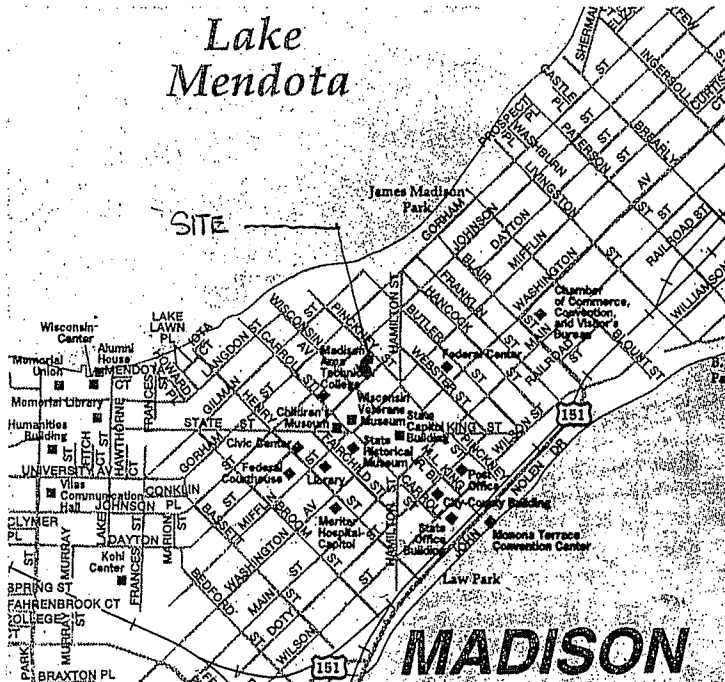
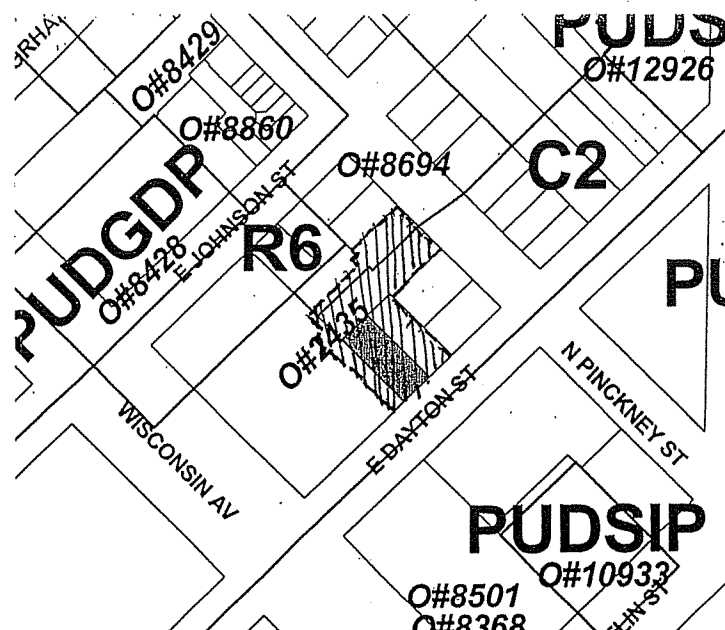


LOCATION MAP



ZONING MAP



PROJECT (PUD- GDP/ SIP)

22 DAYTON

Residential

22 East Dayton Street (Phase II) and 208 N. Pinckney Street (Phase I)
Madison, Wisconsin 53703

OWNER

Scott Lewis

106 East Doty Street
Madison, Wisconsin 53703

(608) 256-4200

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A1.1	FIRST AND TYPICAL FLR PLAN	
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A2.2	BUILDING ELEVATIONS	

SITE DATA PHASE I PHASE II

LOT SIZE	3,178 SQUARE FEET	17,950 SQUARE FEET
BUILDING FOOTPRINT	1,542 SQUARE FEET	9,842 SQUARE FEET (GARAGE)
APARTMENTS	5,910 SQUARE FEET	39,090 SQUARE FEET
ONE BDRM UNITS	3	25
ONE BDRM PLUS DEN	0	9
TWO BDRM	3	14
THREE BDRM	1	0
TOTAL UNITS	7	48
TOTAL BDRMS	12	62
USEABLE OPEN SPACE	0 SQUARE FEET	1800 SQUARE FEET
DECKS	125 SQUARE FEET	1500 SQUARE FEET
PARKING	3	47
BIKE STALLS	6	60

SUTTON ARCHITECTURE

104 King Street
Madison, WI 53703
Tel. 608-255-1245 Fax 608-255-0784

Revised: 06.07.05

DRAWING

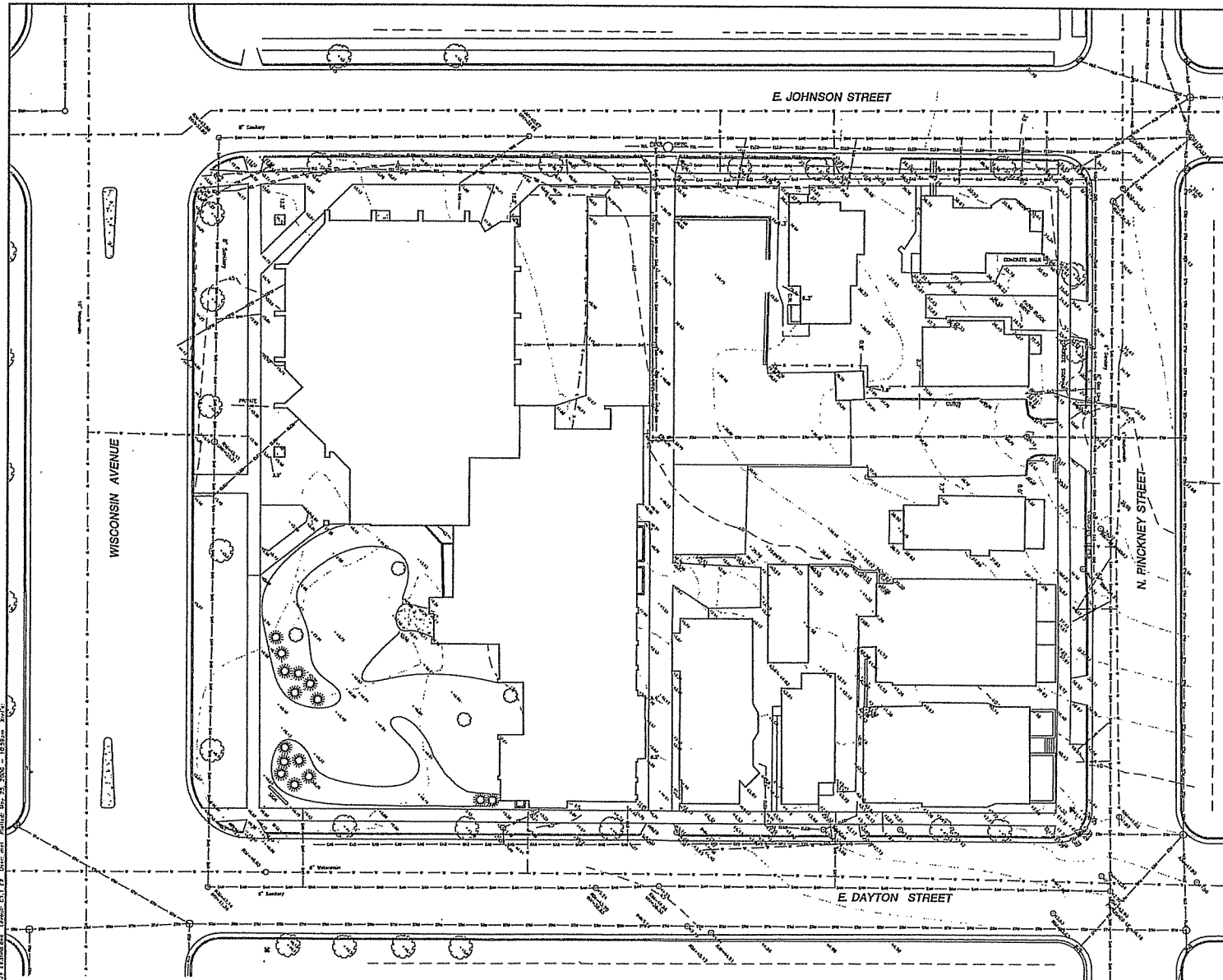
TITLE SHEET

LOCATION/ZONING MAP

DATA

Project # 200526
Date 05.24.05
Drawn by jws

T1.1



GENERAL NOTES
 1. EXISTING CONDITIONS MAP PROVIDED BY STAMM, INC., AND FORWARDED BY BRADSHAW SURVEYING, INC.

