

SHEET INDEX

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SITE STATISTICS

Dwelling Unit Mix:

Efficiency	4
Studio/Loft	4
One Bedroom	6
One Bedroom + Loft	1
One Bedroom + Den	3
Two Bedroom	3
Total Dwelling Units	21

Areas:

Total Gross Floor Area 27,532 S.F.

Densities:

Lot Area 14,349 or .33 acres

Building Height:

Three Stories + Loft

Vehicle Parking:

On-Site 21 stalls
(including 1 accessible stall
and 1 van accessible stall)

Bike Parking:

2'x6'	14 stalls
Wall Hung	6 stalls
On site-2'x6'	4 stalls
Total	24 stalls

Revisions

Conditional Use Submittal - May 21, 2019

Project Title

2620 MONROE
STREET

Drawing Title

Site Plan

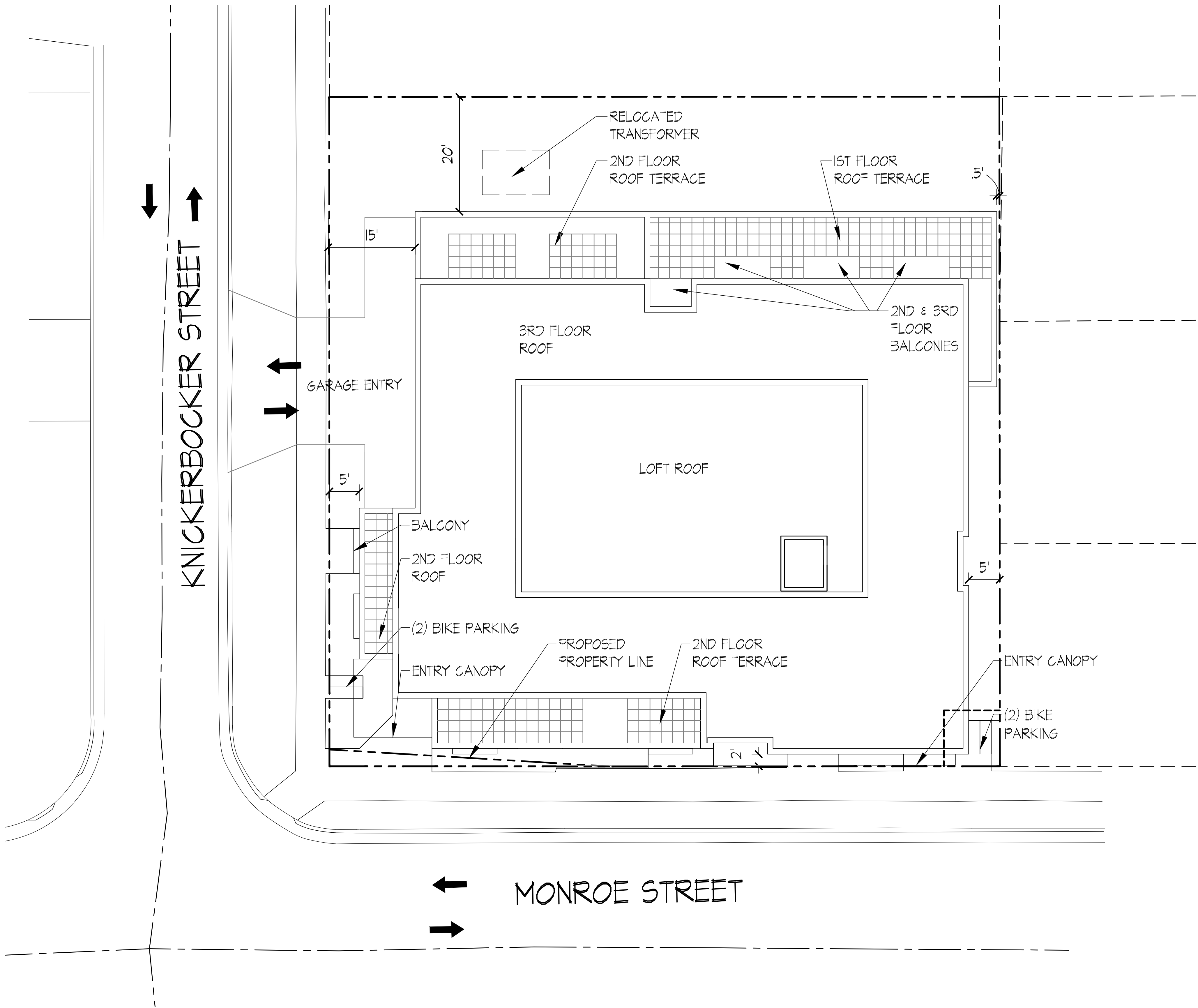
Project No.

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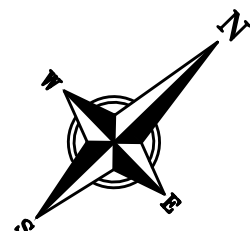
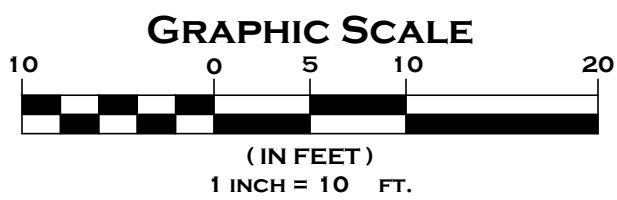
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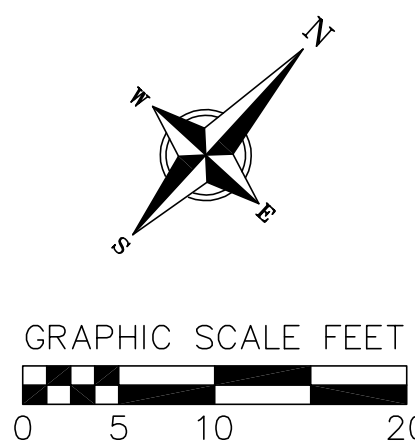
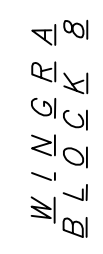
C-1.1

