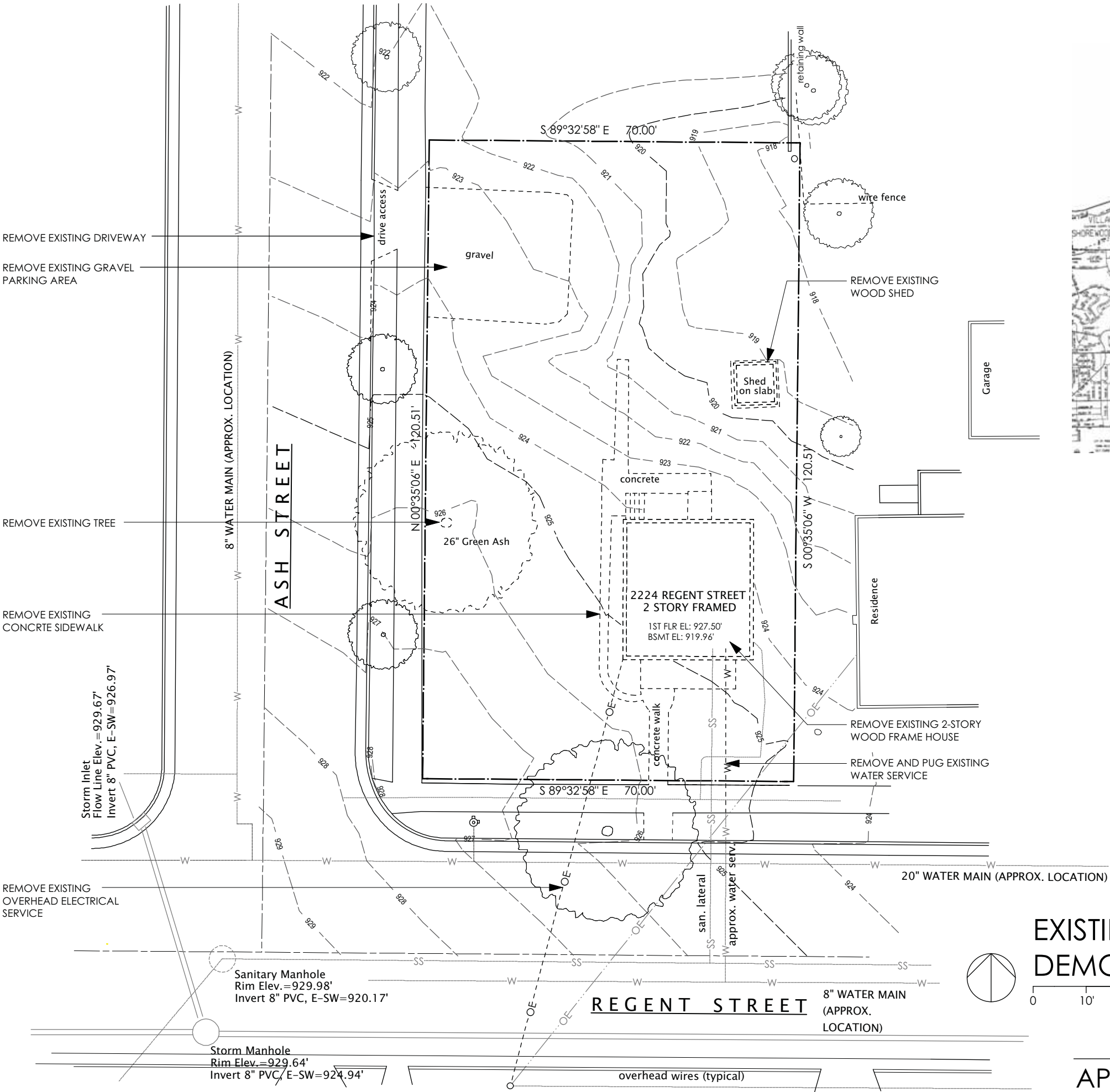


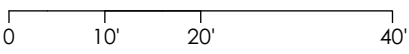


SITE MAP

SHEET INDEX

C1	COVER, SITE DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING & UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLANTING IMAGES
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A2	BUILDING ELEVATIONS
A3	BUILDING MATERIALS & DETAILS
SM1	EXISTING HOUSE PHOTOS
SM2	URBAN CONTEXT PHOTOS
SM3	AREA MAP
SM4	URBAN CONTEXT SECTIONS
SM5	SHADOW STUDY
SM6	GROUND USEABLE OPEN SPACE

