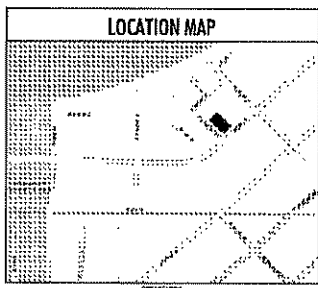


DRAWING INDEX	
T1	TITLE SHEET
CZ	LANDSCAPING AND SITE IMPROVEMENTS PLAN
C2.1	SITE GRADING AND UTILITIES PLAN
229 W. LAKE LAWN PLACE - NEW CONSTRUCTION	
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A1.1	FIRST FLOOR PLAN
A1.2	SECOND - THIRD- FOURTH FLOOR PLAN
AS.1	COLOR ELEVATIONS
AS.2	COLOR ELEVATIONS
AS.3	COLOR ELEVATIONS
201 W. LAKE LAWN PLACE - EXISTING ACACIA FRATERNITY HOUSE	
A2.0	FIRST FLOOR DIMENSION PLAN
A2.1	SECOND FLOOR DIMENSION PLAN
A2.2	THIRD FLOOR DIMENSION PLAN
A2.3	FOURTH FLOOR DIMENSION PLAN
A2.4	FIFTH FLOOR DIMENSION PLAN
AS.1	EXTERIOR BUILDING ELEVATIONS
AS.2	EXTERIOR BUILDING ELEVATIONS



PROJECT INFORMATION	
13,780 S.F. TOTAL SITE AREA	
<u>229 W. LAKE LAWN (NEW CONSTRUCTION)</u>	
4335 S.F. PARKING LEVEL	
4335 S.F. EACH 1, 2, 3, 4TH FLOORS	
21,675 S.F. TOTAL NEW CONSTRUCTION	
4 4 BEDROOM - 1 1/2 BATH APARTMENTS	
8 3 BEDROOM - 1 BATH APARTMENTS	
4 2 BEDROOM - 1 BATH APARTMENTS	
<u>201 W. LAKE LAWN (EXISTING BUILDING)</u>	
2840 S.F. LOWER LEVEL	
2319 S.F. EACH FIRST, SECOND, THIRD FLOORS	
1805 S.F. ATTIC FLOOR	
12,292 S.F. TOTAL	
1 9 BEDROOM BOARDING HOUSE UNIT WITH	
2 KITCHENS AND 4 BATHROOMS	
1 1 BEDROOM 1 BATH APARTMENT	
2 2 BEDROOM 1 BATH APARTMENTS	
2 3 BEDROOM 1 BATH APARTMENTS	
2 3 BEDROOM 1 1/2 BATH APARTMENTS	
<u>GRAND TOTAL:</u>	
33,877 S.F.	
23 APARTMENTS	
1 9 BEDROOM BOARDING HOUSE	
<u>PARKING:</u>	
INDOOR AT 229 LAKE LAWN:	
7 CARS	
1 VAN ACCESSIBLE SPACE	
8 BICYCLES	
4 SCOOTERS	
OUTDOOR - COMBINED SITE:	
18 BICYCLES	
5 SCOOTERS	

ALEXANDER COMPANY
 145 EAST BADGER ROAD
 SUITE 200
 MADISON, WI. 53713

ACACIA

229 W. LAKE LAWN PLACE
 201 W. LAKE LAWN PLACE
 MADISON, WISCONSIN

CODE: IBC 2006
 INTERNATIONAL EXISTING BUILDING CODE 2006
 ICC/ANSI-A117.1 ACCESSIBILITY

BOTH BUILDINGS WILL BE PROTECTED BY A COMPLETE
 AUTOMATIC SPRINKLER SYSTEM, WITH SMOKE
 DETECTION AND FIRE ALARM AS REQUIRED BY CODE.

AFTER FOUNDATION WORK HAS BEEN COMPLETED, A
 FOUNDATION SURVEY MUST BE SUBMITTED TO THE CITY
 OF MADISON ZENING DEPARTMENT.

ALL THE LOTS/BUILDINGS WITHIN THIS
 SUBDIVISION/DEVELOPMENT ARE SUBJECT TO IMPACT
 FEES THAT ARE DUE AND PAYABLE WITHIN FOURTEEN
 DAYS OF THE ISSUANCE OF BUILDING PERMIT(S)

145 E. Badger Road
 Suite 200
 Madison, WI 53713
 Telephone 608-258-6680
 Fax: 608-258-6689

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DATE: 08/06/2006 09:45 AM

DRAWN: BSI APPR:

229 W. LAKE LAWN PLACE
 201 W. LAKE LAWN PLACE
 MADISON, WISCONSIN

PROJECT # 08-673

TITLE SHEET &
 DRAWING INDEX

T1

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DATE: 08/20/2013 11:00 AM

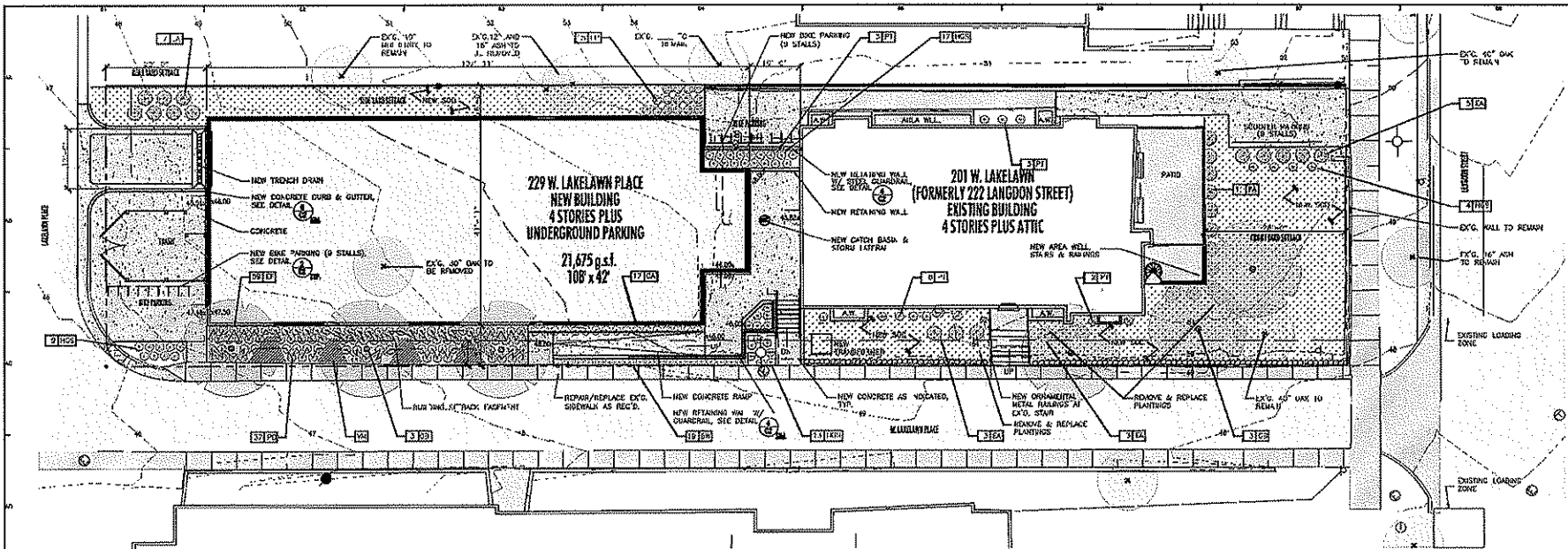
DATE: 08/20/2013 11:00 AM

229 W. LAKELAWN PLACE
201 W. LAKELAWN PLACE
MADISON, WISCONSIN

PROJECT # 08-673

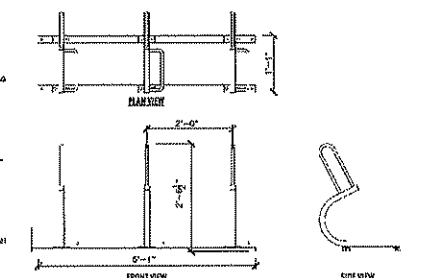
LANDSCAPING AND
SITE IMPROVEMENTS

C2

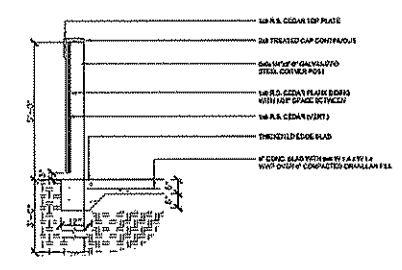


SITE IMPROVEMENTS PLAN
SCALE: 1" = 10'

