

# JOHN FISH McKENZIE PLACE, LLC

2107-2249 Sherman Avenue, Madison WI (Final address to be determined by City of Madison)



PLUNKETT RAYSICH  
ARCHITECTS, LLP

209 south water street milwaukee, wisconsin 53204 414 359 3060  
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900  
1613 fruitville road suite 3 sarasota, florida 34236 941 348 3618

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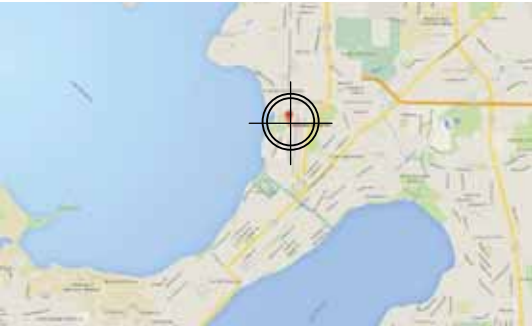
### Civil

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## Project Information

Project Date: 07-22-15  
PRA Project Number: 130139-03  
Owner Project Number:  
Bid Package Number:

## Project Location



## Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2002  
Residential occupancy, Group R-2, Resident Units  
Merchandise occupancy, Group M, Retail Space  
Zoning: City of Madison Ordinances

## Type of Construction

New Construction  
Lower Level, protected, type IA, sprinklered, NFPA 13  
First Floor and Above, protected, type VA, sprinklered, NFPA 13

## Bicycles

Required	Provided	
Tenant 60	Tenant 65	(Lower Level)
Guests 6	Guests 6	(Site)
Retail 4	Retail 4	(Site)
70	75	

## Building Area

Lower Level Parking: 24,543 SQ FT  
Level One: 19,642 SQ FT  
Level Two: 25,510 SQ FT  
Level Three: 18,560 SQ FT  
Level Four: 18,560 SQ FT  
Mezzanine Level: 776 SQ FT

Total: 107,591 SQ FT

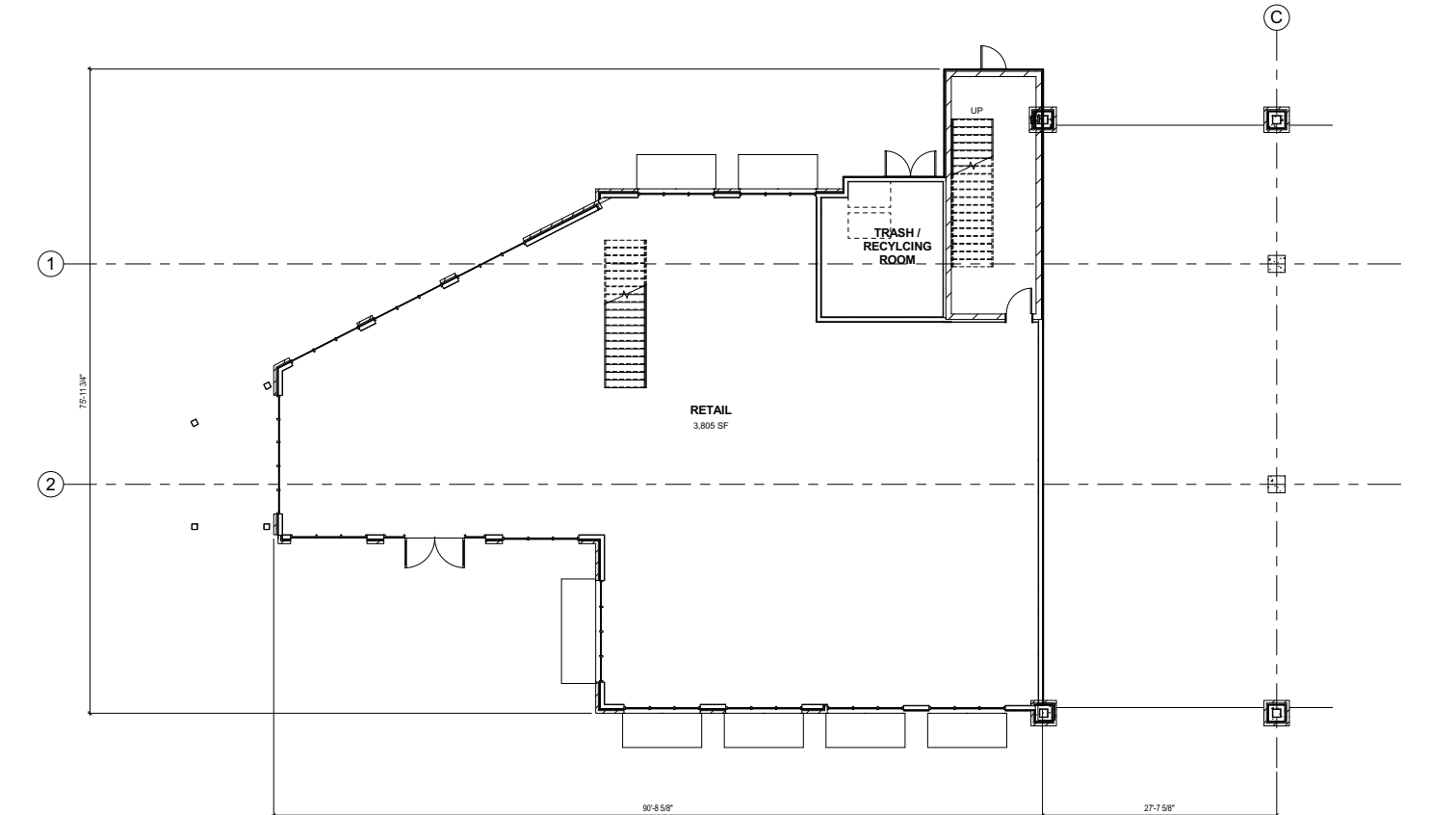
## Dwelling Unit Count

FLOOR	UNIT TYPES										TOTAL/ FLOOR
	STUDIO	1 BED	1 BED ADA	1 BED + DEN	2 BED	2 BED ADA	2 BED + DEN	3 BED	LOFT 1 BED	LOFT 2 BED	
1	3	4		1	2						10
2	5	11		1	2		2				21
3	2	7		1	2	1	1				15
4/LOFT		1	1	1	3		2	4	2		14
TOTAL	10	23	1	4	9	1	3	3	4	2	60

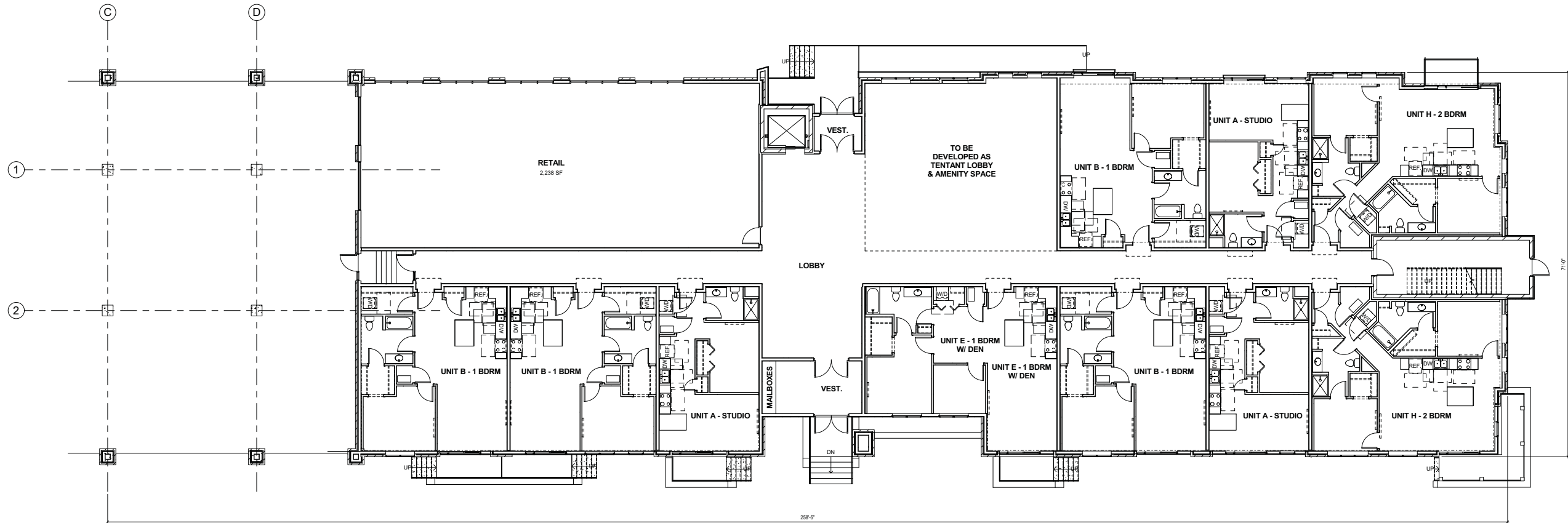
## Dwelling Unit Design Count

FLOOR	UNIT DESIGN TYPES															TOTAL/ FLOOR	
	UNIT A STUDIO	UNIT B 1 BED	UNIT B 1 BED ADA	UNIT C 1 BED	UNIT D 1 BED + DEN	UNIT E 1 BED + DEN	UNIT F 2 BED	UNIT F 2 BED ADA	UNIT G 2 BED	UNIT H 2 BED	UNIT I 2 BED + DEN	UNIT J 3 BED	UNIT K 3 BED	UNIT L LOFT	UNIT M LOFT 2 BED		
1	3	4				1				2						10	
2	5	11				1				2	2					21	
3	2	5		2	1		1	1	1				1			15	
4/LOFT			1	1	1		2		1			1	1		4	2	14
TOTAL	10	20	1	3	2	2	3	1	2	4	3	1	2	4	2	60	





C1 LEVEL 1 FLOOR PLAN - NORTH  
A201 1/8" = 1'-0"



E1 LEVEL 1 FLOOR PLAN - SOUTH  
A201 1/8" = 1'-0"

KEYNOTE LEGEND - EXTERIOR WALL TYPES	
TAG	EXTERIOR WALL DESCRIPTION

NOTE #	FLOOR PLAN NOTE
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KEYNOTE LEGEND - INTERIOR PARTITION TYPES	
TAG	INTERIOR PARTITION DESCRIPTION

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION

FLOOR PLAN - SYMBOLS LEGEND

	NEW WALL PARTITION		EXISTING WALL TO REMAIN
	NEW DOOR		EXISTING DOOR TO REMAIN
	SECTION REFERENCE		DETAIL REFERENCE
	EXTERIOR ELEVATION		EQUIPMENT
	INTERIOR ELEVATION		WINDOW TYPE
	FLOOR PLAN KEYNOTE		WALL PARTITION TYPE
	CONSTRUCTION LIMITS		FLOOR DRAIN - PITCH FLOOR TO DRAIN
	ONE HOUR FIRE RESISTIVE CONSTRUCTION		
	TWO HOUR FIRE RESISTIVE CONSTRUCTION		

FLOOR PLAN - GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).  
B. REFER TO SHEET ABXX FOR ROOM FINISH SCHEDULE AND NOTES.  
C. REFER TO SHEET ABXX FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.  
D. ALL EXPOSED STRUCTURAL STEEL AT THE LOWER LEVEL, NEEDS TO BE PROTECTED TO 2 HOURS W/SPRAY APPLIED FIRE PROTECTION.

