



Madison Design Group
architecture · engineering · interior design

6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimesnionivmadison.com



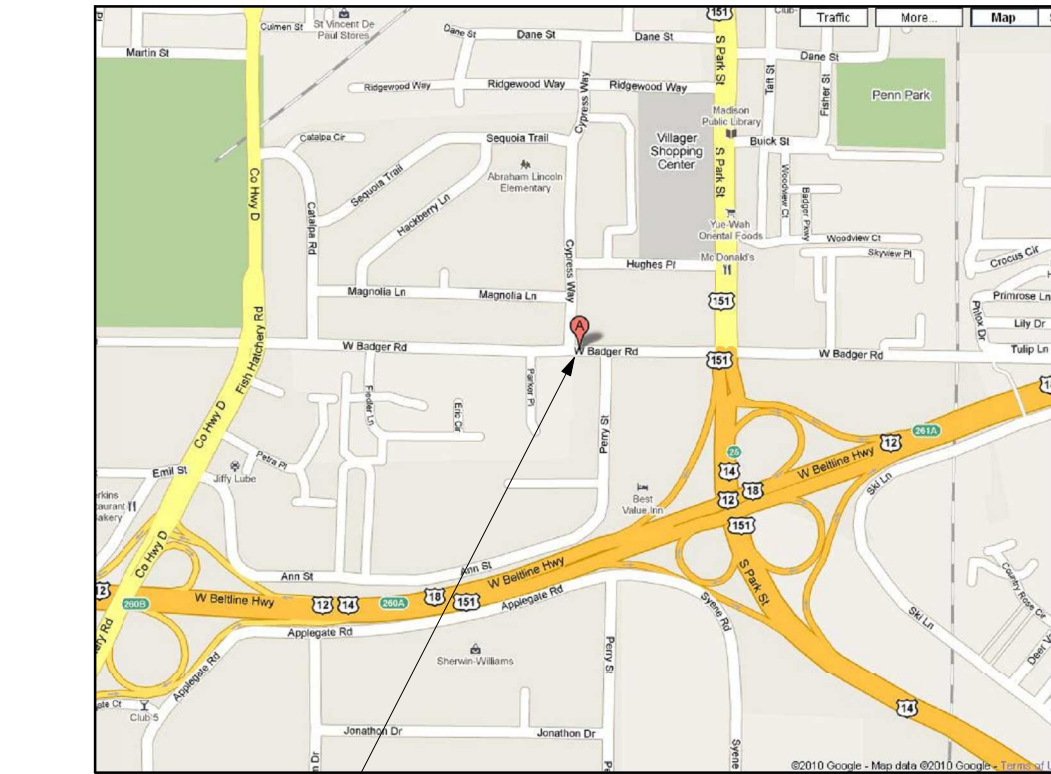
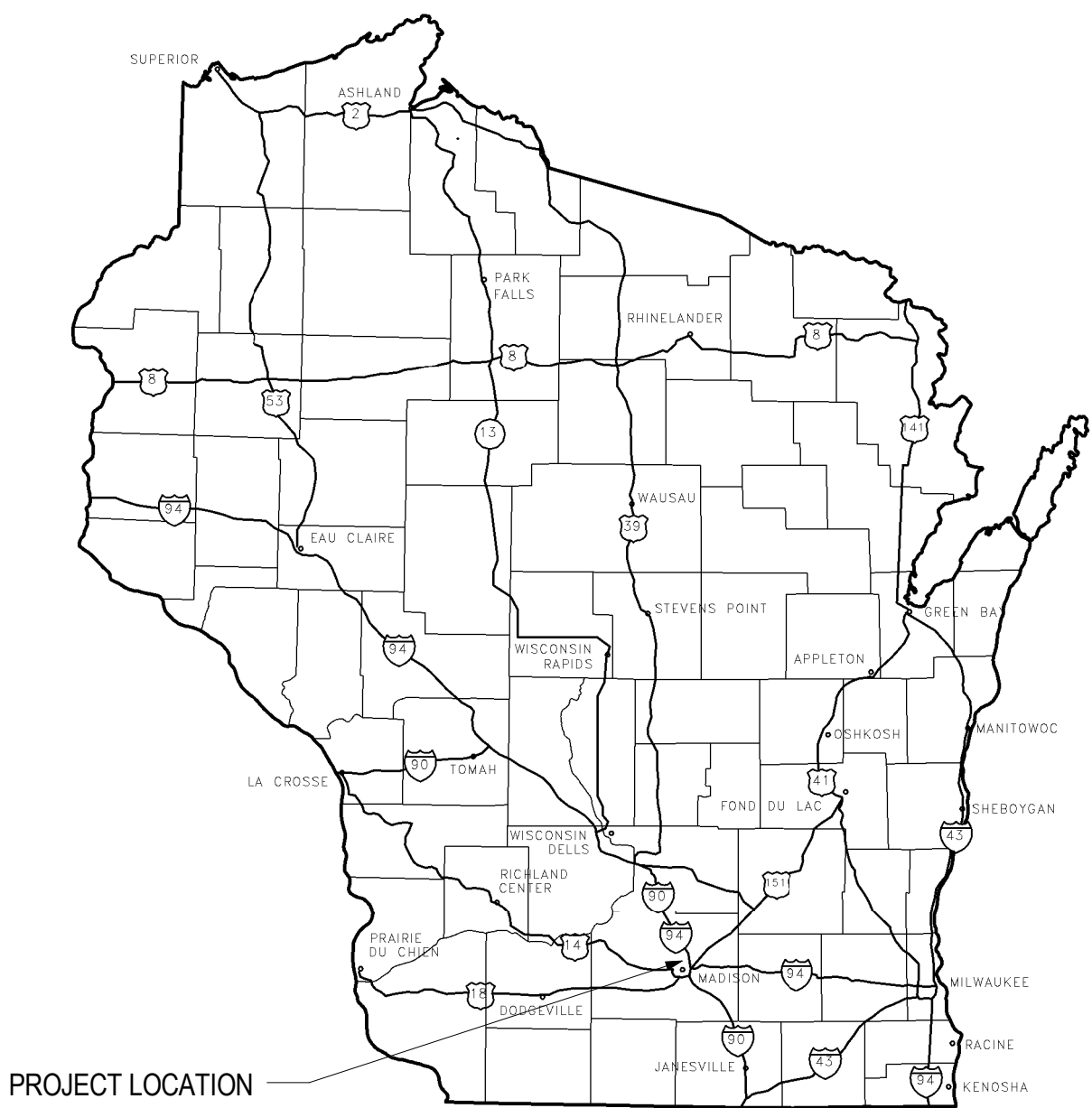
BURR OAKS SENIOR HOUSING

Community Development Authority
2411 Cypress Way Madison WI

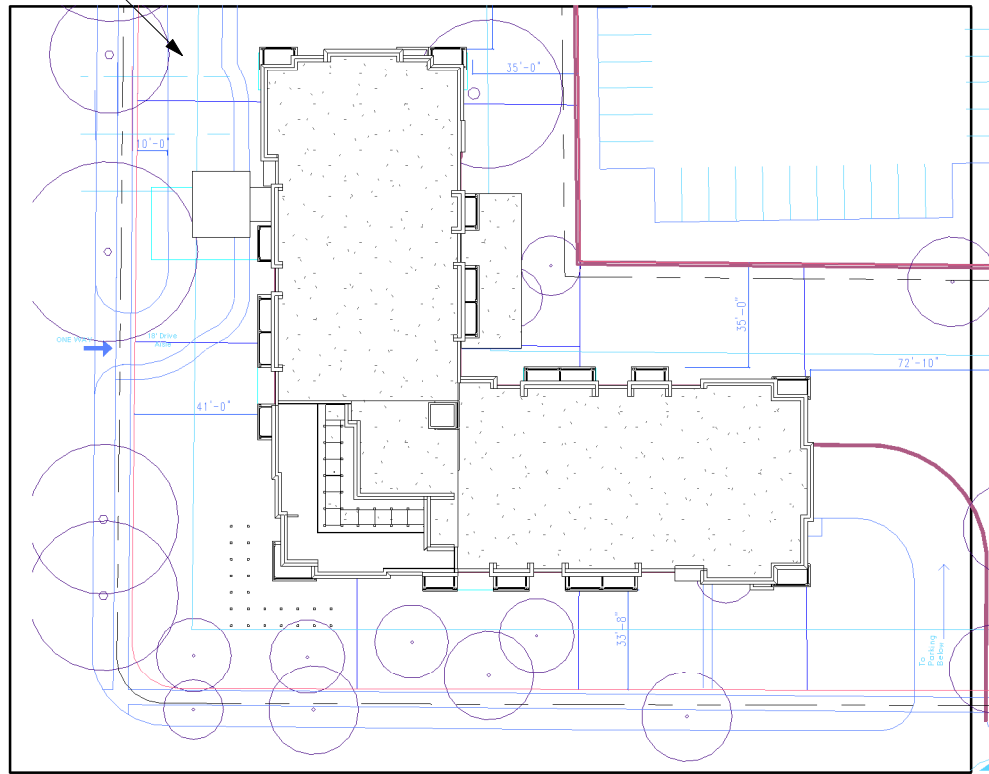
Architecture & Engineering: Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120
Madison, WI 53719

Co-Developer: Horizon Design. Build. Manager
5201 East Terrace Drive, Suite 300
Madison, WI 53718