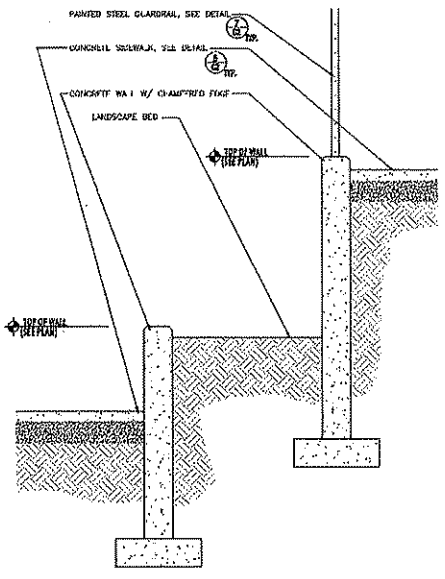
PLANT LIST					
SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	QUANT. COMMENTS
TREES					
GR	Quercus bicolor Nutt. var. Gled.	White Oak	2" cal.	50#	6
SHRUBS					
CA	Euonymus alatus 'Walter Drift'	Spice Yellow Euonymus	HS	10#	70
BN	Buxus sempervirens 'Fastigiata'	Boxwood	HS	10#	10
PERENNIALS / VINES					
MS	Monarda spicata 'Coral Spikes'	Spice Bush	HS	10#	45
LP	Lonicera xylonum 'Coral Spikes'	Spice Bush	HS	10#	15
PT	Phlox paniculata 'Coral Spikes'	Phlox	HS	10#	15
CA	Chamaenerion angustifolium 'Red Top'	Red Top	HS	10#	15
PT	Portulaca oleraceae 'Red Top'	Portulaca	HS	10#	15
VN	Vitis rotundifolia 'Coral Spikes'	Vine	HS	10#	15



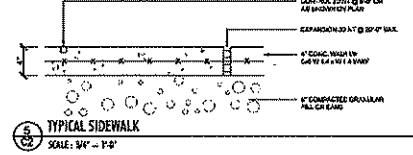
BIKE RACK
SCALE: 3/4" = 1'-0"



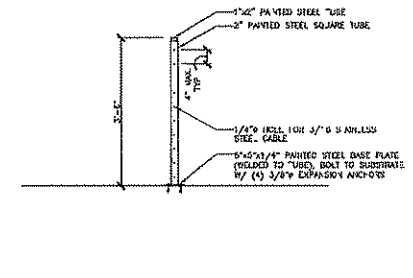
TRASH ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



TYPICAL RETAINING WALL / LANDSCAPE BED
SCALE: 3/4" = 1'-0"



TYPICAL SIDEWALK
SCALE: 3/4" = 1'-0"



GUARDRAIL
SCALE: 3/4" = 1'-0"

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DATE: 07/24/2008 11:54 AM

DATE: 04/04 07/24/08

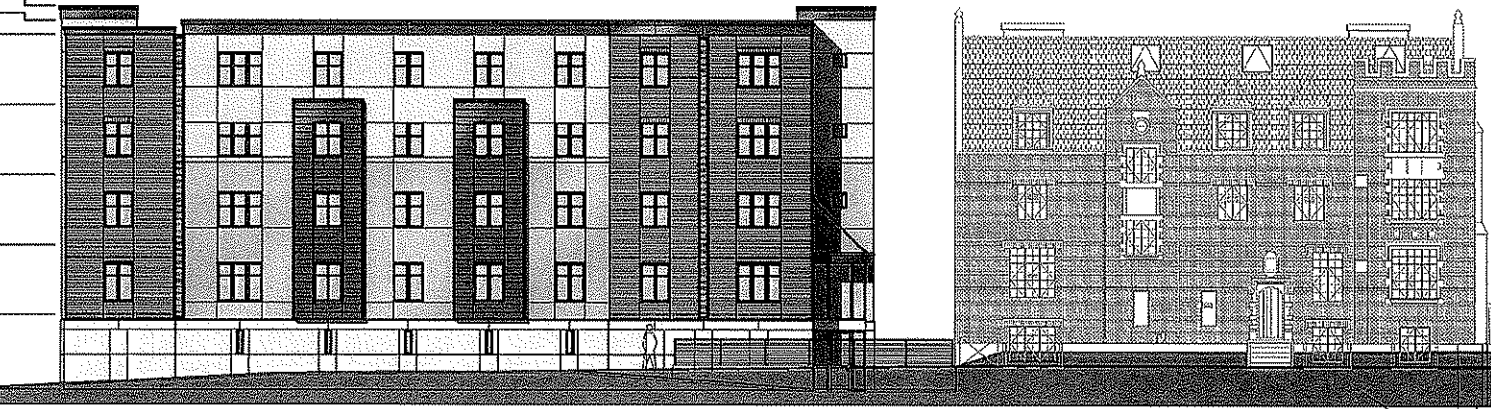
229 W. LAKEVIEW PLACE
201 W. LAKEVIEW PLACE
MADISON, WISCONSIN

PROJECT # 08-673









EXTERIOR BUILDING
ELEVATIONS

A5.1

- TOP OF PARAPET ELEV. 97.16'
- TOP OF PARAPET ELEV. 94.16'
- ROOF ELEV. 93.15'
- FOURTH FLOOR ELEV. 74.67'
- THIRD FLOOR ELEV. 74.07'
- SECOND FLOOR ELEV. 63.15'
- FIRST FLOOR ELEV. 54.0'
- LOWER LEVEL ELEV. 44.0'



MATERIAL LEGEND

	EIFS COLOR: #456A PEARL		WINDOWS CLEAR GLASS, BRONZE FRAMES		ALUMINUM GRILLS COLOR: BRONZE
	EIFS COLOR: #389 SOUTHERN TAN		MASONRY ULTRA BURNISHED BY PREMIER BLOCK CORP, COLOR: MAPLENUT 4" x 16" UNITS		CABLE RAIL PAINTED STEEL RAILS WITH STAINLESS STEEL CABLES & HARDWARE
	METAL PANELS COLOR: TERRA COTTA		POURED CONCRETE STAINED & SANDBLASTED		

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DATE: 08/20/2014

SCALE: AS SHOWN

229 W. LAKEVIEW PLACE
201 W. LAKEVIEW PLACE
MADISON, WISCONSIN

PROJECT # 08-673

EXTERIOR BUILDING
ELEVATIONS

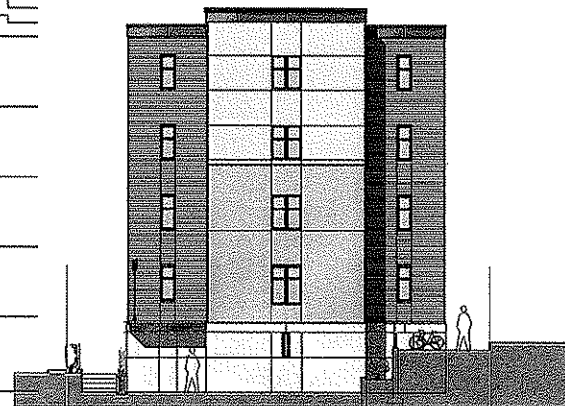
A5.2

TOP OF PARAPET
ELEV. 72.10
TOP OF PARAPET
ELEV. 71.19
ROOF
ELEV. 71.37
FOURTH FLOOR
ELEV. 61.4
THIRD FLOOR
ELEV. 71.49
SECOND FLOOR
ELEV. 61.33
FIRST FLOOR
ELEV. 61.4
LOWER LEVEL
ELEV. 61.4



WEST ELEVATION

TOP OF PARAPET
ELEV. 72.10
TOP OF PARAPET
ELEV. 71.19
ROOF
ELEV. 71.37
FOURTH FLOOR
ELEV. 61.4
THIRD FLOOR
ELEV. 71.49
SECOND FLOOR
ELEV. 61.33
FIRST FLOOR
ELEV. 61.4
LOWER LEVEL
ELEV. 61.4