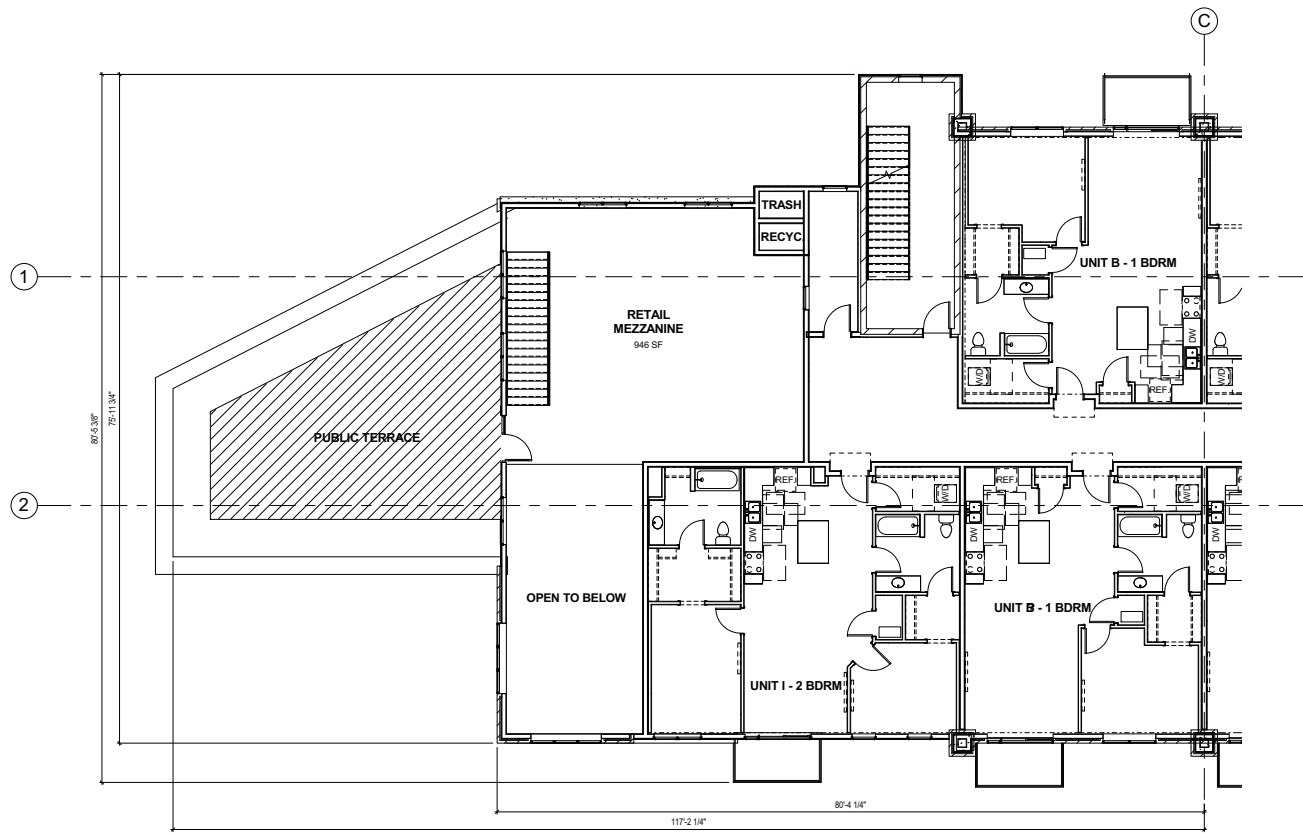
GYPSUM BOARD PARTITIONS - GENERAL NOTES

- ALL GYPSUM BOARD PARTITIONS SHALL BE UNLESS OTHERWISE NOTED ON FLOOR PLAN.  
ALL CORRIDOR WALLS SHALL BE UNLESS OTHERWISE NOTED ON FLOOR PLAN.  
GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).  
REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.  
PROVIDE TYPE 'X' FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.  
SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.  
EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF DECK OR ROOF ASSEMBLY ABOVE.

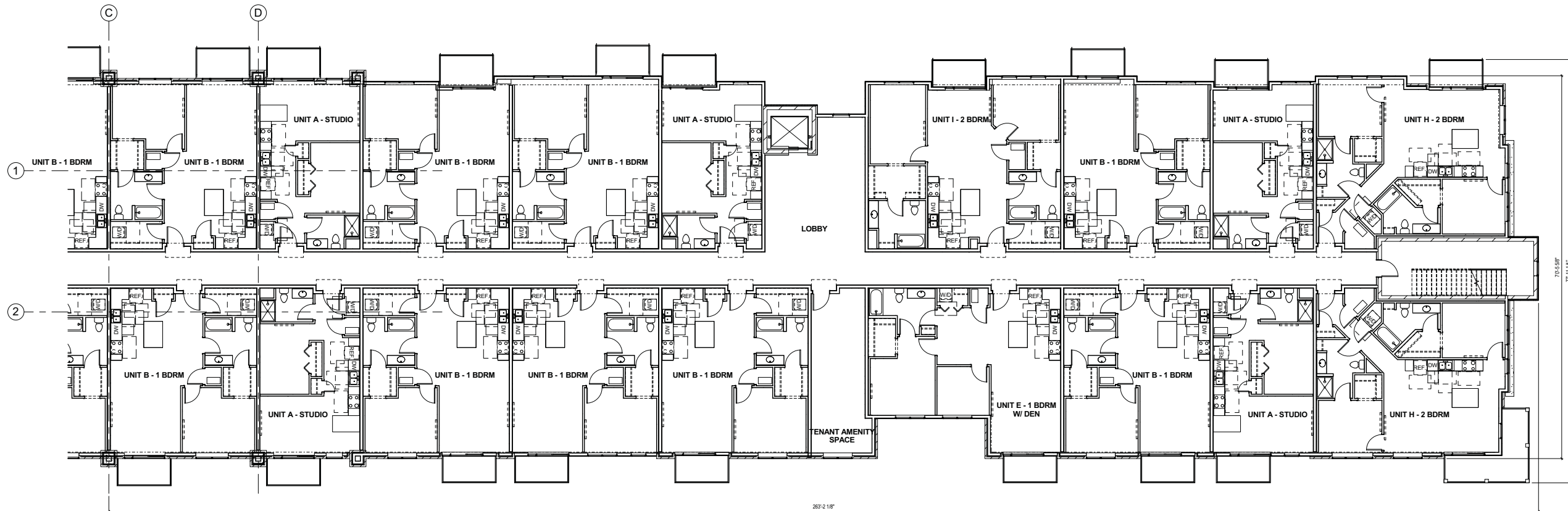
MASONRY PARTITIONS - GENERAL NOTES

- MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:   
ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.  
PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.  
SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.  
EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF PRECAST PLANK ABOVE IF APPLICABLE. REFER TO DETAIL XXVXXX. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

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C1 LEVEL 2 FLOOR PLAN - NORTH  
A202 1/8" = 1'-0"



E1 LEVEL 2 FLOOR PLAN - SOUTH  
A202 1/8" = 1'-0"

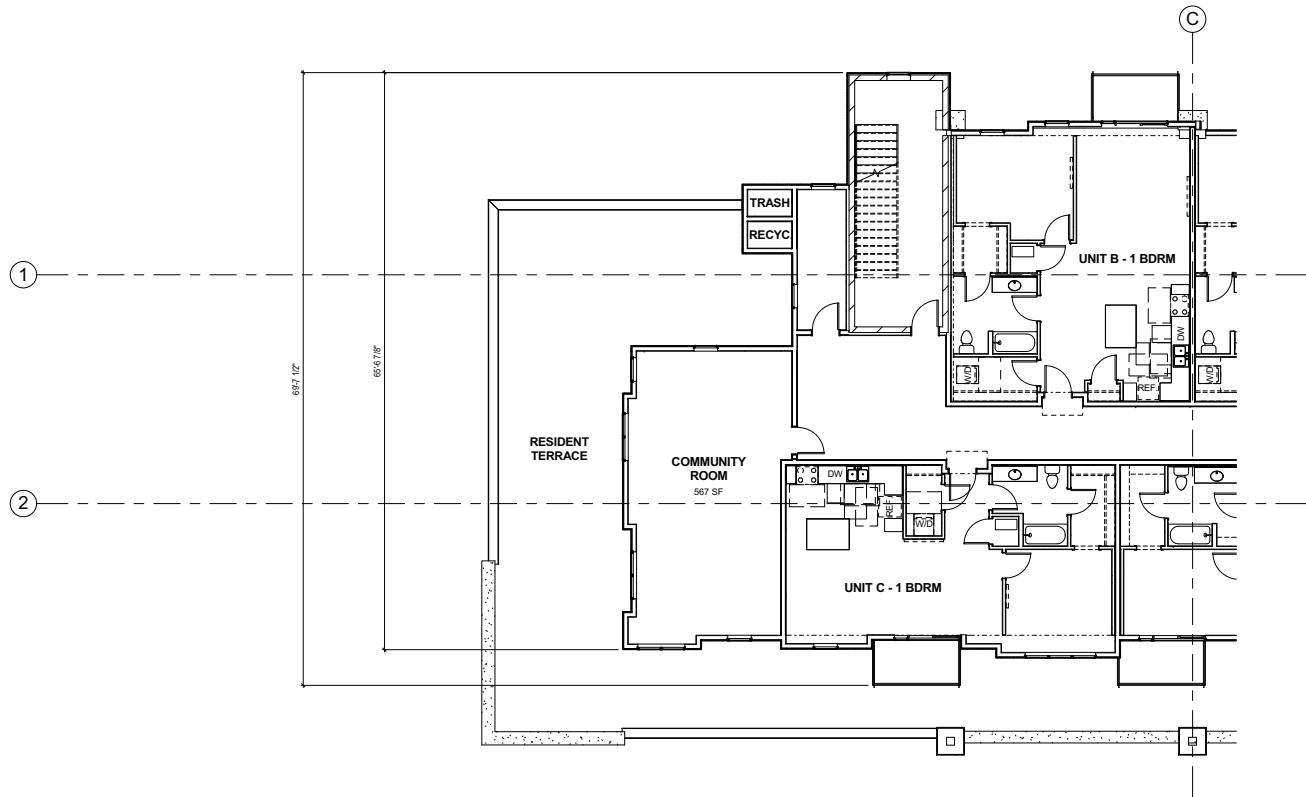
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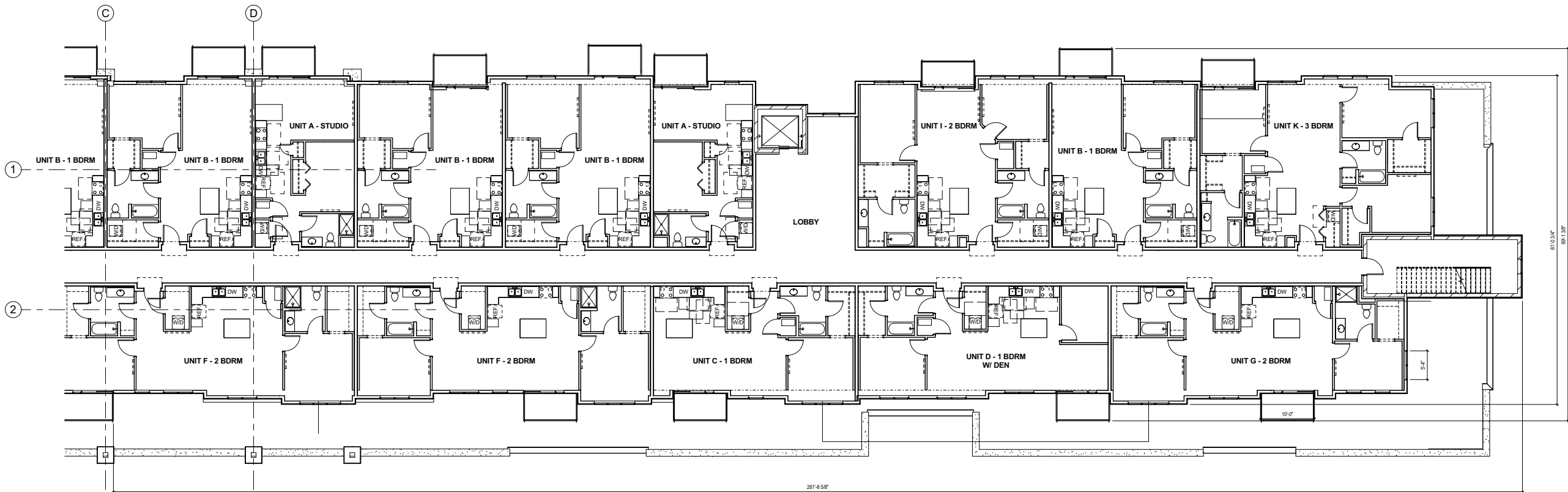
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A202



C1 LEVEL 3 FLOOR PLAN - NORTH  
A203 1/8" = 1'-0"



E1 LEVEL 3 FLOOR PLAN - SOUTH  
A203 1/8" = 1'-0"