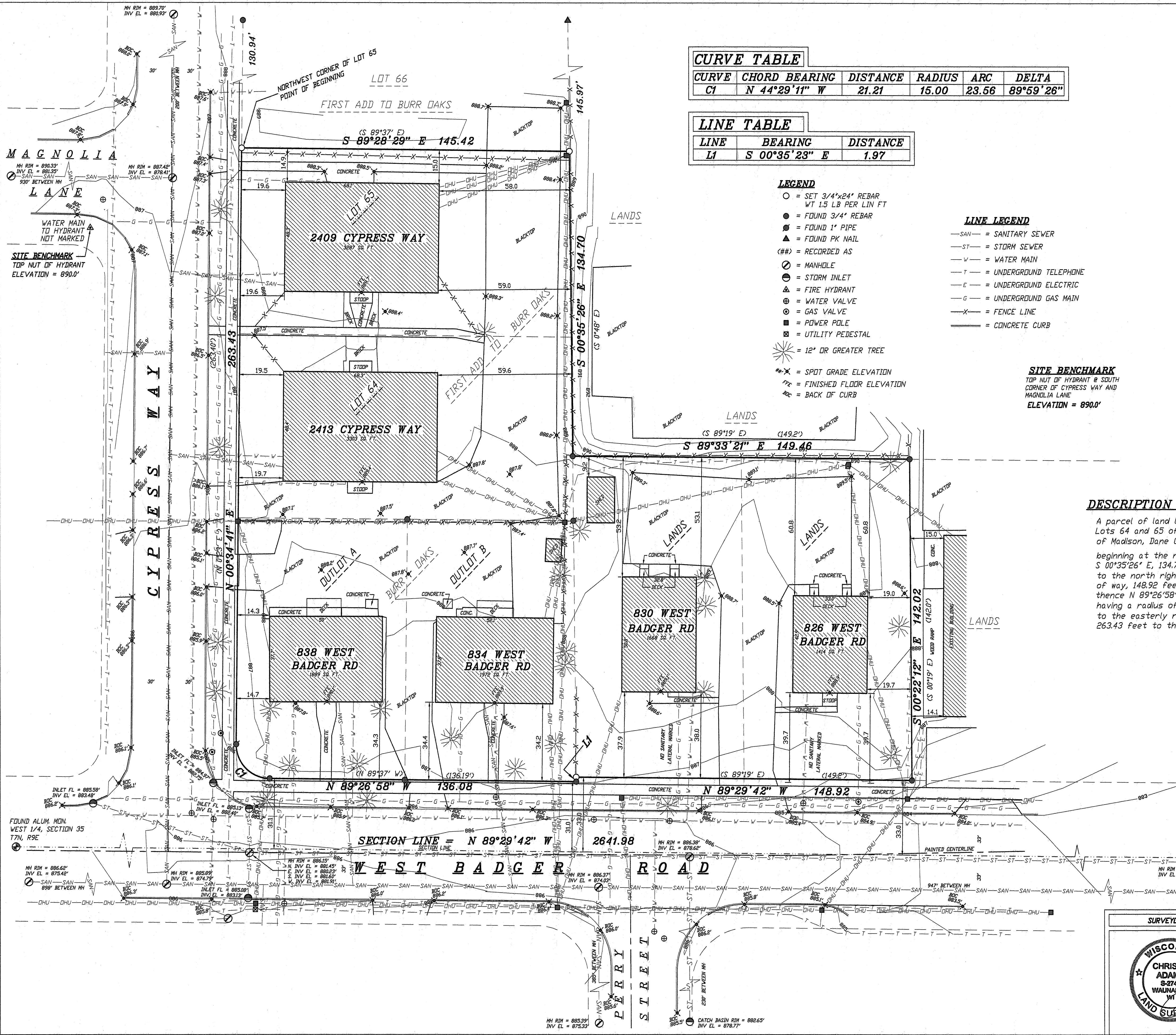
Unit Count		
Level	Name	Count
FIRST FLOOR	2 BR	4
FIRST FLOOR	Care Taker 2 BR	1
FIRST FLOOR	Type A 1 BR	1
FIRST FLOOR	Type A 2 BR	1
FIRST FLOOR	WHEDA 1 BR	8
SECOND FLOOR	1 BR	13
SECOND FLOOR	2 BR	6
THIRD FLOOR	1 BR	11
THIRD FLOOR	2 BR	5
Grand total: 50		



SITE LOCATION



LIST OF DRAWINGS	
Sheet Number	Sheet Name
GENERAL	
G0.1	COVER SHEET
CIVIL	
1 of 1	TOPOGRAPHIC MAP (SIGNED)
1 of 2	TOPOGRAPHIC MAP (W/ PIPE SIZES)
C1.0	SITE PLAN
L1.0	LANDSCAPE PLAN
ARCHITECTURAL	
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS - OPTION A
A2.1	EXTERIOR ELEVATIONS - OPTION A
A2.2	EXTERIOR ELEVATIONS - OPTION B
A2.3	EXTERIOR ELEVATIONS - OPTION B
A5.0	LARGE SCALE FLOOR PLANS



CURVE TABLE

CURVE	CHORD BEARING	DISTANCE	RADIUS	ARC	DELTA
C1	N 44°29'11" W	21.21	15.00	23.56	89°59'26"

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 00°35'23" E	1.97

LEGEND

- = SET 3/4"x24" REBAR WT 15 LB PER LIN FT
- = FOUND 3/4" REBAR
- ▲ = FOUND 1" PIPE
- ▲ = FOUND PK NAIL
- (#) = RECORDED AS
- = MANHOLE
- = STORM INLET
- ▲ = FIRE HYDRANT
- = WATER VALVE
- = GAS VALVE
- = POWER POLE
- = UTILITY PEDESTAL
- ✱ = 12" OR GREATER TREE
- ✱ = SPOT GRADE ELEVATION
- FE = FINISHED FLOOR ELEVATION
- BE = BACK OF CURB

LINE LEGEND

- SAN— = SANITARY SEWER
- ST— = STORM SEWER
- W— = WATER MAIN
- T— = UNDERGROUND TELEPHONE
- E— = UNDERGROUND ELECTRIC
- G— = UNDERGROUND GAS MAIN
- X— = FENCE LINE
- = CONCRETE CURB

SITE BENCHMARK
TOP NUT OF HYDRANT @ SOUTH
CORNER OF CYPRESS WAY AND
MAGNOLIA LANE
ELEVATION = 890.0'

GENERAL NOTES:

- NO TITLE REPORT WAS PROVIDED TO THE SURVEYOR FOR THIS SURVEY.
- THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.
- WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.
- ELEVATIONS ARE REFERENCED TO NGVD 1929
BENCHMARK = CENTER OF SECTION 35-7-9
RECORDED BENCHMARK ELEVATION = 878.98'
- ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR CITY ENGINEERS. THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS, EXCEPT WHERE SNOW AND OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. CONTRACTOR TO FIELD VERIFY.

DIGGERS HOTLINE TICKET # 20102405701, 20102405718, 20102405734,
20102405747, 20102405763, 20102405773
AND 20102405790
BEFORE CONSTRUCTION CALL DIGGERS
HOTLINE FOR EXACT LOCATION OF
UNDERGROUND UTILITIES.
1-800-242-8511

DESCRIPTION OF TOTAL BOUNDARY:

A parcel of land located in part of the SE 1/4 of the T7N, R9E including Lots 64 and 65 of First Addition to Burr Oaks, and Outlot A and B of Burr Oaks, in the City of Madison, Dane County, Wisconsin being more particularly described as follows:

beginning at the northwest corner of said Lot 65; thence S 89°28'29" E, 145.42 feet; thence S 00°35'26" E, 134.70 feet; thence S 89°33'21" E, 149.46 feet; thence S 00°22'12" E, 142.02 feet to the north right of way line of West Badger Road; thence N 89°29'42" W along said right of way, 148.92 feet; thence S 00°35'23" E, 1.97 feet to the southeast corner of said Outlot B; thence N 89°26'58" W, 136.08 feet; thence along the arc of a curve concave northeasterly having a radius of 15.00 feet and a long chord bearing N 44°29'11" W, a distance of 21.21 feet to the easterly right of way of Cypress Way; thence N 00°34'41" E along said right of way, 263.43 feet to the point of beginning. This parcel contains 1.43 acres or 62,408 sq. ft.

SURVEYOR'S CERTIFICATE:

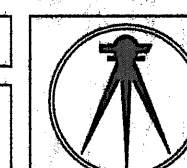
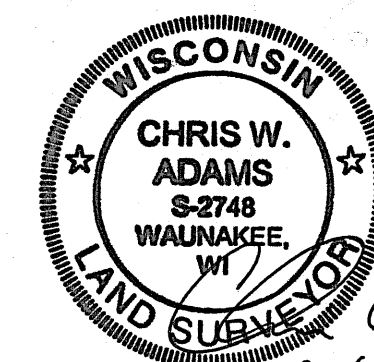
This Topographic map and survey were performed under my supervision, and was surveyed, divided and mapped according to the official records of the property described and pictured hereon. This plat is a true scaled and dimensioned representation of the boundaries, buildings, improvements, topography and all visible encroachments if any.

