

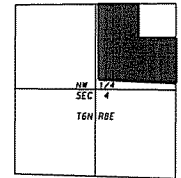
HAWKS VALLEY

A Parcel of Land
Located in the NE 1/4 of NW 1/4, Section 4 T6N, R8E
City of Madison, Dane County, Wisconsin

There are no objections to this plat with respect to
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



LOCATION MAP
NOT TO SCALE



GRID NORTH
Bearings are referenced to
the North line of the NE 1/4
of Section 4, T6N, R8E.
NCS Sane County Zone
Grid Bearing M89°38'28"E
Scale 1" = 60'

LEGEND

- Found City of Madison concrete monument w/ brass cap
- Found 1-1/4" diameter solid round iron stake.
- Found 1" diameter pipe.
- Found 3/4" diameter solid round iron stake.
- Piped 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft.
- All other lot and outlier corners are marked with 3/4" x 18" solid
round iron rebar stakes, weighing 1.50 lbs/ft.
- Public utility easement 16' wide unless otherwise dimensioned. Utility
easements as herein set forth are for the use of PUBLIC BODIES and
PRIVATE PUBLIC UTILITIES having the right to serve the area.
- Recorded As

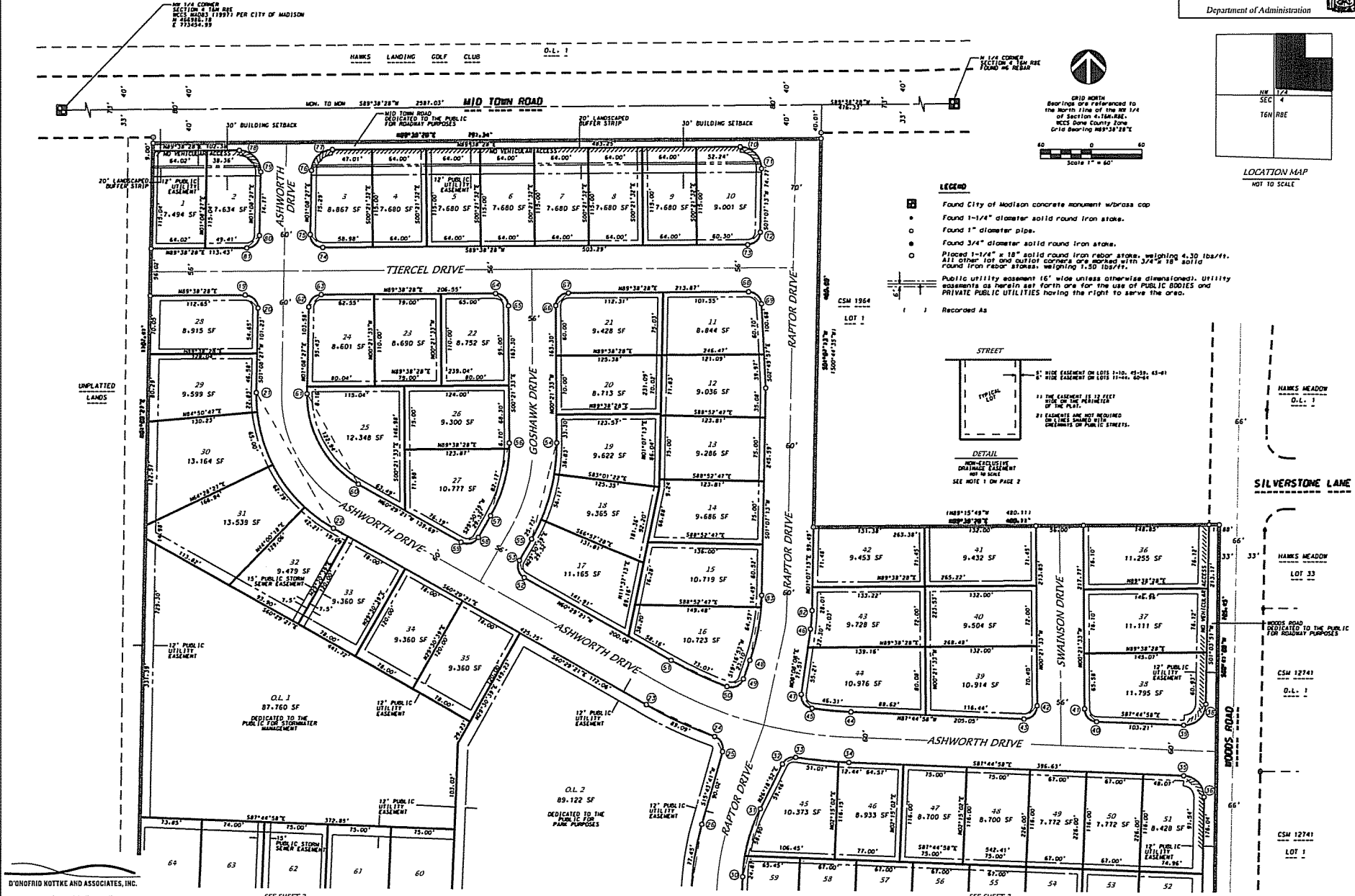
DETAIL

8" WIDE EASEMENT ON LOTS 1-10, 45-50, 43-41
8" WIDE EASEMENT ON LOTS 11-42, 50-54

11 THE EASEMENT IS 12 FEET
WIDE ON THE PLAT.

21 EASEMENT NOT REQUIRED
ON THE SHARED RITE
DRAINAGE OR PUBLIC STREETS.

NON-EXCLUSIVE
DRAINAGE EASEMENT
NOT TO SCALE
SEE NOTE 1 ON PAGE 2



D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7501 Westwood Way, Madison, WI 53717
Phone (608) 534-7530 • Fax (608) 533-1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

This instrument was drafted by D'Onofrio, Kotke & Associates, Inc. FN: 10-07-116

SHEET 1 OF 3

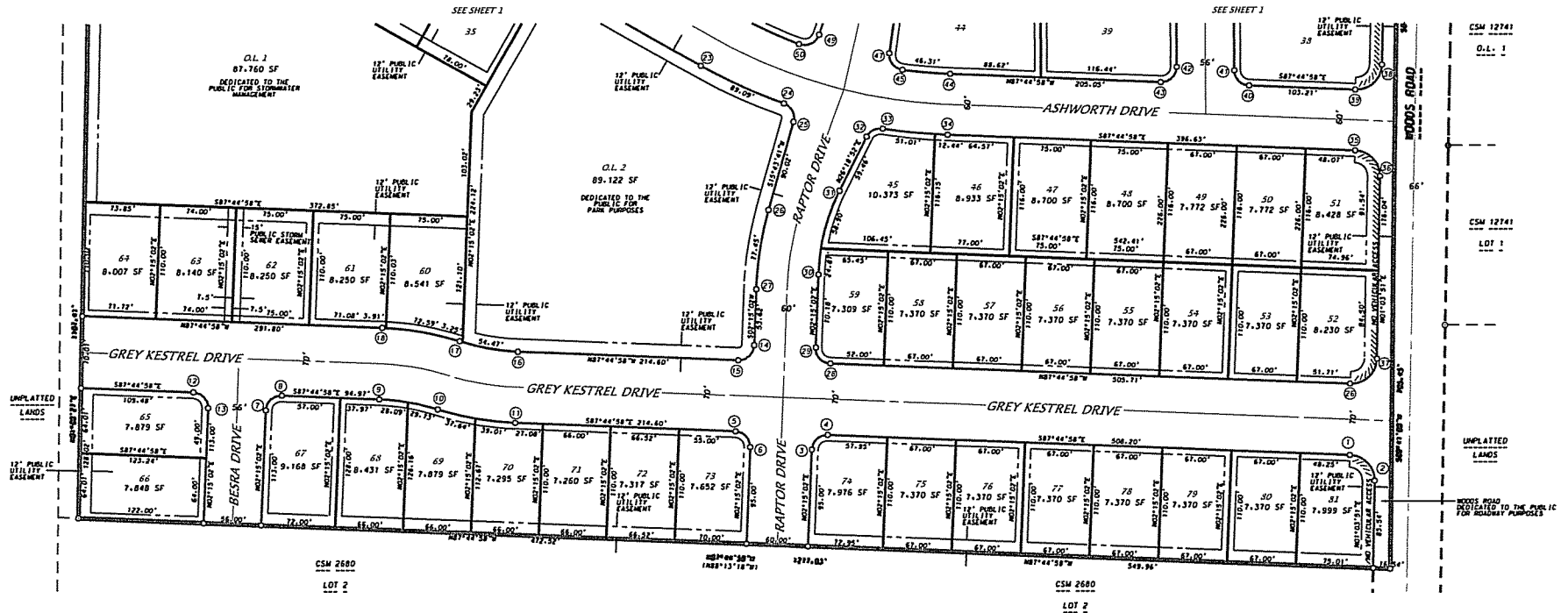
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Bearings are referenced to
the north line of the NW 1/4
of Section 4, T6N, R8E,
WCS, Dane County, Wis.
Grid Bearing N89°38'28"E