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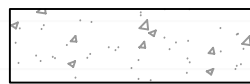
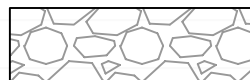


A SITE PLAN
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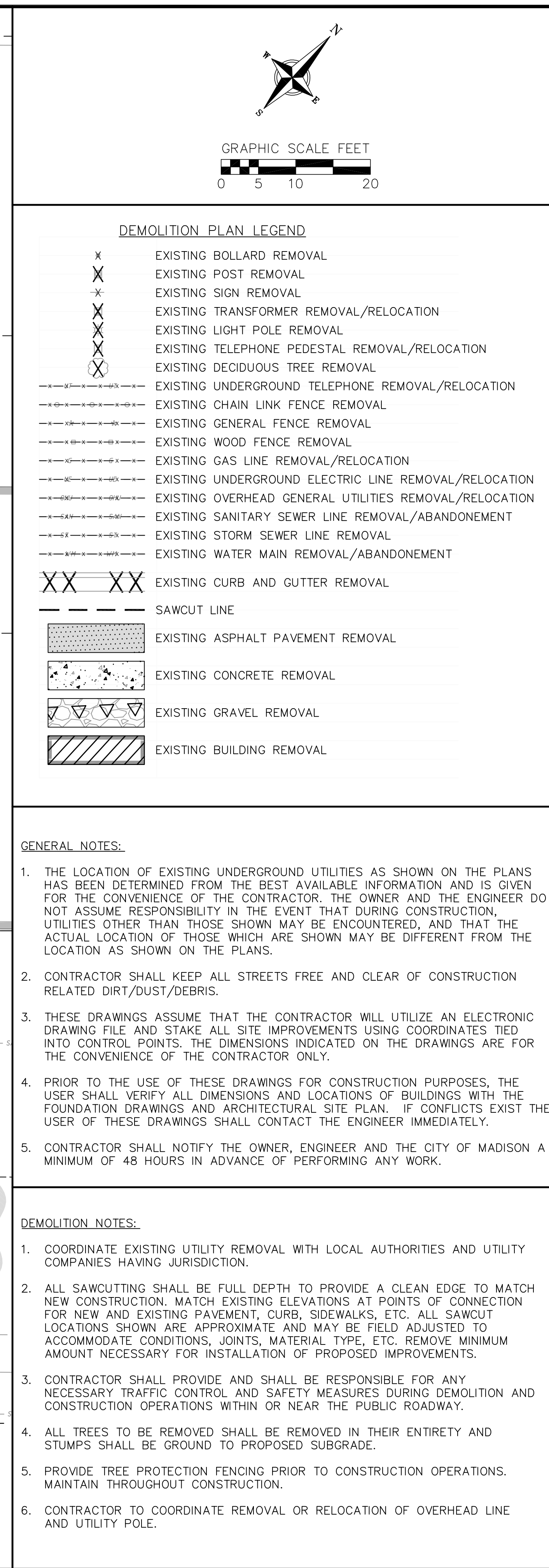




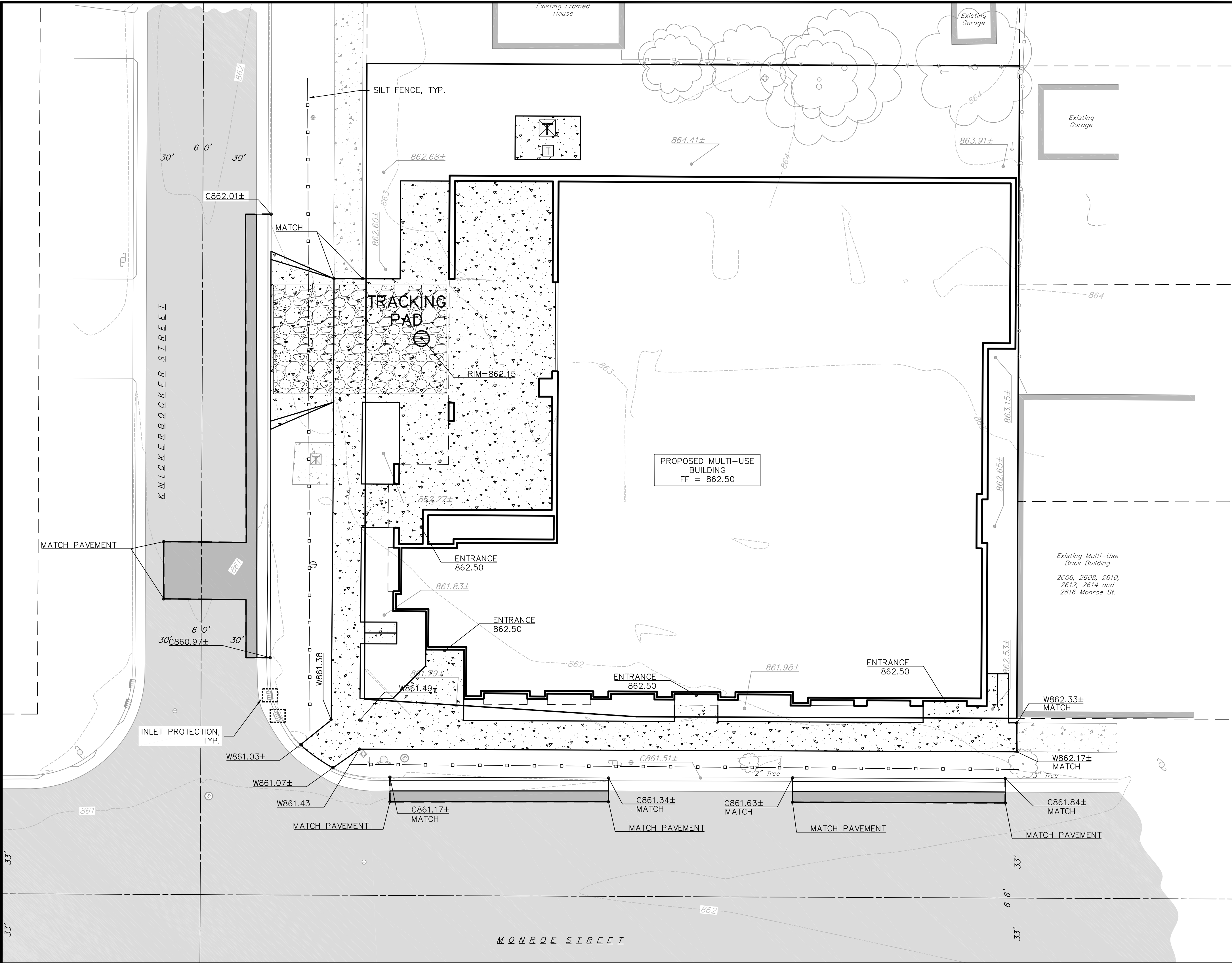
○	EXISTING BOLLARD
☒	EXISTING POST
⌋	EXISTING SIGN (TYPE NOTED)
⌋	EXISTING CURB INLET
⊙	EXISTING SANITARY MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WATER MAIN VALVE
⊙	EXISTING CURB STOP
↑	EXISTING DOWN GUY
⊙	EXISTING ELECTRIC MANHOLE
⊞	EXISTING TRANSFORMER
☆	EXISTING LIGHT POLE
⌋	EXISTING UTILITY POLE
⊙	EXISTING TELEPHONE PEDESTAL
⊙	EXISTING DECIDUOUS TREE
UT	EXISTING UNDERGROUND TELEPHONE
—○—○—	EXISTING CHAIN LINK FENCE
✱	EXISTING GENERAL FENCE
□	EXISTING WOOD FENCE
G	EXISTING GAS LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
OHU	EXISTING OVERHEAD GENERAL UTILITIES
SAN	EXISTING SANITARY SEWER LINE (SIZE NOTED)
ST	EXISTING STORM SEWER LINE (SIZE NOTED)
WM	EXISTING WATER MAIN (SIZE NOTED)
B20	EXISTING MAJOR CONTOUR
B13	EXISTING MINOR CONTOUR