EXISTING SITE & DEMOLITION PLAN

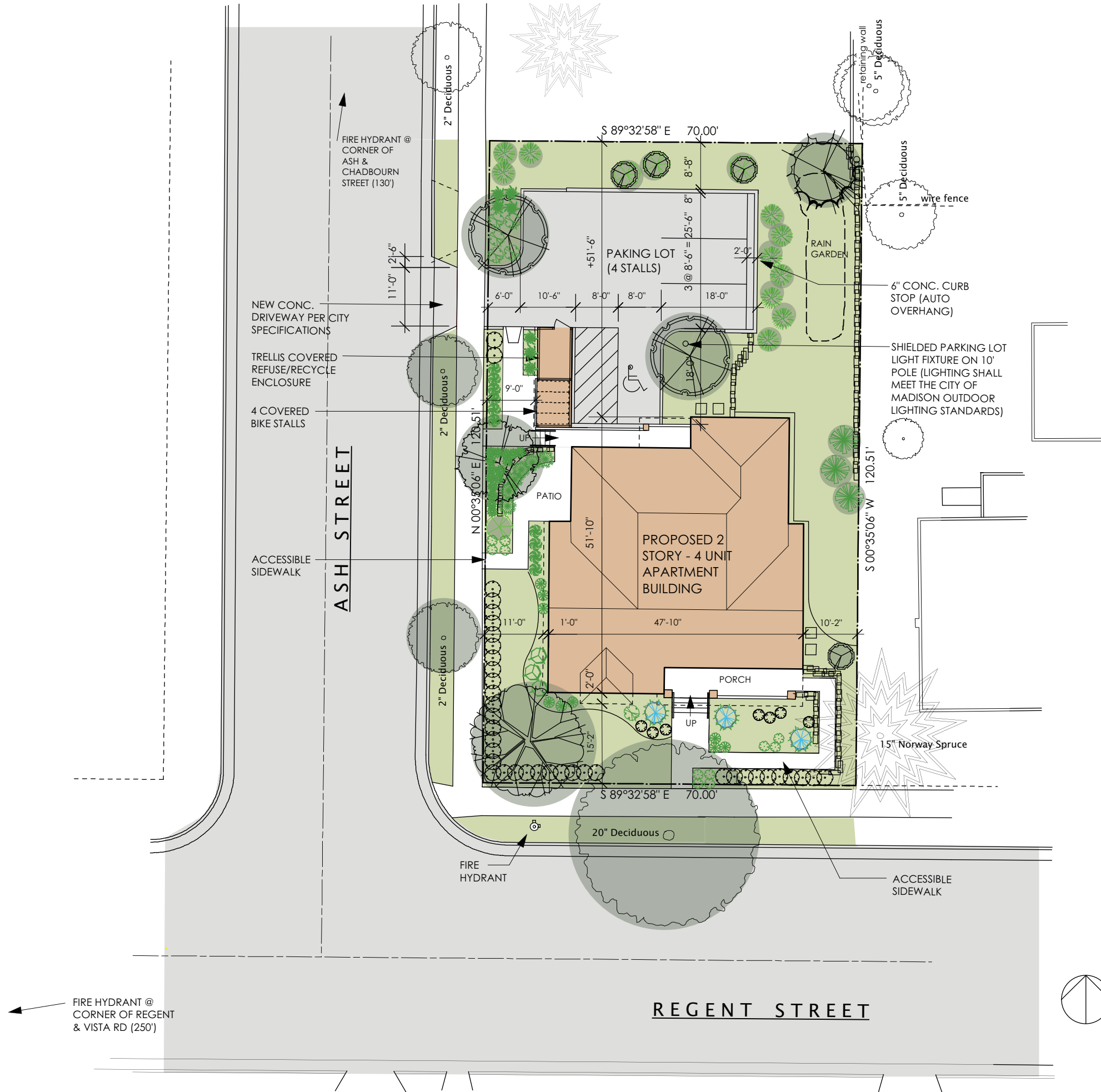


APARTMENT BUILDING
2224 Regent Street, Madison WI 53726

FERCH ARCHITECTURE
2704 GREGORY STREET, MADISON WI
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REV. 1/7/13
12/27/12

C1



SITE STATISTICS

SITE ACREAGE: 8,400 sq. ft. (0.19 acres)

UNITS/ACRE: 21.05

GROUND USEABLE OPEN SPACE: 2,211 sq. ft.

PORCH & DECK AREA OPEN SPACE: 210 sq. ft.

PARKING PROVIDED: 4 STALLS

BIKE PARKING PROVIDED: 4 STALLS

SITE AREA:		
BUILDING FOOTPRINT	2,109 sq. ft.	25.1%
PAVEMENT & SIDEWALKS	2,466 sq. ft.	29.4%
PERVIOUS AREA	3,825 sq. ft.	45.5%

LEGAL DESCRIPTION:

Legal Description of Unplatted lands of Record: Document No. 4746045

Part of Southeast Quarter of the Northeast Quarter (SE 1/4 NE 1/4) of Section 21, Township 7 North, Range Nine (9) East, in the City of Madison described as follows: Beginning at the quarter post between Section 21 and 22, running thence West on the quarter line and in the center of the public Highway 381 feet to the point of beginning, thence continuing west along said quarter line 70 feet; thence North at right angles with the quarter line 158 1/2 feet; thence East 70 feet; thence South 158 1/2 feet to the point of beginning.

Measured Description:

Commencing at the East 1/4 Corner of Section 21, T7N, R9E, as marked by a Brass Cap City of Madison Monument, thence N 89°34'51" W, along the South line of the SE 1/4 of the NE 1/4 of said Section 21, 450.32 feet; thence N 00°35'06" E, along the Easterly right-of-way line of Ash Street extended, 31.63 feet to a point at the intersection of the Northerly right-of-way line of Regent Street and the Easterly right-of-way line of Ash Street, said point being the Point of Beginning of this description; thence N 00°35'06" E, along the Easterly right-of-way line of Ash Street, 120.51 feet; thence S 89°32'58" E, 70.00 feet; thence S 00°35'06" W, 120.51 feet; thence N 89°32'58" W, 70.00 feet to the point of beginning;□ This description contains 8,436 square feet, or 0.19 acres.

BUILDING STATISTICS

(4) 2 BEDROOM APARTMENTS = 8 BEDROOMS TOTAL

NUMBER OF STORIES (ABOVE GRADE): 2

BUILDING HEIGHT: 27'

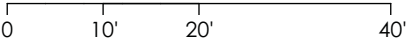
CONSTRUCTION TYPE: 5A

AUTOMATIC SPRINKLER SYSTEM PER NFPA 13R

BUILDING AREA:	
LOWER LEVEL	2,088 sq. ft.
1ST	2,109 sq. ft.
2ND	2,114 sq.ft.
TOTAL	6,311 sq. ft.