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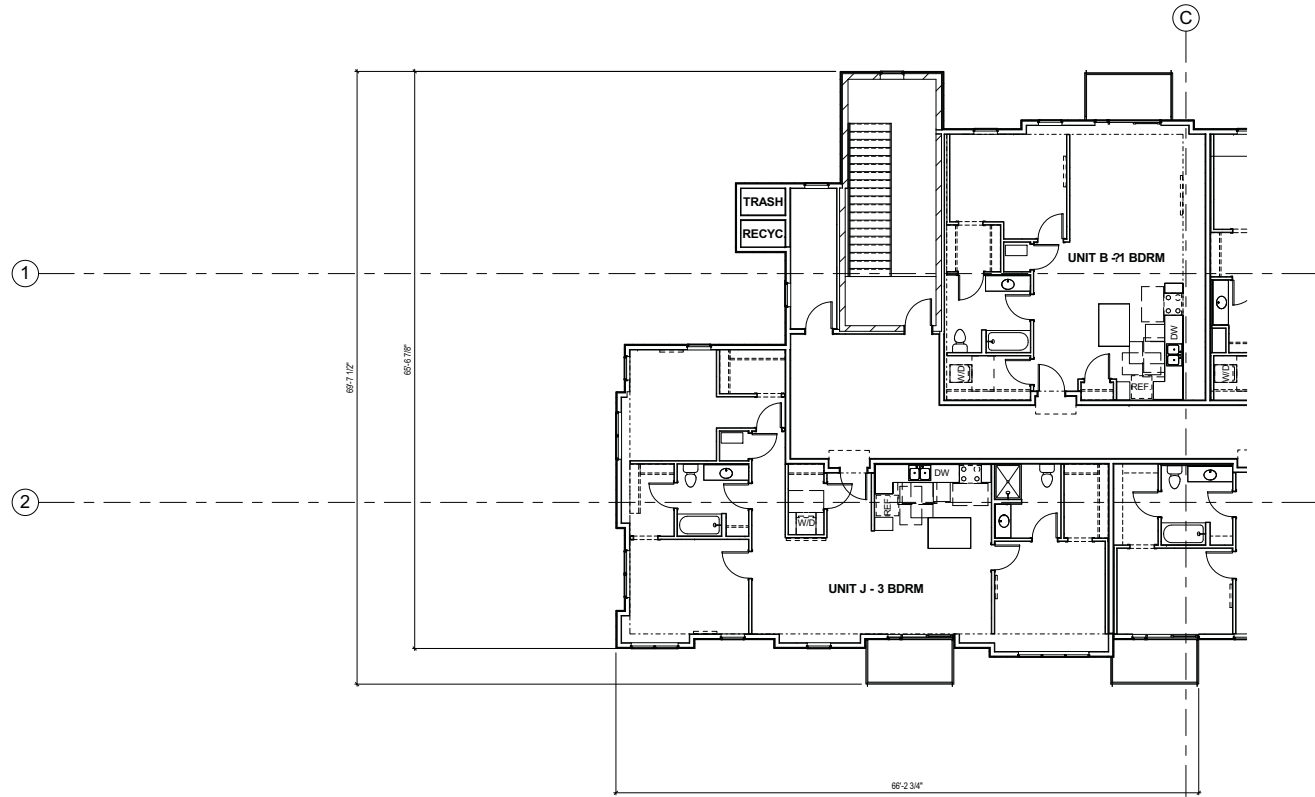
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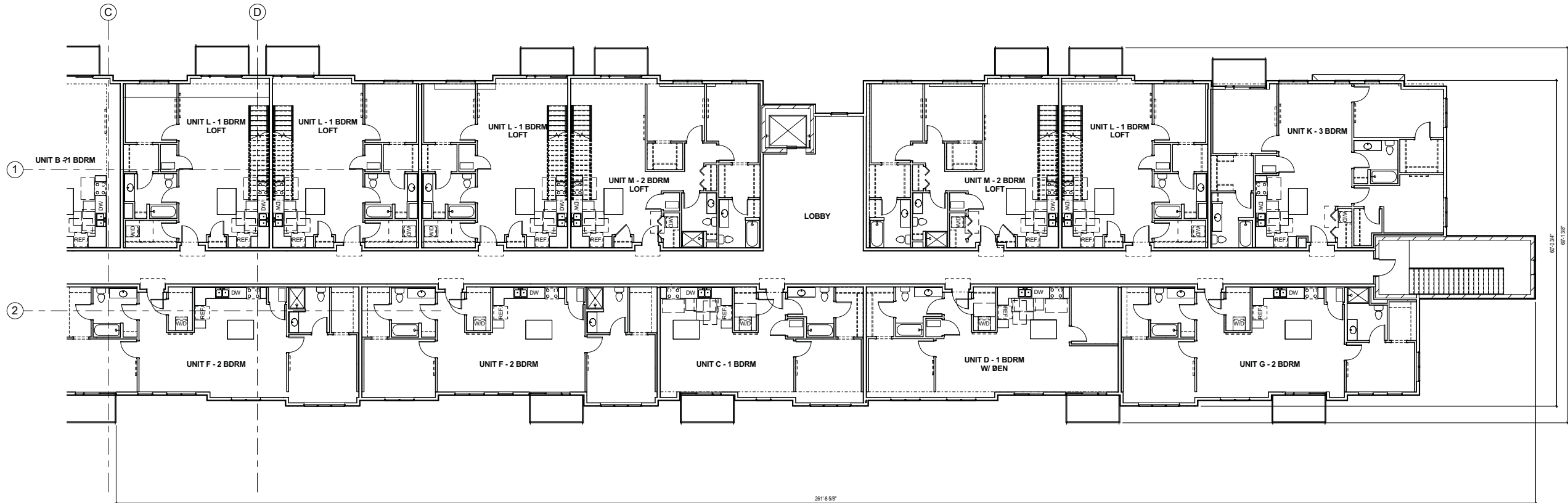
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C1 LEVEL 4 FLOOR PLAN - NORTH  
A204 1/8" = 1'-0"



E1 LEVEL 4 FLOOR PLAN - SOUTH  
A204 1/8" = 1'-0"

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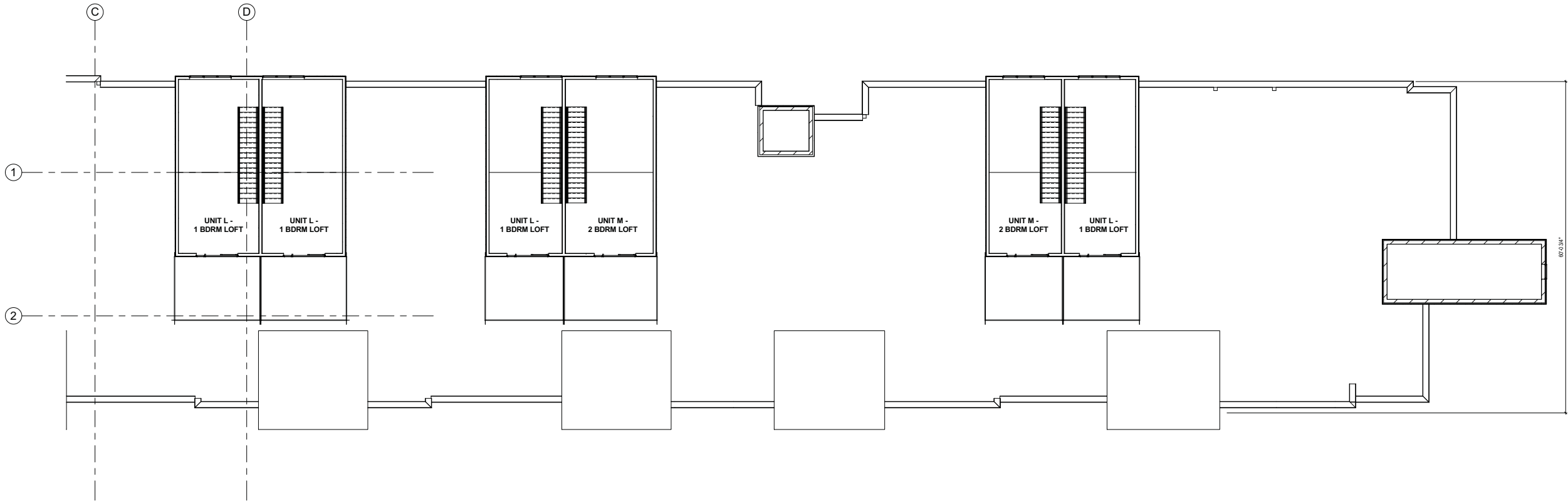
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503.746.0000  
1013 Highland Road - Suite 3 - Fitchburg, Wisconsin 53511  
953.348.3411  
www.praich.com



**E1**  
**A205** LEVEL 5 FLOOR PLAN - LOFTS  
1/8" = 1'-0"



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C2  
A221 VIEW OF RETAIL ALONG SHERMAN  
3/32" = 1'-0"



E2  
A221 VIEW OF APARTMENT ENTRY ALONG SHERMAN  
3/32" = 1'-0"





EXTERIOR FINISH PATTERNS	
	ARCHITECTURAL CAST STONE
	BRICK
	RED CEMENT SIDING
	BLACK CEMENT SIDING
	DARK TAN CEMENT SIDING

EXTERIOR ELEVATIONS - GENERAL NOTES	
A.	PAIN
B.	TRIM
C.	REFER
D.	SEALANT
E.	FIBER

NOTE #	EXTERIOR ELEVATION NOTE
--------	-------------------------

KEYNOTE LEGEND - CONSTRUCTION TYPES	
TAG	CONSTRUCTION DESCRIPTION

B1 NORTH-WEST  
A400 1/8" = 1'-0"



E1 NORTH-EAST  
A400 1/8" = 1'-0"



E5 EAST  
A400 1/8" = 1'-0"

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**B1** SOUTH-EAST  
A401  
1/8" = 1'-0"

EXTERIOR FINISH PATTERNS		EXTERIOR ELEVATIONS - GENERAL NOTES	
	ARCHITECTURAL CAST STONE	A.	PAINTE ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR.
	BRICK	B.	TRIM ALL EXTERIOR LIGHTING FIXTURES, OUTLETS, HOSE BIBBS AND ALL OTHER SISING PENETRATIONS WITH 1/4" FIBER CEMENT TRIM (TYP.)
	RED CEMENT SIDING	C.	REFER TO SHEET XXX FOR WINDOW FRAME ELEVATIONS
	BLACK CEMENT SIDING	D.	SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.
	DARK TAN CEMENT SIDING	E.	FIBER CEMENT COLOR TO BE REDWOOD STAIN.
NOTE #		EXTERIOR ELEVATION NOTE	
TAG		KEYNOTE LEGEND - CONSTRUCTION TYPES	
		CONSTRUCTION DESCRIPTION	



**E1** SOUTH-WEST  
A401  
1/8" = 1'-0"

**E5** WEST  
A401  
1/8" = 1'-0"



TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

SURVEY LEGEND

- BENCHMARK
- FOUND CHISELED "X"
- PUBLIC LAND CORNER AS NOTED
- FOUND NAIL
- FOUND 1" Ø IRON PIPE
- FOUND 2" Ø IRON PIPE
- FOUND P.K. NAIL
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- FOUND RAILROAD SPIKE
- SET CHISELED "X"
- SET NAIL
- SET P.K. NAIL
- SET 1 1/4" Ø IRON ROD
- SET 3/4" Ø IRON ROD
- SET RAILROAD SPIKE
- GENERAL CONTROL POINT

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- DITCH CENTERLINE
- SILT FENCE
- DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- PROPOSED SLOPE ARROWS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS

- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS\_\_\_\_\_
- EROSION MAT CLASS\_\_\_\_\_
- TRACKING PAD
- RIP RAP

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

ABBREVIATIONS	
STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE

CONSTRUCTION AND GENERAL NOTES:

- INSTALL A 50'L X 20"W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. REPORTS SHALL BE SUBMITTED TO CITY ENGINEER WEEKLY.
- UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWNGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
- SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAT 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP PER CONSTRUCTION DETAIL.
- INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
- DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.
- SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

AGENCIES:

EMERGENCY – FIRE, RESCUE, AMBULANCE, POLICE  
DIAL 911

UNITED STATES POST OFFICE  
3902 MILWAUKEE ST  
MADISON, WI 53714-9998  
PHONE: 608-831-5501

MADISON POLICE DEPARTMENT  
211 S. CARROL ST  
MADISON, WI 53703  
PHONE: 608-255-2345 NON-EMERGENCY

MADISON FIRE DEPARTMENT  
30 W. MIFFLIN ST.  
MADISON, WI 53703  
PHONE: 608-266-4420 NON-EMERGENCY

MADISON METRO  
1245 E. WASHINGTON AVE.  
SUITE 201  
MADISON, WI 53703  
TIM SOBOTA  
PHONE: 608-261-4289

UTILITIES:

MG&E (GAS)  
PO BOX 1231  
MADISON, WI 53701  
SHAUN ENDRES  
PHONE: 608-252-7224 (O)  
608-516-7913 (C)

