 as Document Number 3206043. [This is a release to the south 6' of Lots 20 and 21]
as modified by Release of Easement by Charter Communications Company, LLC VII recorded May 12, 2000 as Document Number 3212828. [This is a release to the south 6' of Lots 20 and 21]
as modified by Release of Easement by Wisconsin Bell, Inc. d/b/a Ameritech-Wisconsin, f/k/a Wisconsin Telephone Co. recorded September 11, 2000 as Document Number 3249935. [This is a release to the south 6' of Lots 20 and 21]
as modified by Release of Public Utility Easements and Pedestrian Easements recorded May 22, 2001 as Document Number 3323674. [This is a release to the south 6' of Lots 20 and 21]
(12) All matters as may affect the captioned premises as shown on the recorded Plat of Second Addition to Westvale, recorded as Document Number 1352028.
(13) Declaration of Conditions and Covenants for Plat of Heather Downs West recorded October 16, 1978 in Volume 1004 of Records, page 116 as Document Number 1596263. [Not Mappable]
- 12) All lots within this plat are subject to public easements for drainage purposes which shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot except that the easements shall be twelve (12) feet in width on the perimeter of the plat. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of six (6) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement, except that the easement shall be twelve (12) feet in width along the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water.
- 13) In the event of a City of Madison Plan Commission and/or Common Council approved redivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.
- 14) The intra-block drainage easements shall be graded with the construction of each principle structure in accordance with the approved storm water drainage plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.
- 15) Drainage arrows are shown per recorded plat of Heather Downs West. Note per plat is "Arrows indicate that direction of drainage swale construction during grading. Drainage swales shall be maintained by the lot owner unless modified with approval of the City Engineer."



OWNER/SUBDIVIDER:
Habitat for Humanity of Dane County, Inc.
1014 Fiedler Lane #29
Madison, WI 53713

SURVEYOR/ENGINEER:

Burse
surveying & engineering Inc.

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Madison, WI 53703 608.250.9263
Fax: 608.250.9266
email: Mburse@BSE-INC.net
www.bursesurveyengr.com

Date: 01-30-2015
Plot View: Pre Plat
\\PROJECTS\\BSE1791\\DWG\\Option 1.DWG