SITE PLAN

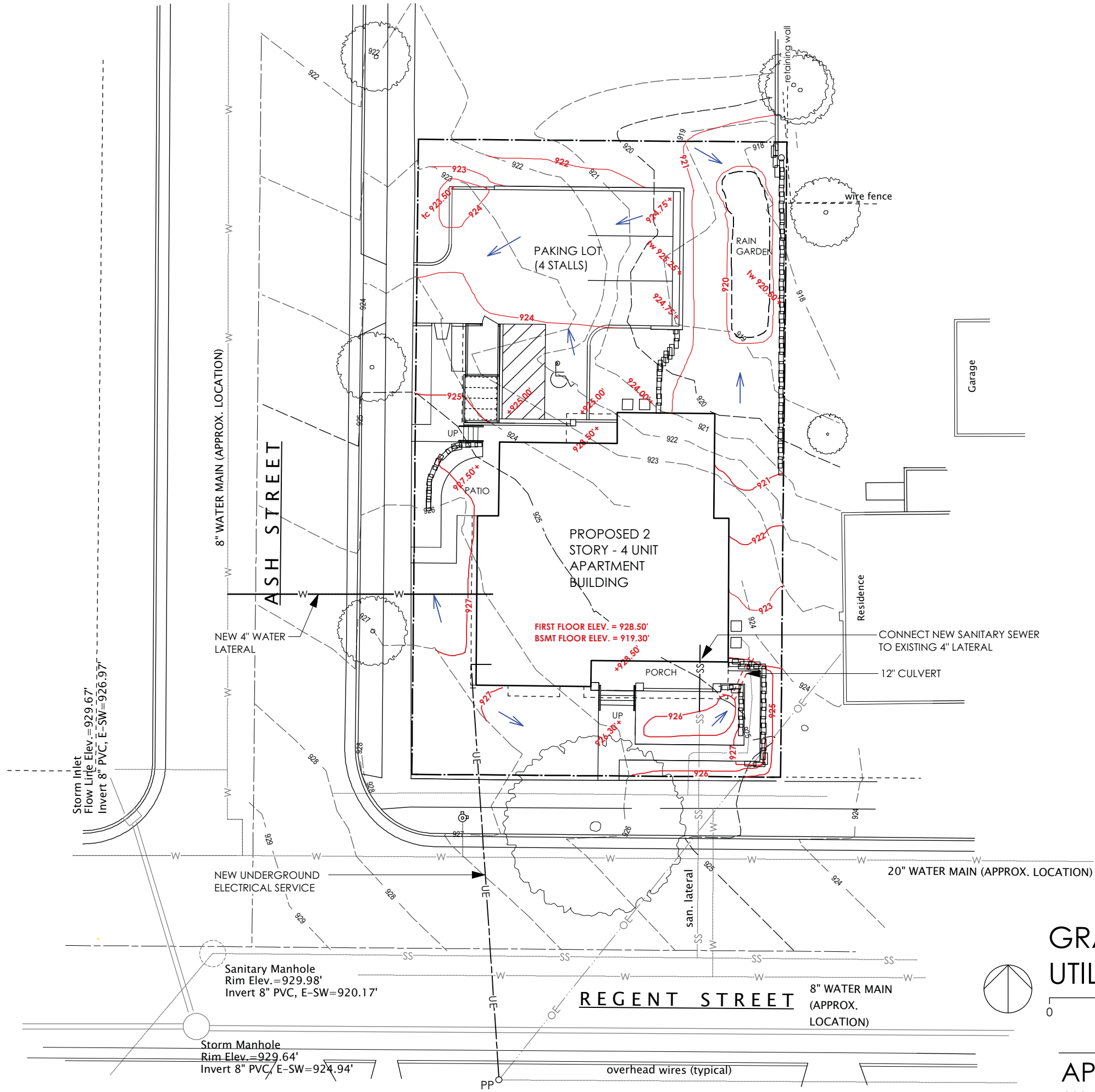


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APARTMENT BUILDING
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C2



SITE LEGEND:

- 100.00+ NEW SPOT ELEVATIONS
- FIRE HYDRANT
- SURFACE DRAINAGE
- WATER LINE
- SANITARY SEWER
- OVERHEAD ELECTRIC
- STORM SEWER
- UNDERGROUND ELECTRIC
- PP POWER POLE

GRADING & UTILITY PLAN



0 10' 20' 40'

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C3

ASH STREET

- 3 - Dark Green Arborvitae - 4'
- 4 - Russian Sage - 1 gal.
- 2 - Autumn Blaze Maple - 2"
- 5 - Tor Birchleaf Spiraea 15"

2" Deciduous



- 3 - Glossy Black Chokeberry - 36"

Planting Beds Dark Mulch w/ Plastic Edge Top.

PAKING LOT
(4 STALLS)

5" Deciduous

- 1 - White Pine - 8'

5" Deciduous

wire fence

Snapped Limestone Wall Top.

- 7 - Dark Green Arborvitae - 6'

- 3 - Orange Rocket Barberry (30" Hedge) - 18"

- 3 - Russian Sage - 1 gal.

- 5 - Karl Forester Grass - 1 gal.

- 15 - Black Eyed Susan - 1 qt.

- 1 - Ivory Silk Japanese Tree Lilac - 8'

- 6 - Holmstrup Arborvitae - 36"

- 1 - Glossy Black Chokeberry - 36"

- 4 - May Night Salvia - 1 gal.

- 5 - Karl Forester Grass - 1 gal.

- 26 - Orange Rocket Barberry (30" Hedge) - 18"

- 9 - Goling Bamianas - 1 gal.

2" Deciduous

- 3 - Double Knock-Out Rose - 24"

- 1 - Pin Oak - 2.5" cal.

PROPOSED
2 STORY - 4 UNIT
APARTMENT
BUILDING

PATIO

PORCH

- 1 - Tor Birchleaf Spiraea - 15"

- 6 - Bertram Anderson Sedum - 1 gal.

- 3 - Dwarf Mugo Pine - 24"

- 3 - Quick Fire Hydrangea - 18"

- 1 - Dwarf Burning Bush - 30"

- 15' Norway Spruce

- 3 - Tiki Torch Coneflower - 1 gal.

- 10 - Orange Rocket Barberry (30" Hedge) - 18"

- 7 - May Night Salvia - 1 gal.

20" Deciduous

REGENT STREET

LANDSCAPE PLAN

0 10' 20' 40'



7395 HWY. PD VERONA, WI
PH. 608-845-5111
FAX 608-845-3335
glacierlandscapeinc.com

A LANDSCAPE PLAN FOR:

Apartment Building
2224 Regent Street
Madison, WI

Drawn By: edb

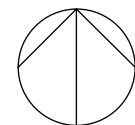
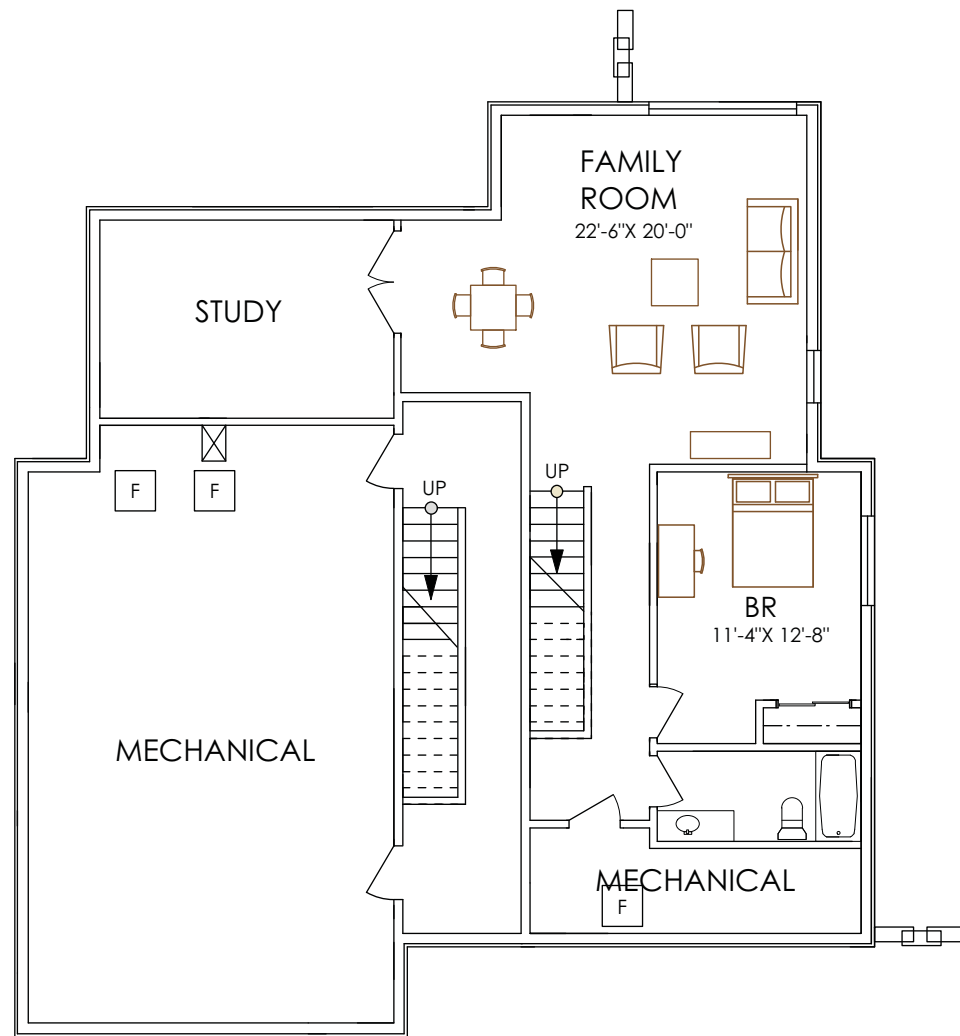
DATE: 12.27.12

No.	Date
1	1-07-13

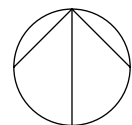
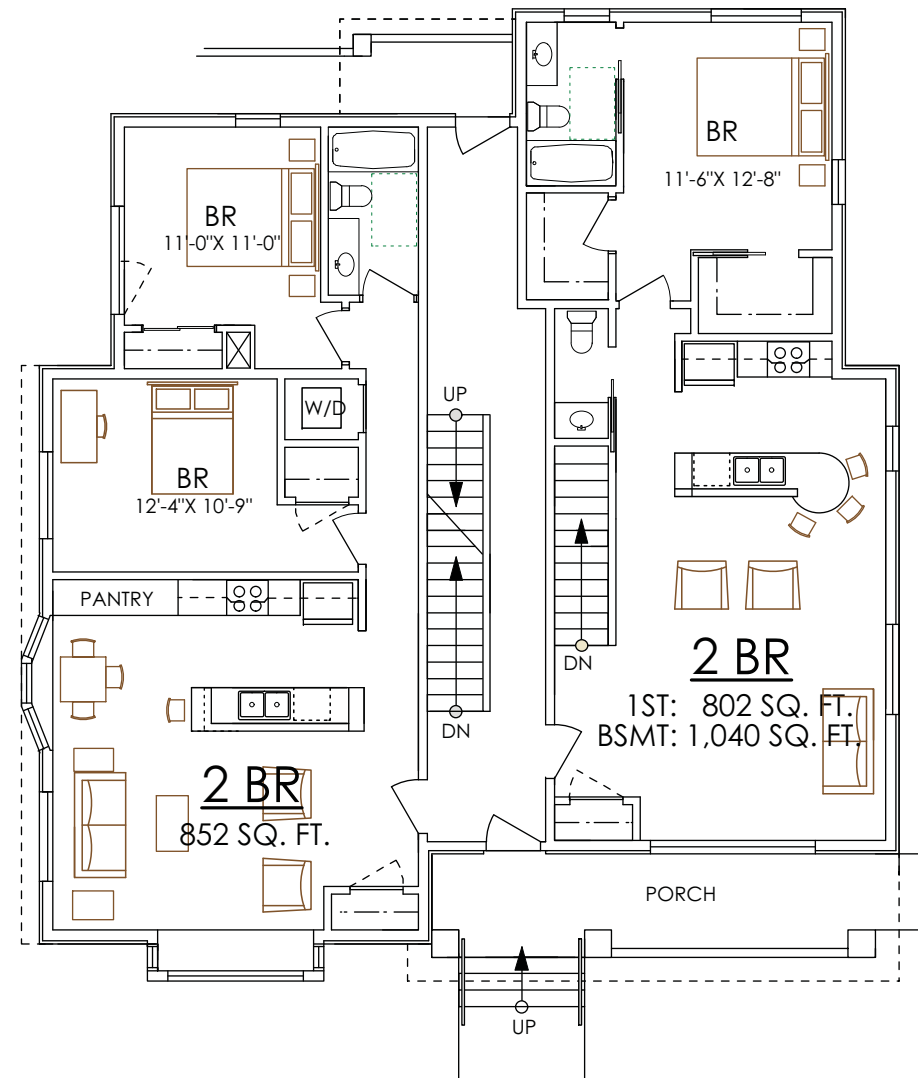
L1