WEST ELEVATION

MATERIAL LEGEND



EIFS
COLOR: #466A PEARL



WINDOWS
CLEAR GLASS, BRONZE FRAMES



ALUMINUM GRILLS
COLOR: BRONZE



EIFS
COLOR: #989 SOUTHERN TAN



MASONRY
ULTRA BURNISHED BY PREMIER
BLOCK CORP, COLOR: MAPLENUT
4" x 16" UNITS



CABLE RAIL
PAINTED STEEL RAILS WITH
STAINLESS STEEL CABLES &
HARDWARE



METAL PANELS
COLOR: TERRA COTTA



POURED CONCRETE
STAINED & SANDBLASTED

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DATE: 04/11/11 0772: 04/11/11

229 W. LAKEAWH PLACE
201 W. LAKEAWH PLACE
MADISON, WISCONSIN

PROJECT # 08-673

EXTERIOR BUILDING
ELEVATIONS









A5.3



NORTH ELEVATION



MATERIAL LEGEND

 EIFS COLOR: #465A PEARL	 WINDOWS CLEAR GLASS, BRONZE FRAMES	 ALUMINUM GRILLES COLOR: BRONZE
 EIFS COLOR: #389 SOUTHERN TAN	 MASONRY ULTRA FINISHED BY PREMIER BLOCK CORP, COLOR: MAPLENU 4" x 16" UNITS	 CABLE RAIL PAINTED STEEL RAILS WITH STAINLESS STEEL CABLES & HARDWARE
 METAL PANELS COLOR: TERRA COTTA	 POURED CONCRETE STAINED & SANDBLASTED	

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 Fax: 608-258-6599

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05/08 09/ANL/MS/ST/AL
 06/08 05/08/08/ST/AL
 06/08 06/08/08/ST/AL
 06/08 06/08/08/ST/AL

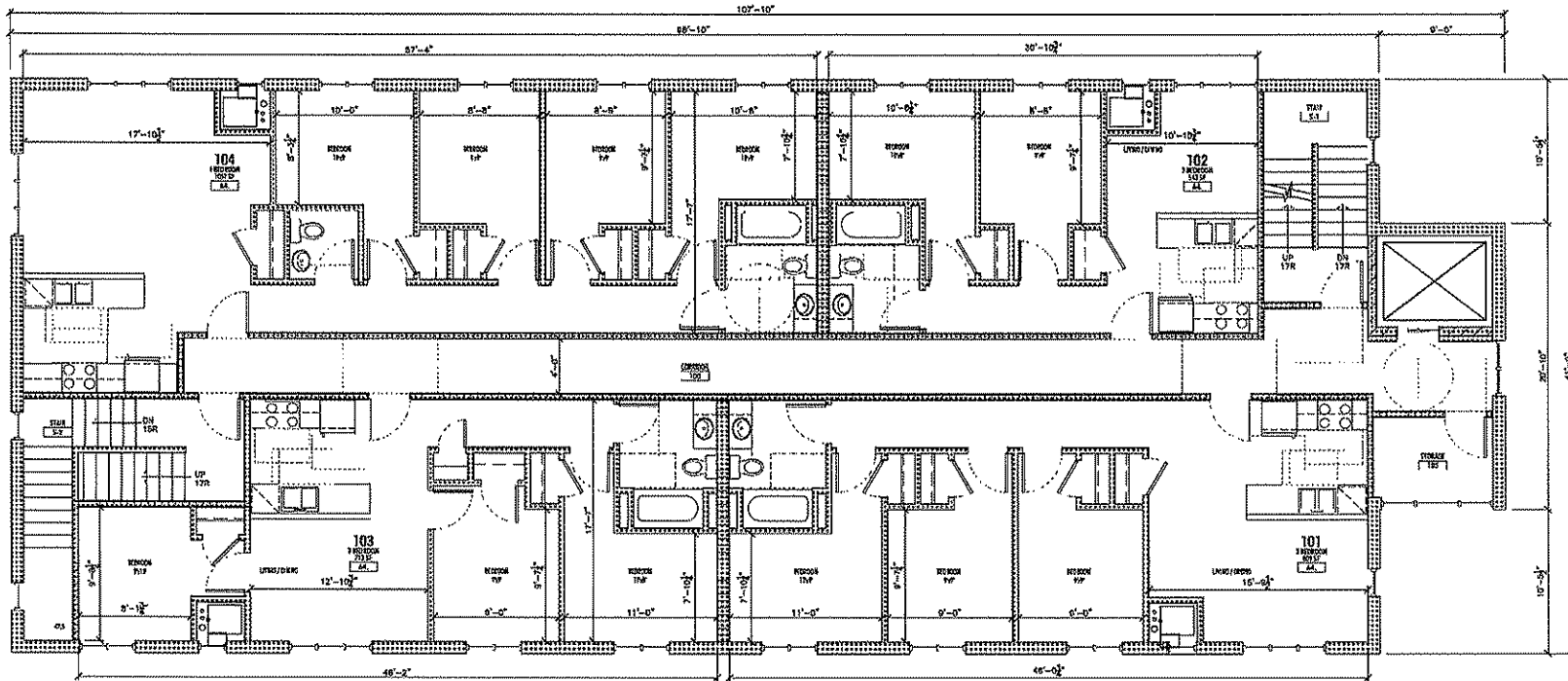
DRAWN BY: APPR. BY:

229 W. LAKEVIEW PLACE
 201 W. LAKEVIEW PLACE
 MADISON, WISCONSIN

PROJECT # 08-673

FIRST FLOOR PLAN

A1.1



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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 Fax: 608-258-6590

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D-500 IMPROVEMENTS SUBMITTAL
 D-500-1 DESIGN DEVELOPMENT
 D-500-2 CONSTRUCTION DOCUMENTS
 D-500-3 ARCHITECT #1

