

# BENTLEY GREEN DEVELOPMENT

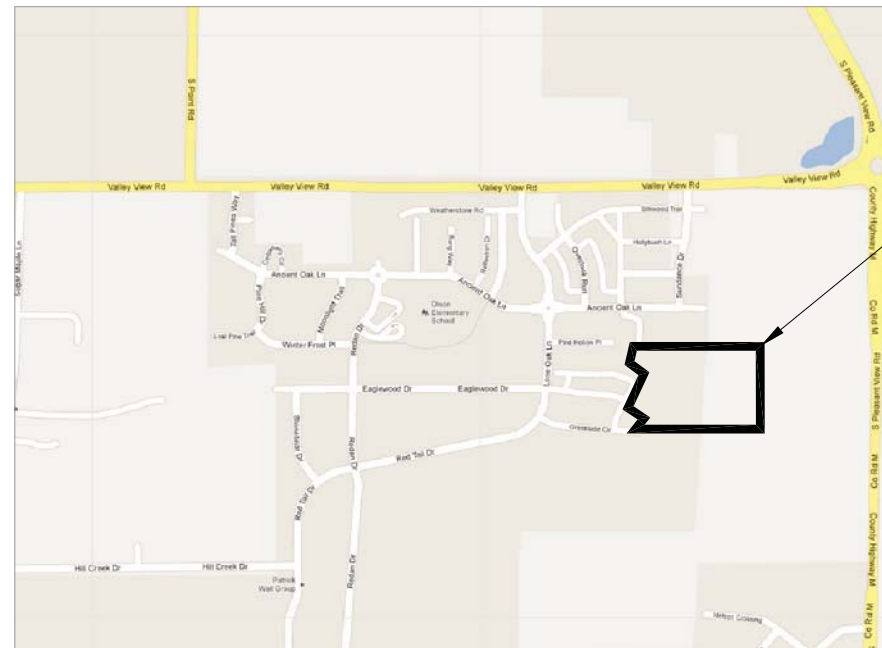
## ALTERATION TO APPROVED CONDITIONAL USE PLAN

### BENTLEY GREEN CONDOMINIUMS

### 2 GREENSIDE CIRCLE

### CITY OF MADISON, DANE COUNTY, WISCONSIN

FOR  
 THE BENTLEY GROUP  
 2303 W. BELTLINE HIGHWAY  
 MADISON, WI 53713  
 CONTACT: SEAN BAXTER



PROJECT LOCATION

SHEET NO.	DESCRIPTION
T1.0	TITLE SHEET
C2.0	EXISTING SITE PLAN
C3.1	PROPOSED SITE PLAN
C3.2	GRADING PLAN – PHASE 2 & 3
C3.3	UTILITY PLAN – PHASE 2 & 3
L1.1	LANDSCAPING PLAN – PHASE 2 & 3
A1.1–A1.5	DUPLEX BUILDING PLANS
A2.1–A2.5	SINGLE UNIT BUILDING PLANS

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

SCALE AS SHOWN
DATE 9-19-12
DRAFTER
RART/MMAR
CHECKED
PROJECT NO. 35107298
SHEET T1.0
DWG. NO.

Bentley Green Development  
 Alteration to Approved Conditional Use Plan  
 Title Sheet  
 City of Madison, Wisconsin



CALL DIGGER'S HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 TELEFAX: 1-800-338-3860  
 TDC (FOR HEARING IMPAIRED):  
 1-800-542-2289  
 WIS. STATUTE 182.0175 (1979)  
 REQUIRES MINIMUM OF 3 WORKING DAYS  
 NOTICE BEFORE YOU EXCAVATE.

#### DESIGN TEAM

**CIVIL ENGINEER**  
 VIERBICHER  
 999 FOURIER DRIVE, SUITE 201  
 MADISON, WI 53717  
 CONTACT: DAVE GLUSICK  
 608-821-3947




**LANDSCAPE ARCHITECT**  
 VIERBICHER  
 999 FOURIER DRIVE, SUITE 201  
 MADISON, WI 53717  
 CONTACT: SUZANNE VINCENT  
 608-821-3963

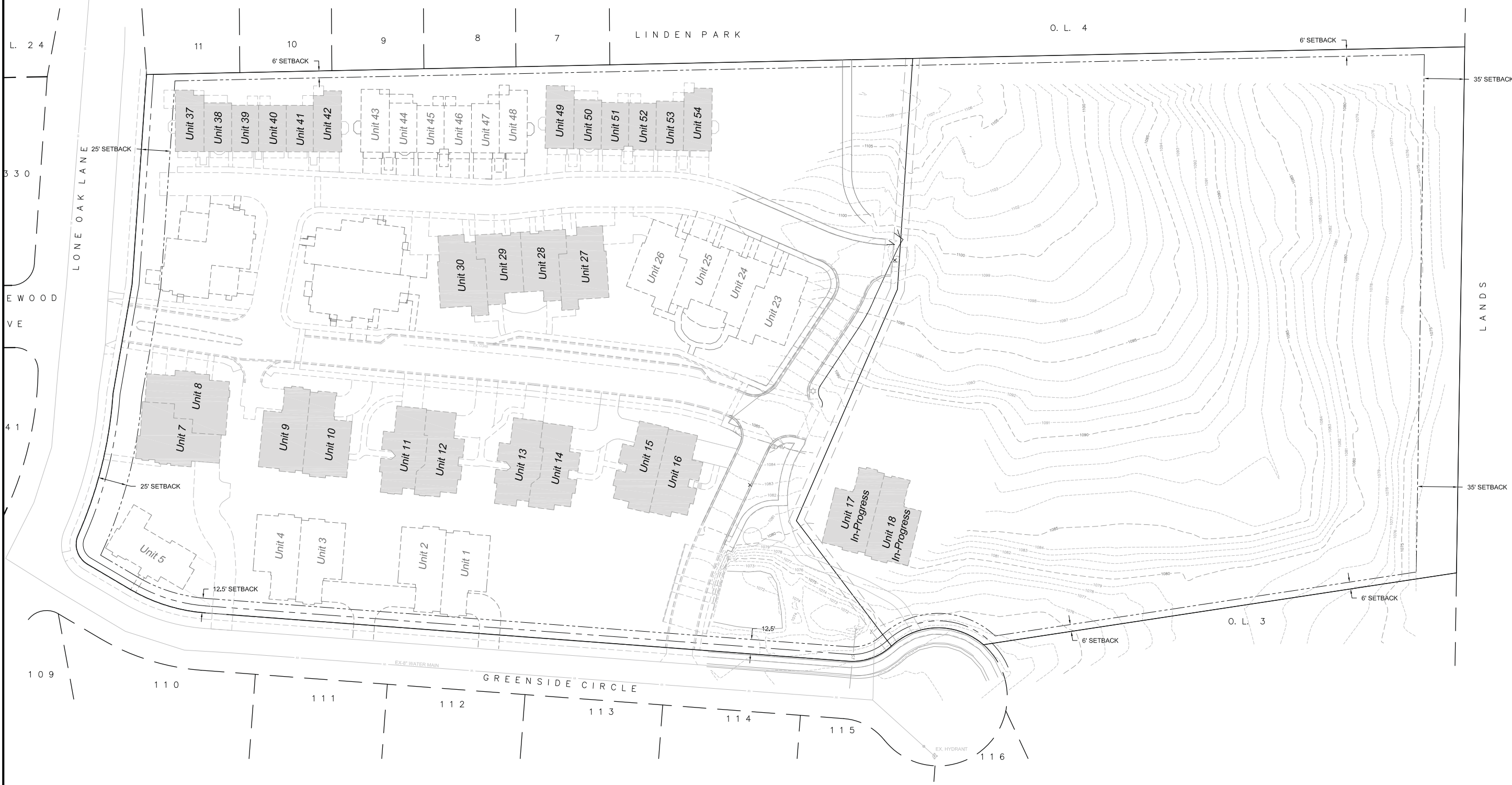
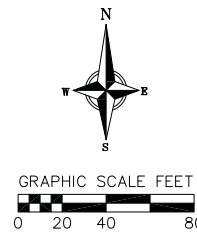
**ARCHITECT**  
 AMERICAN DESIGN CONCEPTS  
 1334 APPLGATE ROAD  
 MADISON, WI 53713  
 CONTACT: TOM NICEWANDER  
 608-273-0770