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PREPARED FOR:
SCOTT LEWIS

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 MADISON, WI 53703

PROJECT
22 DAYTON

MADISON, WI

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DATE	DESCRIPTION
10-31-04	Drawn: JST
02-21-04	Checked: NFW
03-11-04	Approved: BSW
03-24-04	Field: JST

11A/2004/04/04

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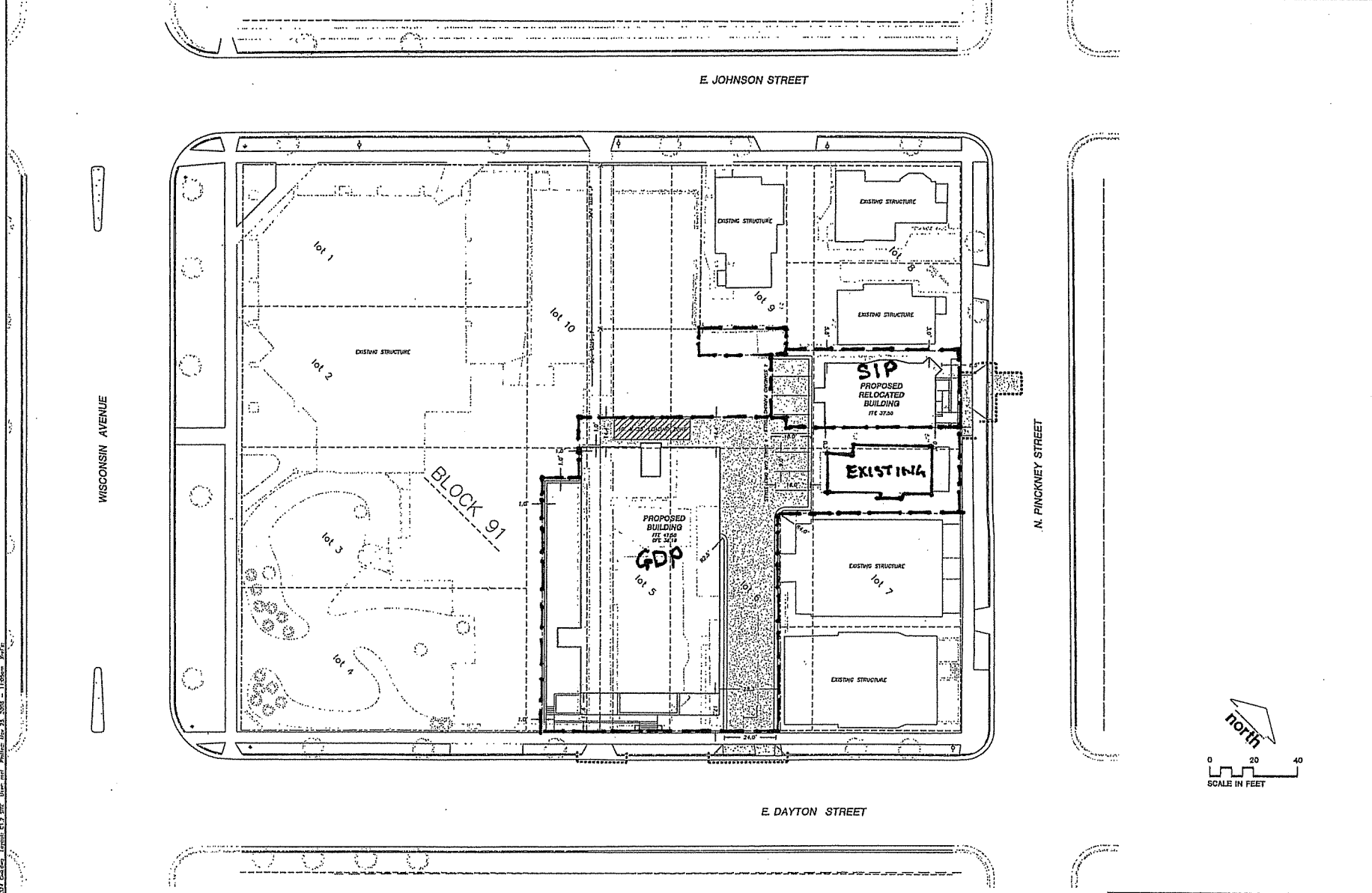
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C1.1

JOB PROJECT NUMBER
 002324

JOB PROJECT FILE
 Tink 1

SCALE
 1" = 20'

REVIEW DRAWING
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 DATE OF ISSUE
 MAY 24, 2006



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PREPARED FOR:
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 MADISON, WI 53703

PROJECT:
22 DAYTON

 MADISON, WI

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DATE	BY
Drawn	MLT
Checked	WFW
Reviewed	MLT
Approved	MLT
Scale	AS SHOWN

SCALE/CONTINUE

PHASE II
 SHEET NO.
SITE PLAN
GDP
 SHEET NUMBER
C1.2A

JOB PROJECT NUMBER
 082224
 JOB PROJECT FILE
 PLAN 1
 SCALE
 1" = 20'

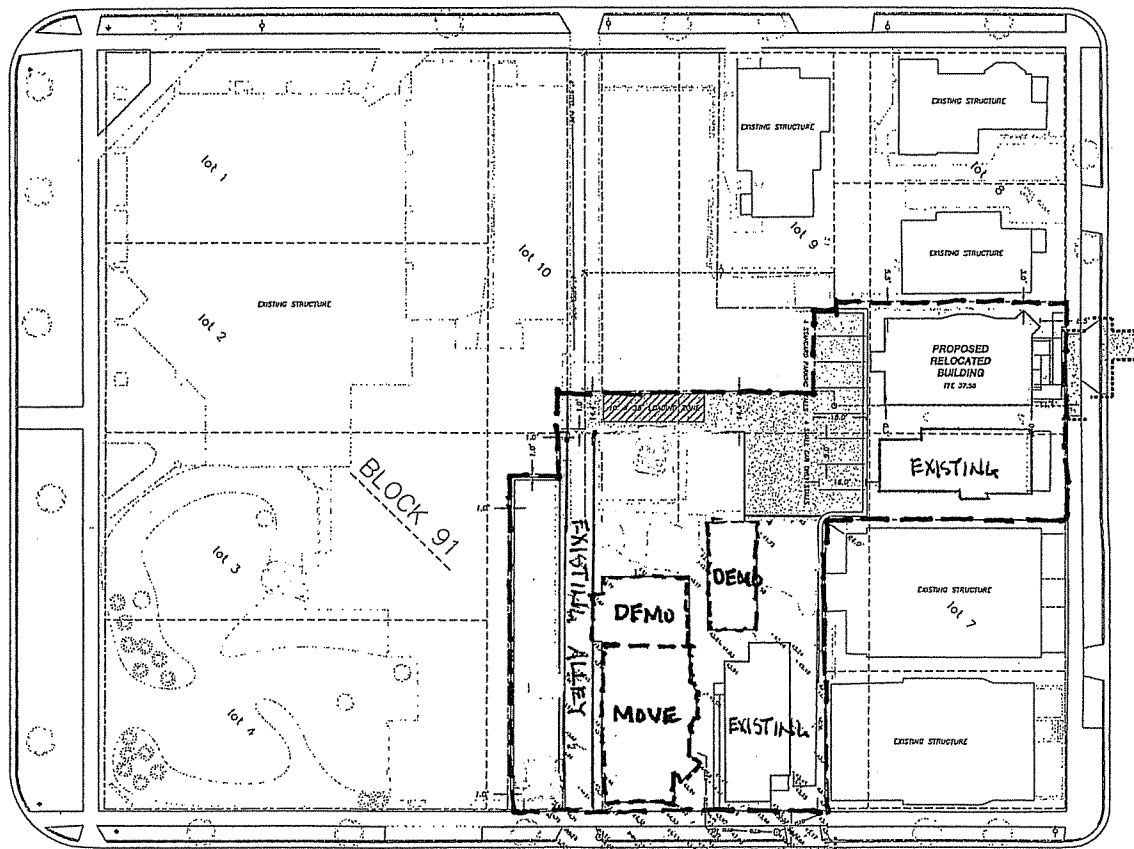
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 DATE OF ISSUE
 MAY 24, 2006