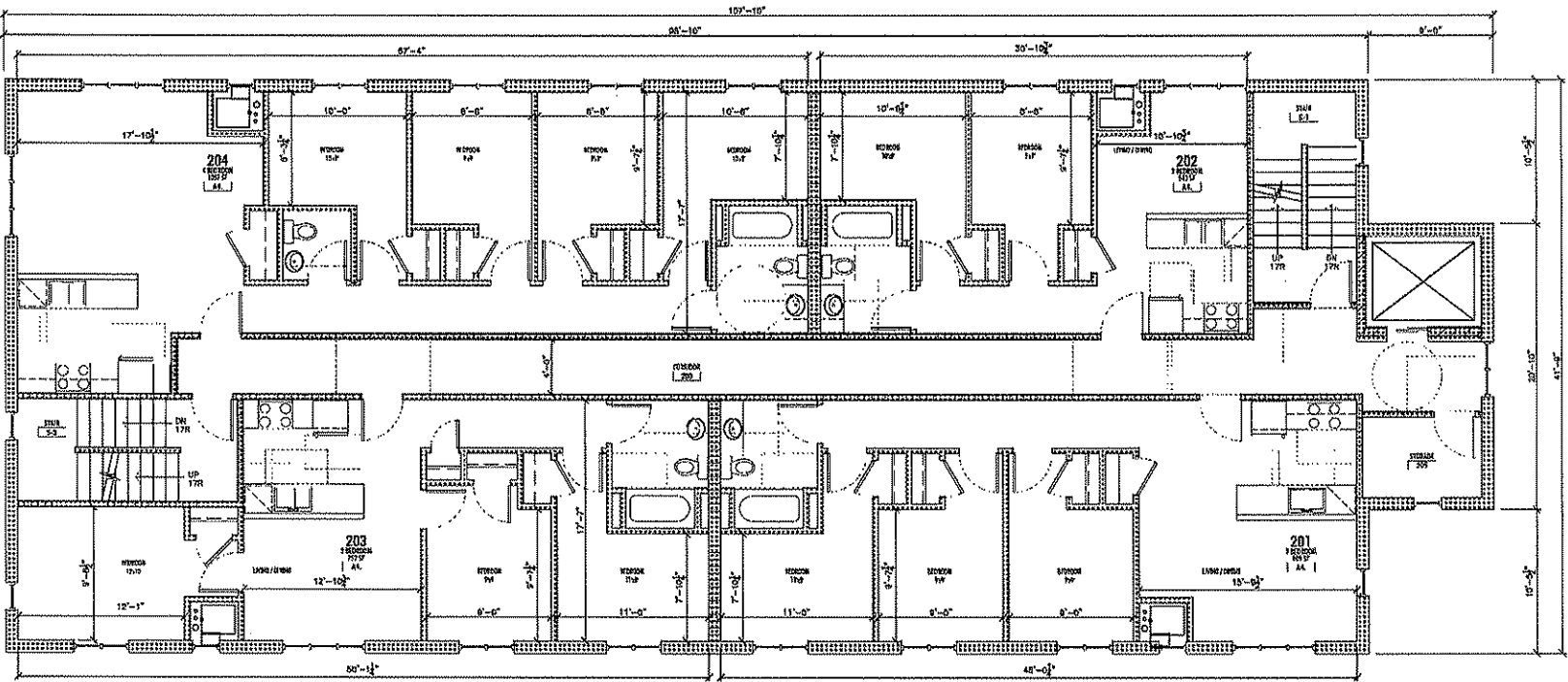
DRAWN BY APPR. BY

229 W. LAKEVIEW PLACE
 201 W. LAKEVIEW PLACE
 MADISON, WISCONSIN

PROJECT # 08-673

SECOND-FOURTH
 FLOOR PLAN

A1.2



SECOND, THIRD, FOURTH FLOOR PLANS
 SCALE: 1/4" = 1'-0"

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08-0100 SCHEDULE SEVEN PROPOSED
08-0200 FOR DESIGN DEVELOPMENT
08-0300 FOR DESIGN DEVELOPMENT
08-0400 FOR DESIGN DEVELOPMENT
08-0500 PART 2 ALLOCATION
08-0600 PART 2 ALLOCATION

DRAWN: AXA APPR: BBS

ACACIA
201 W LAKELAWN PL
MADISON WI

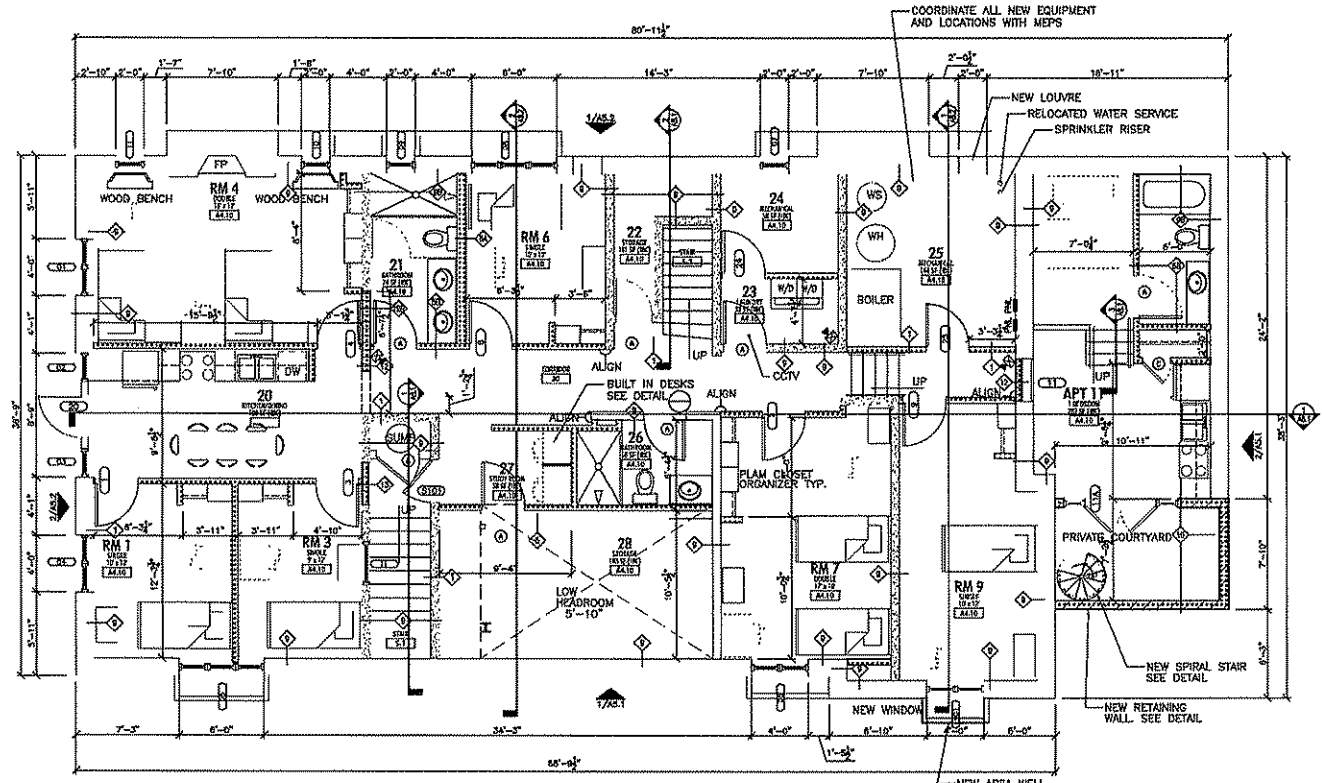
PROJECT # 08-657

LOWER LEVEL
DIMENSION
PLAN

A2.0

GENERAL WALL KEY:

- BEARING WALL (NEW OR EXISTING)
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT INTERIOR WALL
- NEW MASONRY WALL
- EXISTING NON-BEARING WALL
- EXISTING MASONRY WALL
- WALL TAG INDICATES WALL TYPE, REFER TO SHEET A2.1 FOR WALL TYPE CONSTRUCTION.
- UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 5



LOWER LEVEL DIMENSION PLAN
SCALE: 1/4" = 1'-0"
NORTH

GENERAL NOTES:

1. FOR SYMBOL AND ABBREVIATION DESCRIPTIONS SEE SHEET 02.1
2. FOR WALL TYPE DESCRIPTIONS SEE PARTITION SCHEDULE ON SHEET A2.1. WALL TYPES INDICATED ON THIS SHEET TO BE FRAMED PRIOR TO UNIT PARTITIONS. FOR WALL TYPES WITHIN UNITS, REFER TO SHEETS A4.1-A4.4
3. FOR INTERIOR FINISHES SEE FINISH SCHEDULE AND FINISH LEGEND ON SHEET A4.1
4. FOR DOOR TYPE DESCRIPTIONS SEE DOOR AND HARDWARE SCHEDULE ON SHEETS A11.2 TO A11.4
5. REFER TO DEMOLITION PLANS FOR EXISTING CONDITIONS AND ADDITIONAL INFORMATION.
6. FOR COMPLETE UNIT LAYOUT AND DIMENSIONING SEE 1/4" SCALE UNIT PLANS.
7. NEW STUDS ARE 3 1/2" TYP. UNLESS OTHERWISE DIMENSIONED OR NOTED. ALL NEW WALLS ARE DIMENSIONED TO FINISH. ANY ARCHITECT IF A DIMENSION VARIES BY 6" OR 6X INCH OR MORE, DIMENSIONS TO EXISTING WALLS ARE TO FACE OF EXISTING FINISH.
8. EXISTING FLOOR OPENINGS ARE TO BE INFILLED, UNLESS NOTED OTHERWISE. SEE STRUCTURAL PLANS FOR DETAILS.
9. REPAIR AREAS WHERE FINISHES HAVE BEEN REMOVED TO INVESTIGATE STRUCTURE. TYPICAL ALL FLOORS.
10. SMELL FREIGHT ELEVATOR DOOR OPENINGS, TYPICAL ALL FLOORS.
11. THE INTENT OF THE ELECTRICAL WORK SHOWN ON THIS PLAN IS TO ESTABLISH DECEASED LOCATIONS OF FIXTURES. IF IS NOT TO BE CONSIDERED AS A COMPREHENSIVE PLAN OF ALL FIXTURES AND DEVICES REQUIRED BY THE SPECIFICATIONS AND CODES. THE ELECTRICAL CONTRACTOR ASSUMES RESPONSIBILITY FOR QUANTITIES AND LOCATIONS OF ALL FIXTURES AND DEVICES, INCLUDING LIFE SAFETY AND FIRE ALARM/DETECTION SYSTEMS AS REQUIRED BY STATE, LOCAL, AND FEDERAL AUTHORITIES.
12. EXISTING WORK IN PLACE THAT IS DISTURBED DUE TO NEW WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AFTER THE NEW WORK IS IN PLACE.
13. UNPAINTED PLASTER WALLS, CEILING, COLUMNS, ETC. ARE TO BE REPAIRED TO A SOUND STATE WITH TROWEL STUCK, CRACKED AND FRESH. EXISTING SOUND PLASTER SURFACES ARE TO BE REPAIRED OR NEW GYPSUM BOARD LAIRED TO THE EXISTING SURFACE. SURFACE SHALL BE PREPARED TO ACCEPT NEW FINISH.
14. EXISTING ELECTRICAL DEVICE BOXES AND PANELS IN EXISTING PLASTER SURFACE, WHICH ARE NOT TO RECEIVE NEW LAIRED DVP, SHALL BE TO BE FILED AND FINISHED FLUSH WITH EXISTING SURFACE.
15. REPAIR EXISTING PLASTER CHUTE. REPLACE MISSING/BROKEN GLASS AND PAINT NEW AND EXISTING GLASS BLACK (HIGH GLOSS). TRY CHUTE CLOSED AND REPLACE MISSING PIECES.
16. PATCH WALLS WHERE FIRE MOSE AND FIRE EXTINGUISHER CABINETS AND OTHER EQUIPMENT HAS BEEN REMOVED.
17. REPLACE MISSING AND/OR DAMAGED TRAVELING/ARRIVE WITH RECLAIMED PANELS.
18. REPAIR DECORATIVE PLASTER BEAMS WHERE BEAMS WERE DAMAGED FROM PREVIOUS CEILING INSTALLATION.
19. PATCH HOLES IN TERRAZZO/MARBLE FLOORS WITH CONCRETE. FINISH FLUSH WITH EXISTING FLOOR.
20. PATCH AND REPAIR EXISTING WALLS, CEILING, FLOORS, AND COLUMNS WHERE WALLS WERE REMOVED DURING DEMOLITION. PATCH AND REPAIR EXISTING WOOD FLOOR, WHERE WALLS WERE REMOVED DURING DEMOLITION, WITH MATCHING DIMENSIONED TRIM OR NEW BUCK TO MATCH EXISTING.
21. LEVEL FLOOR AREAS AS NOTED WITH CONTINUOUS UNDERLAYMENT (MIN THICKNESS OF 1 1/2"). FEATHER TO LEVEL OF ADJACENT AREA TO ACHIEVE SMOOTH FINISH. REFER TO SPECIFICATION SECTION
22. REFER TO ELEVATIONS FOR UPLIGHTING AND SPERALLY LIGHTING.
23. REPAIR ORIGINAL PLASTER CROWN MOLDINGS. SEE 1/4" SCALE UNIT PLANS FOR EXACT LOCATIONS.
24. FORMER PIPE CHASE DOORS ARE TO BE FIXED CLOSED AND EXISTING HARDWARE IS TO BE REMOVED.
25. REMOVE WOOD BASE ON WALLS TO REPAIR AS NECESSARY FOR NEW CANNETRY, BATH FIXTURES, STUB WALLS, ETC.
26. REPAIR AND/OR REPLACE WINDOW CASHS; REPLACE CASHS SHALL REPLICATE THE EXISTING SASH.
27. REPAIR DECORATIVE COLUMNS. REPLICATE MISSING PIECES TO MATCH EXISTING.
28. REPAIR FIREPLACE SHERMANS AND MANTELS. REPLACE MISSING PIECES TO MATCH EXISTING.
29. EXISTING CLOSET DOORS NOT DIMENSIONED TO BE OPERABLE SHALL BE FIXED CLOSED. REMOVE EXISTING HARDWARE FROM UNIT BOX OF DOOR.
30. FILL ALL FLOOR PENETRATIONS FROM PERIM OR CONDUNIT.
31. PROPOSED LIGHTING AT CORNERS TO BE WOOD THROUGH EXISTING CORNER WHERE FIXTURES ARE PROPOSED AT THE CORNER. LOCATION AS EXISTING JUNCTION BOXES AND THROUGH HOLES AT REMOVED PROPOSED LOCATIONS. PATCH CEILING AT FEATURE LOCATION.
32. ALL NEW STRUCTURAL STEEL TO RECEIVE CONTINUOUS FIRE PROTECTIVE COATING.
33. ALL NEW DOOR OPENINGS IN EXISTING MASONRY WALLS INCLUDE LINTELS. REFER TO STRUCTURAL PLANS FOR NEW LINTELS.
34. NEW ROOF DRAIN LOCATIONS TO BE APPROVED BY ARCHITECT AND COORDINATED WITH PLUMBING CONTRACTOR. ROOF DRAIN SHALL BE CONDUCTED TO STORM SEWER.
35. REFINISH EXISTING DOOR FRAMES, CASING, BASE TRIM, PICTURE SILLING, TRANSOM FRAMES, AND DOORS TO REMAIN.
36. REPAIR AND FINISH MARBLE/TILE FLOOR. REPLACE BROKEN OR MISSING TILES OR BASE WITH SALVAGED/NEW.
37. PROVIDE NEW RATED TRUE PAND. DOORS AS INDICATED ON DOOR SCHEDULES. FIELD VERIFY DIMENSIONS OF EXISTING OPENINGS.
38. REPLACE BROKEN/OBSCURED GLASS AT TRANSOMS. BACK PAINT ALL TRANSOMS WITH WHITE GLOSS BLACK PAINT.

FLOORING NOTES:

1. INSTALL CONTINUOUS UNDERLAYMENT WHERE HARDWOOD FLOORS WERE REMOVED. REFER TO DEMOLITION PLAN FOR LOCATIONS.
2. INSTALL CONTINUOUS UNDERLAYMENT WHERE FLOORING IS NOT CONTINUOUS UNDER REMOVED WALLS.

EXISTING STAIRWELL NOTES:

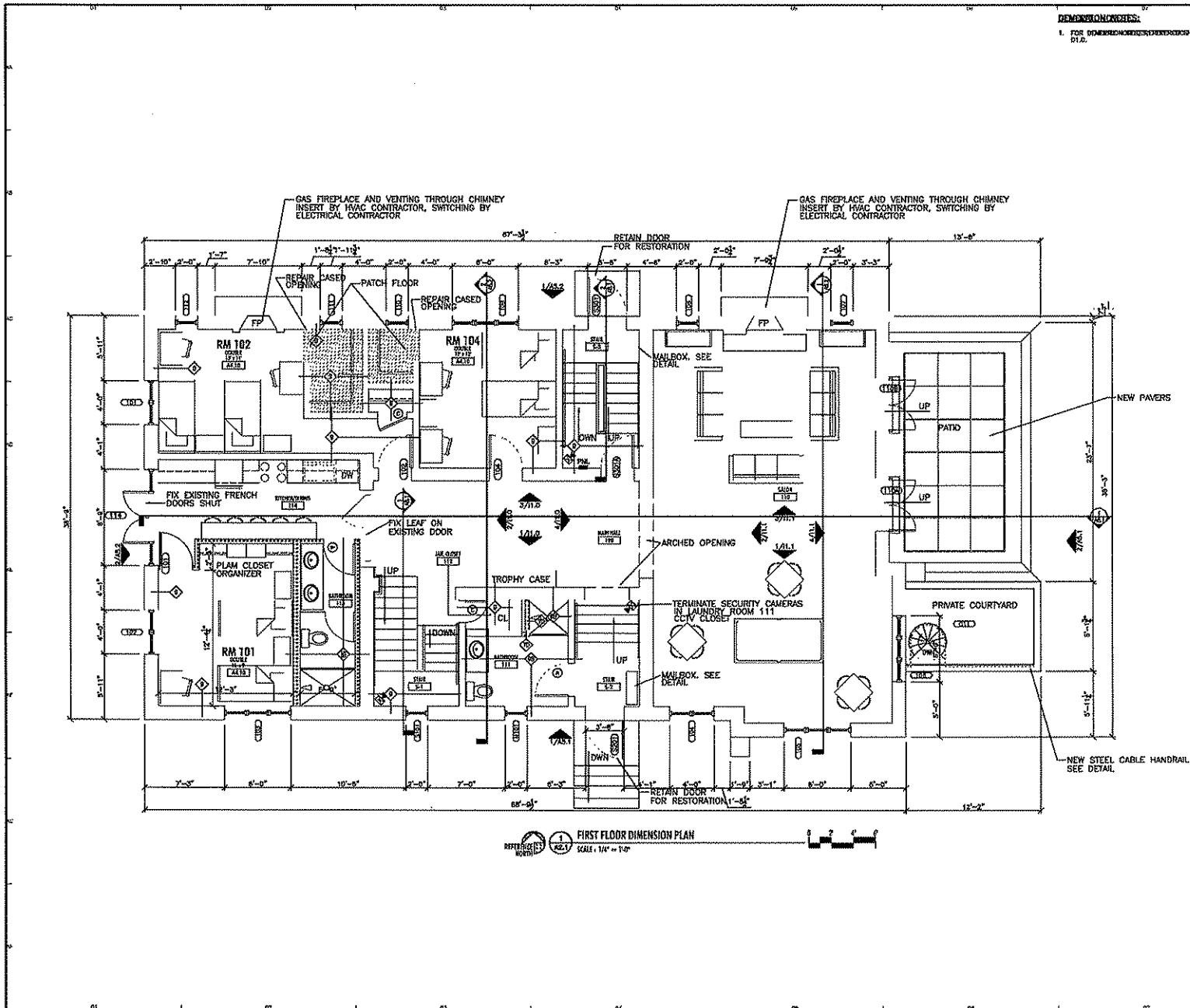
1. SEE SECTION SHEETS A8... FOR SCOPE OF WORK.
2. SEE SECTION SHEETS A8... FOR ELECTRICAL LIGHTING.