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
 1-800-242-8511

SITE PLAN LEGEND

- FUTURE BUILDING 
- EXISTING BUILDING 
- EXISTING DRIVE/SIDEWALK 

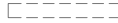

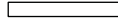
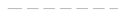
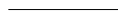


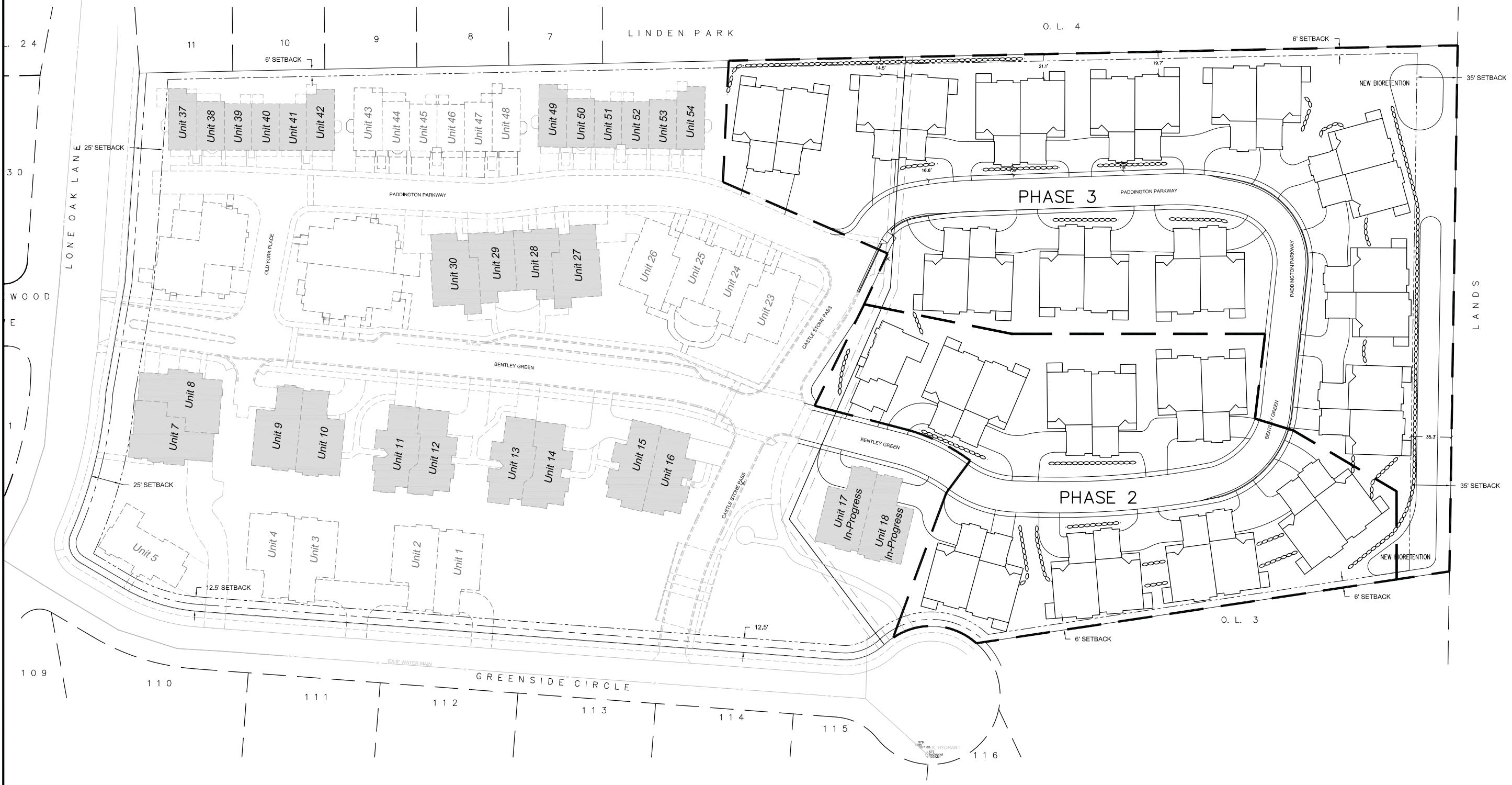
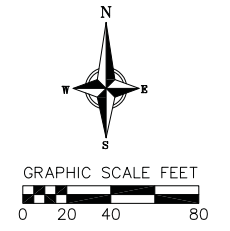
**Bentley Green Development**  
Alteration to Approved Conditional Use Plan  
Existing Site Conditions  
City of Madison, Wisconsin

REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
DATE 9-19-12  
DRAFTER RART  
CHECKED TSCH  
PROJECT NO. 35107298  
SHEET C2.0  
DWG. NO.