MG&E (ELECTRIC)  
PO BOX 1231  
MADISON, WI 53701  
CHRIS ERICKSON  
PHONE: 608-252-5670

CHARTER COMMUNICATIONS (CABLE TV)  
2701 DANIELS STREET  
MADISON, WI 53718  
JON MARSCHKE  
PHONE: 608-225-2479

TDS (TELEPHONE + FIBER)  
1912 PARMENTER ST  
MIDDLETON, WI 53562  
JERRY MYERS  
PHONE: 608-664-4404

CITY OF MADISON – CITY ENGINEER  
CITY-COUNTY BUILDING, ROOM 115  
210 MARTIN LUTHER KING JR. BOULEVARD  
MADISON, WI 53703  
ROBERT F. PHILLIPS, P.E.  
PHONE: 608-266-4090

CITY OF MADISON – SANITARY AND STORM SEWER ENGINEER  
CITY-COUNTY BUILDING, ROOM 115  
210 MARTIN LUTHER KING JR. BOULEVARD  
MADISON, WI 53703  
GREG FRIES  
PHONE: 608-267-1199

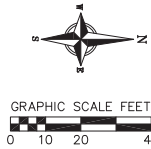
CITY OF MADISON – WATER UTILITY  
119 EAST OLIN AVE.  
MADISON, WI 53703  
TOM HEIKKINEN, GENERAL MANAGER  
PHONE: 608-266-4651

MADISON GAS & ELECTRIC (GAS)  
133 S. BLAIR STREET  
MADISON, WI 53703  
ATTN: JOHN WICHERN  
(608) 252-7224

LEGENDS AND NOTES

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 7/17/15
DRAWN BY DEHLAKRI
CHECKED MSCH
PROJECT NO. 150109.00



BENCHMARK LIST (TOP NUT-HYD)	
BM#	ELEV.
9	861.10
10	857.64
11	860.23
17	861.55
18	858.09
22	859.87
32	858.68

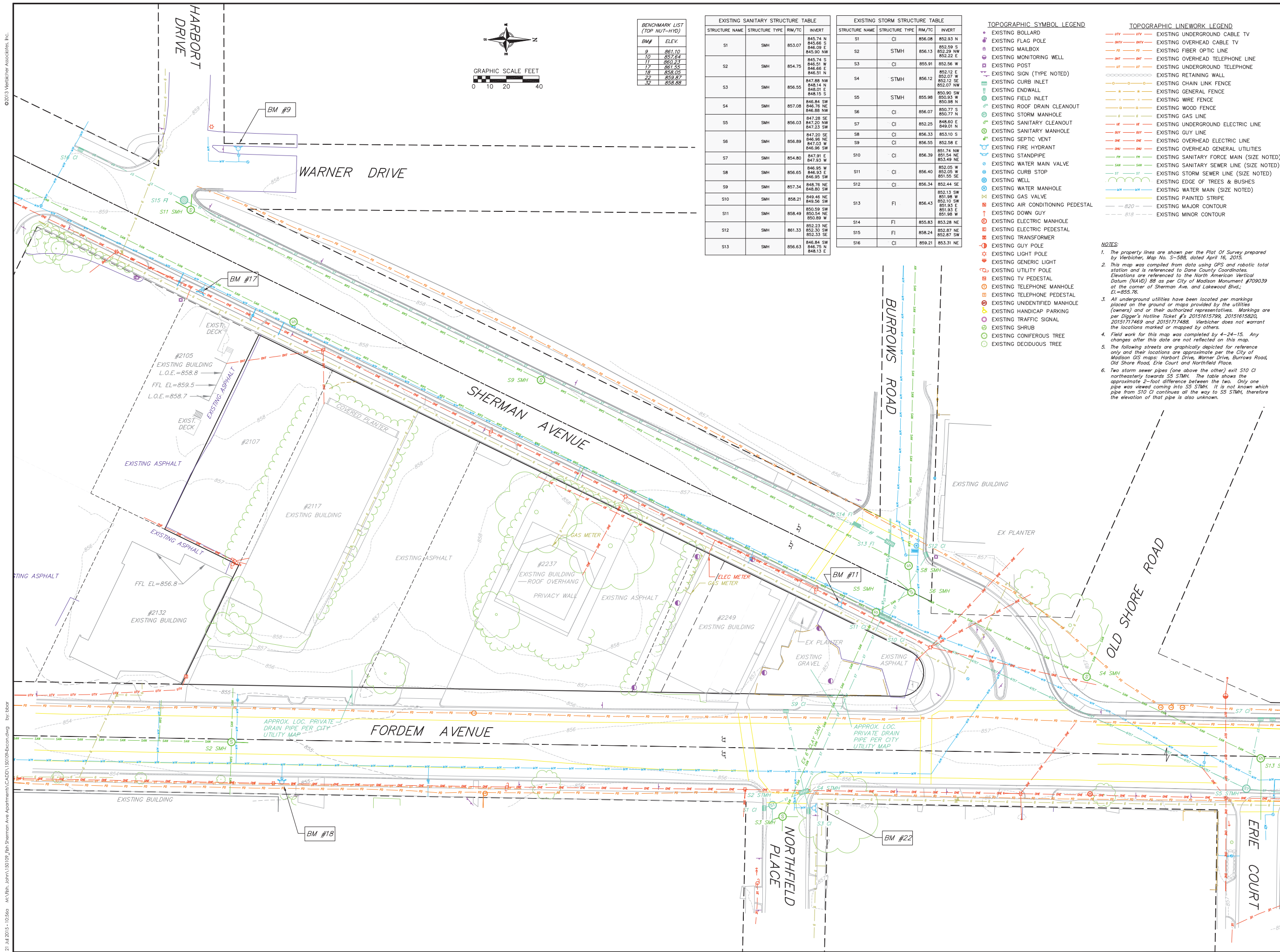
EXISTING SANITARY STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RM/TC	INVERT
S1	SMH	853.07	845.74 N 845.66 S 846.09 E 845.90 NW
S2	SMH	854.75	845.74 S 845.51 W 846.66 E 846.13 N
S3	SMH	856.55	847.09 NW 848.14 N 848.01 E 848.13 S
S4	SMH	857.08	846.84 SW 846.76 NE 846.88 NW
S5	SMH	856.03	847.28 SE 847.20 NW 847.23 SW
S6	SMH	856.89	847.20 SE 846.96 NE 847.03 W 846.96 SW
S7	SMH	854.80	847.91 E 847.91 E 847.93 W
S8	SMH	856.65	848.76 NE 848.90 SW 846.95 E 846.95 SW
S9	SMH	857.34	849.46 NE 849.56 SW
S10	SMH	858.21	850.59 SW 852.30 SW 853.13 SE
S11	SMH	858.49	852.23 NE 852.30 SW 853.13 SE
S12	SMH	861.33	846.84 SW 846.75 N 846.13 E
S13	SMH	856.63	

EXISTING STORM STRUCTURE TABLE			
STRUCTURE NAME	STRUCTURE TYPE	RM/TC	INVERT
S1	CI	856.08	852.93 N
S2	STMH	856.13	852.59 S 852.29 NW 852.22 E
S3	CI	855.91	852.56 W
S4	STMH	856.12	852.12 E 852.07 W 852.12 SE 852.07 NW
S5	STMH	855.98	850.90 SW 850.93 W 850.98 N
S6	CI	856.07	850.77 S 850.77 N
S7	CI	852.25	848.60 E 848.01 N
S8	CI	856.33	853.10 S
S9	CI	856.55	852.58 E
S10	CI	856.39	851.74 NW 851.54 NE 853.49 NE
S11	CI	856.40	852.05 W 852.05 W 851.55 SE
S12	CI	856.34	852.44 SE
S13	FI	856.43	852.13 SW 851.98 W 852.10 SW 851.93 E 851.98 W
S14	FI	855.83	853.28 NE
S15	FI	858.24	852.87 NE 852.87 NE
S16	CI	859.21	853.31 NE

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING FLAG POLE
  - EXISTING MAILBOX
  - EXISTING MONITORING WELL
  - EXISTING POST
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING ENDWALL
  - EXISTING FIELD INLET
  - EXISTING ROOF DRAIN CLEANOUT
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY CLEANOUT
  - EXISTING SANITARY MANHOLE
  - EXISTING SEPTIC VENT
  - EXISTING FIRE HYDRANT
  - EXISTING STANDPIPE
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING WELL
  - EXISTING WATER MANHOLE
  - EXISTING GAS VALVE
  - EXISTING AIR CONDITIONING PEDESTAL
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC MANHOLE
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING GUY POLE
  - EXISTING LIGHT POLE
  - EXISTING GENERIC LIGHT
  - EXISTING UTILITY POLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING UNIDENTIFIED MANHOLE
  - EXISTING HANDICAP PARKING
  - EXISTING TRAFFIC SIGNAL
  - EXISTING SHRUB
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING UNDERGROUND CABLE TV
  - EXISTING OVERHEAD CABLE TV
  - EXISTING FIBER OPTIC LINE
  - EXISTING OVERHEAD TELEPHONE LINE
  - EXISTING UNDERGROUND TELEPHONE
  - EXISTING RETAINING WALL
  - EXISTING CHAIN LINK FENCE
  - EXISTING GENERAL FENCE
  - EXISTING WIRE FENCE
  - EXISTING WOOD FENCE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING GUY LINE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING OVERHEAD GENERAL UTILITIES
  - EXISTING SANITARY FORCE MAIN (SIZE NOTED)
  - EXISTING SANITARY SEWER LINE (SIZE NOTED)
  - EXISTING STORM SEWER LINE (SIZE NOTED)
  - EXISTING EDGE OF TREES & BUSHES
  - EXISTING WATER MAIN (SIZE NOTED)
  - EXISTING PAINTED STRIPE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR

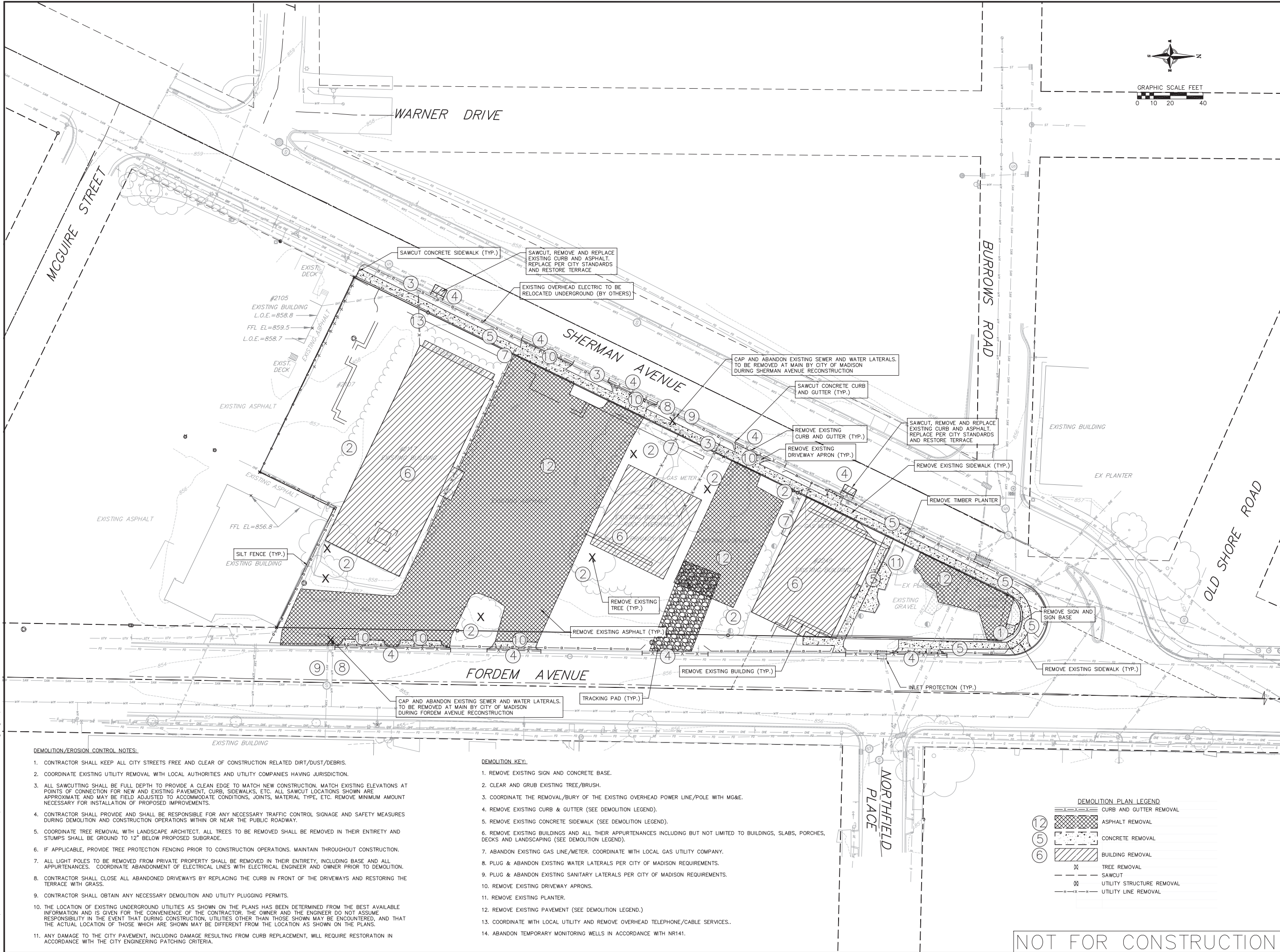
- NOTES:**
- The property lines are shown per the Plot Of Survey prepared by Verbicher, Map No. S-588, dated April 16, 2015.
  - This map was compiled from data using GPS and robotic total station and is referenced to Dane County Coordinates. Elevations are referenced to the North American Vertical Datum (NAVD) 88 as per City of Madison Monument #709039 at the corner of Sherman Ave. and Lakewood Blvd.; EL=855.76.
  - All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline Ticket #s 20151615799, 20151615820, 20151717469 and 20151717488. Verbicher does not warrant the locations marked or mapped by others.
  - Field work for this map was completed by 4-24-15. Any changes after this date are not reflected on this map.
  - The following streets are graphically depicted for reference only and their locations are approximate per the City of Madison GIS maps: Harbort Drive, Warner Drive, Burrows Road, Old Shore Road, Erie Court and Northfield Place.
  - Two storm sewer pipes (one above the other) exit S10 CI northeasterly towards S5 STMH. The table shows the approximate 2-foot difference between the two. Only one pipe was viewed coming into S5 STMH. It is not known which pipe from S10 CI continues all the way to S5 STMH, therefore the elevation of that pipe is also unknown.