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 Plot Time: 10:28:00
 Plot Scale: 1" = 20'

File: J:\2008\052224\052224.dwg Date: 05/24/2008 Time: 14:05:00 User: jls

WISCONSIN AVENUE

E. JOHNSON STREET



E. DAYTON STREET

N. PINCKNEY STREET

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DESIGNED FOR:

SCOTT LEWIS

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MADISON, WI 53703

PROJECT:

22 DAYTON

MADISON, WI

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DATE	REVISION
05-21-08	05-21-08
05-21-08	05-21-08
05-21-08	05-21-08
05-21-08	05-21-08

SCALE/DATE

PHASE 1

SHEET TITLE
**SITE PLAN
SIP**

SHEET NUMBER

C1.2B

JSD PROJECT NUMBER

052224

JOB PROJECT FILE

TANK 1

SCALE

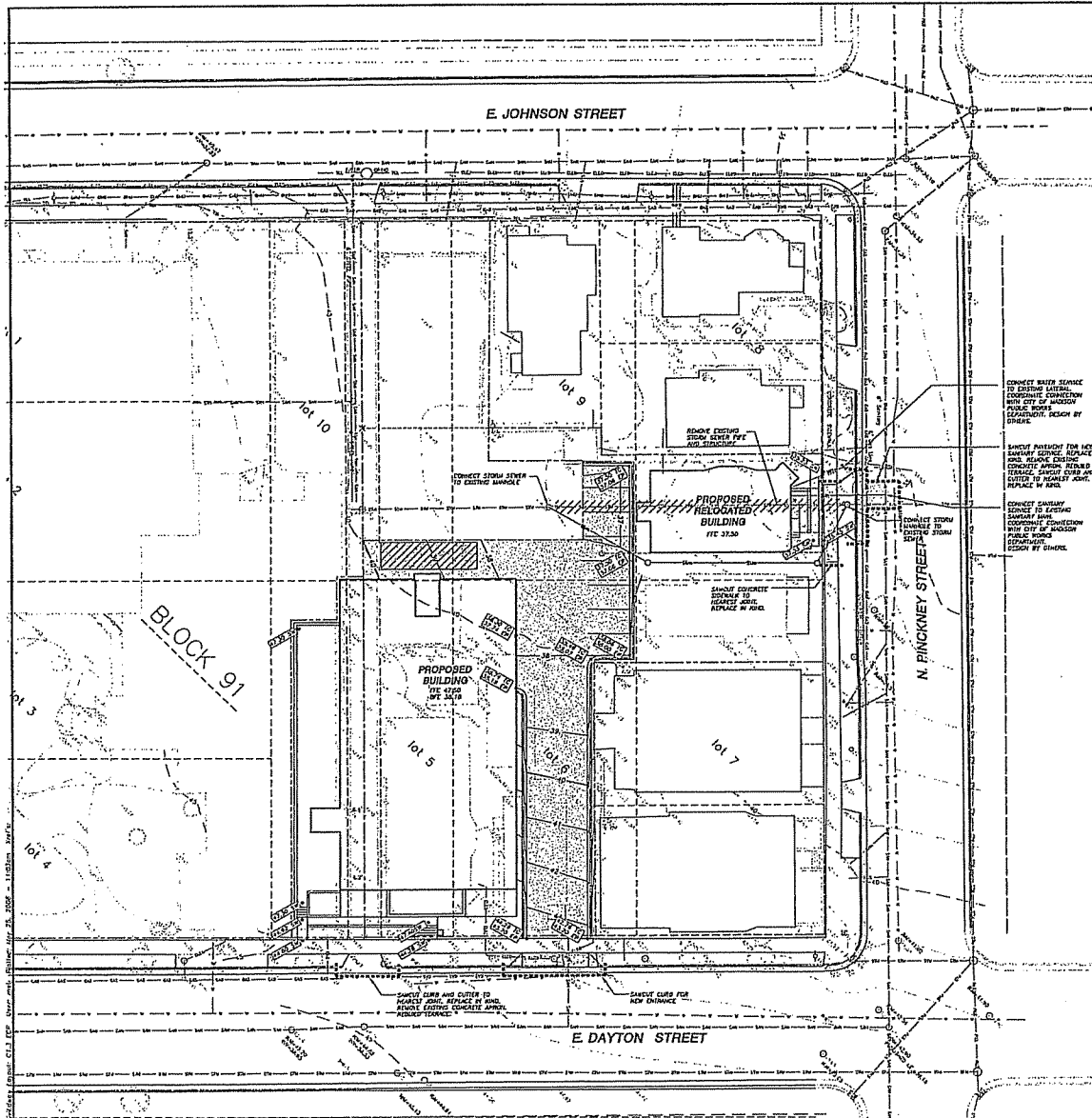
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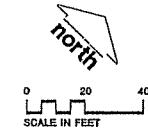
DATE OF ISSUE

MAY 24, 2008



LEGEND

	BUILDING LINE
	PROPERTY LINE
	EASEMENT LINE
	CONSTRUCTION ENTRANCE
	18\"/>
	18\"/>
	CONCRETE SURFACE
	BITUMINOUS SURFACE
	SAW CUT
	PROPOSED SPOT GRADE
	CLEAN OUT
	EDGE OF PAVEMENT
	SIDEWALK
	TOP OF CURB



GENERAL NOTES

1. REFER TO SHEET C-1.1 FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SALT FENCE LOCATION.
3. ALL WORK AT THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
3. INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2\"/>
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 18\"/>
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH BMP'S.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. EXCHANGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING DITCH, OR DRAINAGE DITCH.
10. STONE CHECK DAMS SHALL BE PLACED IN FRONT OF SALT FENCING IN ANY LOW AREA.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATICAL.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
13. ALL SLOPES EXCEEDING 2:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC. SEE SEEDING & GRADING NOTE 3.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDSIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PERIMETER FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. CRANKLEBACK BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY MEDIANES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
7. RESTORATION OF THE EXISTING GRADEWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
8. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, SEEDING, AND MULCHING GIVE.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS EXCLUDING PERMIT COSTS, SLP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSAL WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND HORIZONAL POSITION OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE REDESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAINAGE CAN BE PREPARED IF NEEDED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE PUBLIC CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY TRENCH OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER MATERIALS, WATER MAINS, WATER SERVICES, STORM SEWERS, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

PAVING NOTES

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION," APPLICABLE TO THE CITY OF MADISON.
2. MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED USE TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
2. CONTRACTOR TO USE A SEEDING RATE OF 3.5 LBS. PER 1000 S.F. FOR TURF AREAS.
3. ALL SLOPES EXCEEDING 2:1, EXCEPTING STRAIGHTEN RUNWAYS SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A MOST APPROVED POLYMER SOIL STABILIZATION PRODUCT IN A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
4. ALL PROPOSED GRASSES SHOWN ARE FESCUE GRASSES. CONTRACTOR SHALL VERIFY ALL GRASSES, HAVE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SALT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETE.
6. CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
7. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINE THE SHALES AND DETENTION AREAS JUST PRIOR TO SEEDING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL HEAVY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. PROPOSED DRAINAGE SHALES TO BE SEEDING USING A NET-DETENTION BASIN FOR CHANNEL SIDELOPES UNLESS NOTED OTHERWISE.
10. CONTRACTOR TO LIME DRAINAGE SHALES WITH CLASS 1, TYPE B EROSION MAT.