SITE PLAN LEGEND

- FUTURE BUILDING 
- EXISTING BUILDING 
- PROPOSED BUILDING 
- EXISTING DRIVE/SIDEWALK 
- PROPOSED DRIVE/SIDEWALK 



**Bentley Green Development**  
 Alteration to Approved Conditional Use Plan  
 Proposed Site Plan  
 City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE: 9-19-12

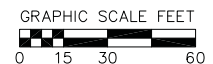
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CHECKED: TSCH

PROJECT NO.: 35107298

SHEET: C3.1

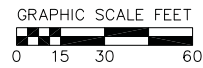
DWG. NO.:



**Bentley Green Development**  
 Alteration to Approved Conditional Use Plan  
 Grading Plan - Phase 2 & 3  
 City of Madison, Wisconsin

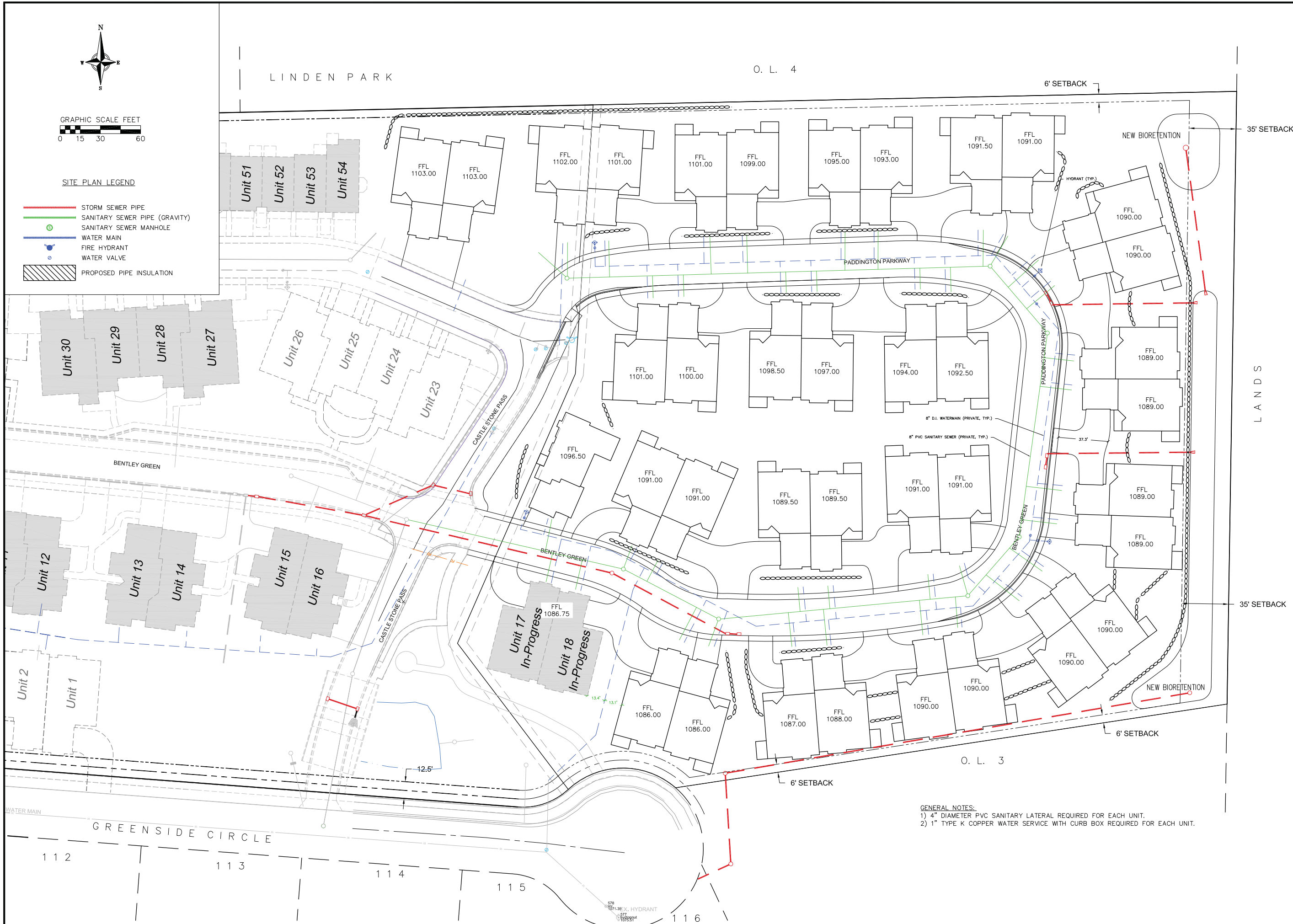
REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
 DATE 9-19-12  
 DRAFTER RART  
 CHECKED TSCH  
 PROJECT NO. 35107298  
 SHEET C2.00F  
 DWG. NO.



SITE PLAN LEGEND

- STORM SEWER PIPE
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER MANHOLE
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- PROPOSED PIPE INSULATION



- GENERAL NOTES:
- 1) 4" DIAMETER PVC SANITARY LATERAL REQUIRED FOR EACH UNIT.
  - 2) 1" TYPE K COPPER WATER SERVICE WITH CURB BOX REQUIRED FOR EACH UNIT.

**Bentley Green Development**  
 Alteration to Approved Conditional Use Plan  
 Utility Plan - Phase 2 & 3  
 City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 9-19-12

DRAFTER RART

CHECKED TSCH

PROJECT NO. 35107298

SHEET C3.3

DWG. NO.

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18 Sep 2012 - 6:01p M:\Bentley Group\35107298\_Bentley Green Condo\ENGINEERING\Civil\3D\35107298-Landscape.dwg by:svn

key	qty	botanical name	common name	planting size	root cond.	mature size (h x w)
<b>leaf deciduous trees</b>						
Af	#	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2" cal.	B&B	45' x 40'
Ca	#	<i>Celtis occidentalis</i>	Common Hackberry	2" cal.	B&B	50' x 50'
Gb	1	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	2" cal.	B&B	50' x 30'
Gt	#	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Honeylocust (Thornless/Seedless)	2" cal.	B&B	45' x 30'
Pl	#	<i>Phellodendron lavallei</i>	Carikree	2" cal.	B&B	45' x 50'
Qr	3	<i>Quercus rubra</i>	Red Oak	2" cal.	B&B	70' x 65'
<b>understory trees</b>						
Ag	#	<i>Amelanchier x grandiflora</i>	Apple Serviceberry	1.5" cal.	B&B	25' x 25'
Co	#	<i>Cornus alternifolia</i>	Pagoda Dogwood	#5	cont.	20' x 20'
Vp	#	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	#3	cont.	15' x 20'
<b>evergreen trees</b>						
JF	#	<i>Juniperus chinensis</i> 'Fairview'	Fairview Juniper	4' ht.	B&B	18' x 6'
JG	#	<i>Juniperus virginiana</i> 'Glauca'	Silver Juniper	5' ht.	B&B	25' x 12'
Li	#	<i>Larix laricina</i>	American Larch	6' ht.	B&B	40' x 12'
Pg	#	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	5' ht.	B&B	30' x 20'
Ps	#	<i>Pinus strobus</i>	Eastern White Pine	6' ht.	B&B	65' x 30'

- GENERAL NOTES:**
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per specified application rates.
  - All plantings shall conform to quality requirements as per ANSI Z60.1.
  - All tree plantings to be mulched with natural colored shredded hardwood bark mulch to 3" depth min. within a 3' min. radius of the trunk. Do not mound mulch against trunk.
  - Areas labeled "Bioretention" to be seeded with Rainwater Renewal seed mix by Agrecol, or equal, at manufacturer's specified application rate.