Existing Conditions Plan  
McKenzie Place  
City of Madison  
Dane County, Wisconsin

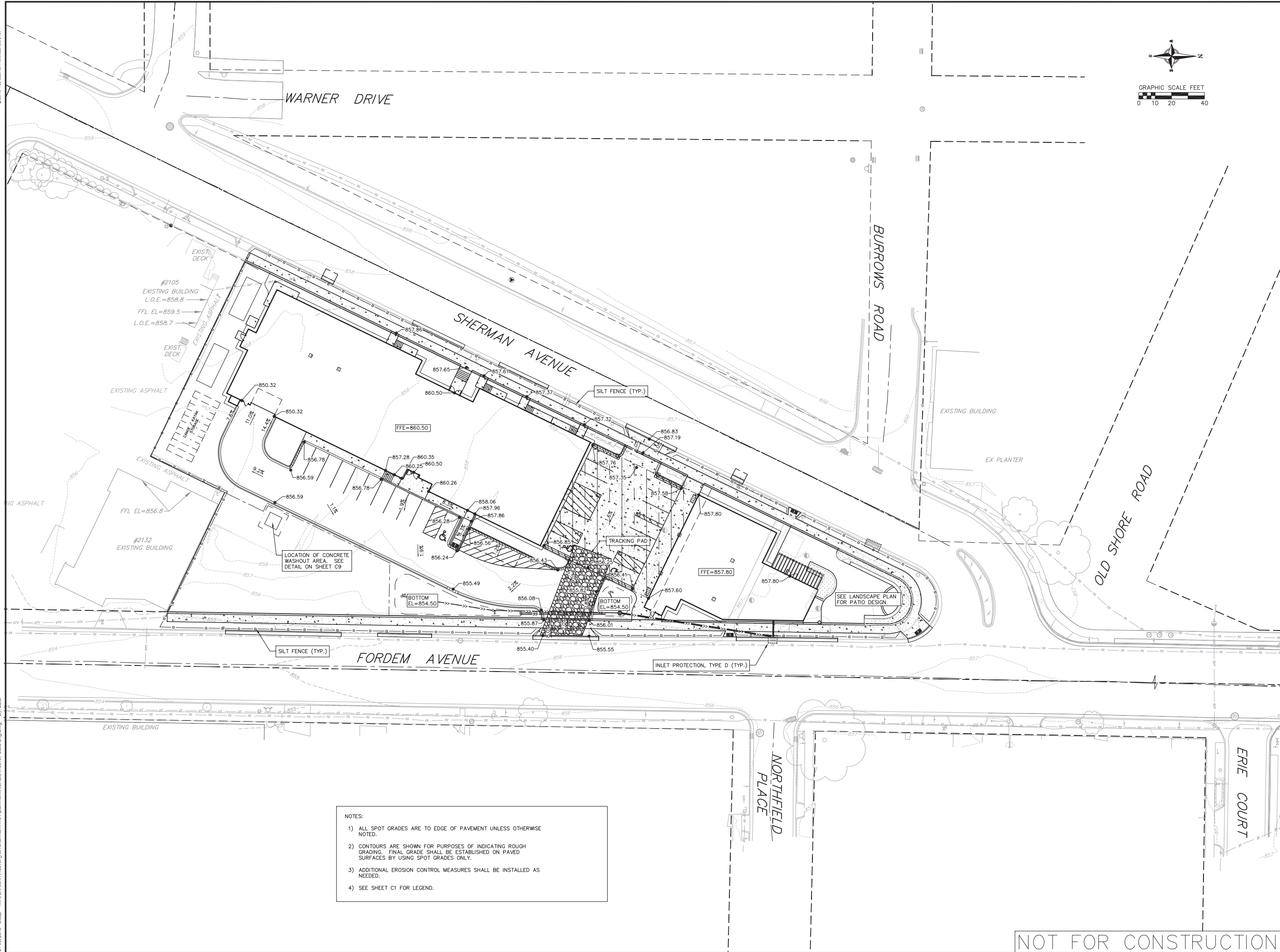
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DATE		7/22/15			
DRAFTER		DEHL/MKRI			
CHECKED		MSCH			
PROJECT NO.		150109.00			
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- NOTES:
- 1) ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - 2) CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  - 3) ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED.
  - 4) SEE SHEET C1 FOR LEGEND.

NOT FOR CONSTRUCTION



**vierendeel**  
planners | engineers | architects

REEDSBERG • MADISON • PEARLE DU CHEN  
9775 W. Pkwy. • P.O. Box 1881 • Reedsburg, WI 53952  
Phone: (608) 854-2332 Fax: (608) 854-2330

**Grading and Erosion Control Plan**

McKenzie Place  
City of Madison  
Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE  
AS SHOWN

DATE  
7/21/15

DRAWN BY  
BBAR/DEHL

CHECKED BY  
MSCH

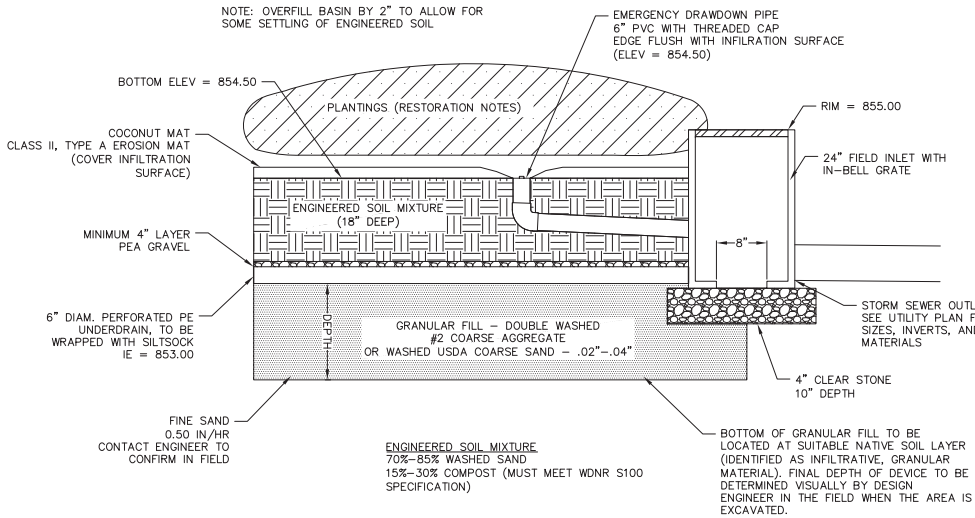
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**5**

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wis.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
16. AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
19. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
20. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
21. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
22. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
23. INSTALL MINIMUM 6'-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
24. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
25. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
26. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
27. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
28. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
29. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



1 BIO-RETENTION BASIN  
1 NOT TO SCALE

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL-DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL-STREETS & LOTS.
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
  2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

- TEMPORARY AND PERMANENT:**
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:**
- USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

**BIO-RETENTION AREA RESTORATION SPECIFICATIONS:**  
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

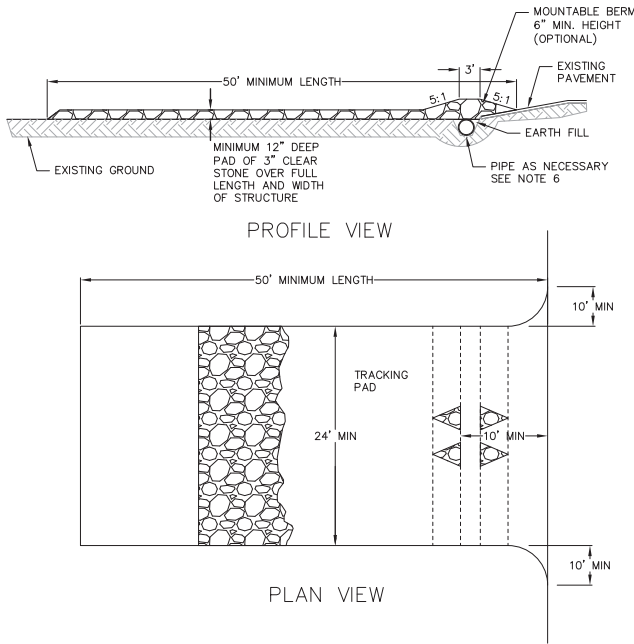
USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.

PLANT PLUGS AT 1 PER SQUARE FOOT.

**PLANTING, MULCH, AND MAINTENANCE NOTES:**  
PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

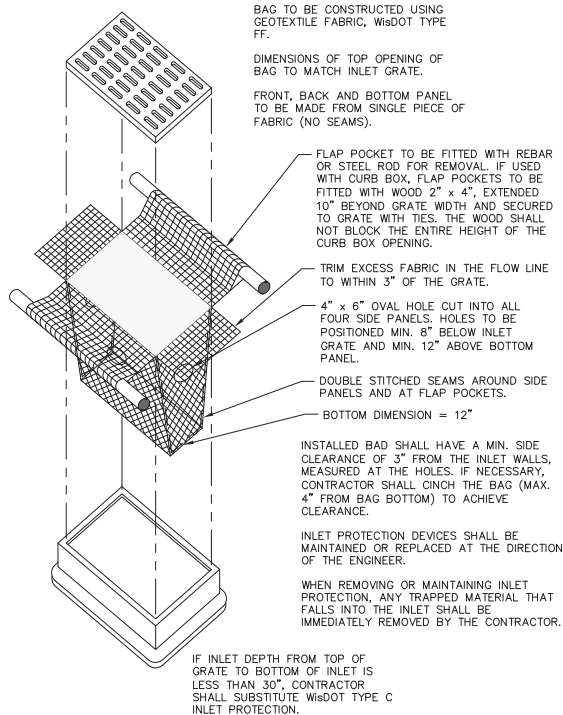
**RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):**

1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:  
70-85% WASHED SAND  
15-30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)
5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