REVIEW DRAWING
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DATE OF ISSUE MAY 24, 2006

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PREPARED FOR:
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PROJECT
22 DAYTON

MADISON, WI

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REV	DATE
Issue	05-11-06
Checked	05-11-06
Approved	05-11-06
City of Madison	05-24-06

SHEET NUMBER

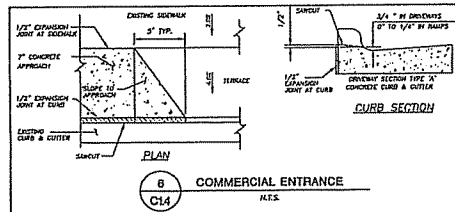
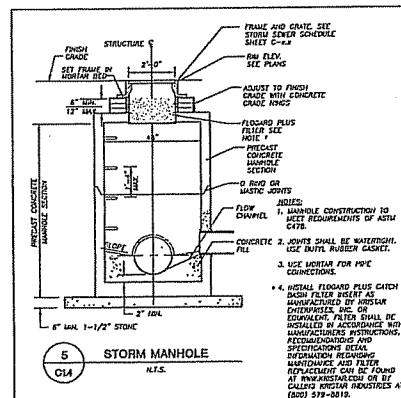
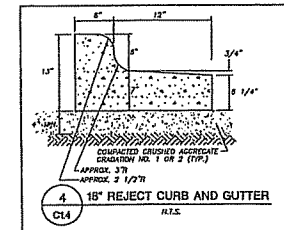
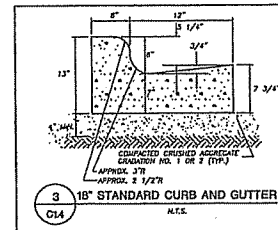
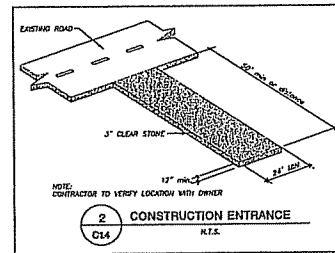
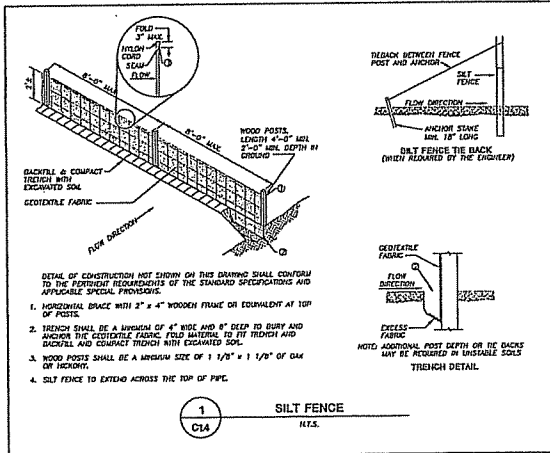
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EROSION CONTROL PLAN

SHEET NUMBER
C1.3

JSD PROJECT NUMBER 002324

JSD PROJECT FILE York 1

SCALE 1" = 20'



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PROJECT

22 DAYTON

MADISON, WI

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DATE	DATE
Drawn: MSL	07-11-05
Checked: WFW	08-11-05
Approved: MSL	08-11-05
City of Verona	08-24-05

SCL/ACQUANT

SHEET TITLE

DETAILS

SHEET NUMBER

C14

JSD PROJECT NUMBER

052324

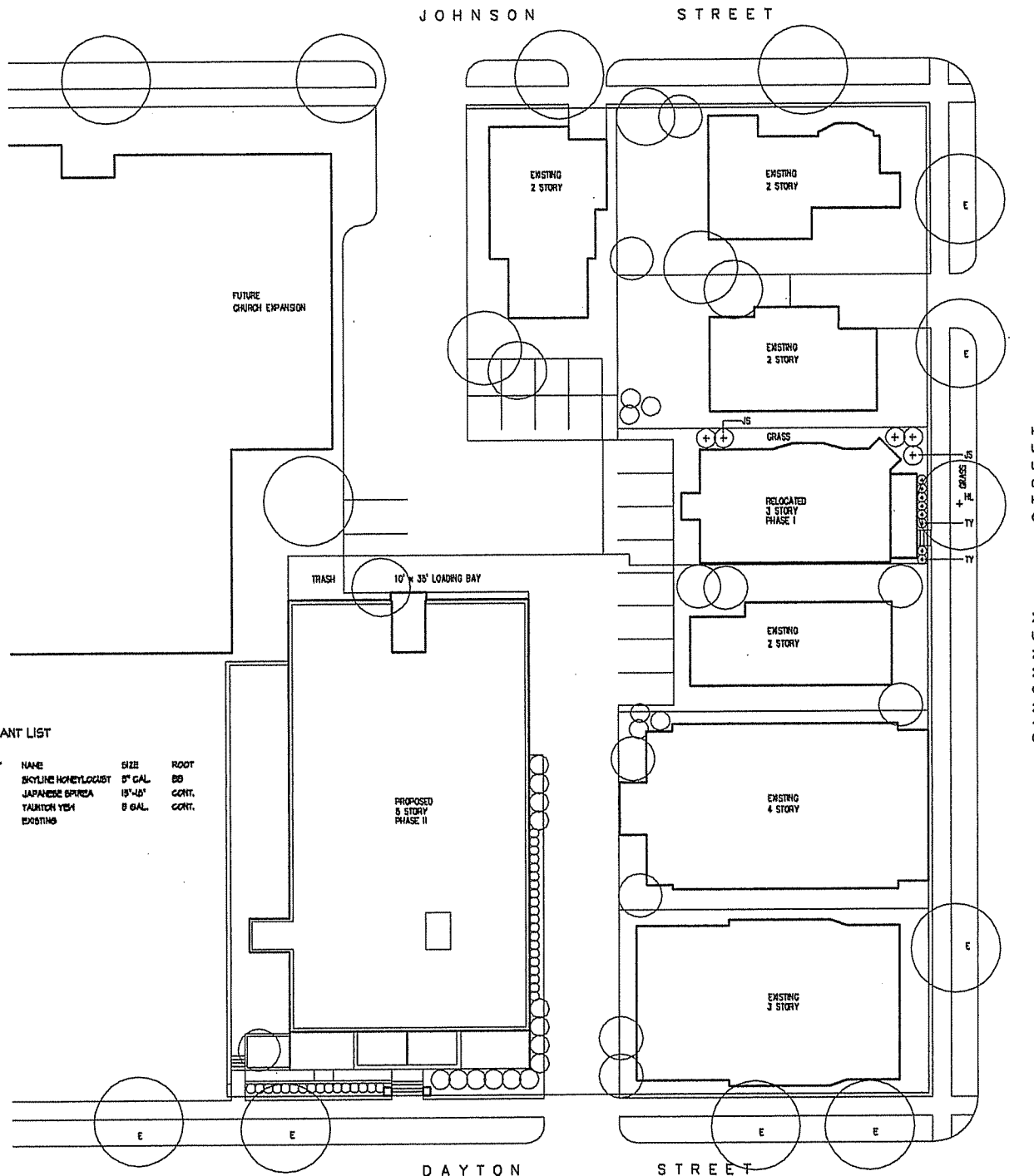
JSD PROJECT FILE

Task 1

SCALE

1" = 20'

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DATE OF ISSUE MAY 24, 2006



PLANT LIST

KEY	NAME	SIZE	ROOT
HL	SKYLINE HONEYLOCUST	8" GAL.	BB
JS	JAPANESE SPYRUA	15" x 20"	CORR.
TY	TAUNTON YEM	8 GAL.	CORR.
E	EXISTING		

DAYTON STREET

JOHNSON STREET

PINCKNEY STREET

LANDSCAPE PLAN
SCALE 1" = 20'-0"



SUTTON
ARCHITECTURE

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Madison, WI 53703
Tel 608-255-1245 Fax 608-255-1704