- LEGEND**
- CANOPY TREE
  - EVERGREEN TREE
  - UNDERSTORY TREE

**vierblicher**  
planners | engineers | advisors  
REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 Foxglove Lane  
Phone: (608) 824-0332 Fax: (608) 824-0330

**Bentley Green Development**  
Alteration to Approved Conditional Use Plan  
Preliminary Common Area Landscape Plan  
City of Madison, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE: AS SHOWN

DATE: 09.18.12

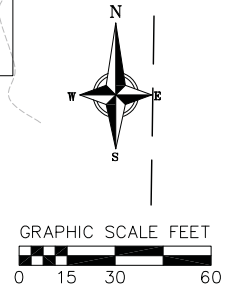
DRAFTER: SVN

CHECKED: TSCH

PROJECT NO.: 35107298

SHEET: L1.1

DWG. NO.:





**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

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ELEVATIONS  
SCALE: 1/4" = 1'

PLAN START DATE 04/16/12  
REVISED 05/12/12

**AMERICAN DESIGN CONCEPTS**

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Duplex Unit

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608/213-0110  
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**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

SIDE ELEVATIONS  
SCALE: 1/4" = 1'

PLAN START DATE 04/16/12  
REVISED 09/12/12

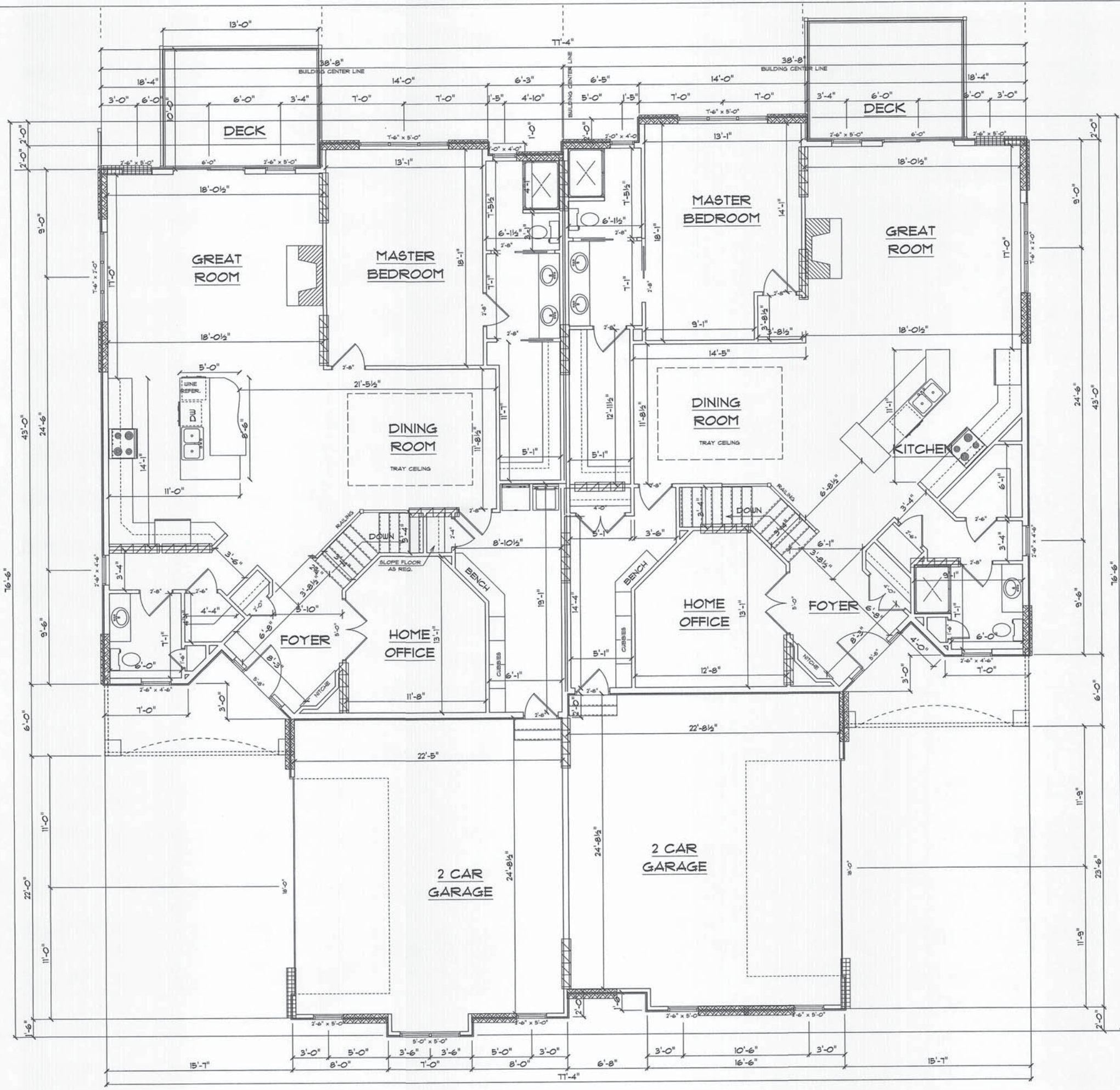
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Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Duplex Unit

A 1.2

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**4'-0" STRUCTURAL DRYWALL BRACING**  
 Minimum 1/2" gypsum board panels fastened at panel edges including the top and bottom plates at 1" o.c. Minimum braced wall panel length shall be 36" where gypsum board is applied on one side only and 48" where applied to both sides of the wall.

**4'-0" STRUCTURAL SHEATHING**  
 Minimum 7/16" wood structural panel sheathing with all edges fastened to framing or blocking with 8d nails at 6" o.c. along edges and 12" o.c. in the field. Minimum braced wall panel length vary 18" - 48".

**CONTINUOUSLY SHEATHED PER S.COMM 21.25(9)(C)5.**  
 G.C. TO VERIFY AND APPROVE SHEATHING SCHEDULE PRIOR TO CONSTRUCTION

**GENERAL STRUCTURAL NOTES**  
 Double top plates are required over all studs and headers. The end joint offset between the two top plates shall be at least 2 stud spaces. Joints in the top plates shall be installed only over studs. The two top plates shall be nailed together with a minimum of (3) 12d x 3" nails or (2) 16d x 3-1/4" nails.