- | | |
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|  | EXISTING BOLLARD |
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| — SAN — SAN — | EXISTING SANITARY SEWER LINE (SIZE NOTED) |
| — ST — ST — | EXISTING STORM SEWER LINE (SIZE NOTED) |
| — WM — WM — | EXISTING WATER MAIN (SIZE NOTED) |
| — 820 — | EXISTING MAJOR CONTOUR |
| — 818 — | EXISTING MINOR CONTOUR |
|  | EXISTING ASPHALT PAVEMENT |
|  | EXISTING CONCRETE |
|  | EXISTING GRAVEL |

EXISTING CONDITIONS PLAN					
SCALE AS SHOWN		REVISIONS		REVISIONS	
DATE 5-22-13		NO. DATE		REMARKS	
DRAFTER ACAR					
CHECKED JDOY					
PROJECT NO. 130058					
SHEET 1 OF 4					
DWG. NO.		C1.0			
		2620 MONROE STREET CITY OF MADISON DANE COUNTY, WISCONSIN			



vierbicher | planners | engineers | advisors
REEDSBURG • MADISON • PRAIRIE
999 Fourtier Drive, Suite 201 Madison, WI 53705
Phone: (608) 826-0532 Fax: (608) 826-0533



SITE CONSTRUCTION NOTES

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-2.3 FOR DETAILS.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
4. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
6. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2303).

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
5. ROUGH GRADE FOR FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

- PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

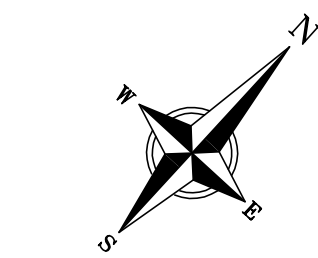
- TEMPORARY AND PERMANENT:
- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:
- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



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WS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.



GRAPHIC SCALE FEET
0 5 10 20

GRADING & EROSION CONTROL LEGEND

- 820 — EXISTING MAJOR CONTOURS
 - - - 818 - - - EXISTING MINOR CONTOURS
 - 820 — PROPOSED MAJOR CONTOURS
 - - - 818 - - - PROPOSED MINOR CONTOURS
 - — — SILT FENCE
 - - - - - DISTURBED LIMITS
 - ⇒ DRAINAGE DIRECTION
 - PROPOSED SLOPE ARROWS
 - EXISTING SPOT ELEVATIONS
 - PROPOSED SPOT ELEVATIONS
 - INLET PROTECTION
 - TRACKING PAD
 - PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT
 - EXISTING CONCRETE
 - EXISTING ASPHALT PAVEMENT
- ABBREVIATIONS
- C — BACK OF CURB
P — EDGE OF PAVEMENT
W — EDGE OF SIDEWALK
FF — FINISHED FLOOR

EROSION CONTROL MEASURE NOTES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7—CONSECUTIVE DAYS, WHETHER WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN—WORKED FOR A PERIOD OF MORE THAN 14—CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE—WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE—WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE—APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