PROJECT

22 Dayton
Residential
East Dayton Street
Madison Wisconsin 53703

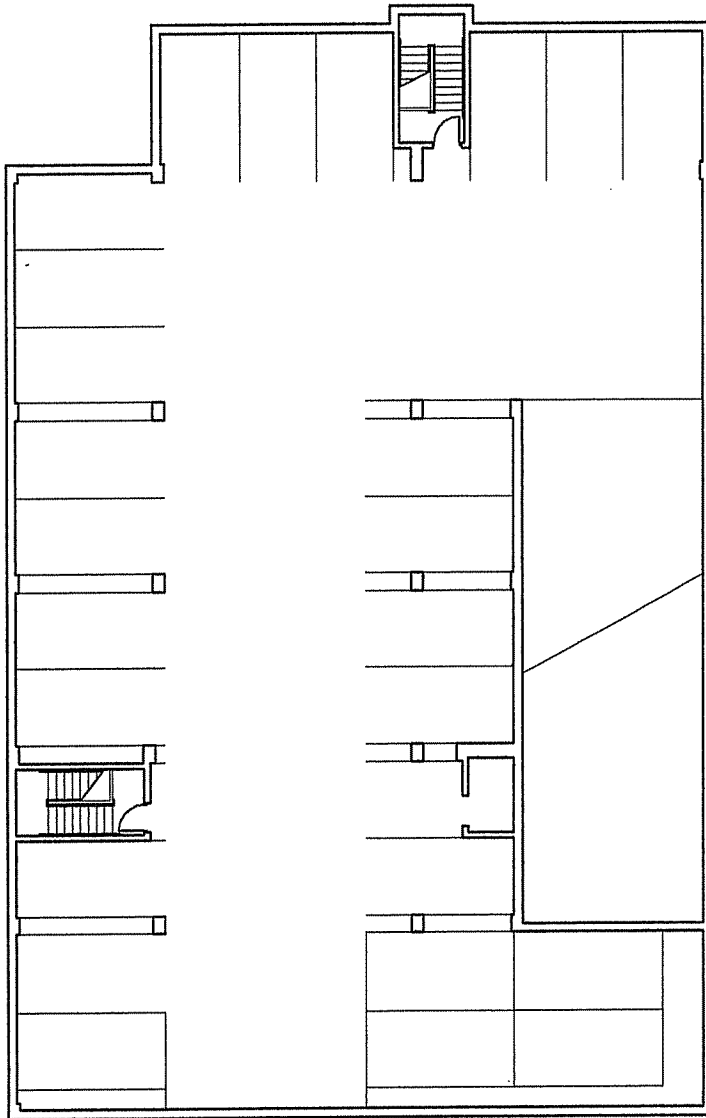
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FLOOR PLANS

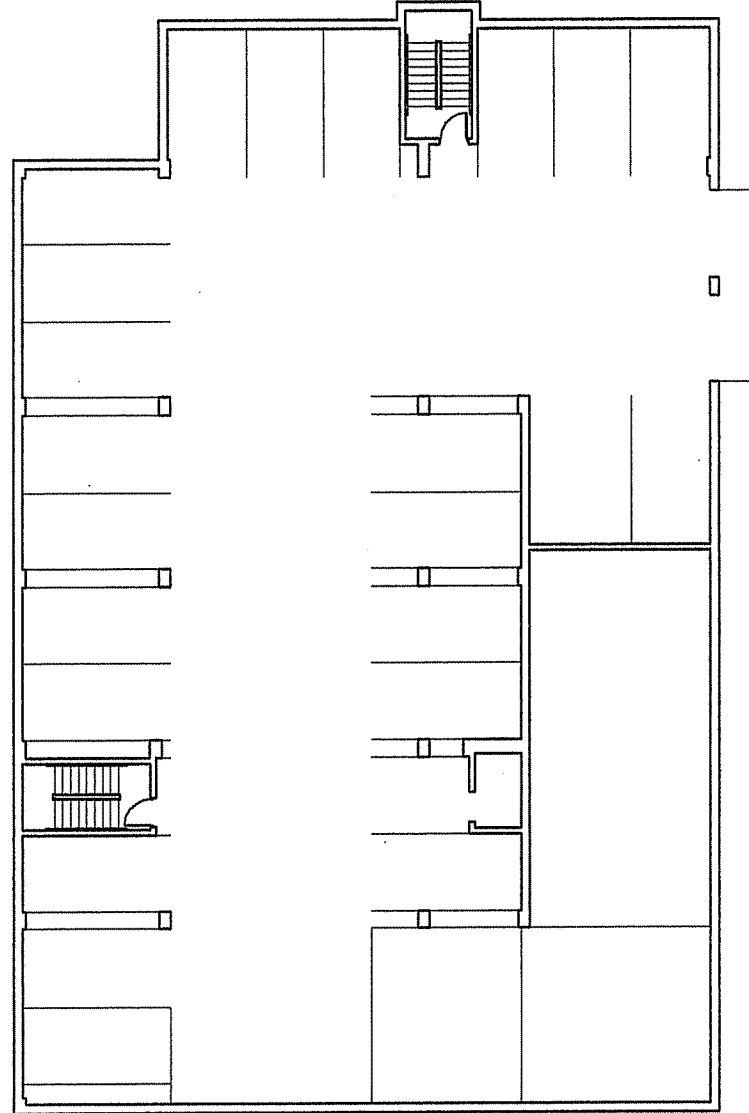
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Project # 200525
Date 05/24/08
Drawn by jwa.