Bottom wall plates shall be fastened to the floor system with a minimum of (2) 12d x 3" nails through the bottom plate into the floor joist below.

**1ST FLOOR LAYOUT**  
 SCALE: 1/4" = 1'-0"  
**1756 SQFT FINISHED AREA PER UNIT**

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 ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

FIRST FLOOR FLOOR PLAN
351/2 TOTAL SQFT FINISHED AREA
1756 SQFT FINISHED AREA PER UNIT
SCALE: 1/4" = 1'
PLAN START DATE 04/10/12
REVISED 09/12/12

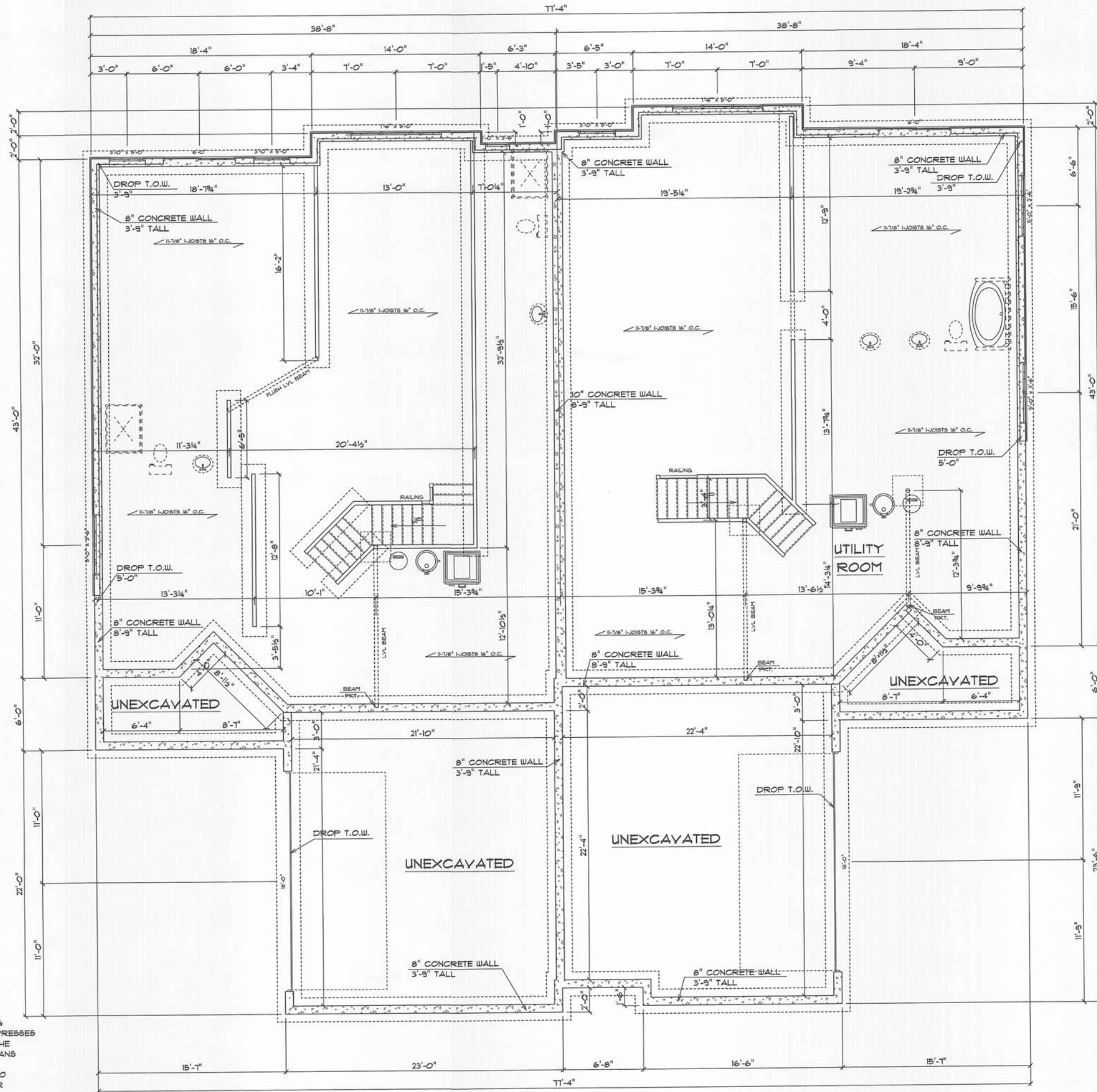
**AMERICAN DESIGN CONCEPTS**

Bentley Green Development  
 Alteration to Approved Conditional Use Permit  
 Duplex Unit

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**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

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FOUNDATION PLAN  
SCALE: 1/4" = 1'

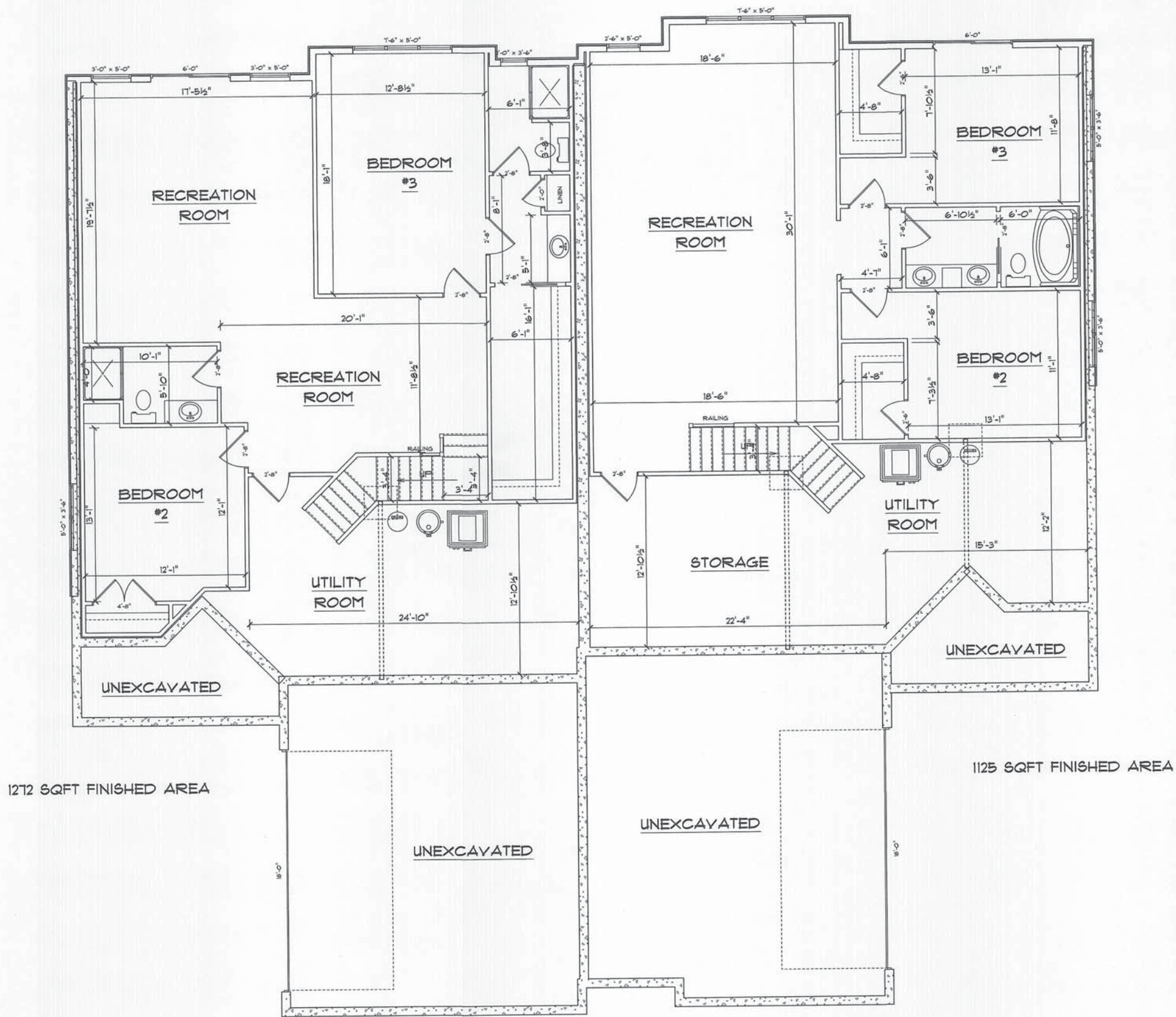
PLAN START DATE 04/10/12
REVISED 09/10/12