Scale 1" = 60'

LEGEND

- Found 1" diameter pipe.
- Found 3/4" diameter solid round iron stake.
- Piped 1-1/4" x 18" solid round iron rebar stake, weighing 4.30 lbs/ft.
- All other lot and corner corners are marked with 3/4" x 18" solid round iron rebar stakes, weighing 1.50 lbs/ft.
- Public utility easement (6' wide unless otherwise dimensioned). Utility easements as herein set forth are for the use of PUBLIC BODIES and PRIVATE PUBLIC UTILITIES having the right to serve the area.

() Recorded As

NOTES

1. All lots within this plat are subject to public easements for drainage purposes which shall be a minimum of 5 feet in width (lots 1-10, 45-59, 65-81), and 6 feet in width (lots 11-44, 60-84) measured from the property line to the interior of each lot except that the easements shall be 12 feet in width on the perimeter of the plat. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of five (5) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared width along the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water.
Note: In the event of a City of Madison Plan Commission and/or Common Council approved subdivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.
2. The intra-block drainage easements shall be graded with the construction of each principal structure in accordance with the approved Stormwater Drainage Plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances.
3. The 30-foot building setback line and 20-foot landscaped buffer strip is reserved for the planting and maintenance of trees or shrubs by the owner; the building of buildings hereon is prohibited. Maintenance of the buffer strip is the responsibility of the lot owner.
4. No vehicular access to Mid Town Road from lots 1-10, and no vehicular access to Woods Road from lots 36-38, 51-52, and 81.
5. The Public Storm Sewer Easement(s) dedicated to the City of Madison on the face of this plat are subject to the following conditions:
a. The property owner reserves the right to use and occupy the Public Storm Sewer Easement Arterial in a manner consistent with the rights herein conveyed, provided that such use and occupancy shall not interfere with or disturb the installation, operation, maintenance, repair, placement and/or modification of the public storm sewer facilities.
b. No above-ground improvements shall be located in the Public Storm Sewer Easement Arterial by the City or the property owner, with the exception that gates, sewer access structures, covers, and other access points to the public storm sewer facilities shall be permitted at grade level.
c. Plantings and landscaping within the Public Storm Sewer Easement Arterial shall not obstruct routine maintenance by the City. In the event of repair or reconstruction, plantings and landscaping may be removed by the City without replacement or compensation to the property owner.
d. The property owner shall not change the grade of the Public Storm Sewer Arterial without prior written approval of the City's Engineering Division.
e. The Public Storm Sewer Arterial may not be amended, modified, terminated, or released without the written consent of all the parties hereto, or their respective successors-in-interest.
6. Lots within this subdivision are subject to impact fees that are due and payable at the time of issuance of building permits.
7. Distances, lengths and widths are measured to the nearest hundredth of a foot.
8. Distances shown along curves are chord lengths.
9. D.L. 1 is dedicated to the public for stormwater management.
10. D.L. 2 is dedicated to the public for park purposes.

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Wisconsin Ave., Madison, WI 53717
Phone 608.553.7530 • Fax 608.553.1899
YOUR NATIONAL RESOURCE FOR LAND DEVELOPMENT

This instrument was drafted by D'Onofrio, Kotke & Associates, Inc. FN: 10-07-116 REV. 12-08-10

SHEET 2 OF 3

HAWKS VALLEY

A Parcel of Land
Located in the NE 1/4 of NW 1/4, Section 4 T6N, R5E
City of Madison, Dane County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Brett T. Stoffregen, Registered Land Surveyor S-2742 do hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Regulations of the City of Madison, and under the direction of the owners listed below, I have surveyed, divided and mapped "HAWKS VALLEY" and that such plot correctly represents all exterior boundaries and the subdivision of the land surveyed and is described as follows:

A Parcel of land located in the Northeast 1/4 of the Northwest 1/4 of Section 4, Township 6 North, Range 5 East, in the City of Madison, Dane County, Wisconsin, to-wit: Commencing at the North 1/4 of said Section 4; thence S89°38'28"W, along the North line of Section 4, 476.34 feet; thence S01°07'13"W, 40.01 feet to the point of beginning; thence S01°07'13"W, 460.00 feet; thence N83°38'28"E, 480.11 feet; thence S00°41'08"W, 705.45 feet; thence N87°44'58"W, 1277.03 feet; thence N01°08'27"E, 1107.41 feet; thence N89°38'28"E, 791.34 feet to the point of beginning. This parcel contains 1.225.686 SF (28.14 acres).