C1.5



2 PARKING LEVEL B FLOOR PLAN
SCALE 1" = 10'-0"



1 PARKING LEVEL A FLOOR PLAN
SCALE 1" = 10'-0"



SUTTON ARCHITECTURE

104 King Street
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PROJECT

22 Dayton (Phase II)
Residential
East Dayton Street
Madison Wisconsin 53703

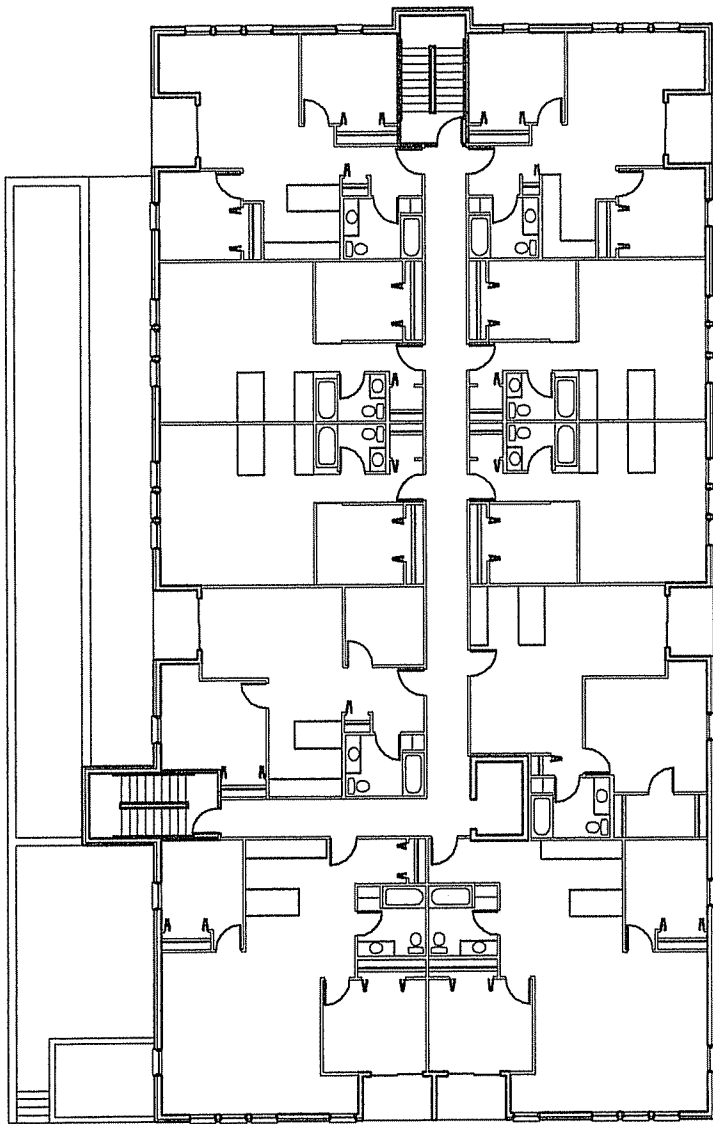
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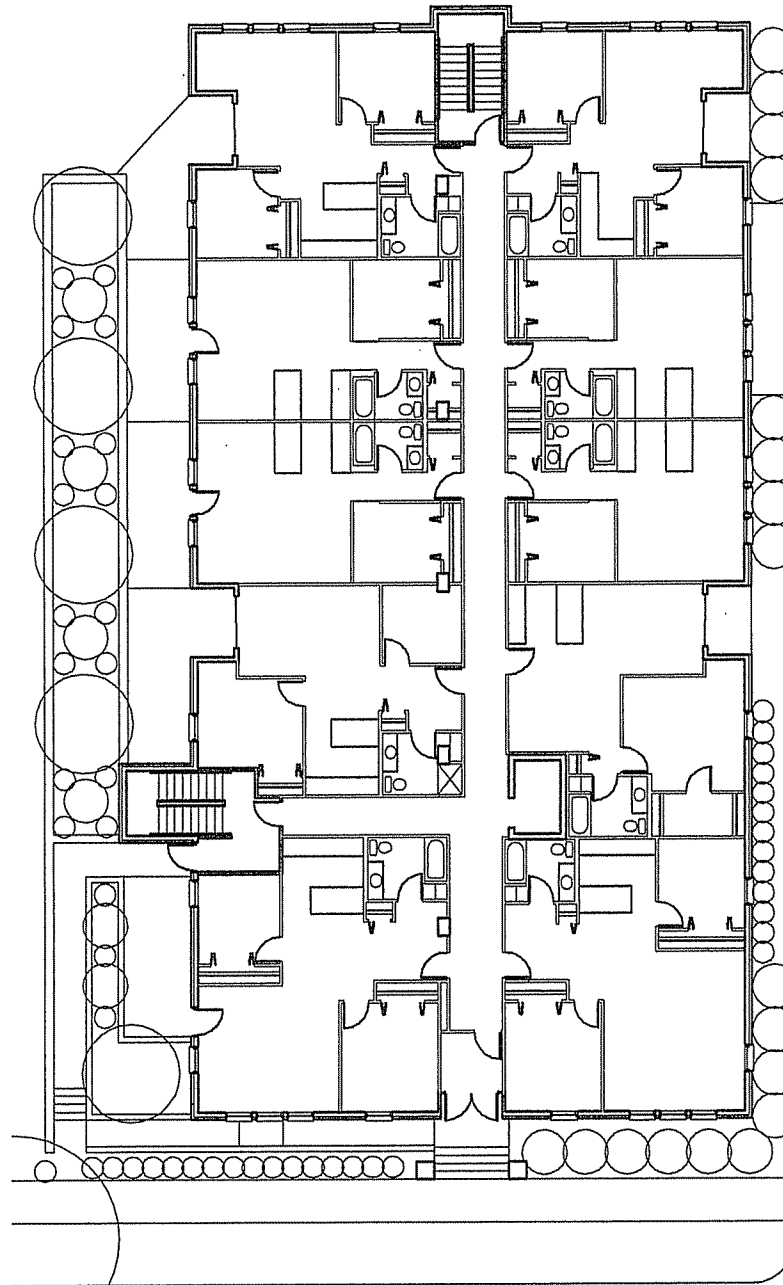
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Project # 200525
Date 05.24.08
Drawn by j.w.a.

A11



1 TYPICAL FLOOR PLAN
SCALE 1" = 10'-0"



1 FIRST FLOOR PLAN
SCALE 1" = 10'-0"



SUTTON ARCHITECTURE

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Tel 608-255-1248 Fax 608-255-0704

PROJECT

22 Dayton (Phase II)
Residential
22 Dayton Street
Madison Wisconsin 53703

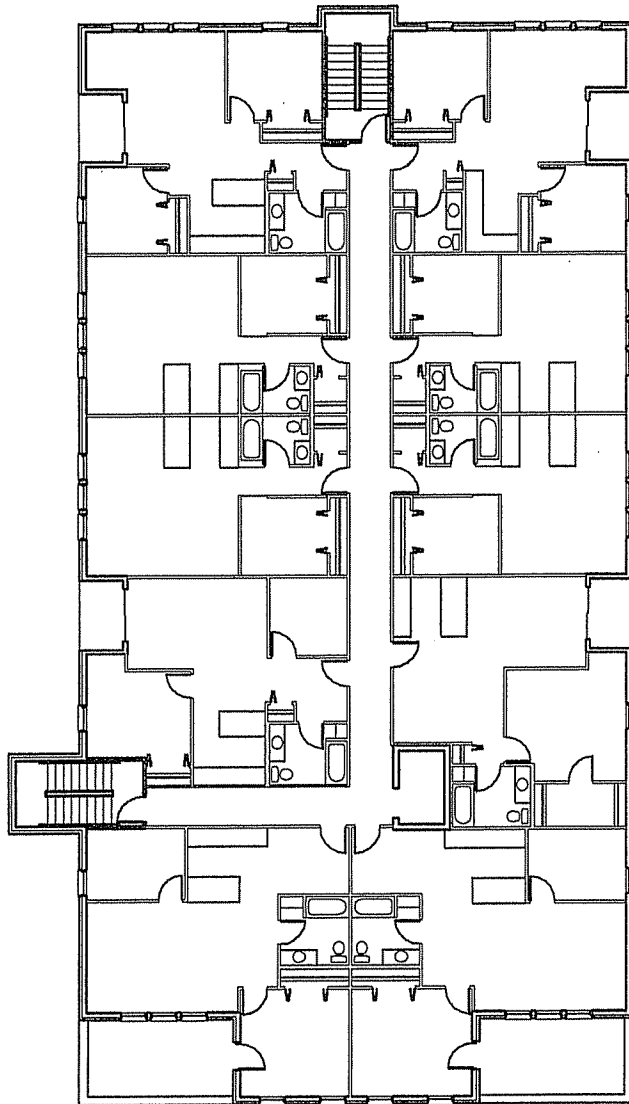
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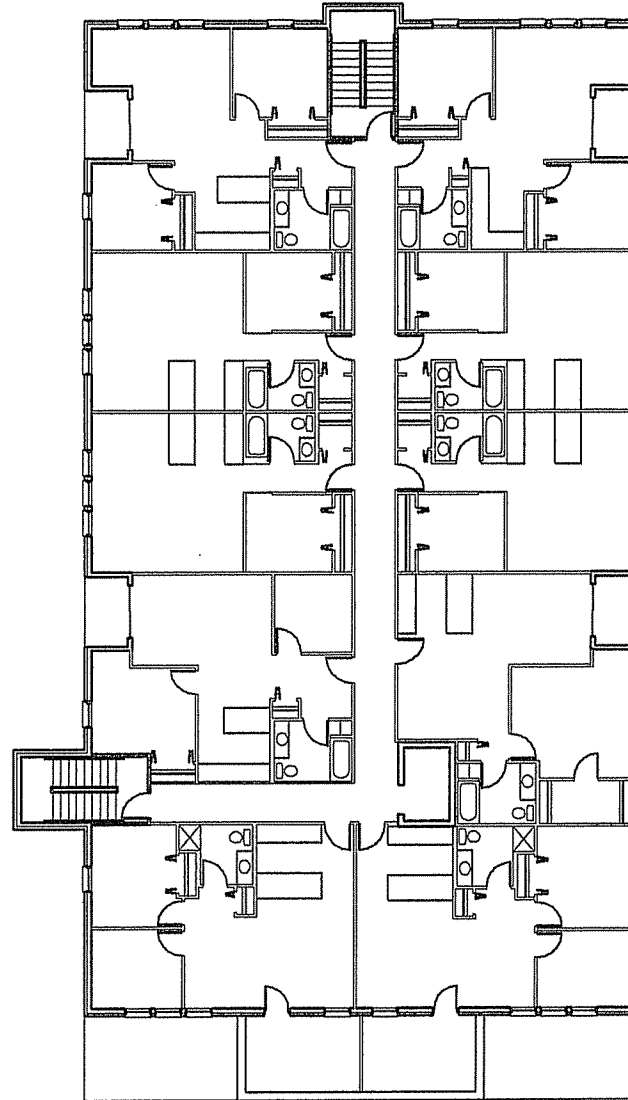
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Project # 200525
Date 052406
Drawn by j.w.a.