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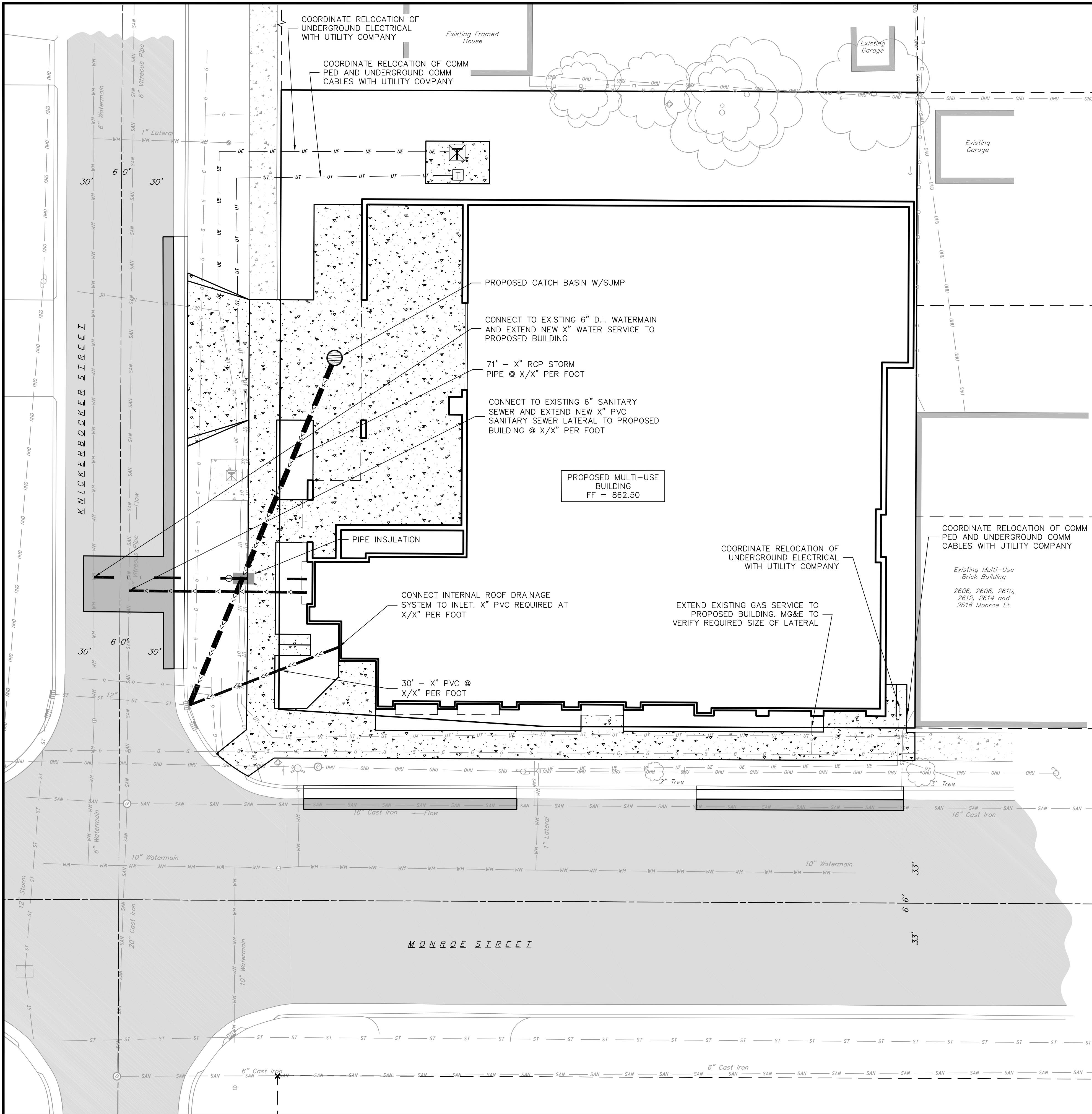
GRADING AND EROSION CONTROL PLAN

2620 MONROE STREET

CITY OF MADISON

DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
SCALE		AS SHOWN	
DATE			
5-22-13			
DRAFTER			
ACAR			
CHECKED			
JDOY			
PROJECT NO.			
130058			
SHEET			
3 OF 4			
DWG. NO.			
C3.0			



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REQUIRES MINIMUM OF 3 WORKING DAYS
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GRAPHIC SCALE FEET
0 5 10 20

EXISTING CONDITIONS LEGEND

	EXISTING POST
	EXISTING SIGN (TYPE NOTED)
	EXISTING CURB INLET
	EXISTING SANITARY MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER MAIN VALVE
	EXISTING CURB STOP
	EXISTING DOWN GUY
	EXISTING ELECTRIC MANHOLE
	EXISTING TRANSFORMER
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	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD GENERAL UTILITIES
	EXISTING SANITARY SEWER LINE (SIZE NOTED)
	EXISTING STORM SEWER LINE (SIZE NOTED)
	EXISTING WATER MAIN (SIZE NOTED)
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE

PROPOSED UTILITY LEGEND

	STORM SEWER PIPE
	SANITARY SEWER PIPE (GRAVITY)
	WATER MAIN
	WATER VALVE
	GAS MAIN
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE

UTILITY NOTES:

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(b) AND COMM 82.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
- NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- THE DEVELOPER SHALL INSTALL THE 3MTM ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.

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UTILITY PLAN 2620 MONROE STREET CITY OF MADISON DANE COUNTY, WISCONSIN	
REVISIONS	REVISIONS
NO.	NO.
DATE	DATE
REMARKS	REMARKS
SCALE	AS SHOWN
DATE	5-22-13
DRAFTER	ACAR
CHECKED	JDOY
PROJECT NO.	130058
SHEET	4 OF 4
DWG. NO.	C4.0

GENERAL NOTES

A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3' wide beds for shrub groupings).

C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

E) Areas labeled "Compost Blanket Seed" shall receive the following:
1. Grade area to approximately 4" below finish grade.
2. Spread topsoil to within 1" of finish grade.
3. Compost is applied uniformly to entire area at 1" depth. Seed, water-holding polymer and starter fertilizer are incorporated into compost layer.

F) "Compost Blanket Seed" areas shall be seeded at a rate of 4 lbs. per 1,000 sq. ft., polymer applied at 3 lbs. per 1,000 sq. ft. and starter fertilizer applied at 4 lbs. per 1,000 sq. ft.

G) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

H) Seed shall consist of the following mixture:
40% Palmer Ryegrass
20% Baron Bluegrass
20% Nassau Bluegrass
20% Pennlawn Creeping Red Fescue

I) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D575 straw erosion control netting that is then pegged into the soil with metal staples.

J) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

K) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

Plant Material List

Broadleaf Deciduous

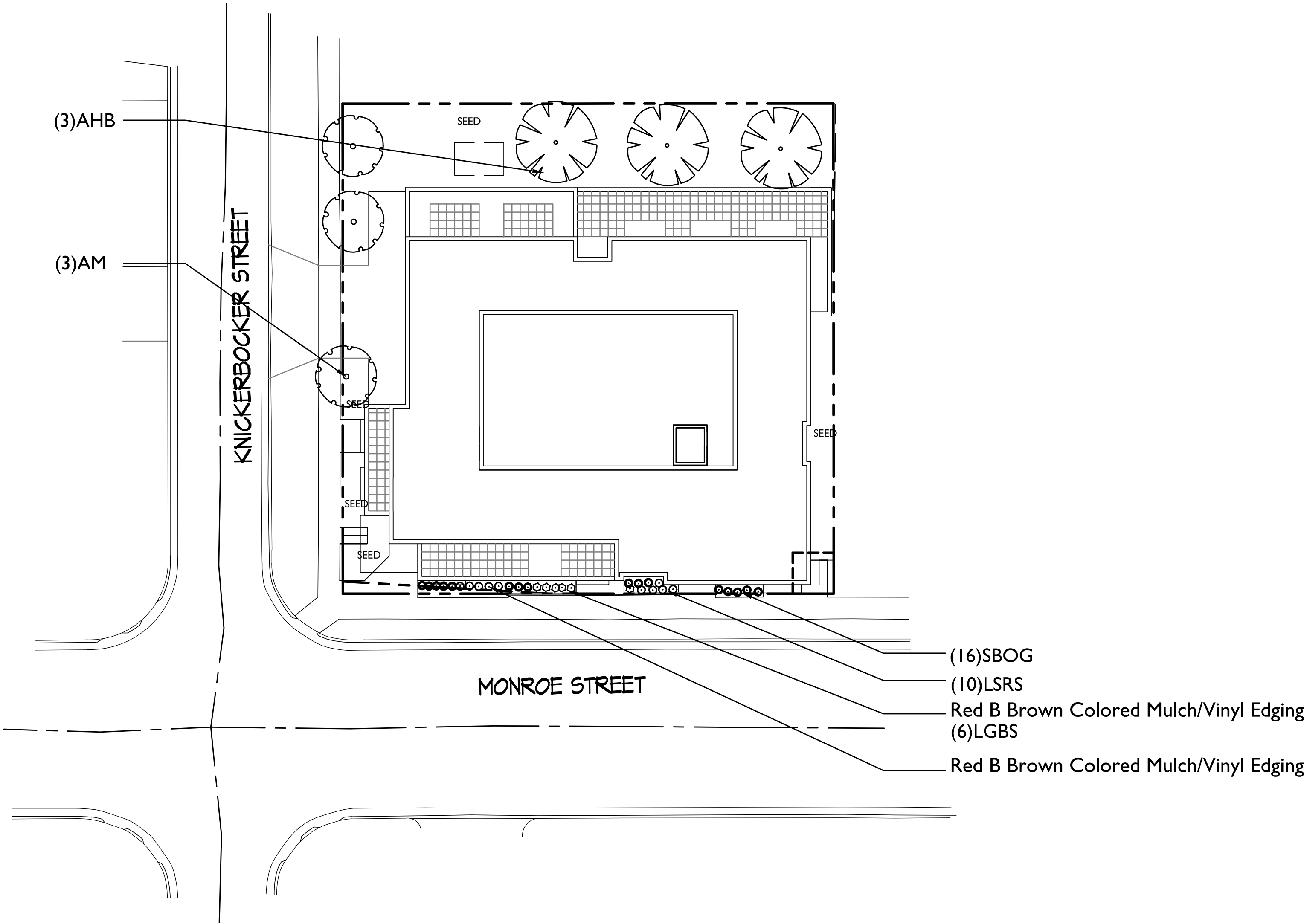
Quantity	Code Name	Scientific Name	Common Name	Planting Size
3	AHB	Carpinus caroliniana	Amer Hornbeam	2 1/2" B&B
3	AM	Acer x Freemanii 'Armstrong'	Armstrong Maple	2 1/2" B&B

Perennial

Quantity	Code Name	Scientific Name	Common Name	Planting Size
16	SBOG	Helictotrichon sempervivens 'Saphirsprudel'	Sapphire Blue Oat Grass	#1 CONT.
10	LSRS	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	#1 CONT.
6	LGBS	Rudbeckia fulgida var. sullivanti 'Little Goldstar' Little Goldstar Black-Eyed Susa	#1 CONT.	

Revisions

Conditional Use Submittal - May 21, 2019



LANDSCAPE WORKSHEET

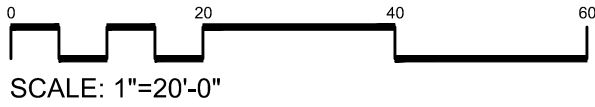
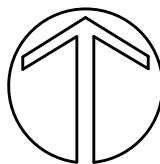
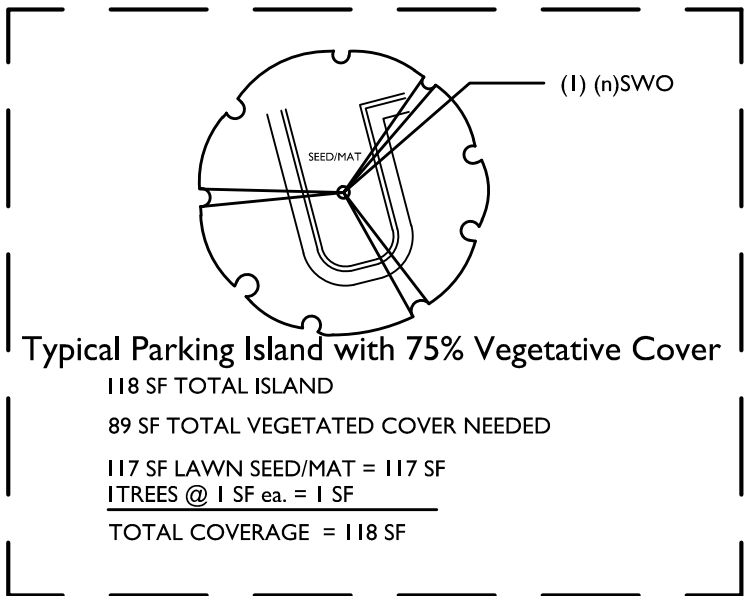
Total square footage of developed area..... 10,900s.f.
Total square footage of developed area divided by 300 square feet..... 36 Landscape Units

NUMBER OF LANDSCAPE POINT REQUIRED
Landscape Units multiplied by 5 landscape points..... 180 pts.