Dated this _____ day of _____, 2011

Brett T. Stoffregen, Registered Land Surveyor, S-2742

OWNER'S CERTIFICATE

Watermark JT, LLC, a Corporation duly organized, and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plot to be surveyed, divided, mapped and dedicated as represented on this plot.

Watermark JT, LLC, does further certify that this plot is required by S236.10 or S236.12 Wisconsin Statutes to be submitted to the following agencies for approval or objection:

Department of Administration
Common Council, City of Madison
Dane County Zoning and Land Regulation Committee

In witness whereof, Watermark JT, LLC, has caused these presents to be signed by its official of said limited liability company of Madison, Wisconsin this _____ day of _____, 2011.

Watermark JT, LLC.

STATE OF WISCONSIN
COUNTY OF DANE) S.S.

Personally come before me this _____ day of _____, 2011,
the above named official(s) of the above named Watermark JT, LLC,
to me known to be the person(s) who executed the foregoing instrument and
acknowledged the same.

My Commission _____
Notary Public, Dane County, Wisconsin

COUNTY TREASURER'S CERTIFICATE

I, David Worzala, being the duly elected, qualified, and acting treasurer of the County of Dane, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of this _____ day of _____, 2011 affecting the land included in "HAWKS VALLEY".

David Worzala, Treasurer, Dane County, Wisconsin

CITY OF MADISON TREASURER'S CERTIFICATE

I, David M. Gowenda, being the duly appointed, qualified, and acting Treasurer of the City of Madison, Dane County, Wisconsin, do hereby certify that, in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of this _____ day of _____, 2011 on any of the lands included in the plot of "HAWKS VALLEY".

David M. Gowenda, City Treasurer, City of Madison, Dane County, Wisconsin

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2011 at _____ o'clock _____ M. and recorded in Volume _____ of Plots on Pages _____ as Document Number _____.

Kristi Chlebowski, Dane County Register of Deeds

MADISON COMMON COUNCIL CERTIFICATE

Resolved that the plot of "HAWKS VALLEY" located in the City of Madison, was hereby approved by Enactment Number _____, File I.D. Number _____, adopted this _____ day of _____, 2011, and that said Enactment further provided for the acceptance of those lands dedicated and rights conveyed by said plot to the City of Madison for public use.

Dated this _____ day of _____, 2011.