**AMERICAN DESIGN CONCEPTS**

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Duplex Unit

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FOUNDATION FINISH PLAN  
SCALE: 1/4" = 1'-0"

A 1.5

FOUNDATION FINISH PLAN  
2579 SQFT TOTAL FINISHED AREA  
SCALE: 1/4" = 1'

PLAN START DATE: 04/16/12  
REVISED: 09/12/12

AMERICAN DESIGN CONCEPTS

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Duplex Unit

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**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

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ELEVATIONS  
SCALE: 1/4" = 1'

PLAN START DATE 08/10/02
REVISED 08/16/02
REVISED 05/24/02

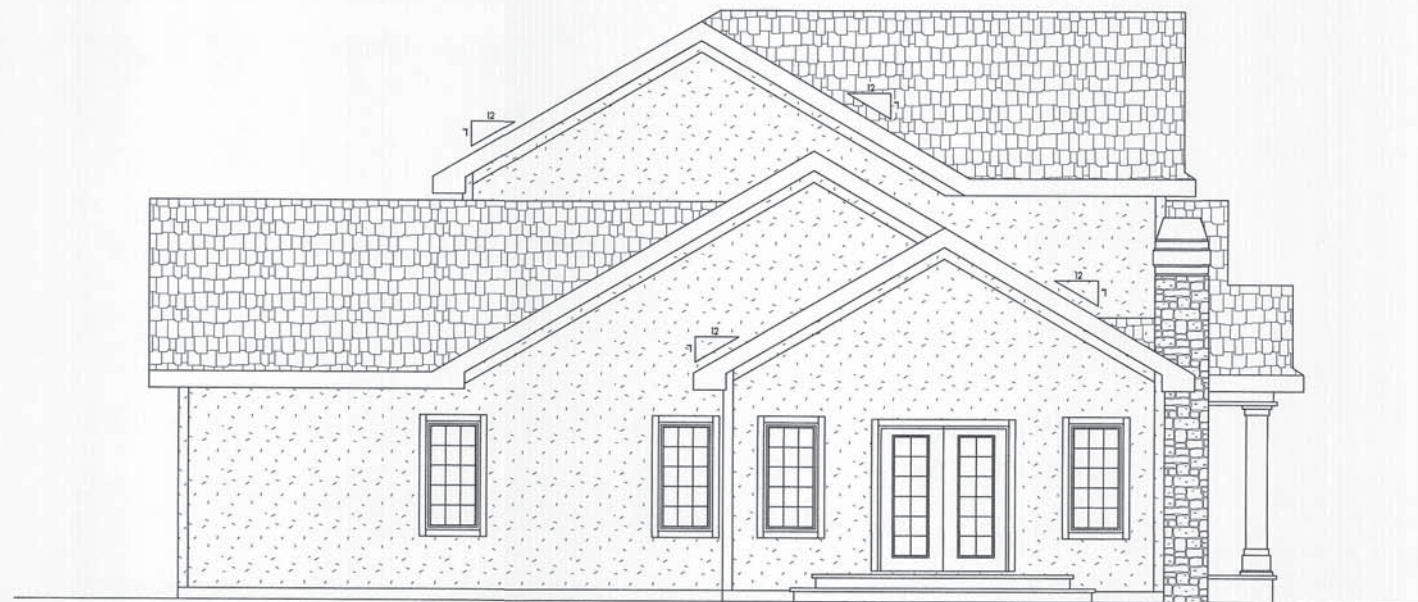
**AMERICAN DESIGN CONCEPTS**

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Single Unit

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**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