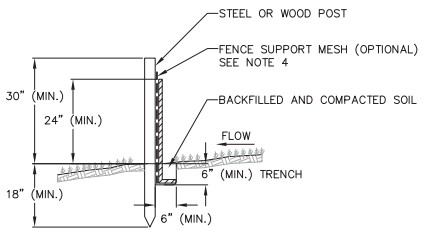


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD  
1 NOT TO SCALE



1 INLET PROTECTION TYPE D  
1 NOT TO SCALE

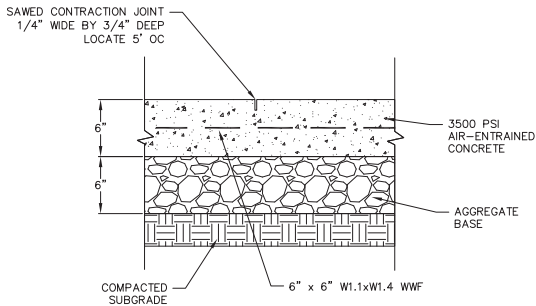


- NOTES:**
1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
  2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
  3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)  
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
  4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

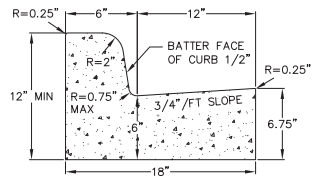
1 SILT FENCE  
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100				

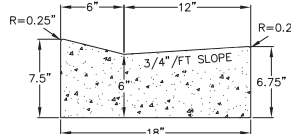




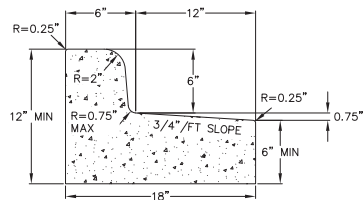
1 CONCRETE PAD  
1 NOT TO SCALE



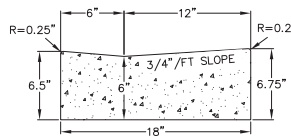
CURB AND GUTTER  
CROSS SECTION



DRIVEWAY GUTTER  
CROSS SECTION

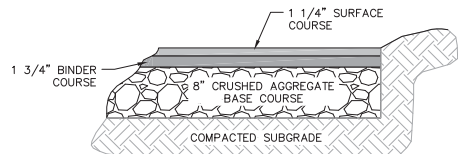


CURB AND GUTTER  
REJECT SECTION



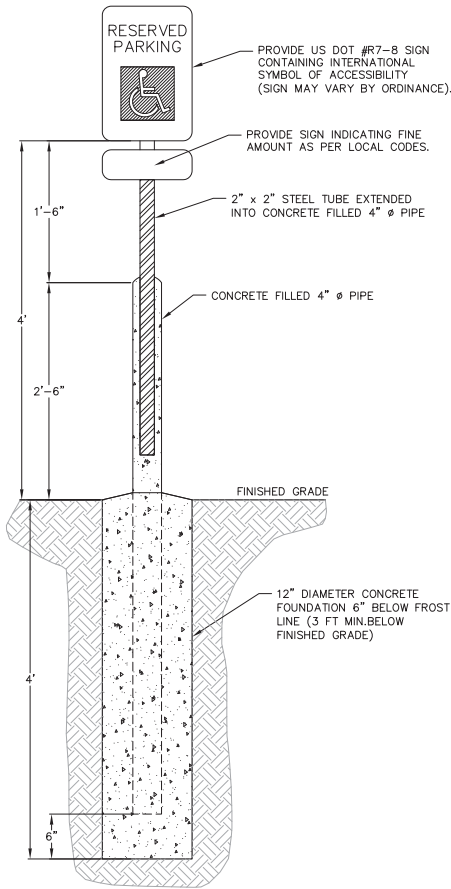
HANDICAP RAMP  
GUTTER CROSS SECTION

1 18" CONCRETE CURB AND GUTTER  
1 NOT TO SCALE



BITUMINOUS PAVEMENT  
PARKING LOT

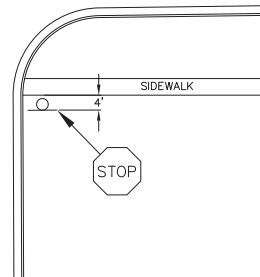
1 SITE PAVEMENT  
1 NOT TO SCALE



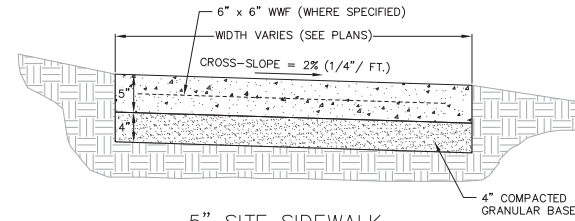
1 HANDICAP PARKING SIGN  
1 NOT TO SCALE

SIGNAGE NOTES:

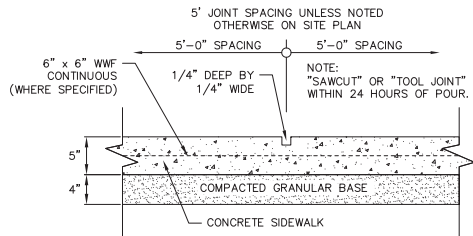
1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.
3. STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.
4. SIGN POSTS SHALL BE 2-3/8" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3' DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE, POURING IT AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8" OF TOPSOIL.



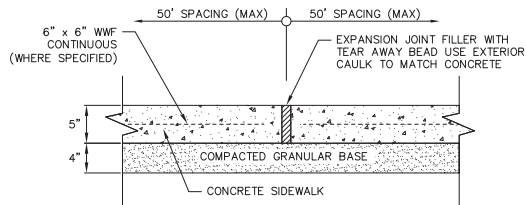
1 STOP SIGN  
1 NOT TO SCALE



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT

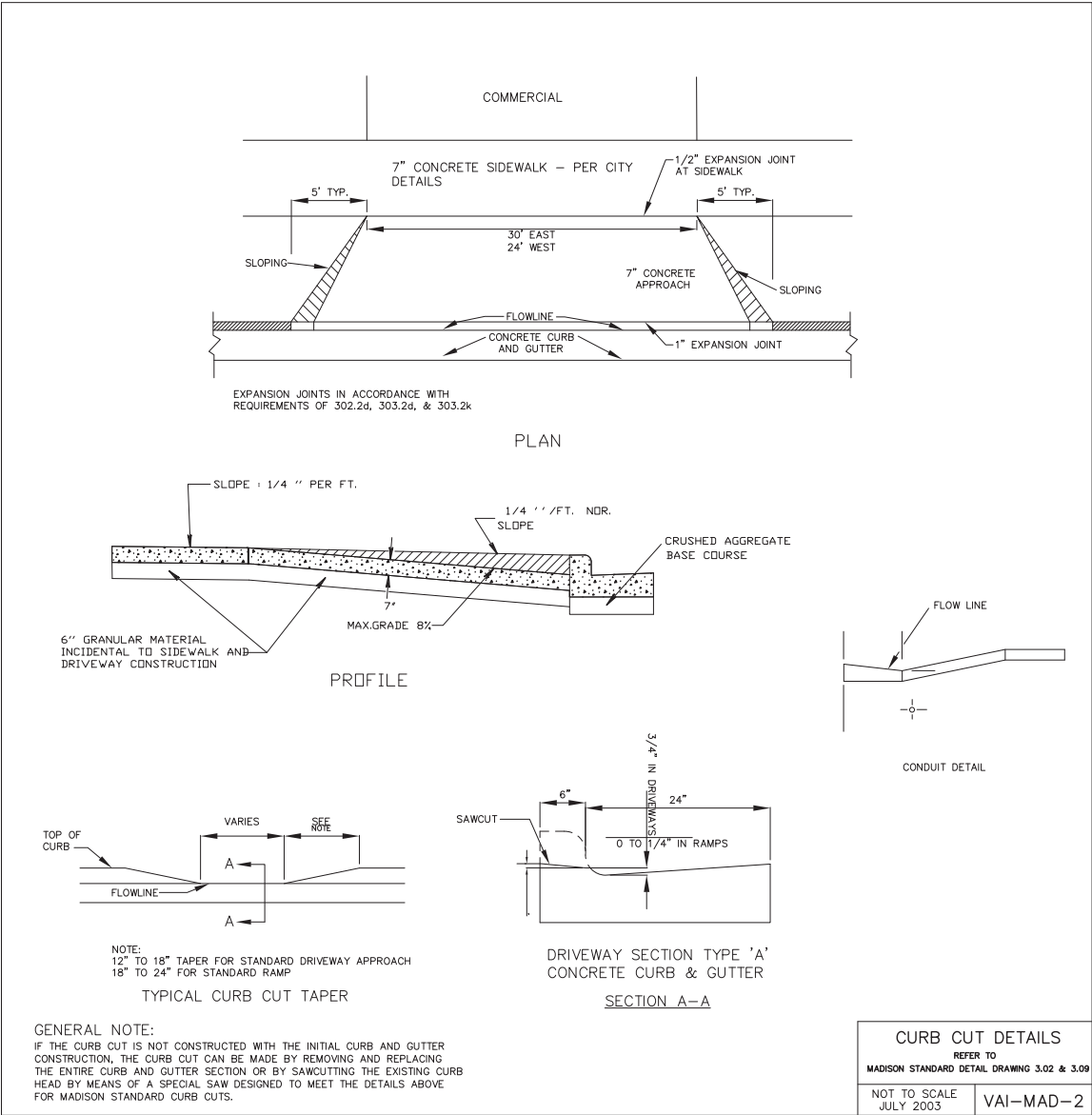


SIDEWALK EXPANSION JOINT

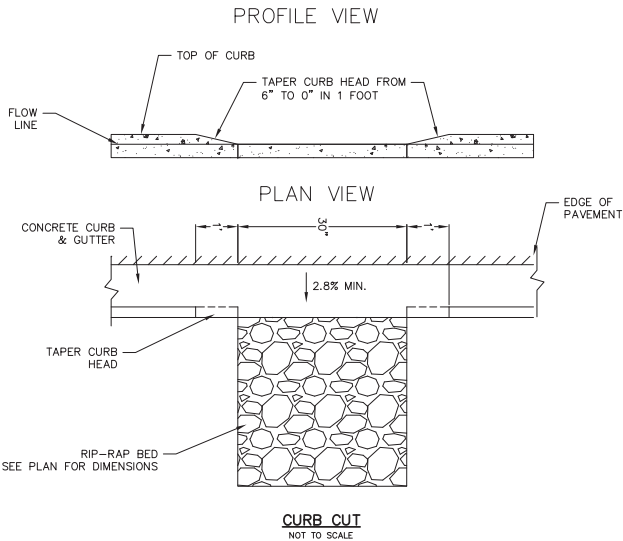
1 5" SIDEWALK  
1 NOT TO SCALE

REVISIONS	REVISIONS	NO.	DATE	REMARKS

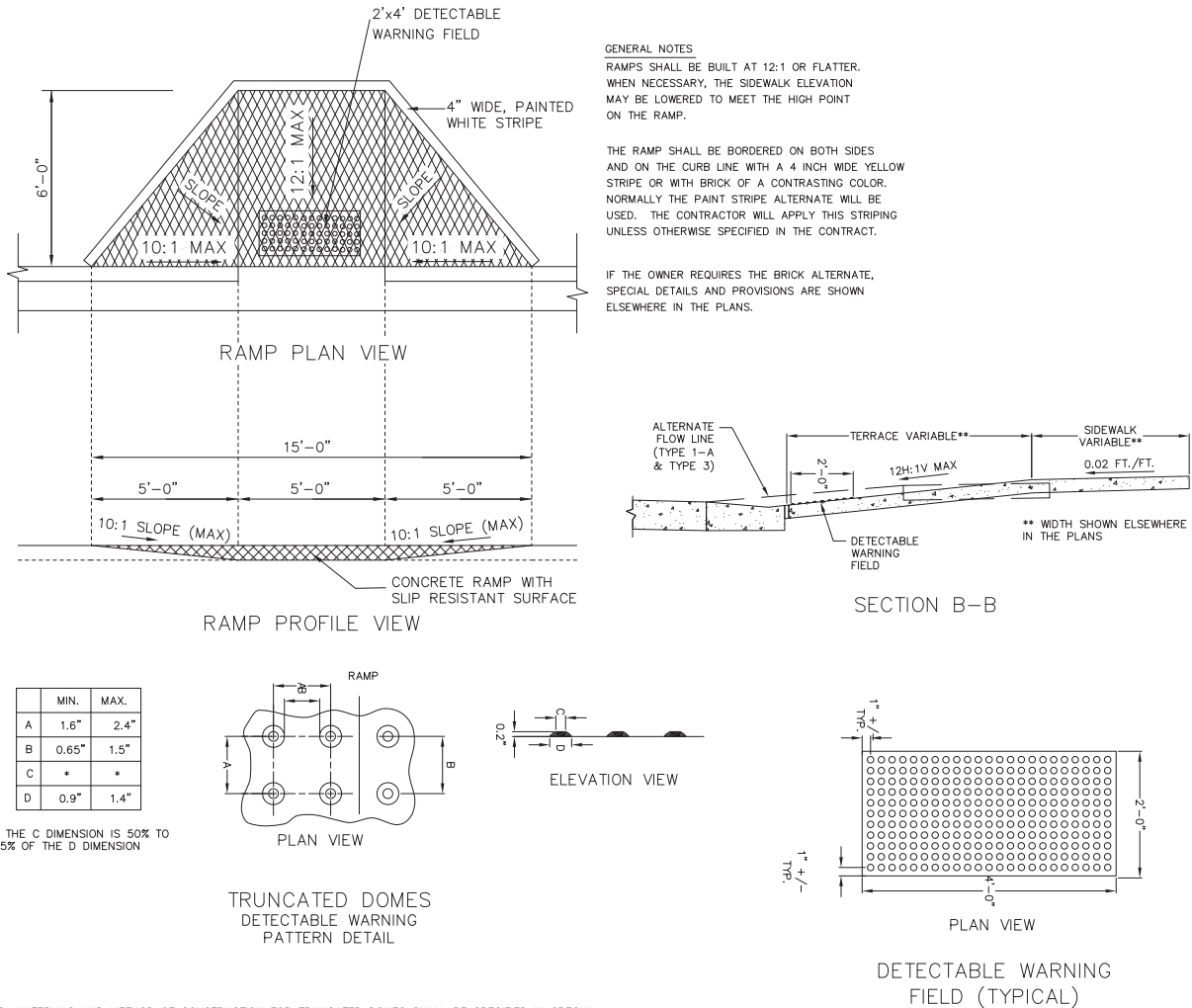
SCALE	AS SHOWN
DATE	7/21/15
DRAWN BY	DEHLAKRI
CHECKED BY	MSCH
PROJECT NO.	150109.00