DIMENSION NOTES:

1. WALL THICKNESS IS 3 5/8" TYPICAL UNLESS OTHERWISE DIMENSIONED.
2. ALL NEW WALLS ARE DIMENSIONED TO FACE OF FINISH.
3. ALL EXISTING WALLS ARE DIMENSIONED TO FACE OF EXISTING FINISH.
4. NOTIFY ARCHITECT IF A DIMENSION VARIES BY 6" OR 6X WHICH EVER IS LESS.

BASEMENT FINISH NOTES:

1. SCRAPE LOOSE PAINT AND PLASTER FROM EXISTING WALLS AND CEILING TO REPAIR. THESE ITEMS WILL NOT RECEIVE NEW FINISHES. LEAVE AREA BROOM CLEAN.



DIMENSION NOTES:
1. FOR DIMENSION NOTES REFER TO SHEET A0.1.

GENERAL WALL KEY:

- BEARING WALL (NEW OR EXISTING)
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT INTERIOR WALL
- NEW MASONRY WALL
- EXISTING NON-BEARING WALL
- EXISTING MASONRY WALL
- WALL TAG INDICATES WALL TYPE. REFER TO SHEET A0.1 FOR WALL TYPE CONSTRUCTION.
- UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 3.

DIMENSION NOTES:

- WALL THICKNESS IS 3/8" TYPICAL UNLESS OTHERWISE DIMENSIONED.
- ALL NEW WALLS ARE DIMENSIONED TO FACE OF FINISH.
- ALL EXISTING WALLS ARE DIMENSIONED TO FACE OF EXISTING FINISH.
- NOTIFY ARCHITECT IF A DIMENSION VARIES BY 1/8" OR GREATER WHICH EVER IS LESS.

FLOORING NOTES:

- INSTALL CONCRETE UNDERLAYMENT WHERE HARDWOOD FLOORS WERE REMOVED. REFER TO DEMOLITION PLAN FOR LOCATIONS.
- INSTALL CONCRETE UNDERLAYMENT WHERE FLOORING IS NOT CONTIGUOUS UNDER REMOVED WALLS.

EXISTING STAIRWELL NOTES:

- SEE SECTION SHEETS A0.1 FOR SCOPE OF WORK.
- SEE SECTION SHEETS A0.1 FOR ELECTRICAL LIGHTING.

BASEMENT FINISH NOTES:

- SCRAPE LOOSE PAINT AND PLASTER FROM EXISTING WALLS AND CEILING TO REPAIR. THESE ITEMS WILL NOT RECEIVE NEW FINISHES. LEAVE AREA BROOM CLEAN.

Alexander Company
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Madison, WI 53713
Telephone: 608-258-6680
Fax: 608-258-6699

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REVISIONS:
1. REVISION 1: DESIGN DEVELOPMENT
2. REVISION 2: DESIGN DEVELOPMENT
3. REVISION 3: DESIGN DEVELOPMENT
4. REVISION 4: DESIGN DEVELOPMENT
5. REVISION 5: DESIGN DEVELOPMENT

DRAWN: BSF APP:

ACACIA
201 W LAKELAWN PL
MADISON WI

PROJECT # 08-667
FIRST FLOOR
DIMENSION
PLAN
A2.1

GENERAL NOTES:

1. FOR GENERAL NOTES, REFERENCE SHEET A1.0.

GENERAL WALL KEY:

- BEARING WALL (NEW OR EXISTING)
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT EXTERIOR WALL
- NEW MASONRY WALL
- EXISTING NON-BEARING WALL
- EXISTING MASONRY WALL
- WALL TYPE INDICATES WALL TYPE. REFERENCE SHEET A1.1 FOR WALL TYPE CONSTRUCTION.
- UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 3.

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05-20-02 SCHEMATIC DESIGN PROGRAM
07-28-02 FOR PERMITS DEVELOPMENT
08-28-02 FOR PERMITS DEVELOPMENT
09-24-02 FIRST 2 DIMENSIONAL
10-14-02 FIRST 2 DIMENSIONAL

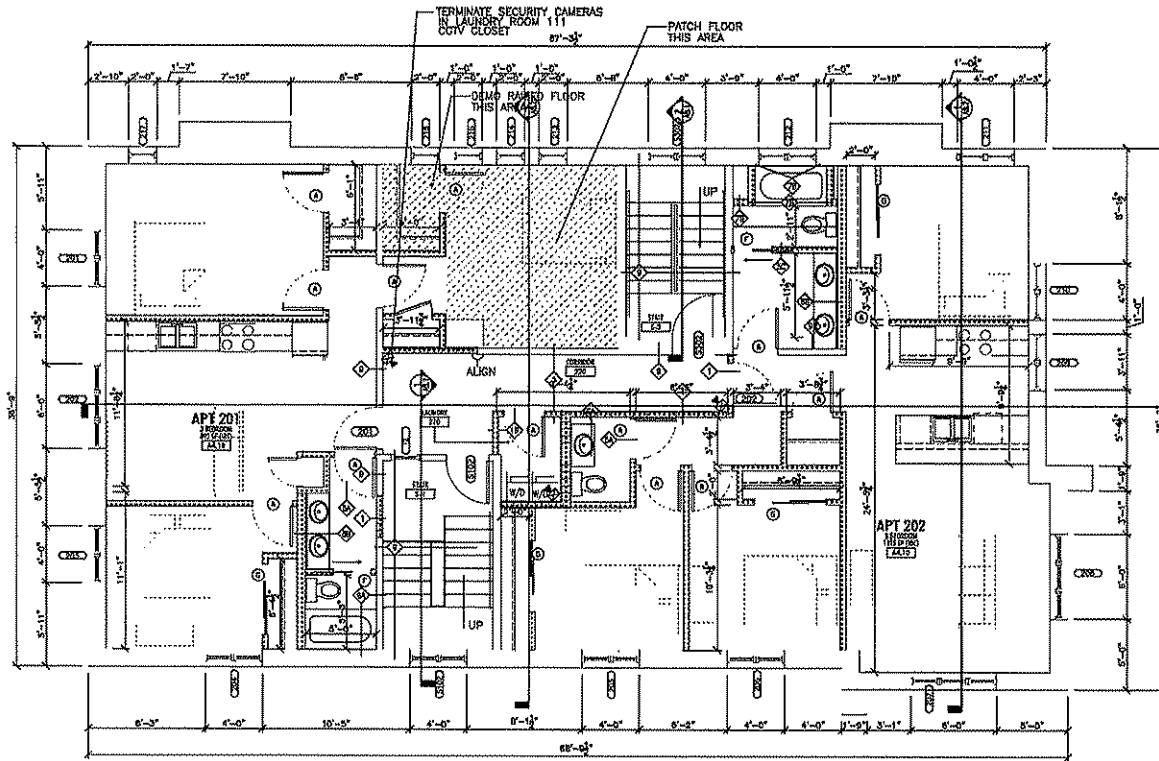
DRAWN: BJT APPR:

ACACIA
287 W LAKELAWN PL
MADISON WI

PROJECT # 08-667

**SECOND FLOOR
DIMENSION
PLAN**

A2.2



1 SECOND FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"
REFER SHEET A2.1 NORTH

GENERAL NOTES:
 1. FOR GENERAL NOTES, REFERENCE SHEET A1.0.