Williamson Surveying and Associates LLC
by Noa T. Prievé and Chris W. Adams

Date June 16, 2010

Chris W. Adams - 2748
MEMBER

SURVEYORS SEAL



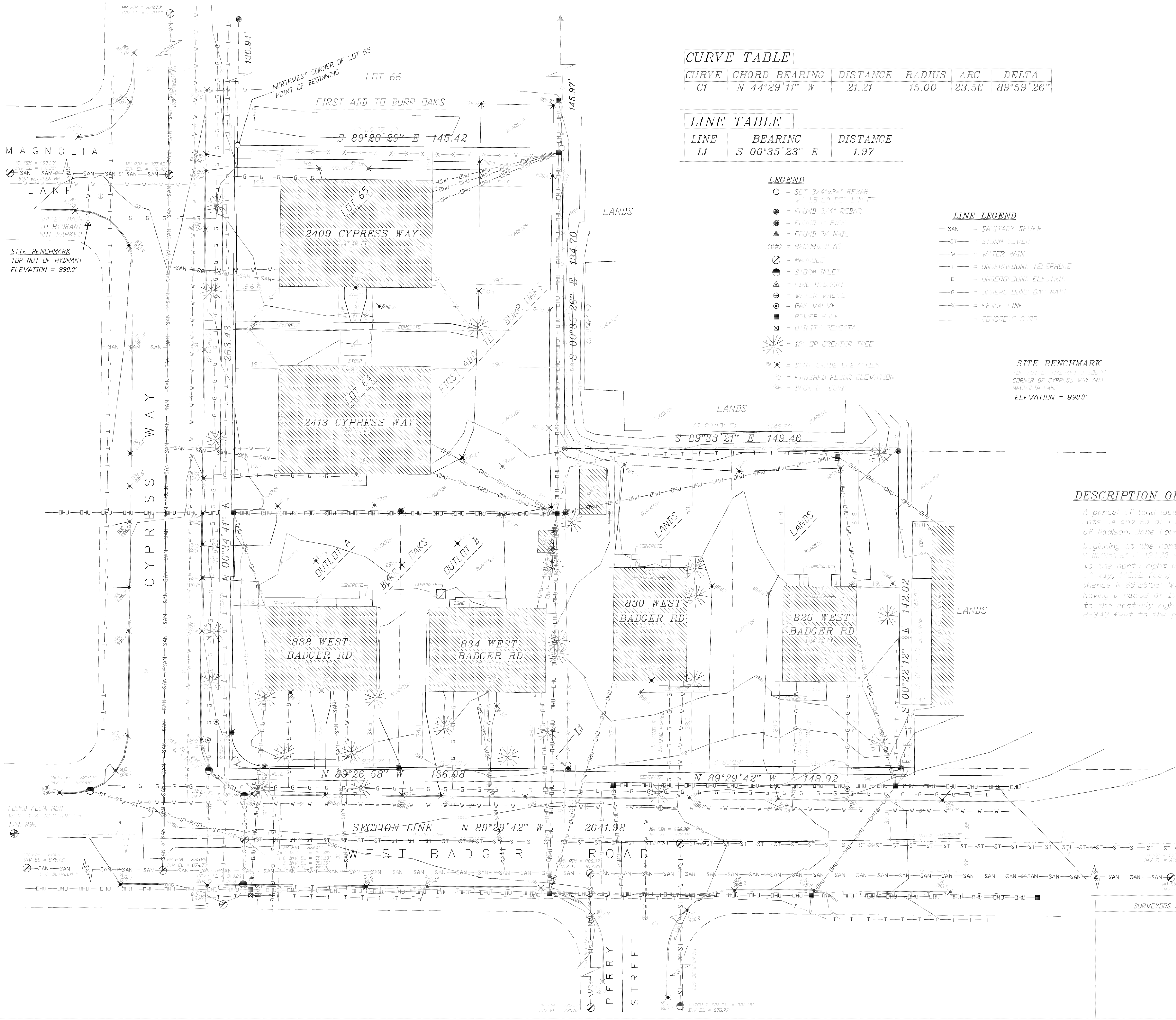
WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597
NOA T. PRIEVE & CHRIS W. ADAMS
REGISTERED LAND SURVEYORS
PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

TOPOGRAPHIC MAP

A parcel of land located in part of the SE 1/4 of the T7N, R9E, in the City of Madison, Dane County, Wisconsin.

DATE	JUNE 16, 2010	REVISION DATE:	CHECK BY	N.T.P.
SCALE:	1" = 20'	DRAWING NO.	104-159	
DRAWN BY	CHRIS ADAMS	SHEET	1 OF 1	



CURVE TABLE

CURVE	CHORD BEARING	DISTANCE	RADIUS	ARC	DELTA
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SITE BENCHMARK

TOP NUT OF HYDRANT @ SOUTH CORNER OF CYPRESS WAY AND MAGNOLIA LANE
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Williamson Surveying and Associates LLC
by Nao T. Prieve and Chris W. Adams

Date _____

Chris W. Adams - 2748
MEMBER

SURVEYORS SEAL



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104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597

NAO T. PRIEVE & CHRIS W. ADAMS

REGISTERED LAND SURVEYORS

PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

TOPOGRAPHIC MAP

A parcel of land located in part of the SE 1/4 of the NW 1/4, in Section 35, T7N, R9E, in the City of Madison, Dane County, Wisconsin.

DATE	JUNE 16, 2009	REVISION DATE:		CHECK BY:	N.T.P.
SCALE:	1" = 20'	DRAWING NO:	104-158	SHEET	1 OF 1
DRAWN BY:	CHRIS ADAMS				

HOUSING

CYPRESS WAY

<u>R5 SETBACK REQUIREMENTS:</u>	
FRONT YARD	= 20'
REAR YARD	= 30'
SIDE YARD (E)	= 12'
SIDE YARD (N)	= 8'

ZONING INFORMATION:

PARKING 67 Required
49 Underground

10 Surface

59

8-10 stalls reduction needed

LAND REQUIREMENTS:

1,000 sf per 1 Bdrm (33)
1,300 sf per 2 Bdrm (17)

LOT AREA:

55,100 sf Min. Required
62,408 sf Provided

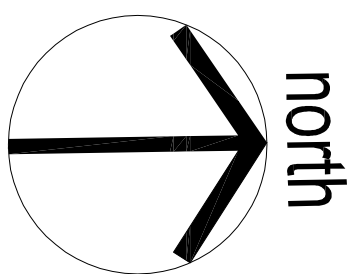
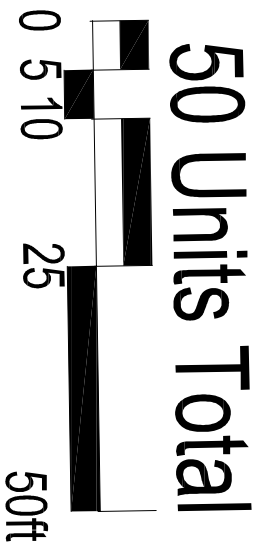
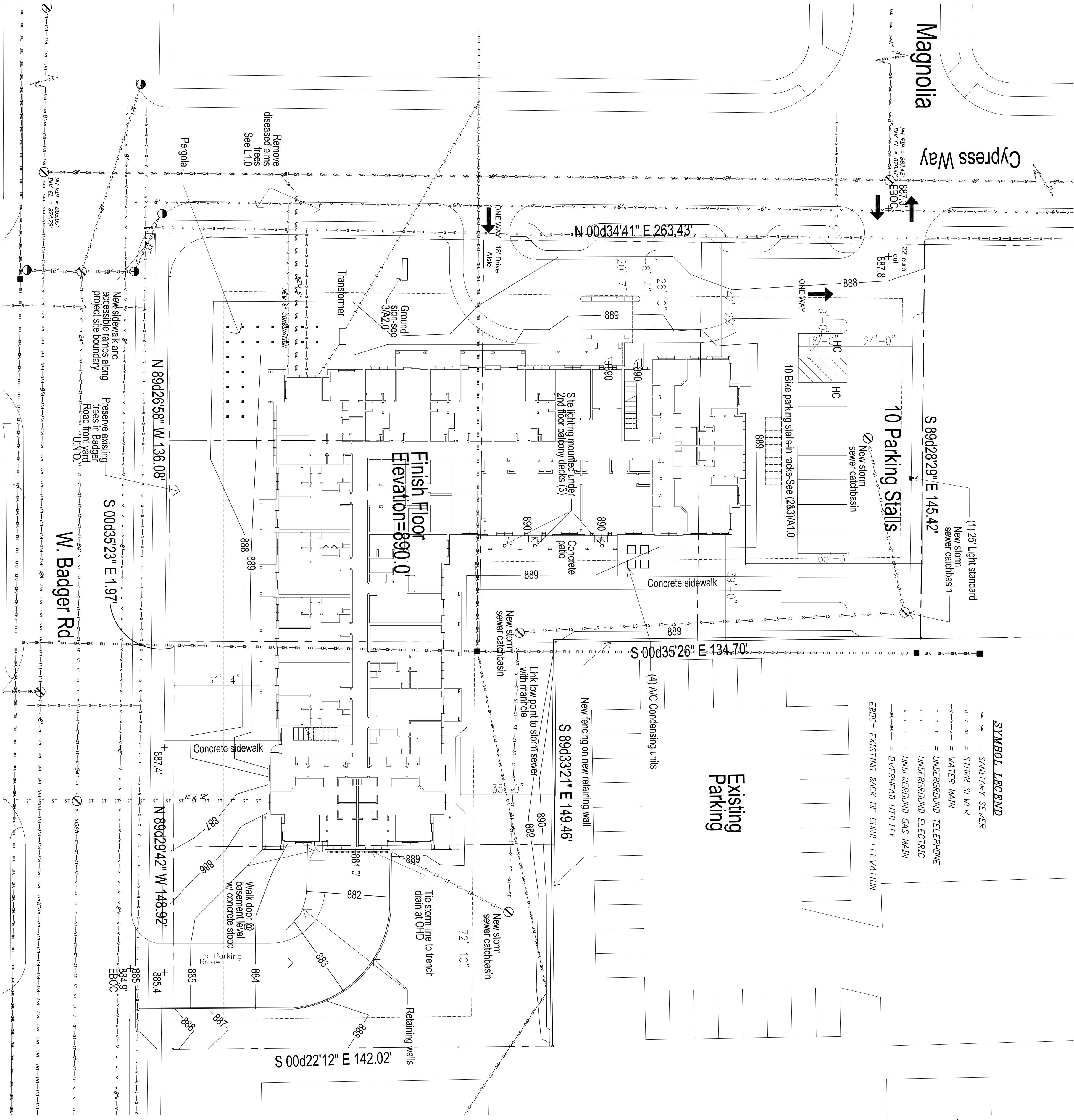
FLOOR AREA:

10,000 sf Max. w/out Conditional Use Permit
F1 Floor Area: 17,802 sf

HEIGHT: 3 STORIES OR 40'

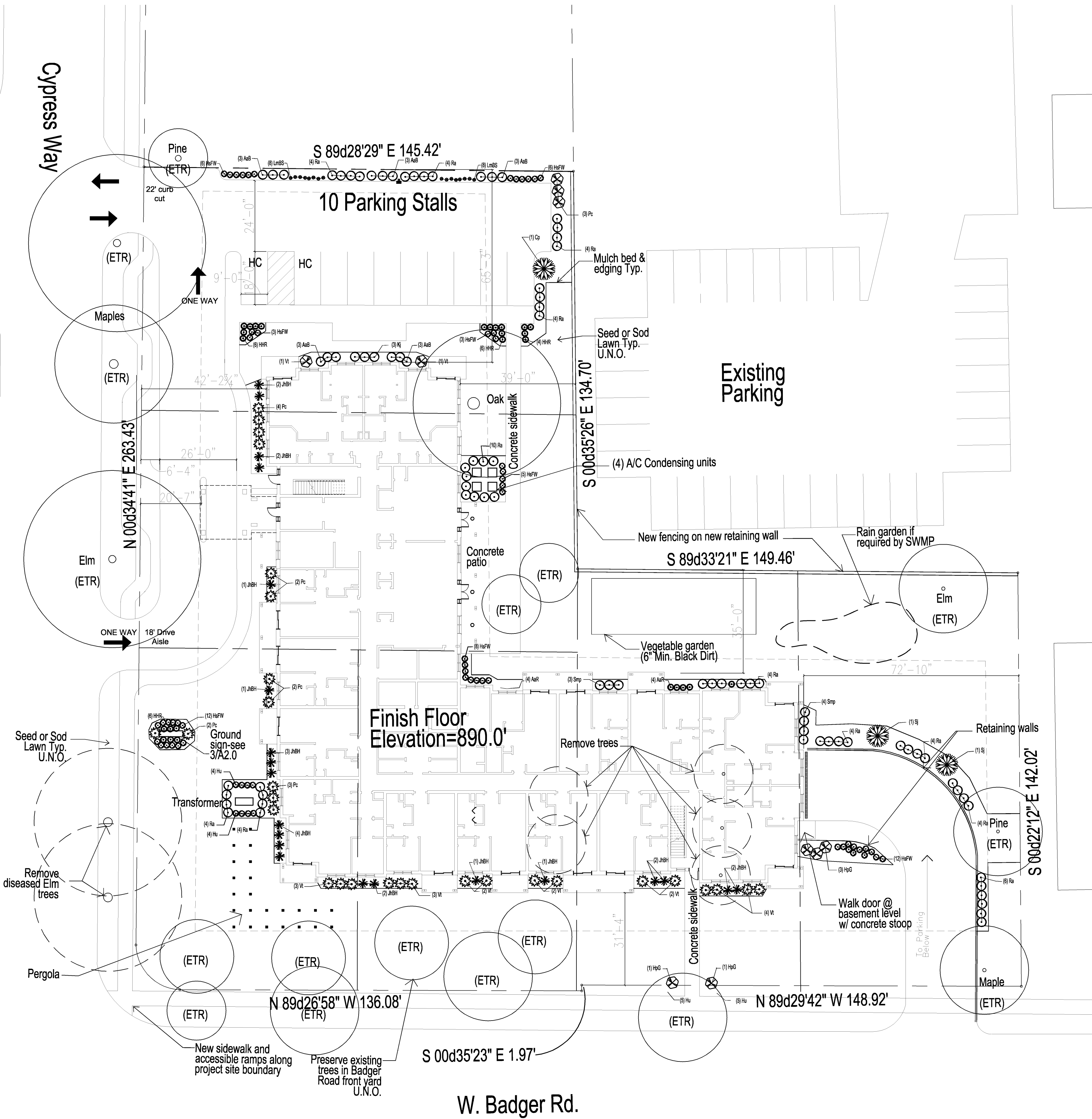
USABLE OPEN SPACE:

160 sf/Bedroom
+ 160 sf / Add'l Bedroom
(2 Bdrm Units)
10,720 sf Required
Atleast 21,500 sf Provided



Magnolia

Cypress Way



PLANT LIST						
Code	Scientific Name	Common Name	Quantity	Size	Root Cond.	Remarks
TREES						
Sj	Syringa japonica	Japanese Tree Lilac	-	5'	B & B	
Cp	Crataegus phenopyrum	Crataegus phenopyrum	-	5'	B & B	
SHRUBS						
AaB	Aronia a. 'Brilliantissima'	Red Chokeberry	-	5 gal.	pot	
HpG	Hydrangea pan. 'Grandiflora'	Pee Gee Hydrangea	-	5 gal.	pot	
JhBH	Juniperus horizontalis 'B.H.'	Bar Harbor Juniper	-	2 gal.	pot	
Kj	Kerria Japonica	Japanese Kerria	-	5 gal.	pot	
Pc	Prunus x cistena	Purpleleaf Sand Cherry	-	5 gal.	pot	
Ra	Ribes alpinum	Alpine Current	-	1 gal.	pot	
SmP	Syringa meyeri 'Palibin'	Palibin Lilac	-	5 gal.	pot	
Vt	Viburnum trilobum	American Cranberrybush	-	5 gal.	pot	
PERENNIALS / GROUND COVERS / GRASSES / VINES						
AaR	Aronia a. 'Brilliantissima'	Red Chokeberry	-	1 gal.	pot	
HHR	Hemirocallis 'Happy Ret.'	Happy Returns Daylily	-	1 gal.	pot	
HsFW	Hosta sieboldiana 'F.W.'	Francis Williams Hosta	-	1 gal.	pot	
Hu	Hosta undulata	Plantain Lily	-	1 gal.	pot	
IgBC	Iris germanica 'Bl. C.'	Blue Crusader Iris	-	1 gal.	pot	
LmBS	Lamium maculatum 'B.S.'	Beacon Silver Nettle	-	1 qt.	pot	

ABBREVIATIONS:
ETR - EXISTING TO REMAIN TYP - TYPICAL U.N.O. - UNLESS NOTED OTHERWISE

DIMENSION
Madison Design Group
architecture · engineering · interior design

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HORIZON
DESIGN · BUILD · MANAGE