A1.2



1 FOURTH FLOOR PLAN
A/A SCALE 1" = 10'-0"



1 FIFTH FLOOR PLAN
A/A SCALE 1" = 10'-0"



SUTTON ARCHITECTURE

104 King Street
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PROJECT

22 Dayton (Phase II)
Residential
East Dayton Street
Madison Wisconsin 53703

DRAWING

FLOOR PLANS

DATA

Project # 200525
Date 05.24.08
Drawn by jwa.

A1.3

**SUTTON
ARCHITECTURE**

104 King Street
Madison, WI 53703
Tel. 608-255-1245 Fax 608-255-1704



1 SOUTH ELEVATION
A21 SCALE 1" = 10'-0"



1 NORTH ELEVATION
A21 SCALE 1" = 10'-0"

PROJECT

22 Dayton
Residential
Dayton Street
Madison, Wisconsin 53703

DRAWING

BUILDING ELEVATIONS

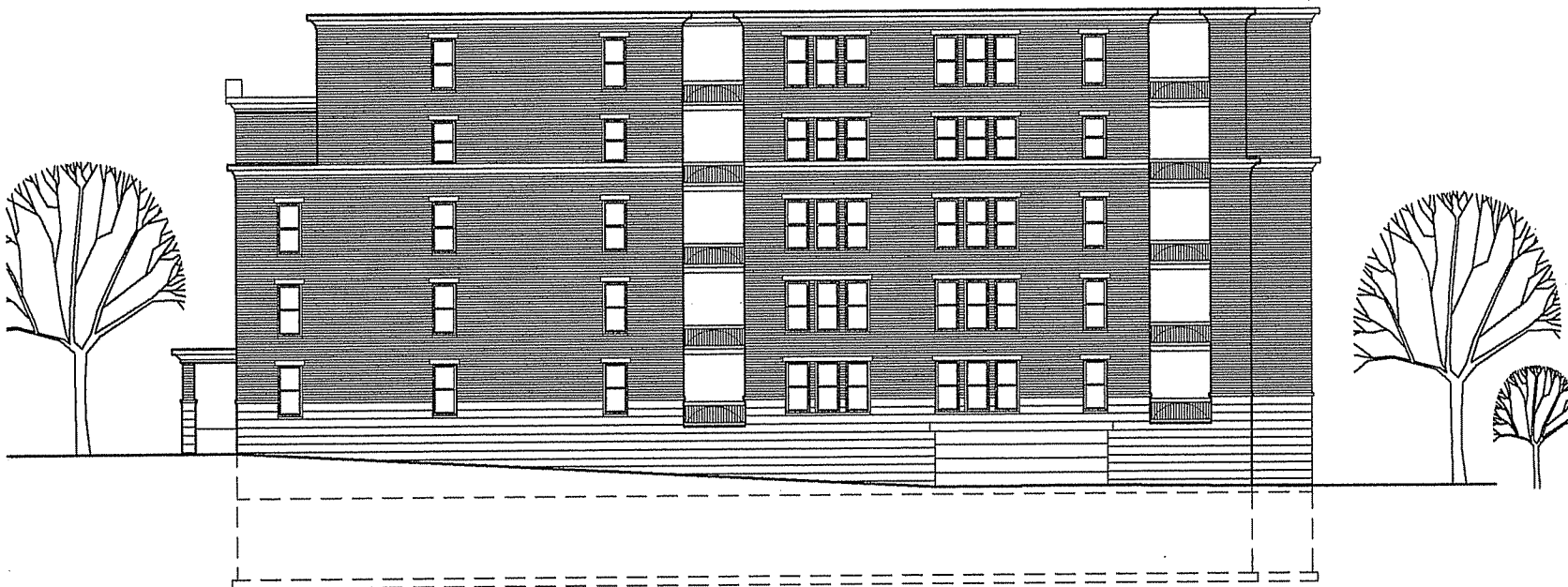
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Project # 200525
Date 05.24.08
Drawn by jwa.

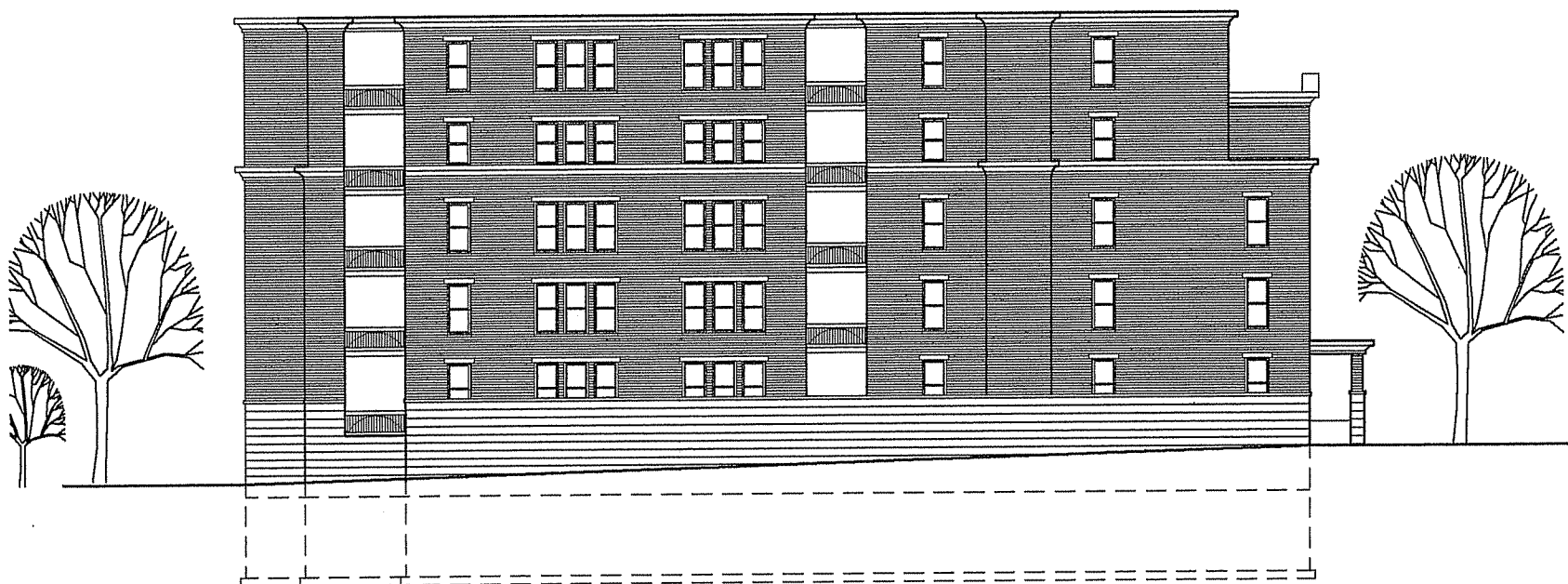
A2.1

**SUTTON
ARCHITECTURE**

104 King Street
Madison, WI 53703
Tel. 608-255-1245 Fax 608-255-1724



EAST ELEVATION
SCALE 1" = 10'-0"



WEST ELEVATION
SCALE 1" = 10'-0"