REGENT STREET—FOUR UNIT LANDSCAPE CONCEPT

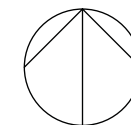
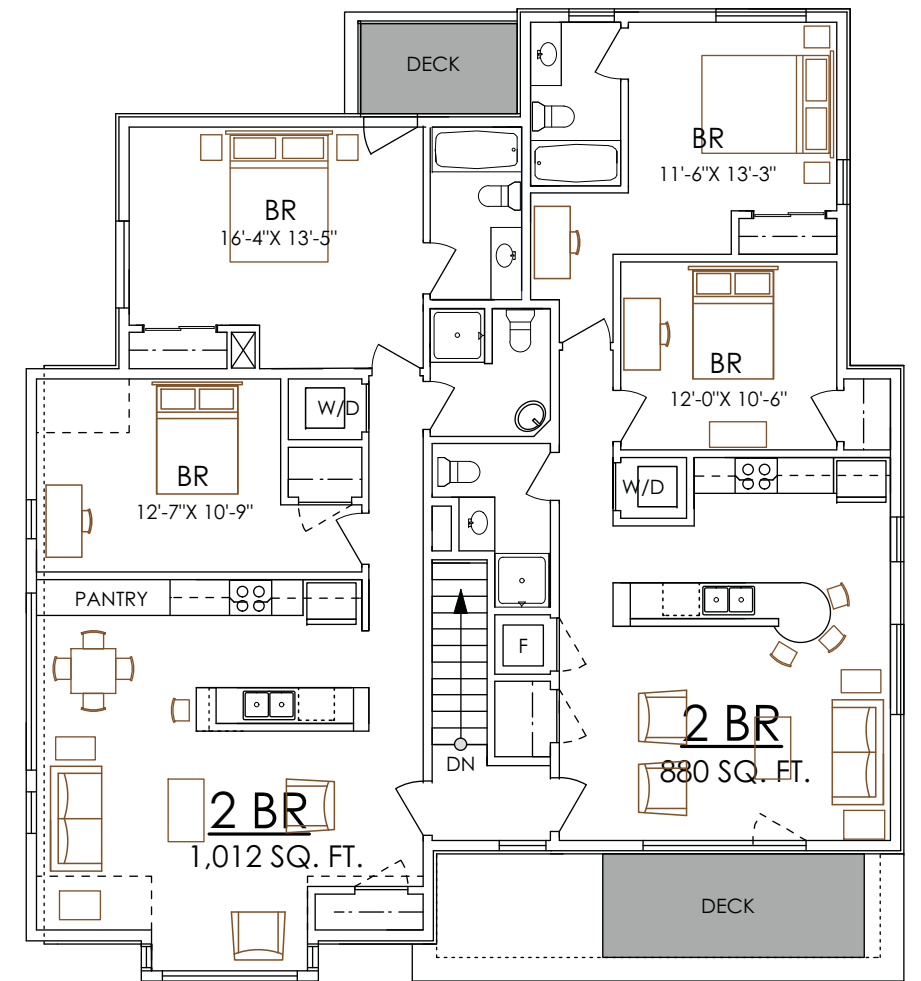




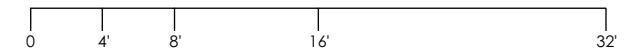
BASEMENT FLOOR PLAN



1ST FLOOR PLAN



2ND FLOOR PLAN



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A1



REAR ELEVATION

SIMULATED
DIVIDED LITE CLAD
WINDOWS
PAINTED WOOD
FASCIA



ASH STREET ELEVATION



REGENT STREET ELEVATION

0 4' 8' 16' 32'

ASPHALT SHINGLES
CEDAR SHAKES
DECORATIVE
METAL RAILING
VENEER STONE
6" CUT STONE
BAND



EAST SIDE ELEVATION

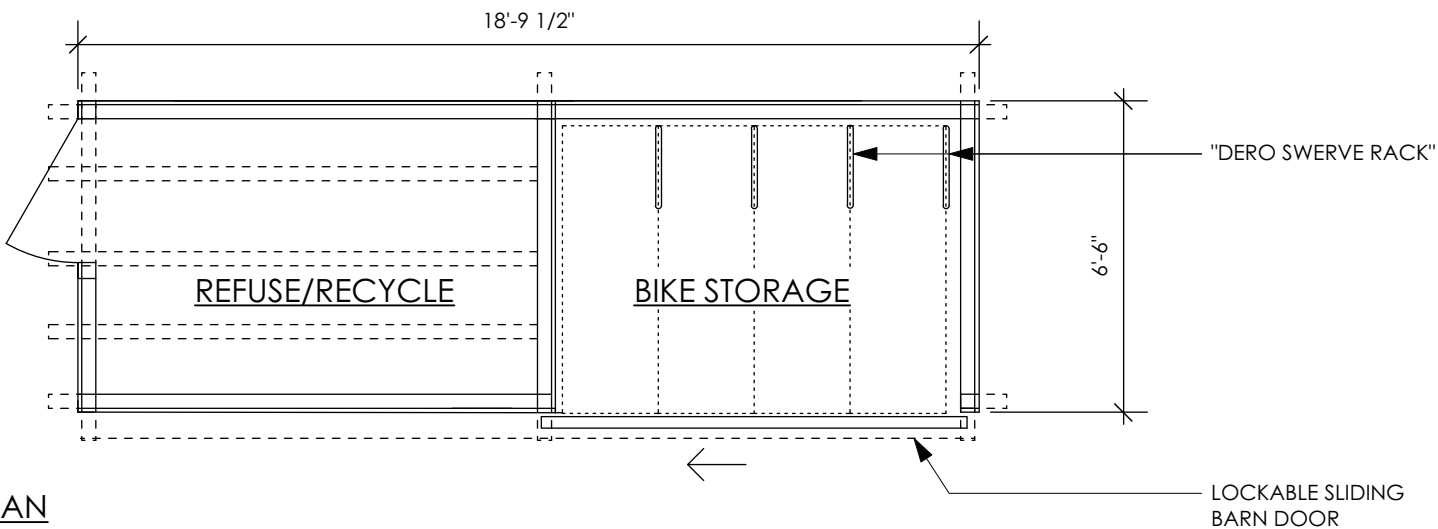
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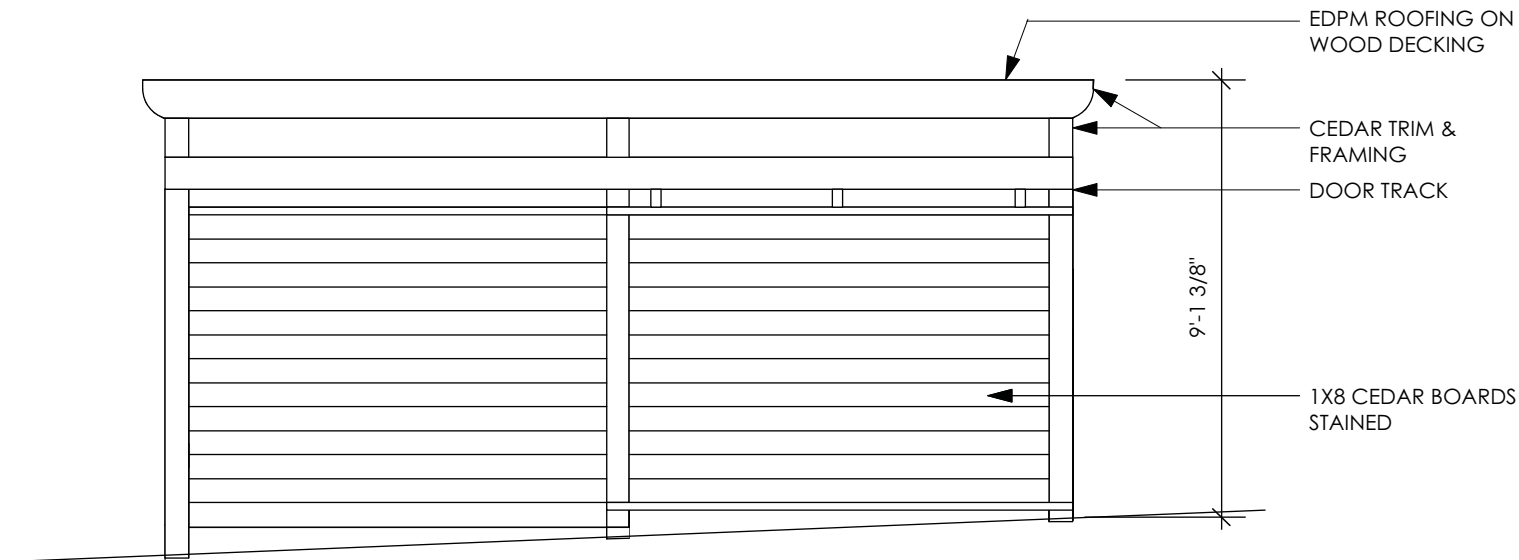
1/7/13
12/27/12