**BURR OAKS
HOUSING**

**BADGER ROAD &
CYPRESS WAY**

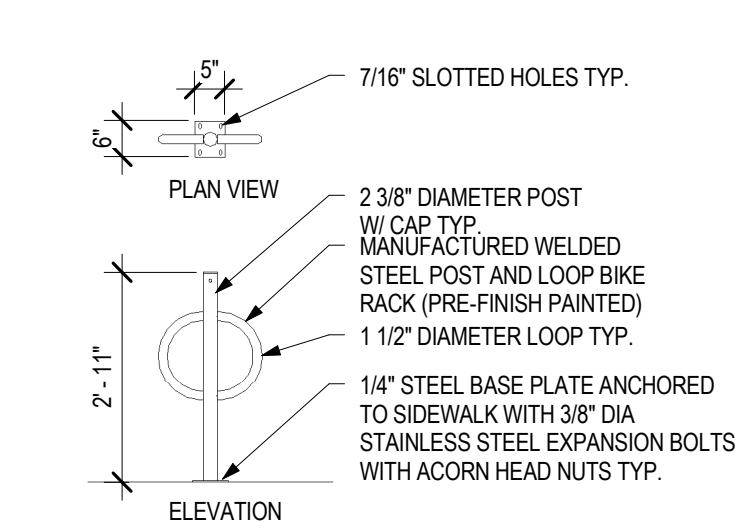
DATE OF ISSUE: JULY 14, 2010

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CONSTRUCTION**

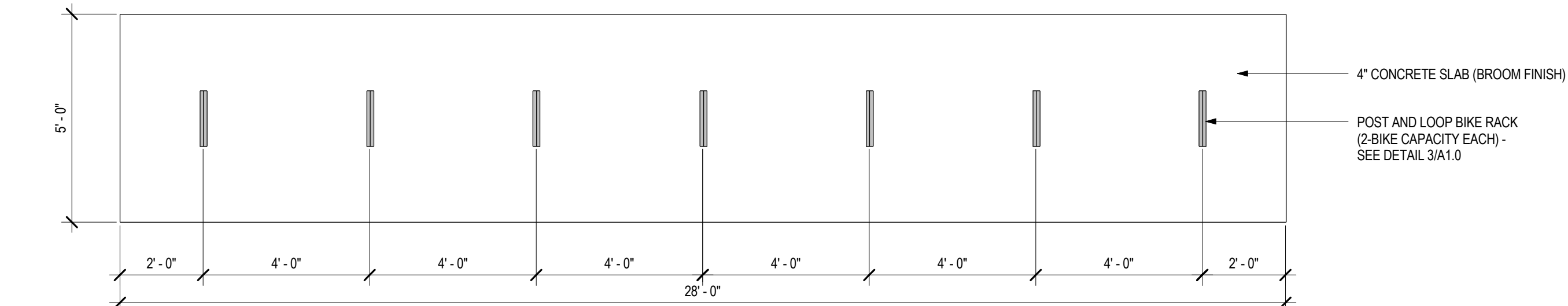
PROJECT #: 09091

LANDSCAPE PLAN

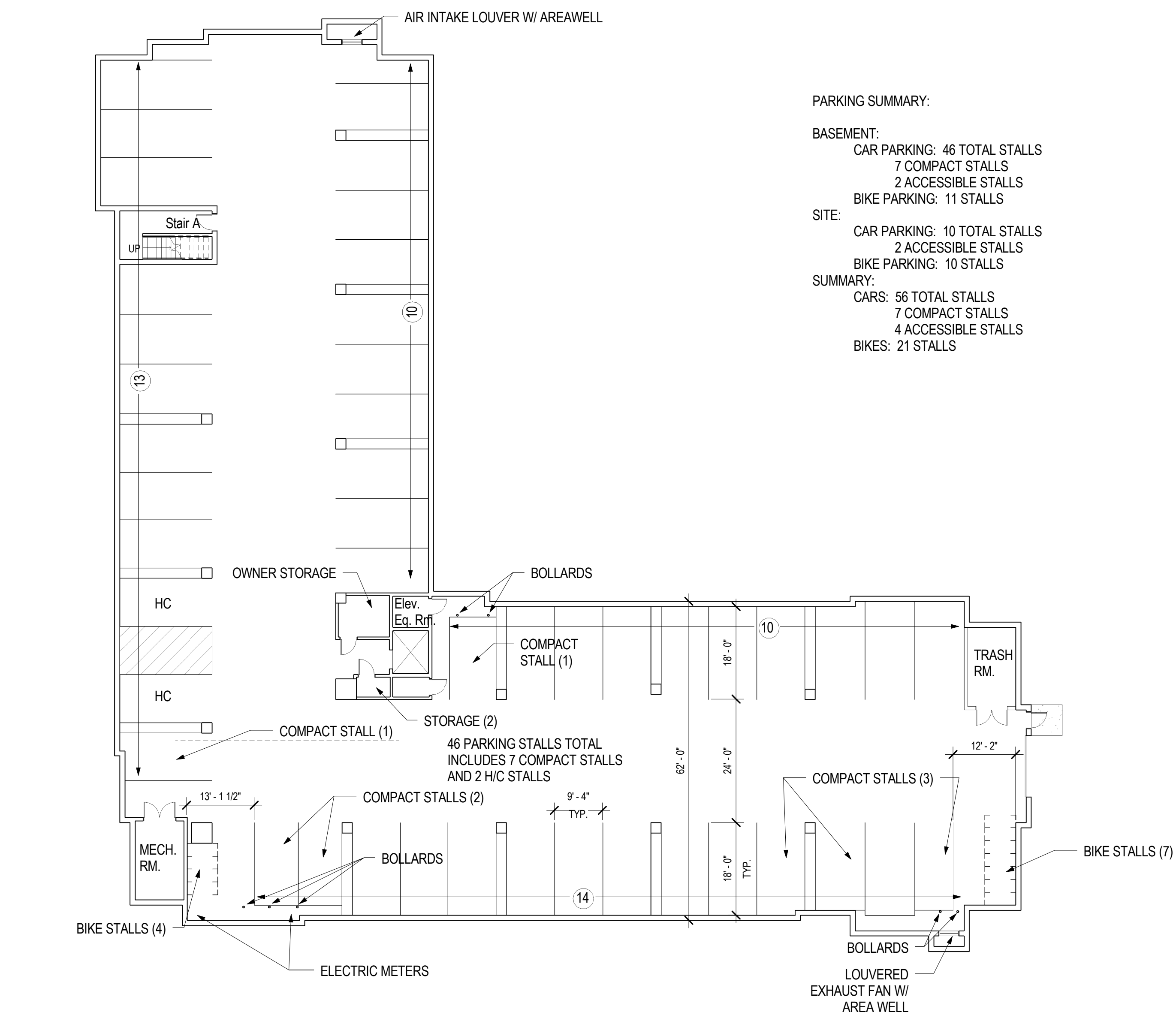
L1.0



3 BIKE RACK DETAIL-2
3/8" = 1'-0"



2 BIKE RACK DETAIL-1
3/8" = 1'-0"



1 BASEMENT
1/16" = 1'-0"

PARKING SUMMARY:

BASEMENT:
CAR PARKING: 46 TOTAL STALLS
7 COMPACT STALLS
2 ACCESSIBLE STALLS
BIKE PARKING: 11 STALLS

SITE:
CAR PARKING: 10 TOTAL STALLS
2 ACCESSIBLE STALLS
BIKE PARKING: 10 STALLS

SUMMARY:
CARS: 56 TOTAL STALLS
7 COMPACT STALLS
4 ACCESSIBLE STALLS
BIKES: 21 STALLS

BURR OAKS SENIOR HOUSING

Community Development Authority
2411 Cypress Way Madison WI

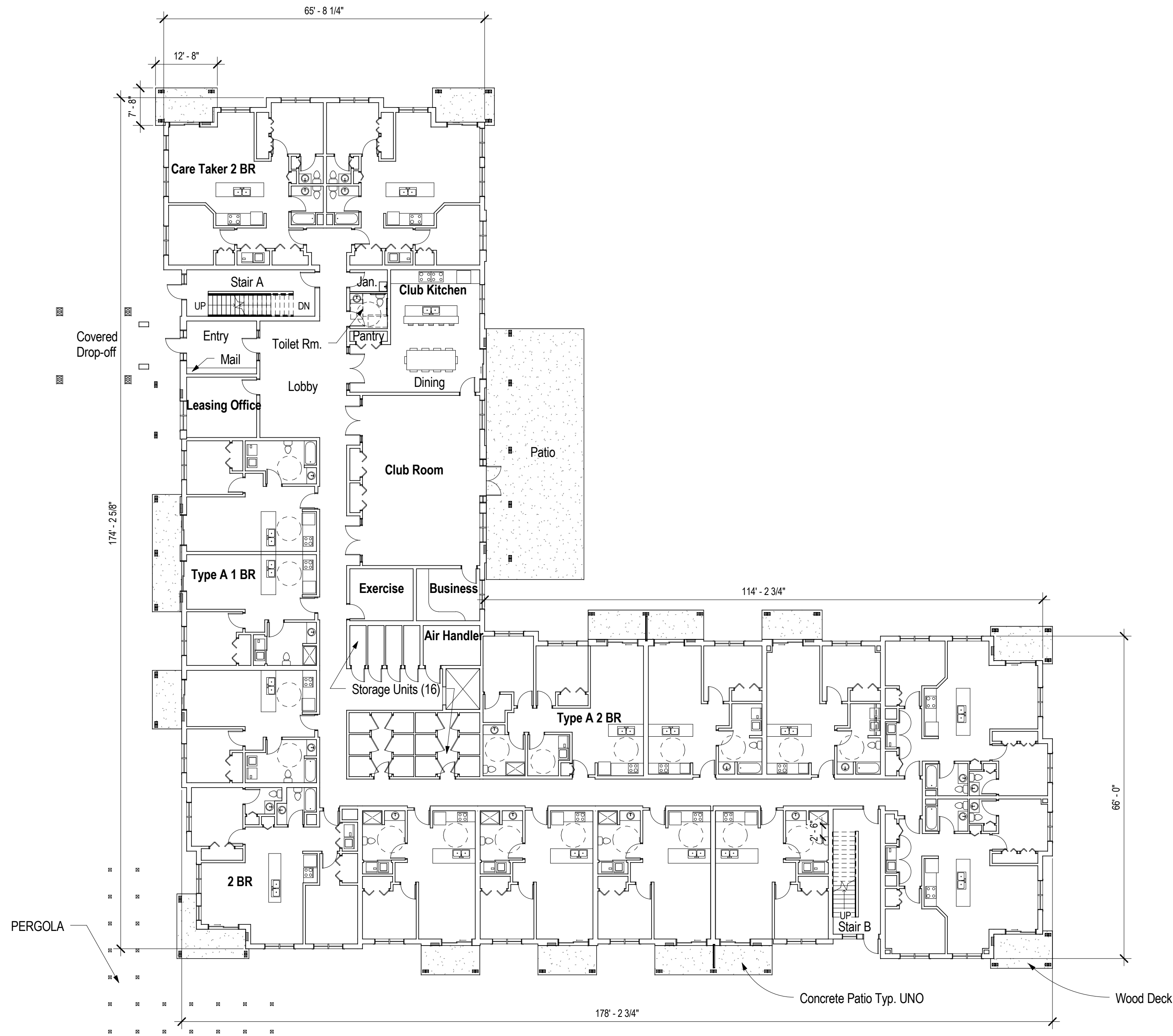
DATE OF ISSUE: 07-06-10

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CONSTRUCTION

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BASEMENT FLOOR PLAN

CYPRESS WAY



1 FIRST FLOOR
1/16" = 1'-0"

W. BADGER ROAD

DWELLING UNIT SUMMARY:

1. 50 TOTAL UNITS
(17) - 2 BEDROOM UNITS
(33) - 1 BEDROOM UNITS
2. FIRST FLOOR: 15 UNITS
(6) - 2 BEDROOM UNITS
(9) - 1 BEDROOM UNITS
3. SECOND FLOOR: 19 UNITS
(6) - 2 BEDROOM UNITS
(13) - 1 BEDROOM UNITS
4. THIRD FLOOR: 16 UNITS
(5) - 2 BEDROOM UNITS
(11) - 1 BEDROOM UNITS



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BURR OAKS SENIOR
HOUSING

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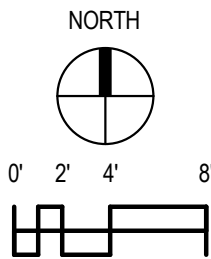
DATE OF ISSUE: July 14, 2010

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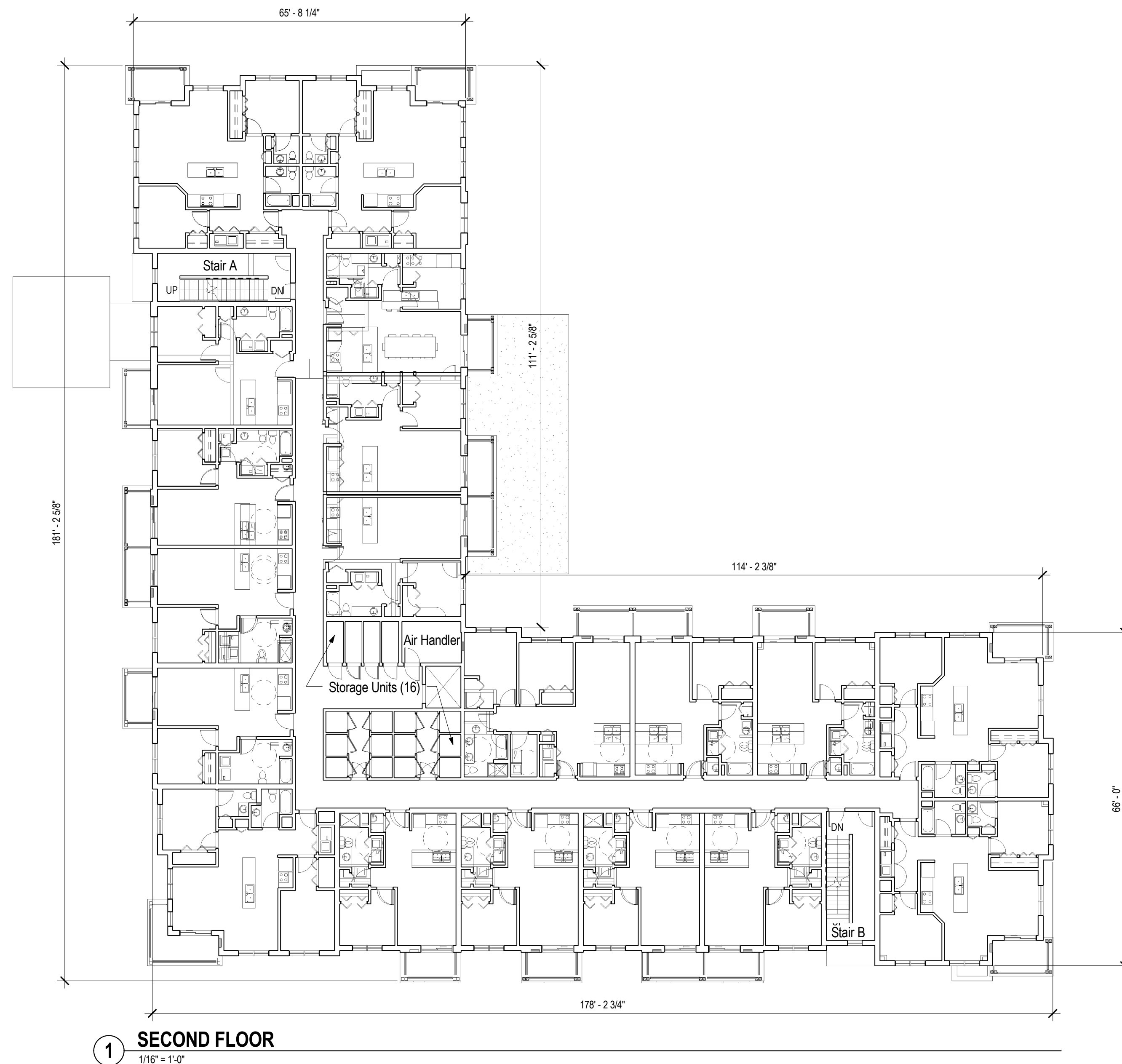
PROJECT # Project # 09091

FIRST FLOOR PLAN

NOTES:
1. ALL FIRST FLOOR WINDOWS TO HAVE
SASH LOCKS PER CITY OF MADISON
ORDINANCE



A1.1



- DWELLING UNIT SUMMARY:
- 50 TOTAL UNITS
(17) - 2 BEDROOM UNITS
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BURR OAKS SENIOR HOUSING

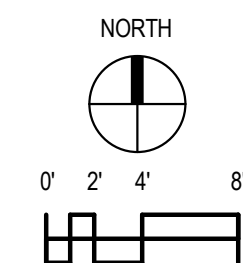
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SECOND FLOOR PLAN



A1.2

DWELLING UNIT SUMMARY:

- 1. 50 TOTAL UNITS
(17) - 2 BEDROOM UNITS
(33) - 1 BEDROOM UNITS
- 2. FIRST FLOOR: 15 UNITS
(6) - 2 BEDROOM UNITS
(9) - 1 BEDROOM UNITS
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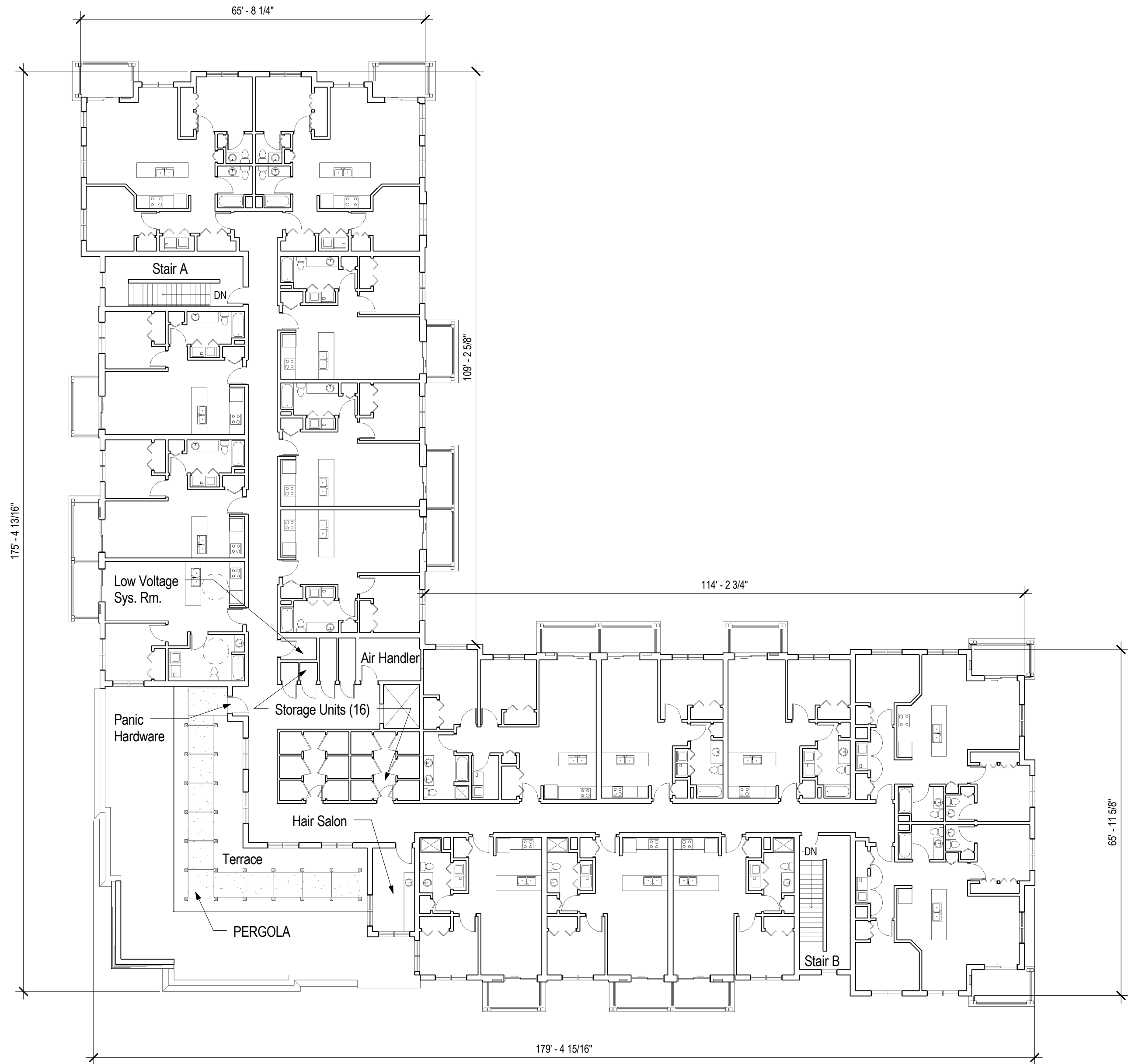
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1 THIRD FLOOR
1/16" = 1'-0"