GENERAL WALL KEY:
 BEARING WALL (NEW OR EXISTING)
 NEW FIRE RATED WALL
 NEW INTERIOR WALL
 NEW PARTIAL HEIGHT INTERIOR WALL
 NEW MASONRY WALL
 EXISTING NON-BEARING WALL
 EXISTING MASONRY WALL
 WALL TAG INDICATED WALL TYPE, REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION.
 UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 3.

Alexander Company

145 E. Doty Road
 Suite 200
 Madison, WI 53713
 Telephone: 608-258-6580
 Fax: 608-258-6599

PRELIMINARY
 FOR INFORMATION PURPOSE ONLY
 NOT FOR CONSTRUCTION

03-20-08 REVISIONS FROM PREVIOUS
 02-20-08 FOR GENERAL DEVELOPMENT
 01-20-08 FOR DESIGN DEVELOPMENT
 01-10-08 PHASE 2 PERMITTING
 01-10-08 PHASE 2 ADDRESS

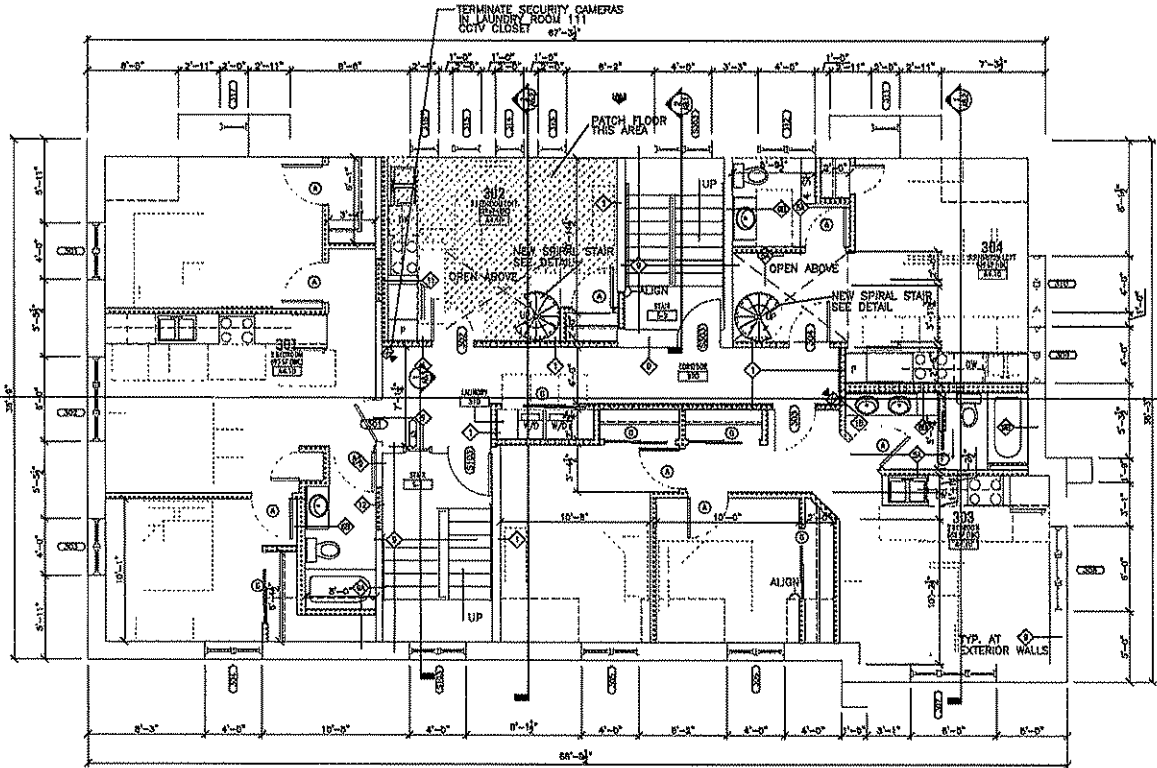
DESIGN: BCF APPROV:

ACACIA
 201 W LAKELAWN PL
 MADISON WI

PROJECT # 08-667

THIRD FLOOR
 DIMENSION
 PLAN

A2.3



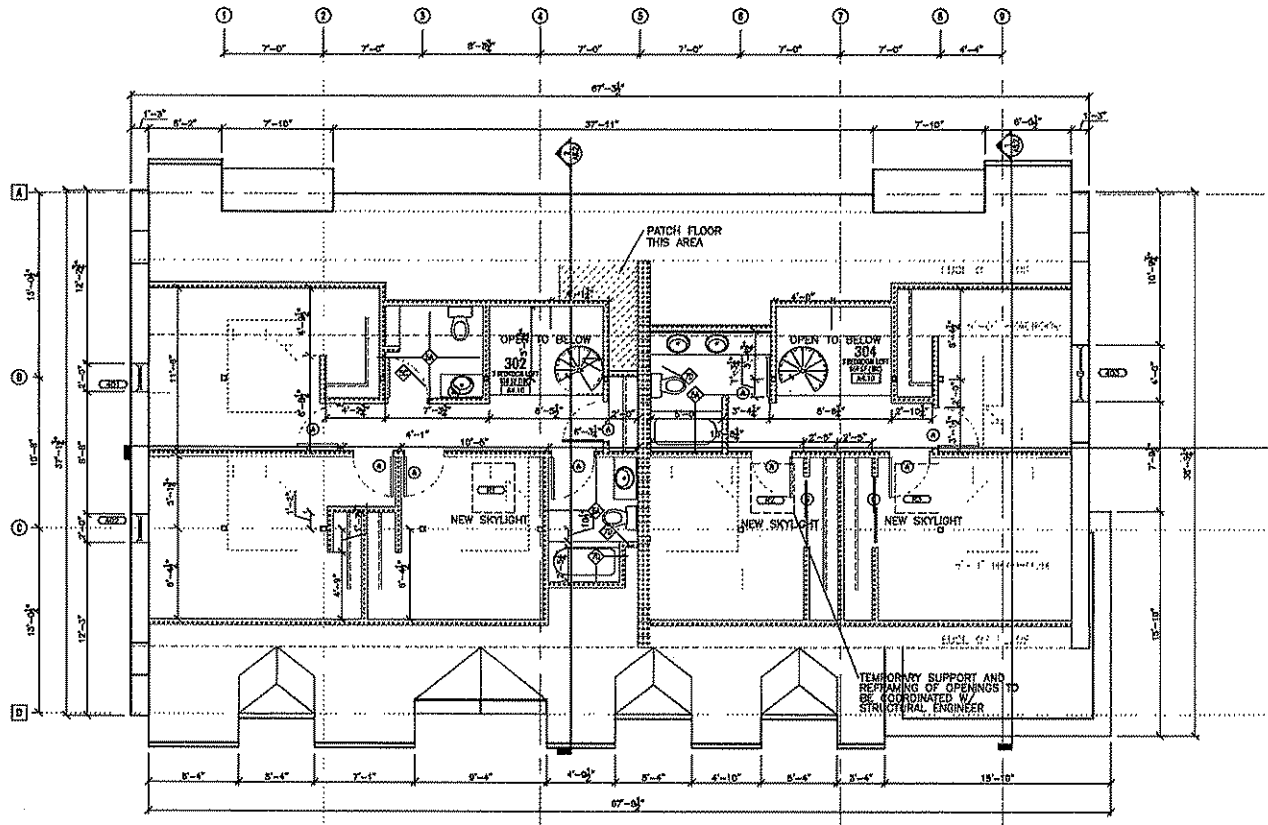
THIRD FLOOR DIMENSION PLAN
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. FOR GENERAL NOTES, REFERENCE SHEET A1.0.