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2"- 2-1/2"	35			6	210
Ornamental Tree 1-1/2"-2" Caliper	15				
Evergreen Trees - 3 feet tall	15				
Shrub, deciduous - 18" or 3 gallon	2				
Shrub, evergreen - 18" or 3 gallon	3				
Ornamental grasses - 18" or 1 gallon	2			16	32
Ornamental/ decorative fencing or wall 4 per 10 l.f.				120	48
Sub Totals				+	290

TOTAL POINTS PROVIDED
= 290

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Project Title

2620 MONROE STREET

Drawing Title

Landscape Plan

Project No.

1320

Drawing No.

L-1.1

Consultant

Notes

Revisions

Conditional Use - May 22, 2013

Project Title

2620 Monroe Street

Drawing Title

First Floor Plan

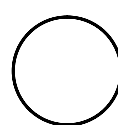
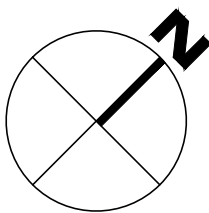
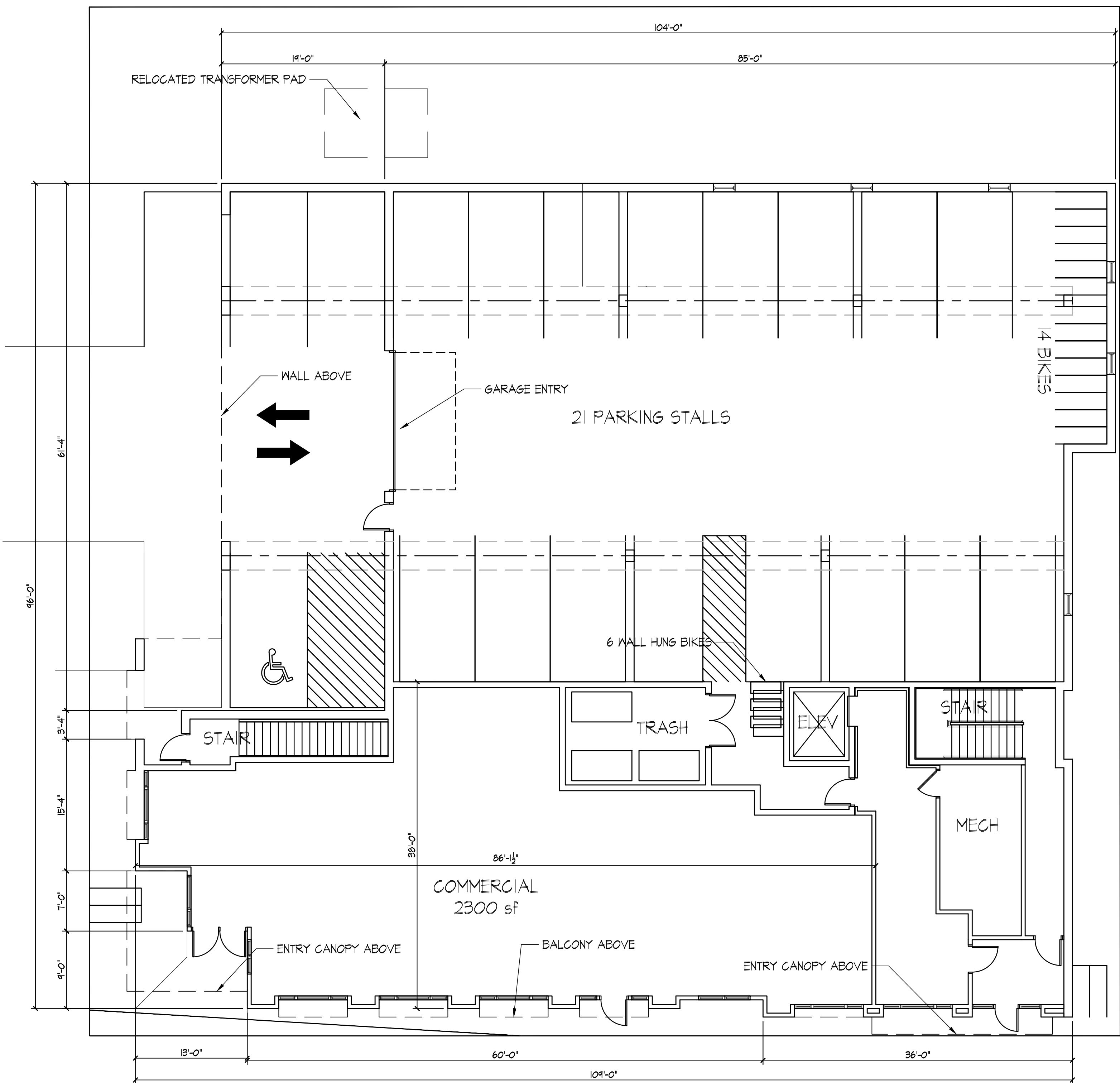
Project No.

1320

Drawing No.

A-1.1

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FIRST FLOOR PLAN

1/8" = 1'-0"