PROJECT

22 Dayton
Residential
Dayton Street
Madison, Wisconsin 53703

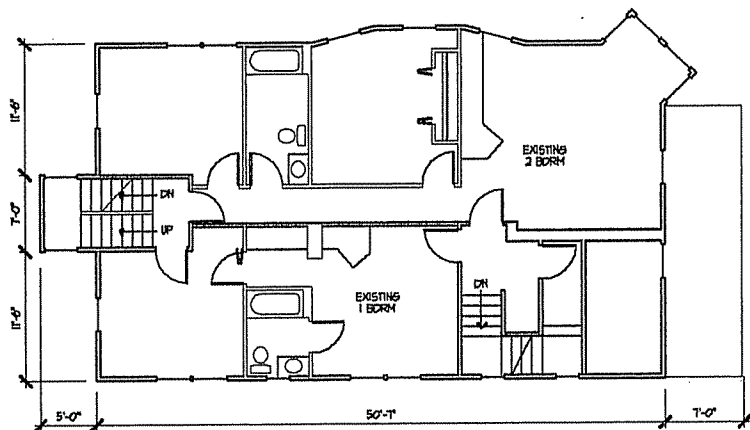
DRAWING

BUILDING ELEVATIONS

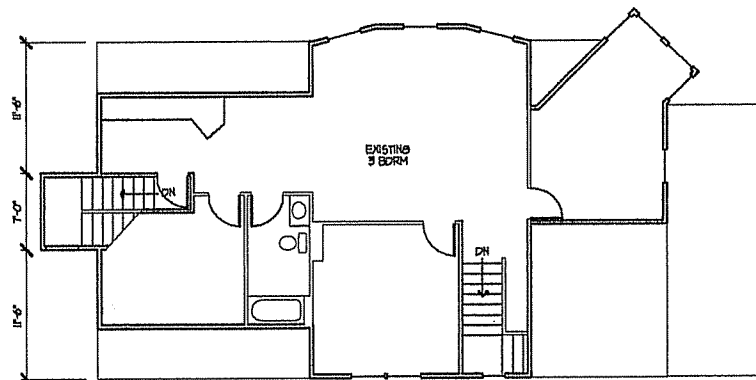
DATA

Project # 200525
Date 0524.08
Drawn by jwa

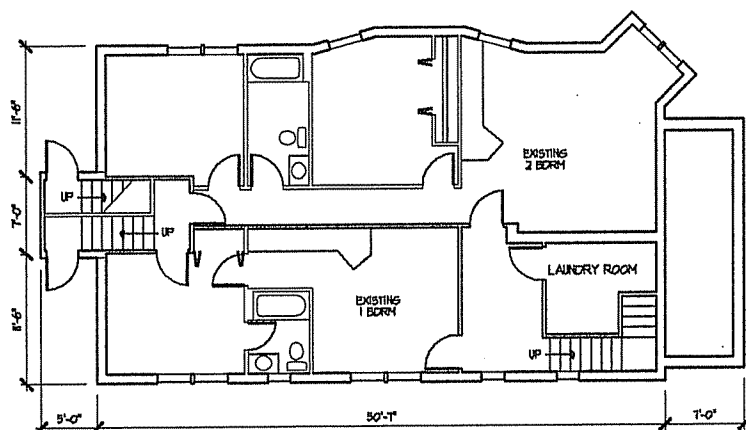
A2.2



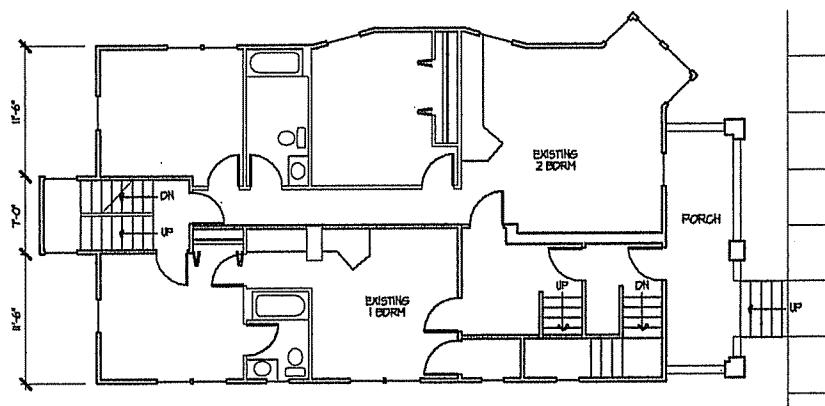
1 SECOND FLOOR PLAN
R1.1 SCALE 1/8" = 1'-0"



2 THIRD FLOOR PLAN
R1.1 SCALE 1/8" = 1'-0"



3 BASEMENT PLAN
R1.1 SCALE 1/8" = 1'-0"



4 FIRST FLOOR PLAN
R1.1 SCALE 1/8" = 1'-0"

PROJECT

22 DAYTON (Phase I)
Relocation
208 E. Pinckney Street
Madison, Wisconsin 53703

DRAWING
FLOOR PLANS

DATA

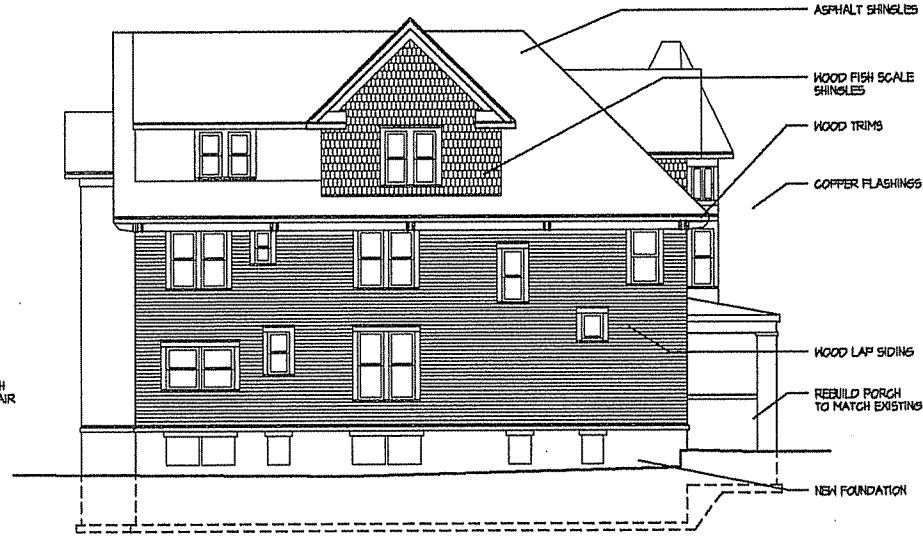
Project # 200528
Date 05.24.08
Drawn by jws

R1.1

ALL GRADES SHOWN PER CITY DATUM



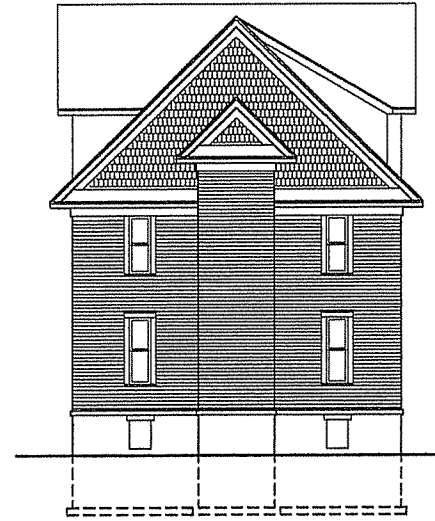
1 SOUTH ELEVATION
R21 SCALE 1/8" = 1'-0"



2 WEST ELEVATION
R21 SCALE 1/8" = 1'-0"



3 EAST ELEVATION
R21 SCALE 1/8" = 1'-0"



4 NORTH ELEVATION
R21 SCALE 1/8" = 1'-0"

SUTTON ARCHITECTURE

104 King Street
Madison, WI 53703
Tel. 608-285-1243 Fax 608-285-1704

PROJECT

22 DAYTON (Phase I)
Relocation
208 E. Pinckney Street
Madison, Wisconsin 53703

DRAWING

BUILDING ELEVATIONS

DATA

Project # 200528
Date 05.24.00
Drawn by jwo

R21