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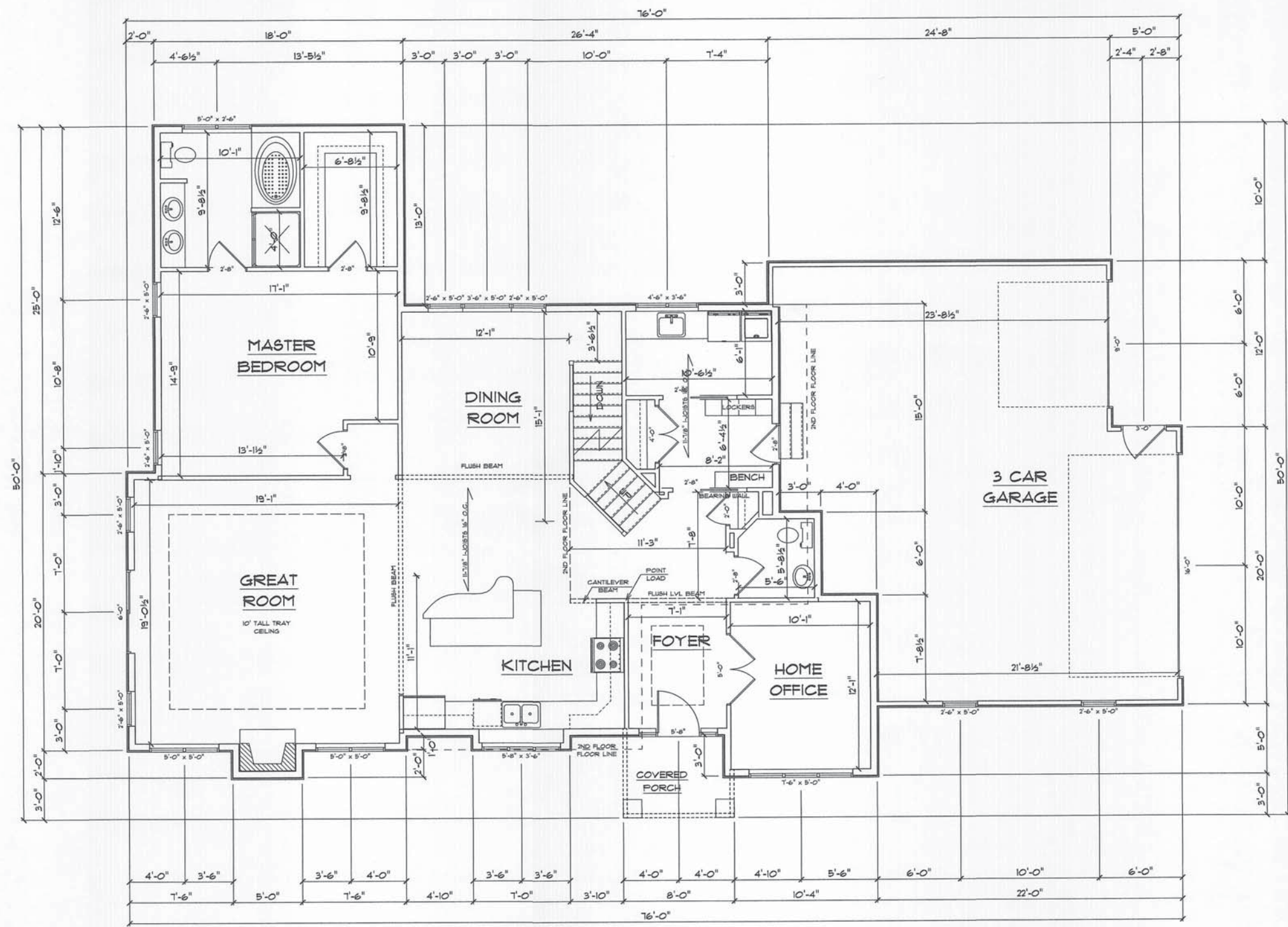
SIDE ELEVATIONS  
SCALE: 1/4" = 1'

PLAN START DATE 08/1/02
REVISED 08/18/02
REVISED 08/24/02

**AMERICAN DESIGN CONCEPTS**

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Single Unit

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1ST FLOOR LAYOUT  
 SCALE: 1/4" = 1'-0"  
 1798 SQFT FINISHED AREA

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A 2.3

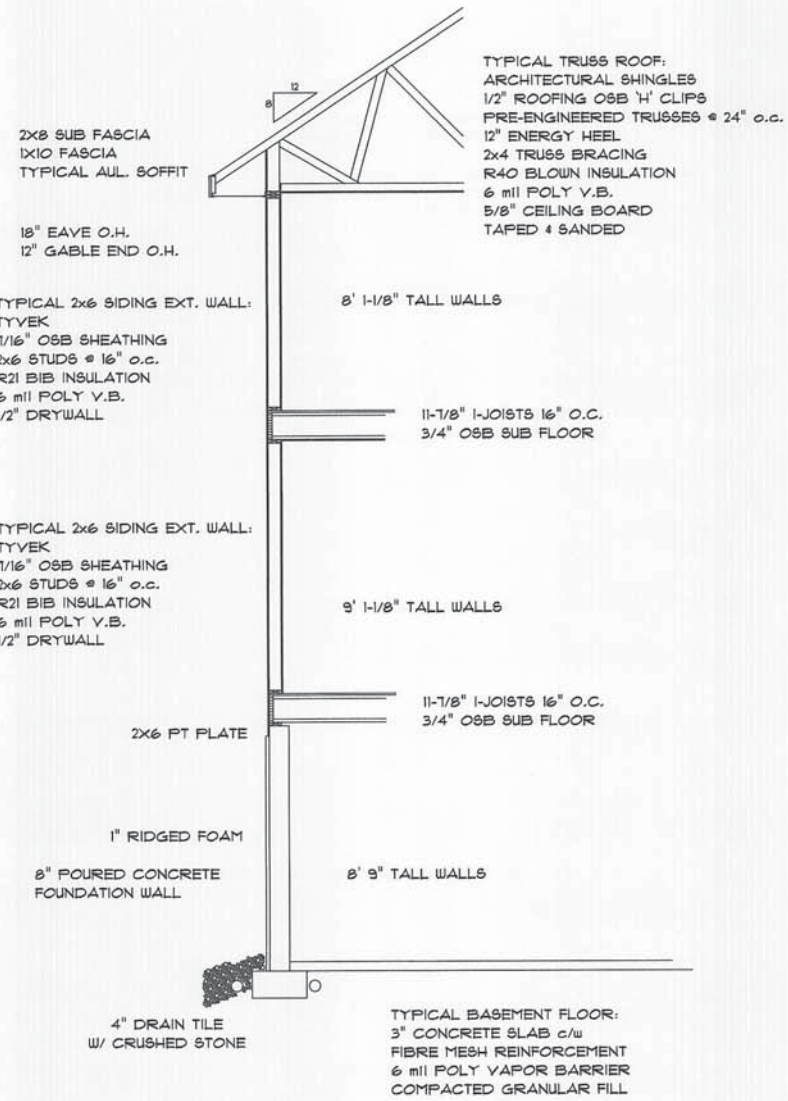
FIRST FLOOR FLOOR PLAN  
 1798 SQFT FINISHED AREA  
 SCALE: 1/4" = 1'