Consultant

Notes

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Revisions

Conditional Use - May 22, 2013

Project Title

2620 Monroe Street

Drawing Title

Second Floor Plan

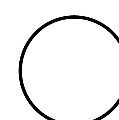
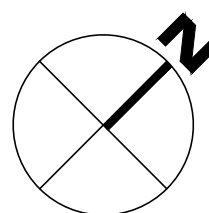
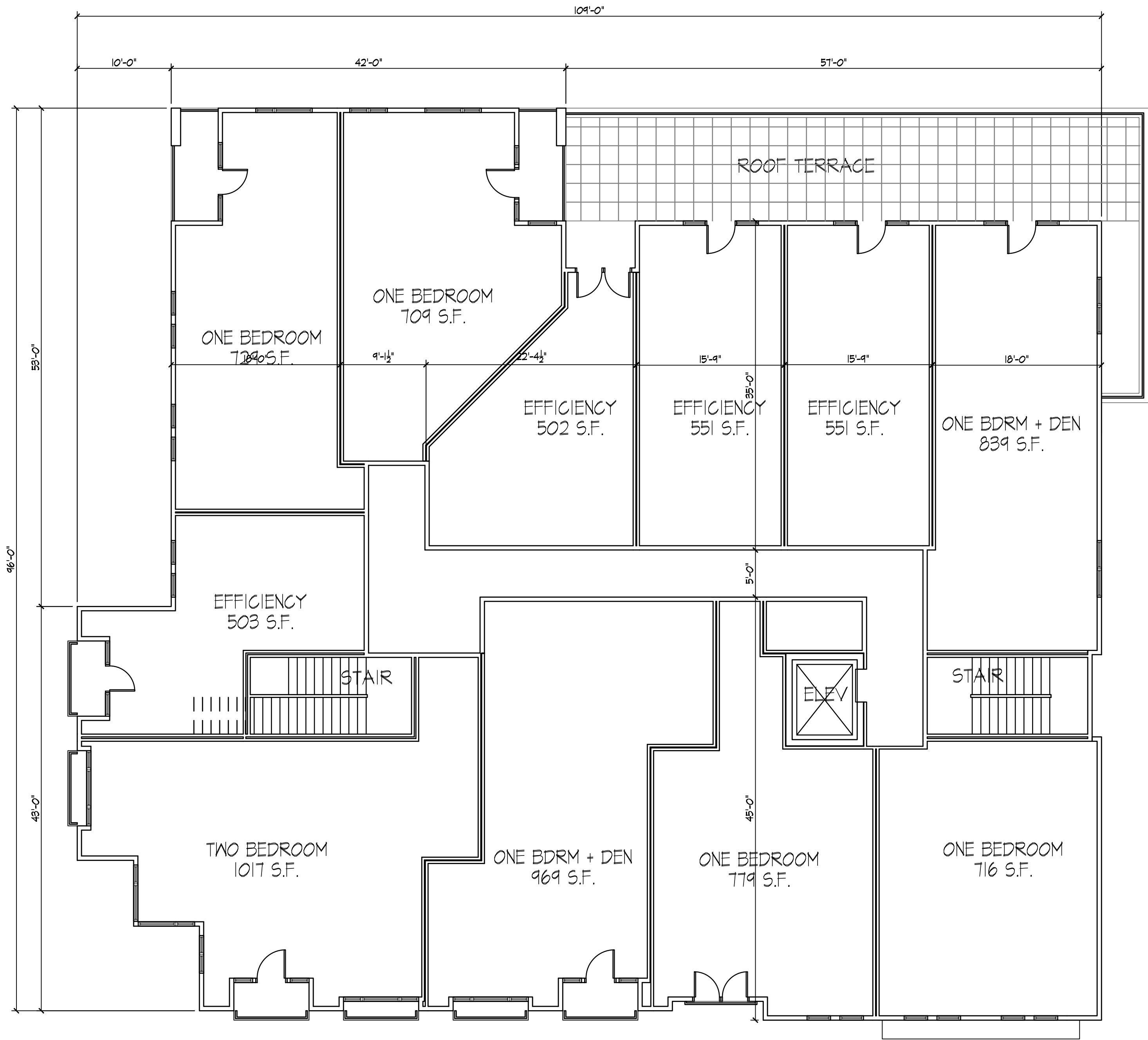
Project No.

1320

Drawing No.

A-1.2

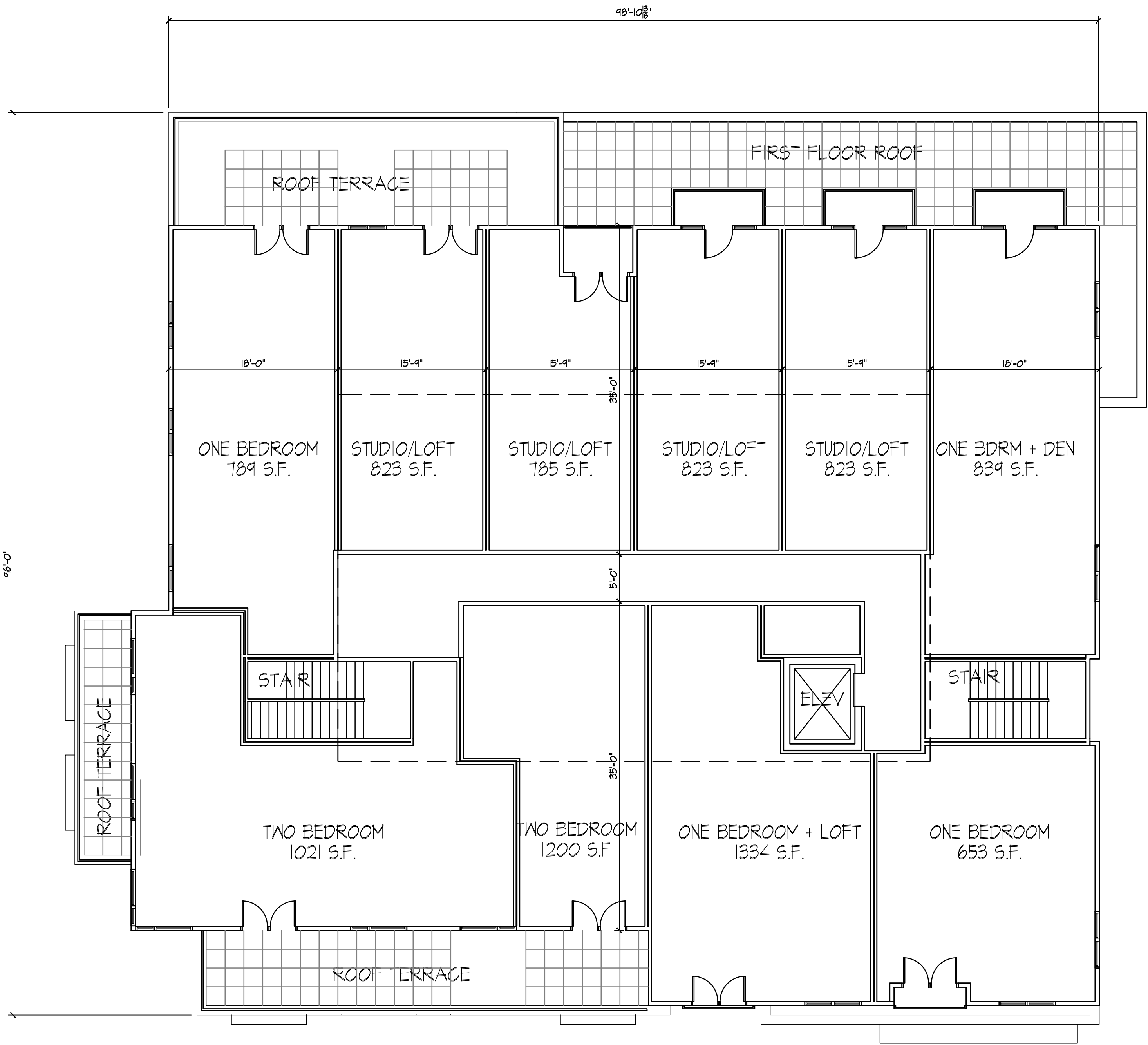
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SECOND FLOOR PLAN