A2

BIKE STORAGE & REFUSE/RECYCLE ENCLOSURE



PLAN
SCALE: 1/4" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS



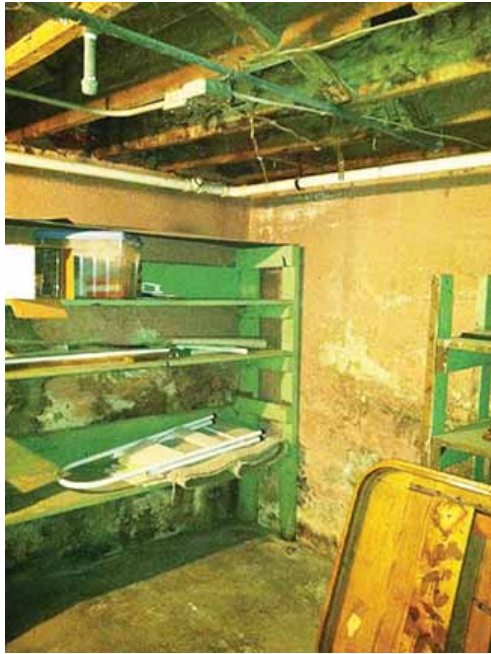
DIMENSION SHINGLES



"LP SMARTSIDE" CEDAR SHAKES



STONE VENEER



BASEMENT



KITCHEN



FRONT & WEST ELEVATION



2ND FLOOR (7'-0" CEILING)



2ND FLOOR BATHROOM (ONLY BATHROOM IN THE HOUSE)



REAR ELEVATION

EXISTING HOUSE PHOTOS

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SM1



NORTH SIDE OF REGENT STREET



SOUTH SIDE OF REGENT STREET



REGENT STREET LOOKING EAST



ASH STREET LOOKING WEST



CORNER HOUSE AT ASH & CHADBOURN STREET



ASH STREET LOOKING EAST

URBAN CONTEXT PHOTOS

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SM2



AREA MAP

NO SCALE

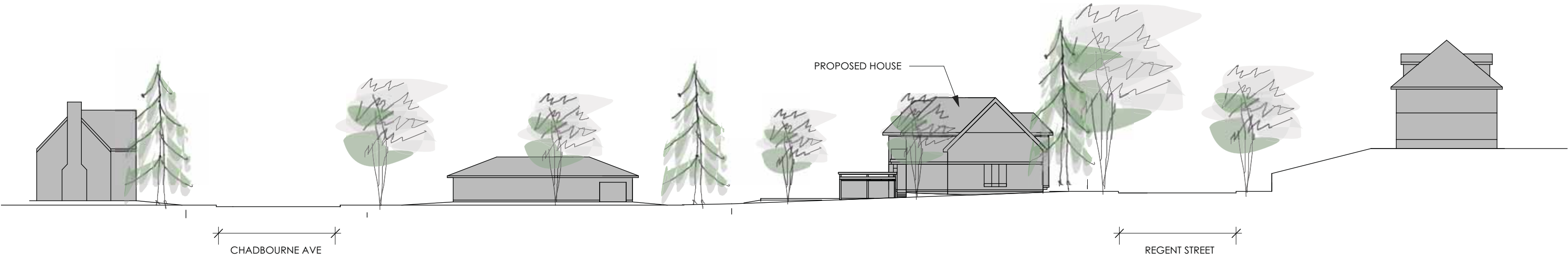
FRONT YARD BLOCK AVERAGING
13'-9"
13'-11"
23'-11"
20'-1"
10'-5"
8'-10"
90'-11" / 6 = 15'-2"