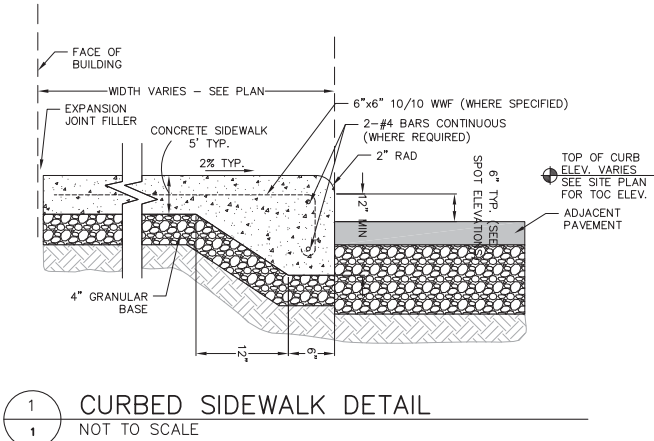
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1 HANDICAP STRIPING  
NOT TO SCALE



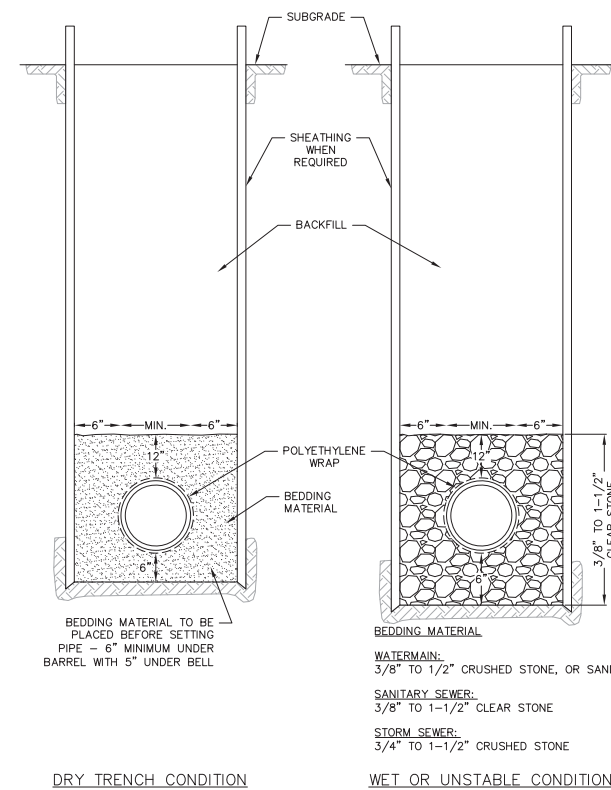
1  
1 CURB CUT  
NOT TO SCALE



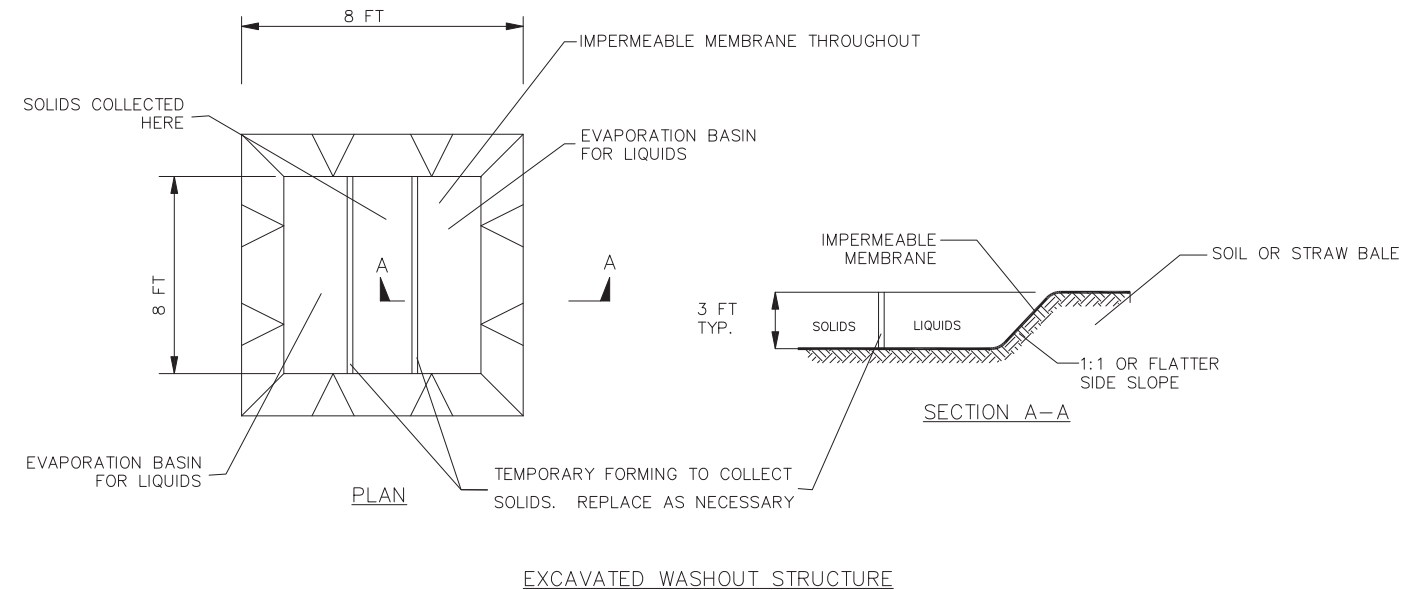
1  
1 SITE HANDICAP RAMP  
NOT TO SCALE



NOT FOR CONSTRUCTION
























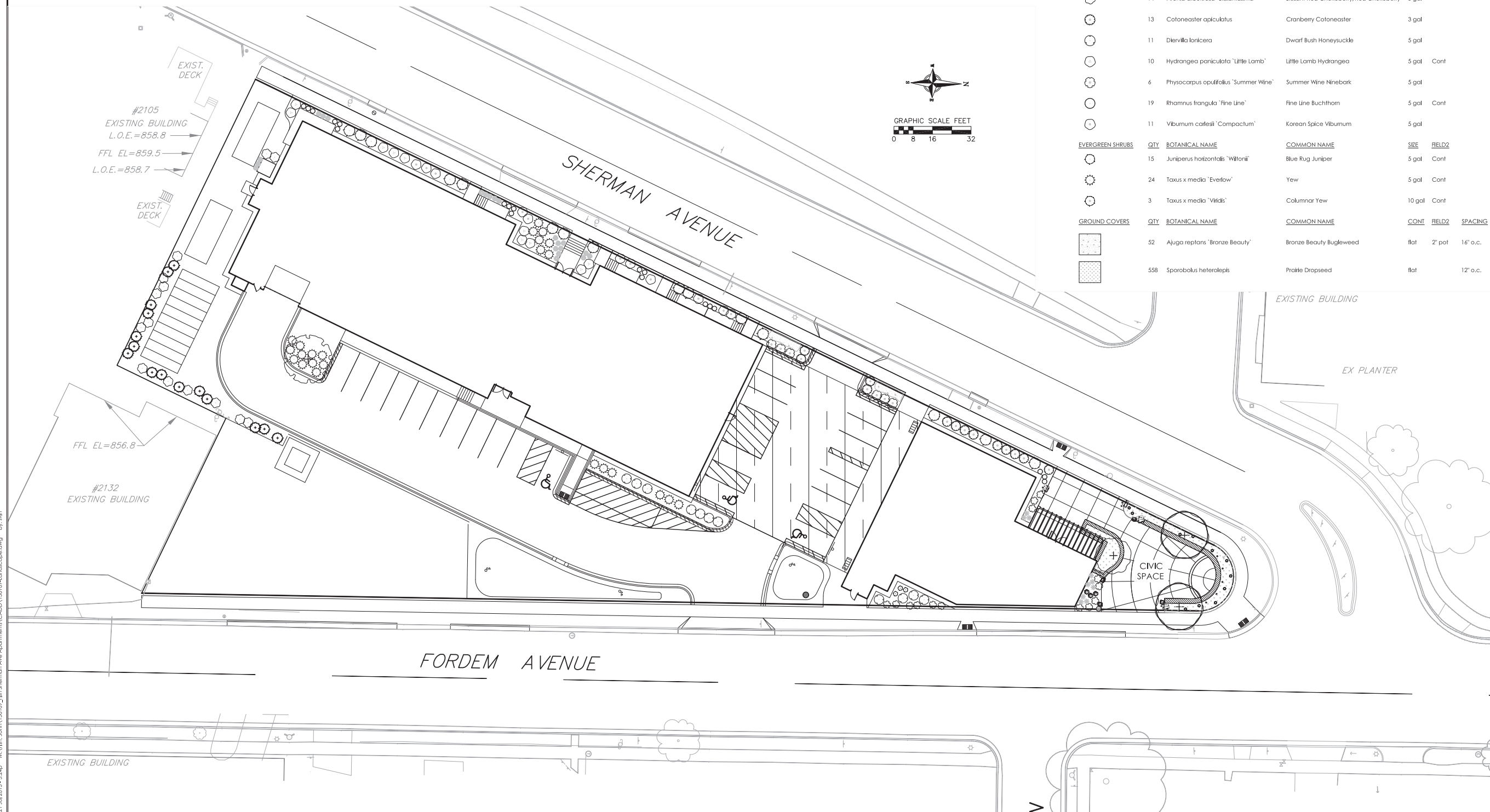
1 STANDARD TRENCH SECTION  
1 NOT TO SCALE