Martine Witzel-Sant, City Clerk, City of Madison, Dane County, Wisconsin

		CURVE TABLE					
CURVE NUMBER	LOT	RADIUS (FEET)	CHORD (FEET)	ARC (FEET)	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2	25.00	34.99	38.75	S43°20'33.5"E	88°48'49"		
3-4	15.00	21.21	23.56	N47°15'02"E	90°00'00"		
5-6	15.00	21.21	23.56	S42°44'58"E	90°00'00"		
7-8	15.00	21.21	23.56	N47°15'02"E	90°00'00"		
9-10	215.00	57.69	57.69	S00°02'21"E	15°25'14"		
	215.00	58.05	28.11	S84°00'14"E	07°29'28"		10-N72°19'44"W
	215.00	29.73	29.75	S76°17'37"E	07°55'46"		
	285.00	76.47	76.70	S80°02'21"E	15°25'14"		
	285.00	37.64	37.66	S76°06'53"E	07°34'18"		
	285.00	39.01	39.04	S83°49'30"E	07°50'56"		
	15.00	21.21	23.56	S42°44'58"E	90°00'00"		
	15.00	21.21	23.56	S47°15'02"W	90°00'00"		
	215.00	57.69	57.66	N80°02'21"W	15°25'14"		17-N72°19'44"W
	215.00	54.47	54.61	N80°28'20"W	14°33'16"		
	215.00	3.25	3.25	N72°45'43"W	00°51'58"		
	285.00	76.47	76.70	N80°02'21"W	15°25'14"		
	285.00	72.79	72.79	N79°38'45"W	14°38'02"		
	285.00	3.91	3.91	N87°21'22"W	00°47'12"		
	15.00	21.49	23.95	S44°36'52.5"E	91°29'59"		
	180.00	184.42	193.62	S29°40'27"E	61°37'48"		
	28.00	22.83	22.85	S02°29'44"E	07°16'22"		
	30.00	65.00	65.36	S16°32'01"E	20°48'12"		
	62.79	63.11	63.11	S36°28'46"E	20°05'18"		
	180.00	42.21	42.30	S53°45'23"E	13°27'56"		
	530.00	89.09	89.20	S65°18'37.5"E	09°38'33"		24-S80°29'21"E
	15.00	20.43	22.48	S27°12'06.5"E	85°51'35"		
	330.00	77.45	77.62	S08°59'21.5"W	13°28'39"		
	15.00	21.21	23.56	N42°44'58"W	90°00'00"		
	200.00	46.94	47.05	N08°58'21.5"E	13°28'33"		
	200.00	24.87	24.88	N05°48'54"E	07°07'44"		
	200.00	59.11	59.11	N17°50'49"E	16°56'06"		
	15.00	17.80	19.06	N62°42'48"E	72°47'52"		33-S80°53'16"E
	530.00	63.43	63.47	S84°19'07"E	06°51'42"		
	530.00	12.44	12.44	S87°04'37"E	01°20'42"		
	530.00	51.01	51.03	S83°38'46"E	05°31'00"		
	25.00	34.99	38.75	S43°20'33.5"E	88°49'49"		
	25.00	35.72	39.79	S46°39'26.5"W	91°11'11"		
	25.00	35.72	39.79	S46°39'26.5"W	91°11'11"		
	15.00	20.72	22.88	N44°03'16"W	87°23'24"		
	15.00	21.69	24.25	S45°36'44.5"W	92°36'35"		
	470.00	46.31	46.33	N64°55'32"W	05°38'52"		45-N82°06'06"W
	15.00	21.26	23.62	N36°58'59"W	90°14'14"		
	180.00	22.03	22.04	N04°37'40.5"E	07°00'55"		
	250.00	78.91	79.24	S101°12'03"W	18°09'40"		
	250.00	14.49	14.49	S02°46'51"W	03°19'16"		
	250.00	64.57	64.75	S11°51'41"W	14°50'24"		
	15.00	21.45	23.91	S64°36'16"W	91°18'46"		50-N69°24'21"W
	470.00	73.07	73.14	N64°55'51"W	08°55'00"		
	15.00	21.21	23.56	N15°29'21"W	90°00'00"		
	228.00	117.52	118.86	S14°34'33"W	29°52'12"		
	228.00	36.83	36.87	S04°16'23"W	09°15'52"		
	228.00	56.11	56.26	S15°58'26"W	14°08'14"		
	25.73	25.74	25.74	S26°16'36"W	06°28'06"		
	172.00	88.66	89.67	S14°34'33"W	29°52'12"		
	172.00	6.70	6.70	S00°45'29"W	02°13'56"		
	172.00	82.17	82.97	S15°41'31"W	21°38'16"		
	15.00	21.21	23.56	S74°30'39"W	90°00'00"		
	122.84	122.84	122.84	N29°40'27"W	61°37'48"		
	15.00	20.93	23.17	N45°23'27.5"E	88°30'01"		
	15.00	21.21	23.56	S45°21'32.5"E	89°59'59"		
	15.00	21.21	23.56	N44°38'27.5"E	90°00'01"		
	15.00	20.75	22.91	S45°35'44.5"E	87°31'35"		
	25.00	35.81	39.92	S44°37'09.5"E	91°28'45"		
	15.00	20.94	23.17	S45°22'50.5"W	88°31'15"		
	15.00	21.49	23.95	N44°36'32.5"W	91°29'59"		
	25.00	34.89	38.62	N45°23'27.5"E	88°30'01"		
	25.00	35.82	39.92	S44°36'32.5"E	91°29'59"		
	15.00	20.93	23.17	S45°23'27.5"W	88°30'01"		

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20 _____

Department of Administration



D'ONOFRIO KOTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7310 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

This instrument was drafted by D'Onofrio, Kotke & Associates, Inc.

FN: 10-07-116

SHEET 3 OF 3