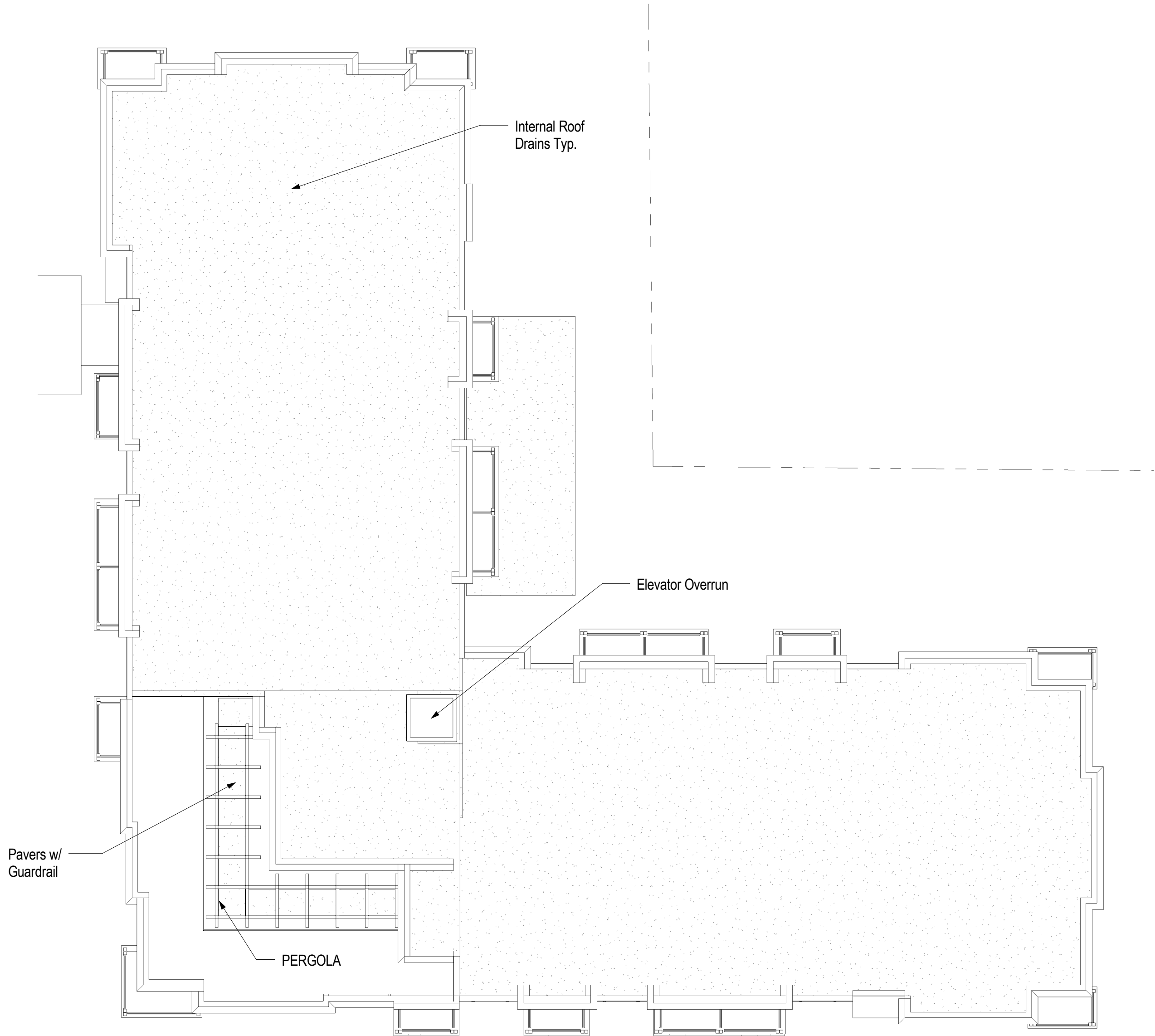
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THIRD FLOOR PLAN

Option A



1 ROOF PLAN
1/16" = 1'-0"



BURR OAKS SENIOR
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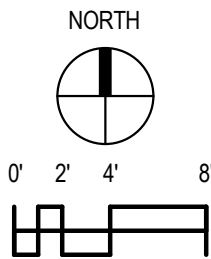
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ROOF PLAN



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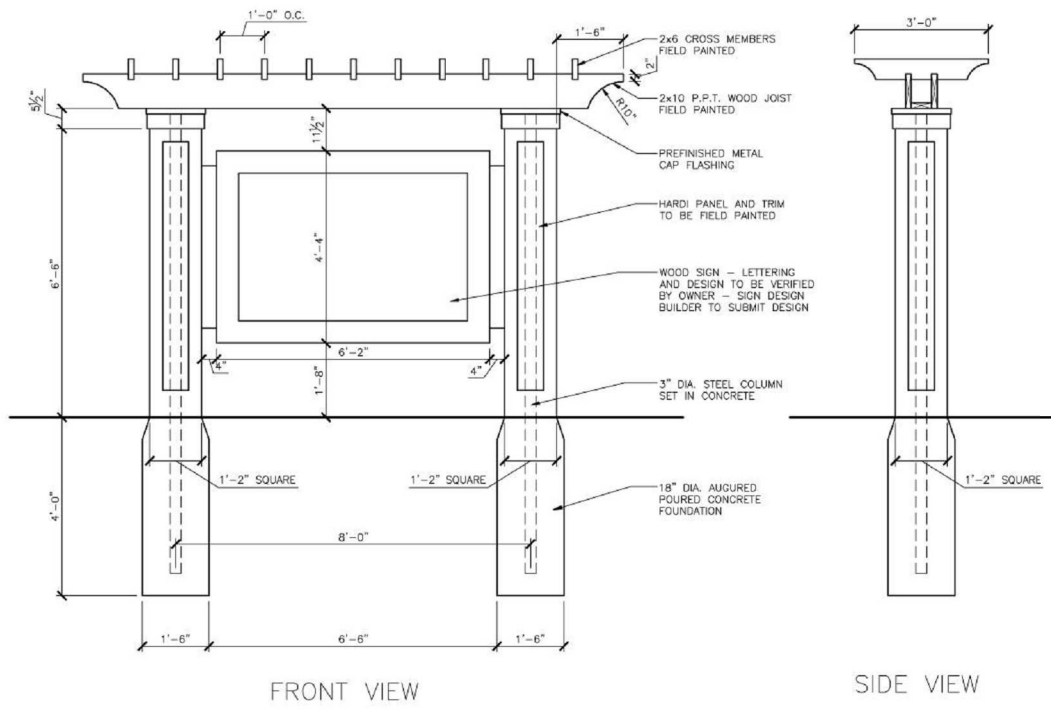
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**EXTERIOR
ELEVATIONS -
OPTION A**

A2.0

Exterior Material Schedule

Exterior Material	Manufacturer	Color
Windows	Superseal	White
Patio Doors	Superseal	White
Patio Door Casing	Alcoa	White
Brick Veneer	Interstate	Copperstone
Precast Concrete	Stonecast	Limestone
Mortar		Standard Grey
Fiber Cement Siding	James Hardie	Sandstone
Fiber Cement Trim	James Hardie	Sanstone
Aluminum Railing		White
Fypon Cornice	Fypon	White
Wood Deck Beams		White
Wood Deck Posts		White



3 GROUND SIGN DETAILS
1/4" = 1'-0"



2 W. BADGER RD ELEVATION
1/8" = 1'-0"



1 CYPRESS WAY ELEVATION
1/8" = 1'-0"

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Fiber Cement Trim	James Hardie	Sanstone
Aluminum Railing		White
Fypon Cornice	Fypon	White
Wood Deck Beams		White
Wood Deck Posts		White



2 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"