## CONSTRUCTION SPECIFICATIONS

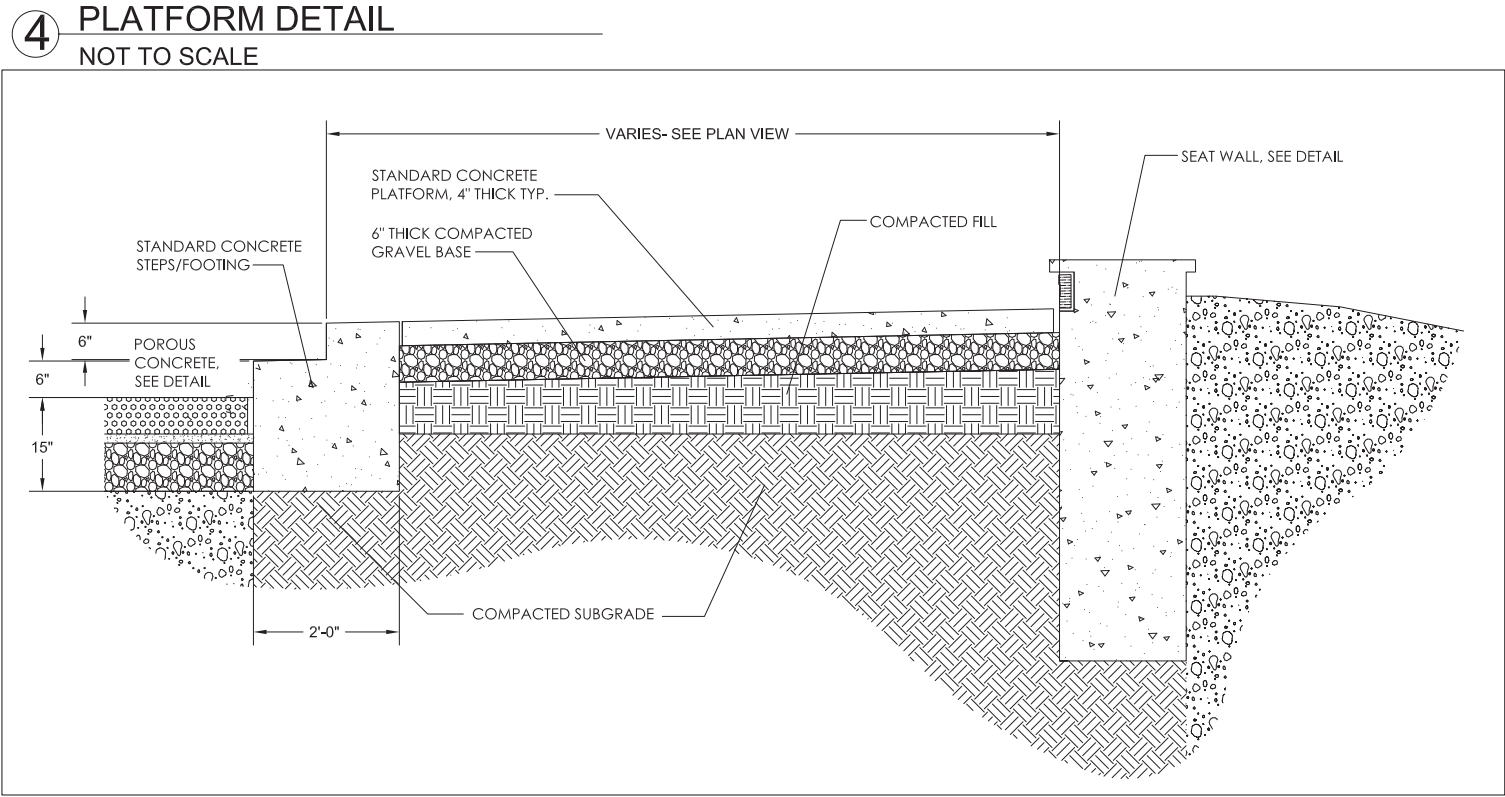
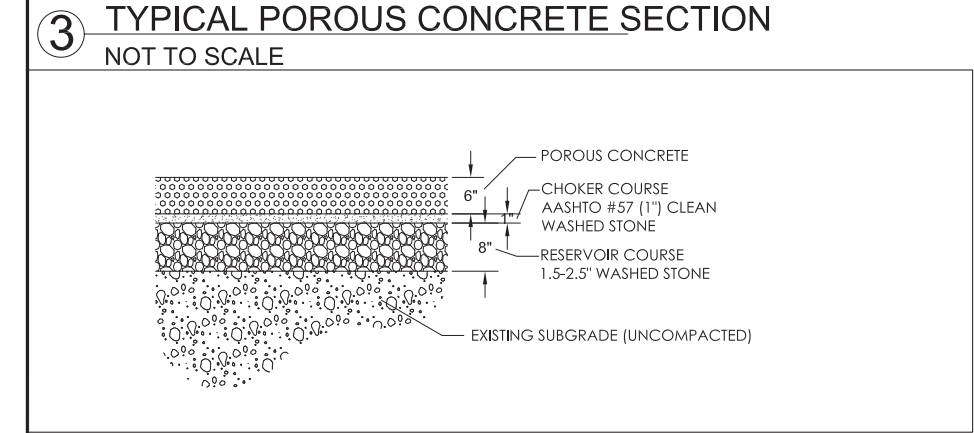
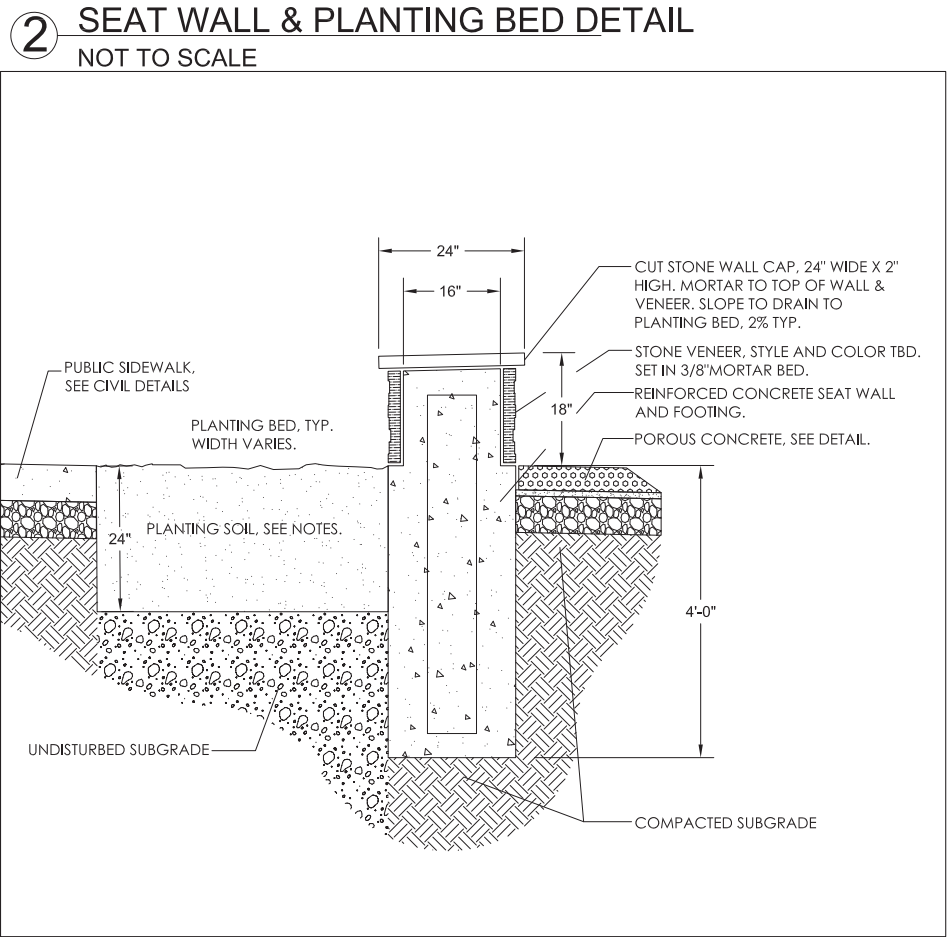
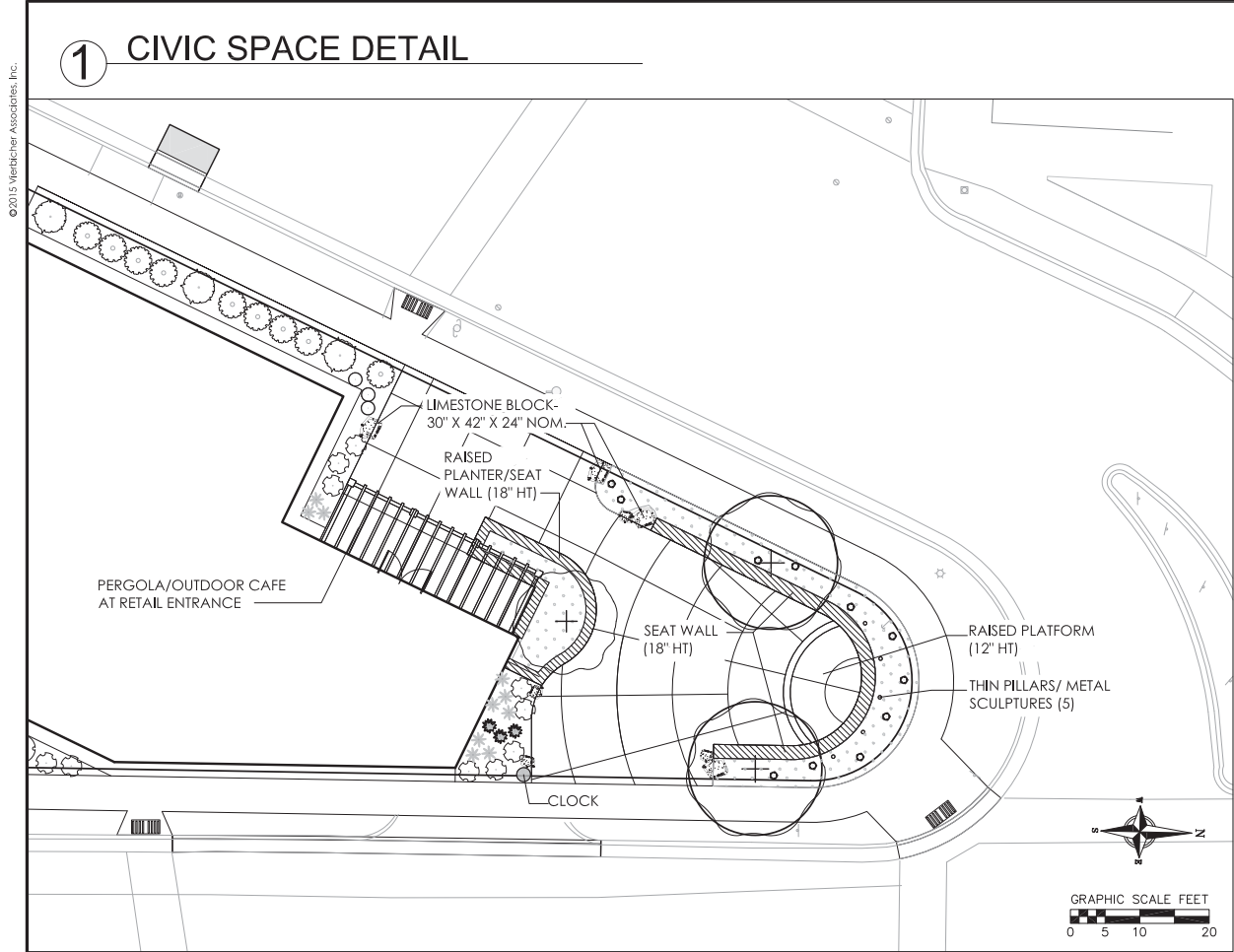
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

PLANT SCHEDULE						
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	2	Gleditsia triacanthos 'Imperial'	Imperial Honeylocust	8 & B	2' Cal	
	1	Ulmus x 'New Horizon'	New Horizon Elm	8 & B	2' Cal	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	15	Juniperus chinensis 'Fairview'	Fairview Juniper	15 gal		
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	
	1	Crataegus crus-galli 'Inermis'	Thornless Hawthorn	8 & B	1.75' Cal	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	14	Amsonia tabernaemontana 'Blue Ice'	Blue Ice Star Flower	1 gal	Cont	
	21	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	Cont	
	10	Hosta x 'August Moon'	Plantain Lily	1 gal	Cont	
	3	Hosta x 'Golden Tiara'	Plantain Lily	1 gal	Cont	
	11	Liatris pycnostachya	Gayfeather	4" pot	Cont	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	14	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry/Red Chokeberry	5 gal		
	13	Cotoneaster apiculatus	Cranberry Cotoneaster	3 gal		
	11	Diervilla lonicera	Dwarf Bush Honeysuckle	5 gal		
	10	Hydrangea paniculata 'Little Lamb'	Little Lamb Hydrangea	5 gal	Cont	
	6	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	5 gal		
	19	Rhamnus frangula 'Fine Line'	Fine Line Buchthorn	5 gal	Cont	
	11	Viburnum cerasifolia 'Compactum'	Korean Spice Viburnum	5 gal		
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	
	15	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	5 gal	Cont	
	24	Taxus x media 'Everlow'	Yew	5 gal	Cont	
	3	Taxus x media 'Viridis'	Columnar Yew	10 gal	Cont	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	SPACING
	52	Ajuga reptans 'Bronze Beauty'	Bronze Beauty Bugleweed	flat	2" pot	16" o.c.
	558	Sporobolus heterolepis	Prairie Dropseed	flat		12" o.c.





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