APARTMENT BUILDING
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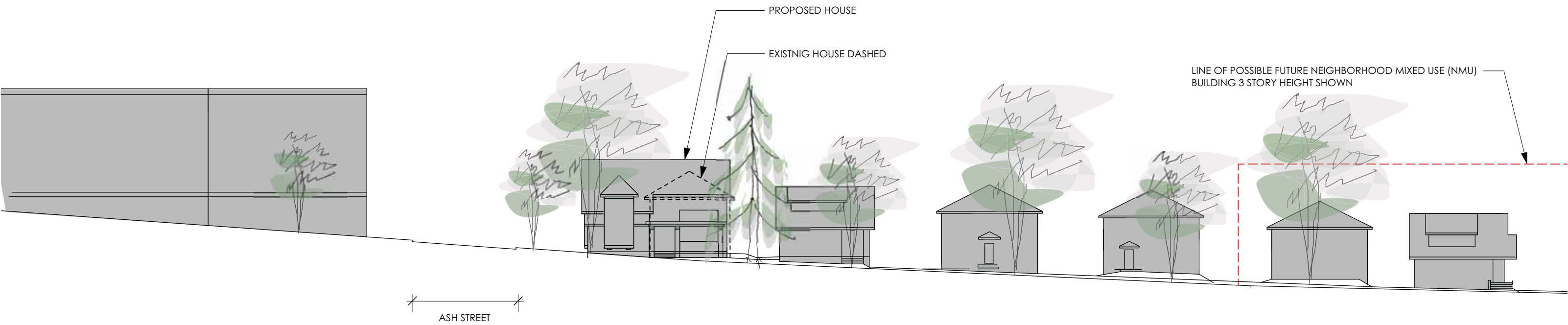
FERCH ARCHITECTURE
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12/27/12

SM3



ASH STREET ELEVATION



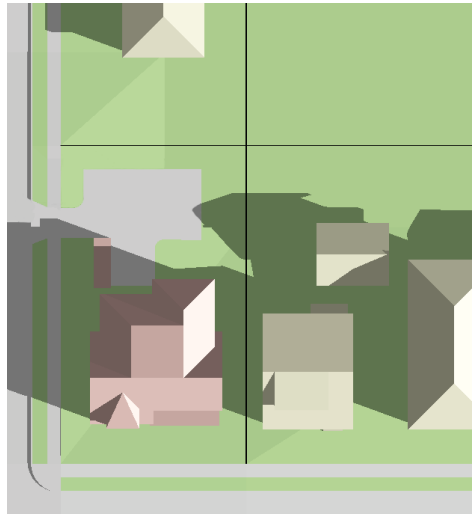
REGENT STREET ELEVATION

12/27/12

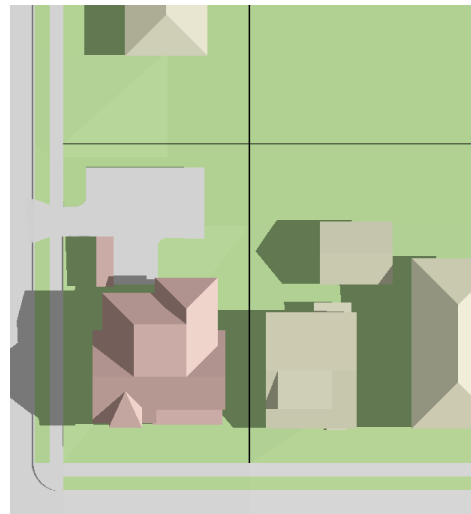
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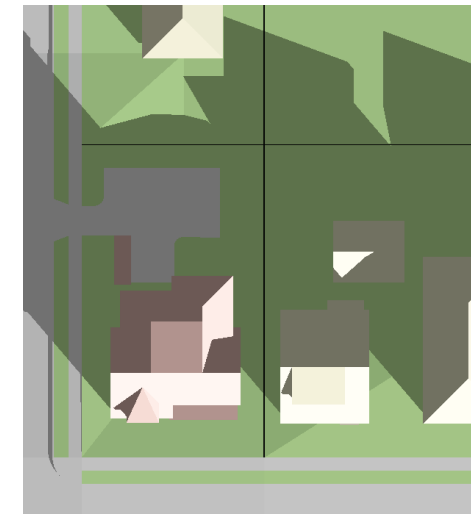
SM4