Consultant

Notes

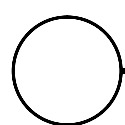
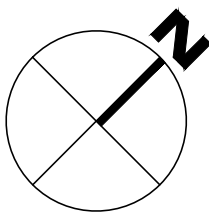


Revisions
Conditional Use - May 22, 2013

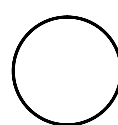
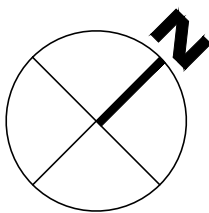
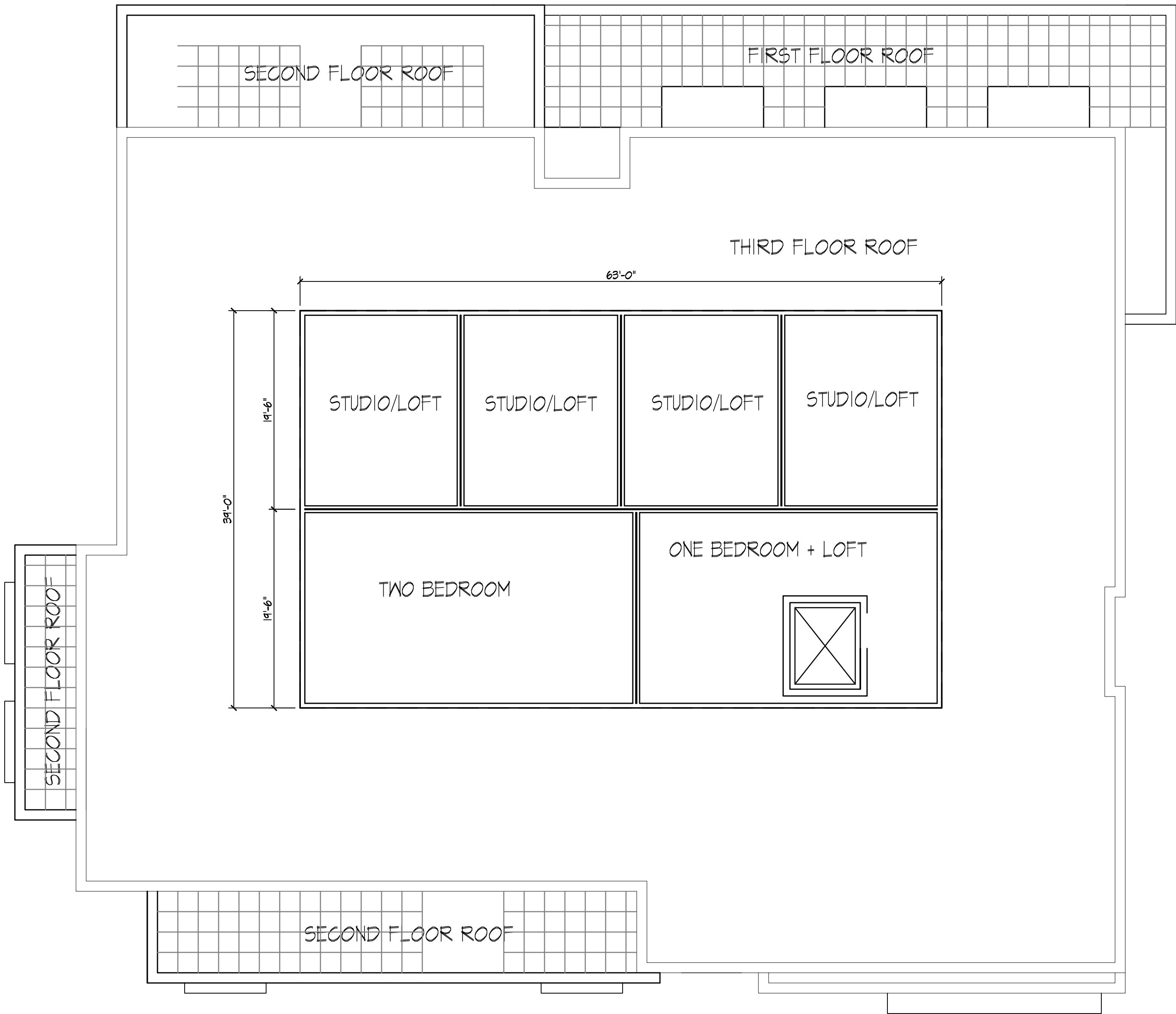
Project Title
2620 Monroe Street

Drawing Title
Third Floor Plan

Project No. 1320 Drawing No. A-1.3



THIRD FLOOR PLAN



LOFT PLAN

1/8" = 1'-0"

Consultant

Notes

-



MONROE STREET ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



KNICKERBOCKER STREET ELEVATION
1/8" = 1'-0"

Revisions
Conditional Use - May 22, 2019

Project Title
2620 Monroe Street

Drawing Title
EXTERIOR ELEVATIONS

Project No.

1320

Drawing No.

A-2.1

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