GENERAL WALL KEY:

- BEARING WALL (NEW OR EXISTING)
- NEW FIRE RATED WALL
- NEW INTERIOR WALL
- NEW PARTIAL HEIGHT INTERIOR WALL
- NEW MASONRY WALL
- EXISTING NON-BEARING WALL
- EXISTING MASONRY WALL
- WALL TAG INDICATES WALL TYPE. REFERENCE SHEET A0.1 FOR WALL TYPE CONSTRUCTION.
- UNLESS NOTED OTHERWISE, NEW INTERIOR WALLS SHALL BE WALL TYPE 3.



FOURTH FLOOR - UPPER LEVEL DIMENSION PLAN
SCALE: 1/4" = 1'-0"

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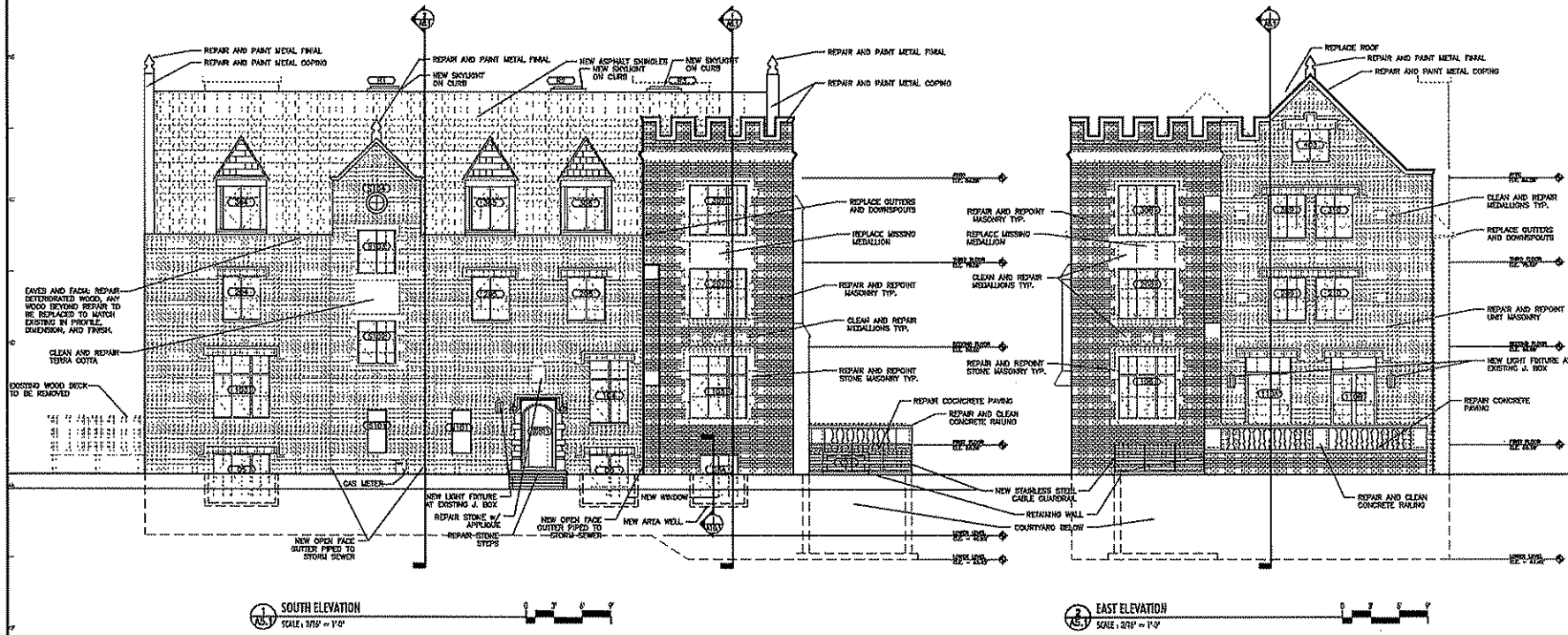
16-20-01	SCHEMATIC DESIGN PROPOSAL
02-20-03	FOR PERMIT DEVELOPMENT
03-16-03	FOR PERMIT DEVELOPMENT
02-16-03	PART 2 ELEMENTAL
02-16-03	PART 2 ARCHITECTURAL

DATE: 05/11/08

ACACIA
201 W LAKE LAWN PL
MADISON WI

PROJECT # 08-667

FOURTH FLOOR -
UPPER LEVEL
DIMENSION
PLAN
A2.4



PRELIMINARY
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OWNER: GARDNER DEERBROOK
ARCHITECT: THE ALEXANDER COMPANY
DATE: 05-10-10
PROJECT: PART 2 ELEVATIONS
DRAWN: PART 2 ARCHITECT

GENERAL ELEVATION NOTES:

- A. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE FOR THE CONTRACTOR'S FAILURE TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED.
- B. REMOVE ALL PLANT GROWTH AT EXTERIOR WALLS. (TYPICAL AT ENTIRE PERIMETER OF BUILDING)
- C. REMOVE ALL EXISTING ELECTRICAL CONDUIT, FIXTURES, MECHANICAL PIPING, LOUVERS, VENTS, ETC. PROVIDE NEW REPAIR STUCCO SYSTEM, MIN. 2 COATS, AND ACCESSORIES, AT A DEPTH TO MATCH ADJACENT SURFACES. PROVIDE FINISH TO MATCH EXISTING ADJACENT SYSTEM. (TYPICAL AT ENTIRE PERIMETER OF BUILDING)
- D. **WINDOWS:** REFER TO WINDOW SCHEDULE AND SPECIFICATION MANUAL FOR SCOPE OF REPAIR OR REPLACEMENT. SALVAGE AND RESTORE EXISTING WINDOW SASHES AND FRAMES (WITH IN KIND REPLACEMENT OF MISSING AND BADLY DAMAGED COMPONENTS). INSTALL NEW WINDOWS ON INTERIOR OF RESTORED EX'G WINDOWS. ALL WINDOW PARTS (EXCEPT GLAZING) TO BE PAINTED.

- E. **ARCHITECTURAL SHEET METAL:** REMOVE AND RESERVE ALL ARCHITECTURAL SHEET METAL. MARK THE ORIGINAL LOCATION OF EACH PIECE. CLEAN, PRIME AND RE-FINISH ALL PIECES IN A SHOP. FABRICATE NEW SECTIONS TO REPLACE BADLY DAMAGED PIECES. FINISH NEW REPLACEMENT MATERIAL TO MATCH. INSTALL ARCHITECTURAL SHEET METAL AFTER FRAMING AND WEATHER RESISTIVE BARRIER HAVE BEEN INSTALLED.
- F. **PAINTED WOOD:** REMOVE ALL LOOSE OR PEELING PAINT DOWN TO SOUND SUBSTRATE. REPAIR AREAS OF DAMAGE. PROVIDE NEW ELASTOMERIC COATING.
- G. REPAIR/REPOINT BRICK AND STONE MASONRY PER SPECIFICATION.
- H. PAINT ALL DUCT AND PIPE PENETRATIONS IN ROOF TO COLOR SIMILAR TO ROOF SHINGLES.

DATE: 05/10/10 APPR:

ACACIA
201 W LAKEVIEW PL
MADISON WI

PROJECT # 08-667

EXTERIOR
BUILDING
ELEVATIONS
A5.1

PRELIMINARY
FOR INFORMATION PURPOSE ONLY
NOT FOR CONSTRUCTION

EXISTING LOCKSMITHS WORK PROPOSED
GRADE FOR EXISTING DEVELOPMENT
GRADE FOR EXISTING DEVELOPMENT
GRADE FOR EXISTING DEVELOPMENT
GRADE FOR EXISTING DEVELOPMENT
GRADE FOR EXISTING DEVELOPMENT

DRUHL, BSF APPL.

ACACIA
201 W LAKEVIEW PL
MADISON WI

PROJECT # 08-667

EXTERIOR
BUILDING
ELEVATIONS

A5.2