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CONSTRUCTION

PROJECT # Project # 09091

EXTERIOR
ELEVATIONS -
OPTION A

A2.1



Burr Oaks Senior Housing

Community Development Authority
2411 Cypress Way Madison WI

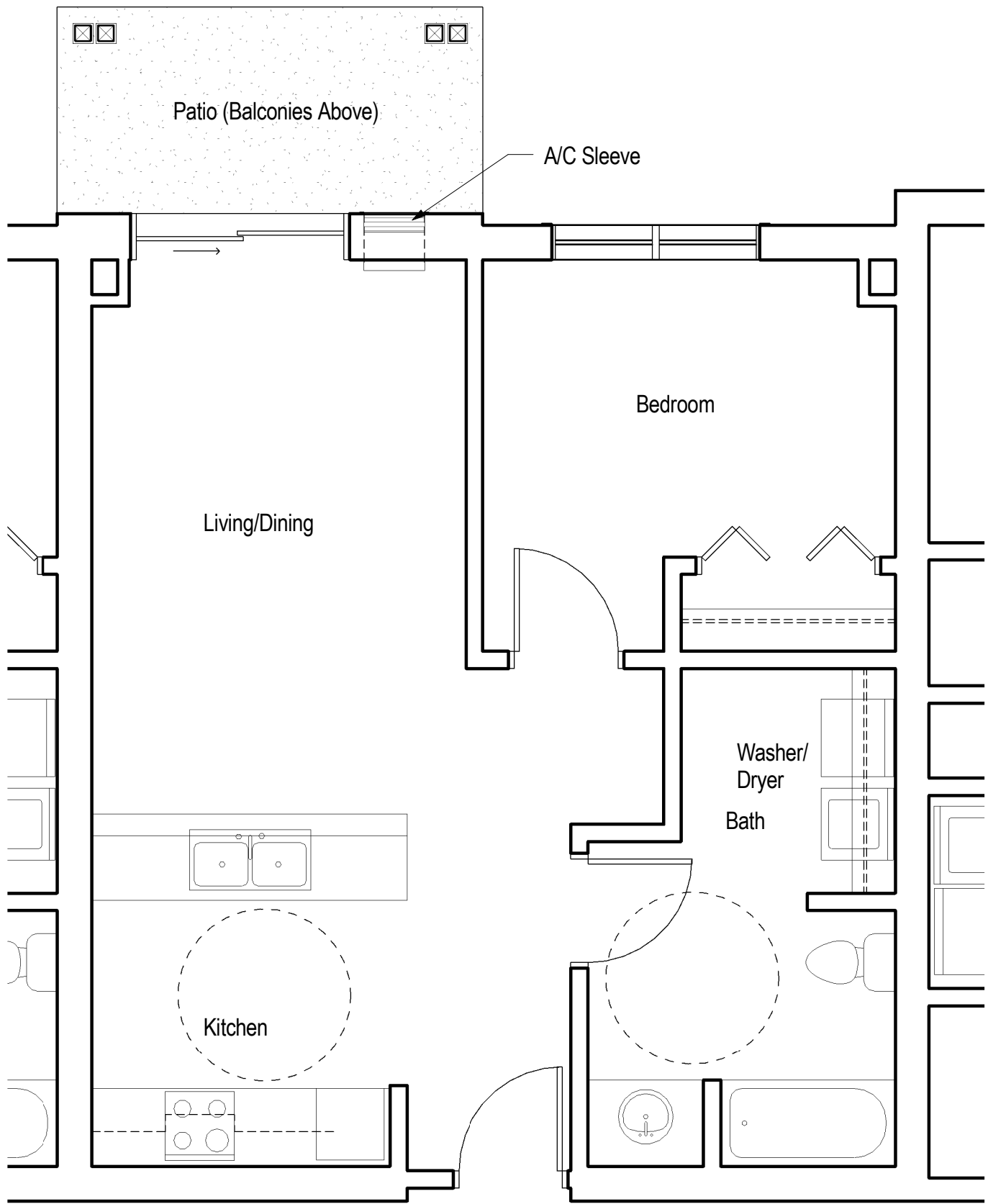
DATE OF ISSUE: 07-06-10

PRELIMINARY
NOT FOR
CONSTRUCTION

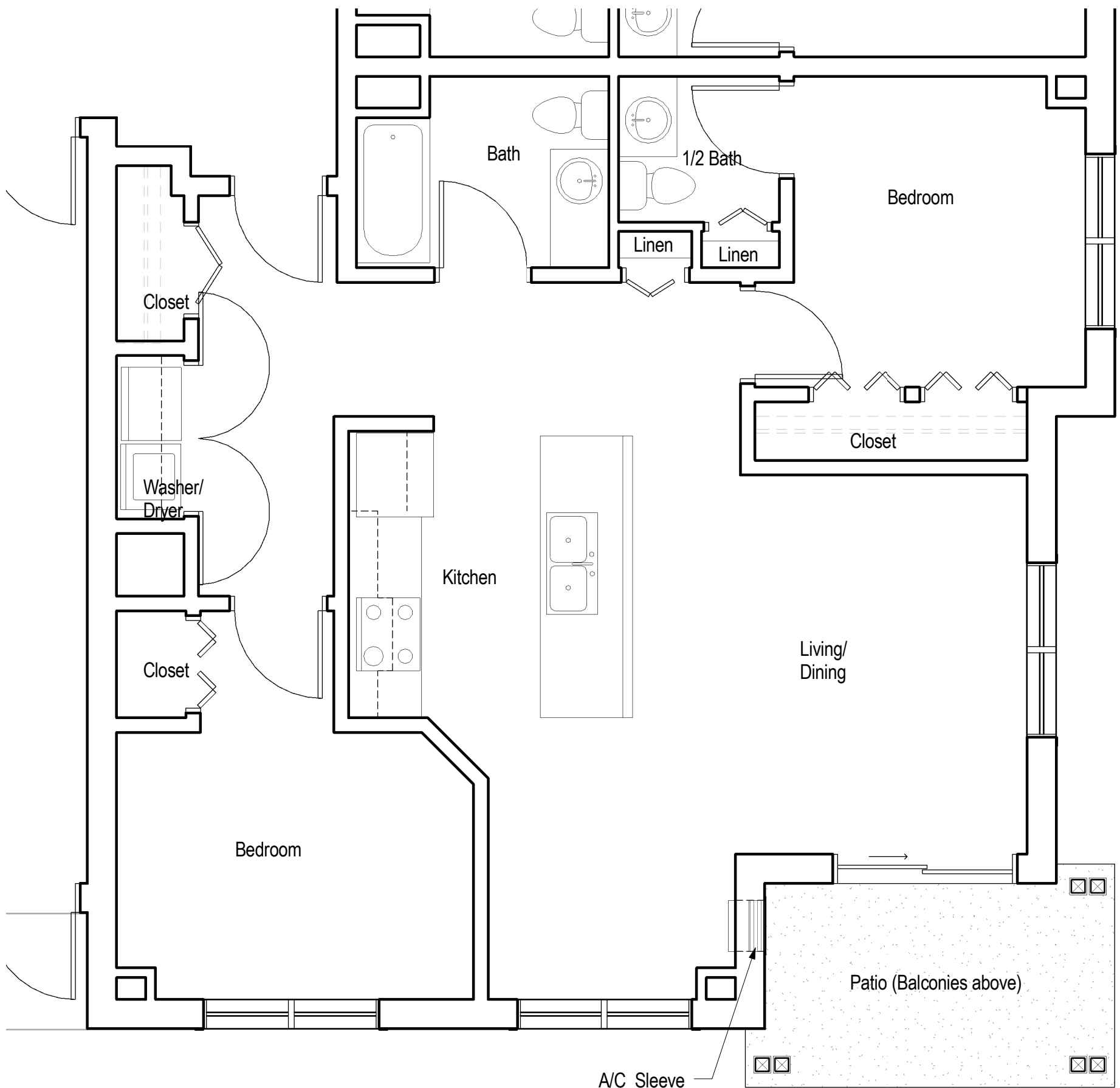
PROJECT # Project # 09091

LARGE SCALE
FLOOR PLANS

A5.0



1 Typical 1 Bedroom Unit
1/4" = 1'-0"



2 Typical 2 Bedroom Unit
1/4" = 1'-0"

BURR OAKS SENIOR HOUSING

Community Development Authority
2411 Cypress Way Madison WI

DATE OF ISSUE: July 14, 2010

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EXTERIOR
ELEVATIONS -
OPTION B

A2.2

Exterior Material Schedule		
Exterior Material	Manufacturer	Color
Windows	Superseal	White
Patio Doors	Superseal	White
Patio Door Casing	Alcoa	White
Brick Veneer	Interstate	Copperstone
Precast Concrete	Stonecast	Limestone
Mortar		Standard Grey
Fiber Cement Siding	James Hardie	Sandstone
Fiber Cement Trim	James Hardie	Sanstone
Aluminum Railing		White
Fypon Cornice	Fypon	White
Wood Deck Beams		White
Wood Deck Posts		White



2 W Badger Rd - Sloped Roof Option
1/8" = 1'-0"



1 Cypress way - Sloped Roof Option
1/8" = 1'-0"

Exterior Material Schedule		
Exterior Material	Manufacturer	Color
Windows	Superseal	White
Patio Doors	Superseal	White
Patio Door Casing	Alcoa	White
Brick Veneer	Interstate	Copperstone
Precast Concrete	Stonecast	Limestone
Mortar		Standard Grey
Fiber Cement Siding	James Hardie	Sandstone
Fiber Cement Trim	James Hardie	Sanstone
Aluminum Railing		White
Fypom Cornice	Fypom	White
Wood Deck Beams		White
Wood Deck Posts		White

**BURR OAKS SENIOR
HOUSING**

Community Development Authority
2411 Cypress Way Madison WI

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**EXTERIOR
ELEVATIONS -
OPTION B**

A2.3



2 North Elevation - Sloped Roof Option
1/8" = 1'-0"



1 East Elevation - Sloped Roof Option
1/8" = 1'-0"