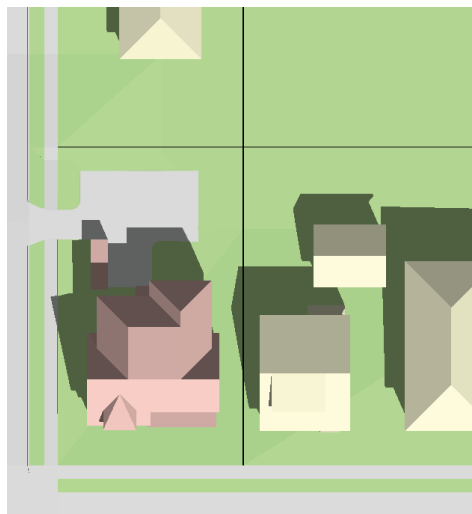
March 21st &
Sept. 21st 9:00 am



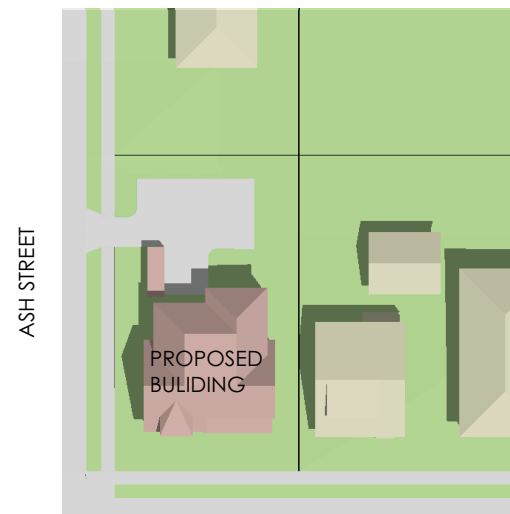
June 21st 9:00 am



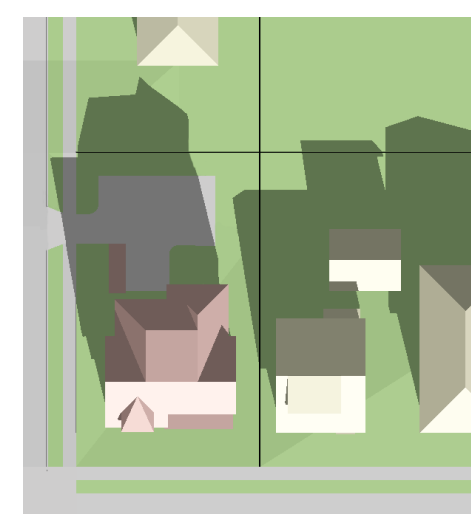
Dec. 21st 10:00 am



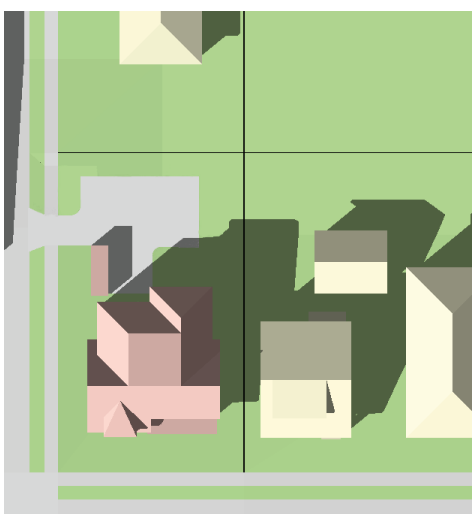
March 21st &
Sept. 21st 12:00 pm



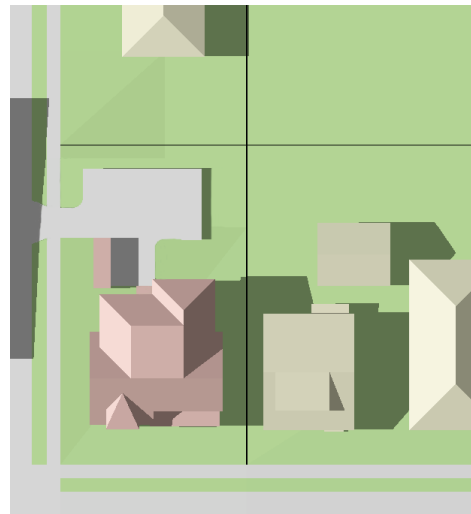
June 21st 12:00 pm



Dec. 21st 12:00 pm



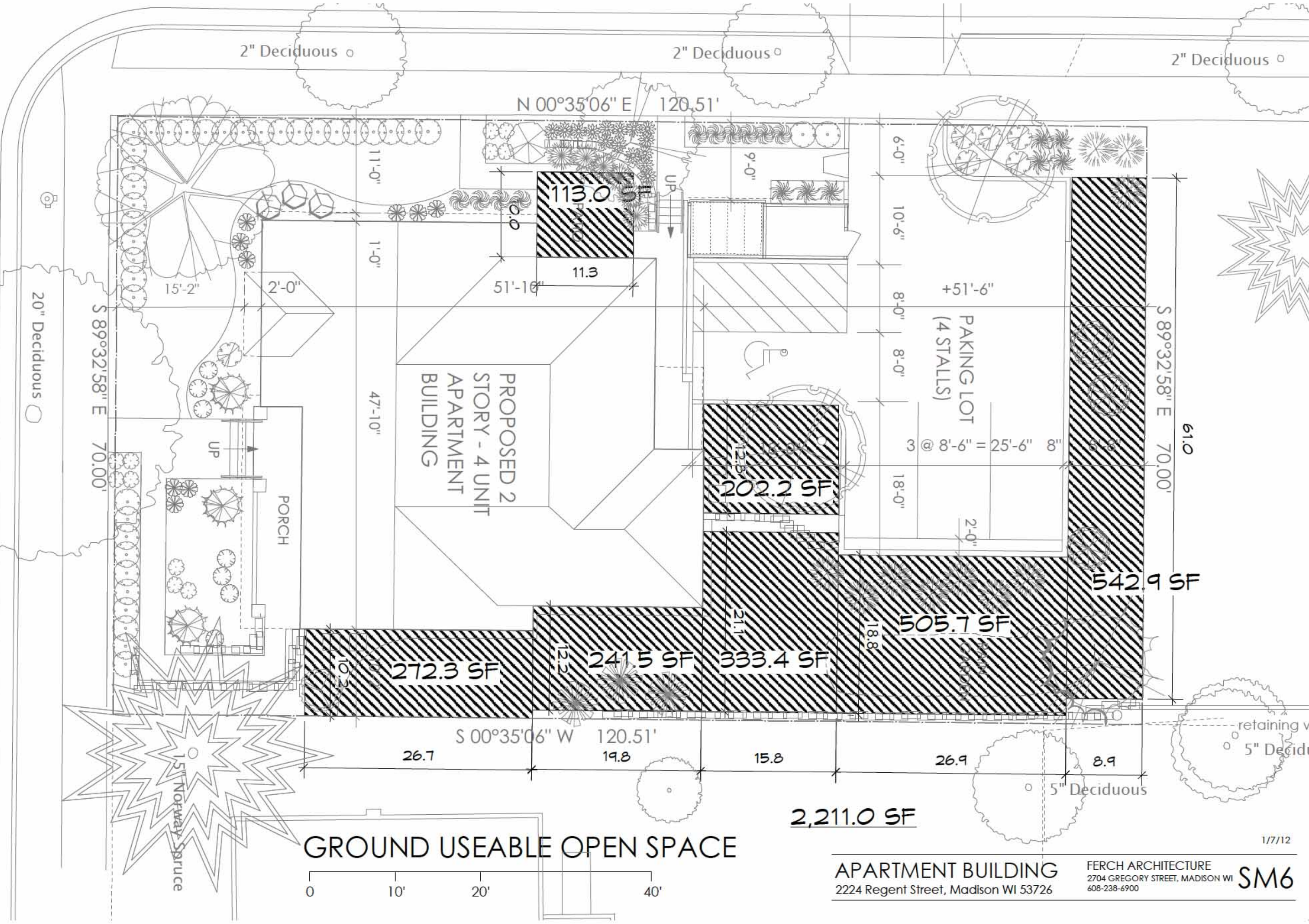
March 21st &
Sept. 21st 5:00 pm



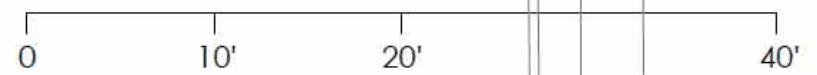
June 21st 5:00 pm



Dec. 21st 3:00 pm



GROUND USEABLE OPEN SPACE



2,211.0 SF

APARTMENT BUILDING
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SM6

1/7/12