PLAN START DATE	08/11/02
REVISED	08/19/02
REVISED	09/24/02

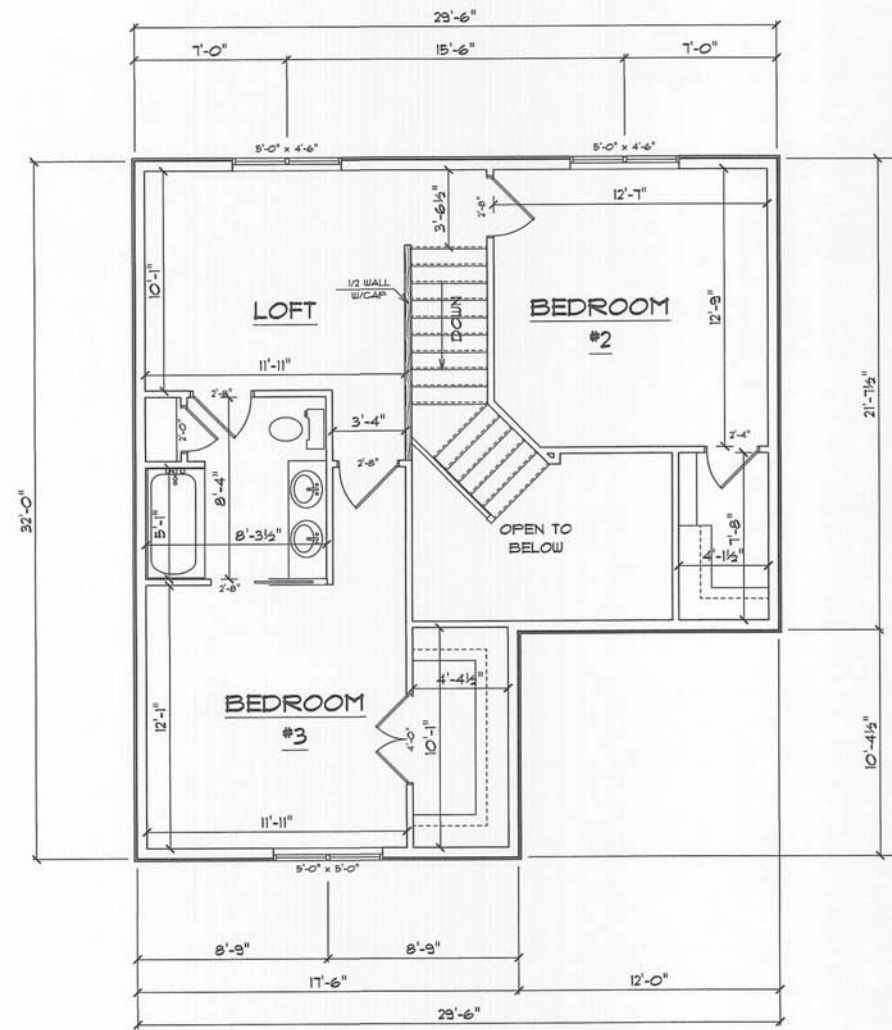
# AMERICAN DESIGN CONCEPTS

Bentley Green Development  
 Alteration to Approved Conditional Use Permit  
 Single Unit

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SECTION THROUGH  
 TYPICAL



2ND FLOOR LAYOUT  
 SCALE: 1/4" = 1'-0"  
 670 SQFT FINISHED AREA

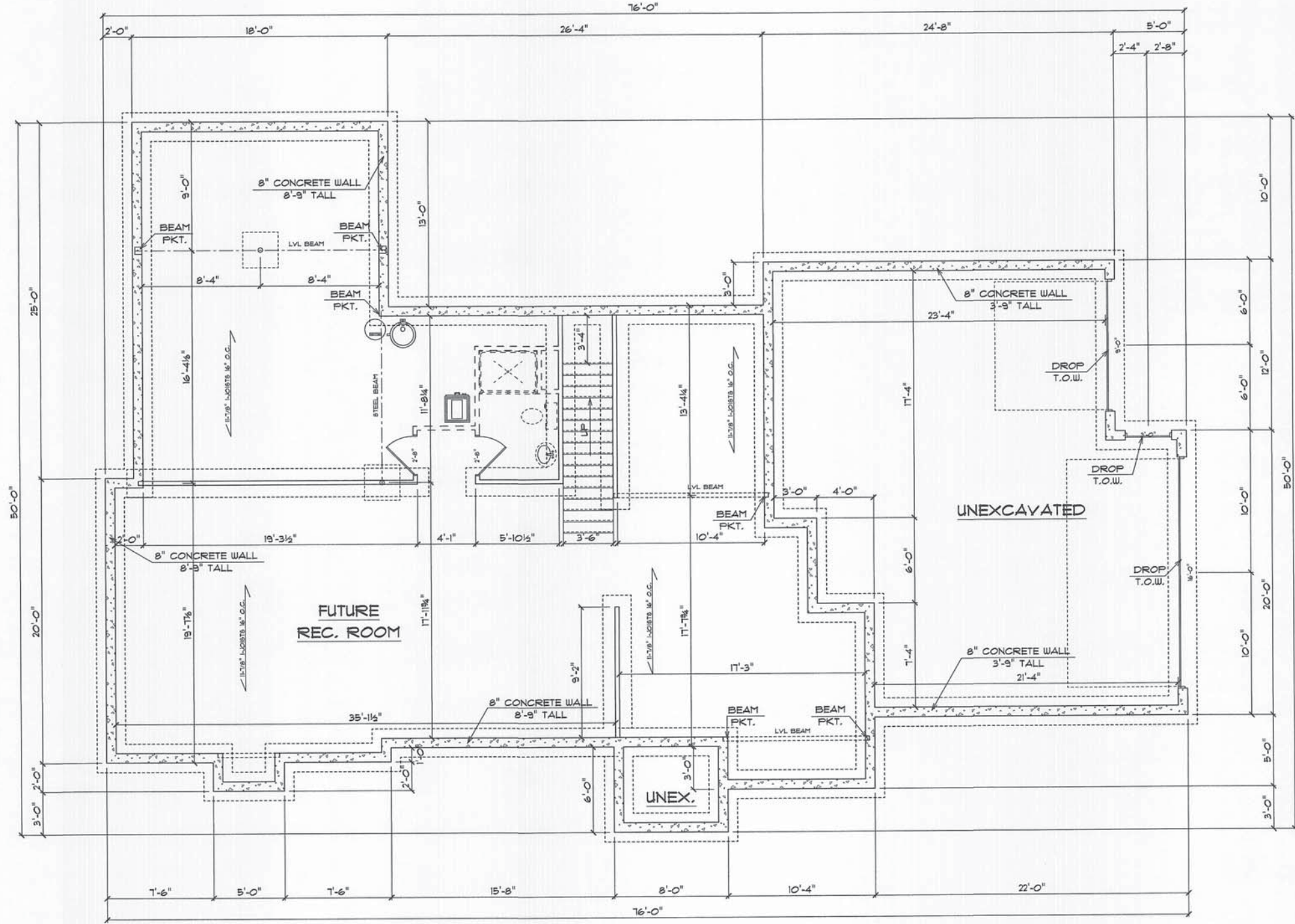
SECOND FLOOR FLOOR PLAN 670 SQFT FINISHED AREA SCALE: 1/4" = 1'	
PLAN START DATE 08/10/08	
REVISED 08/19/08	
REVISED 08/24/08	

AMERICAN DESIGN CONCEPTS

Bentley Green Development  
 Alteration to Approved Conditional Use Permit  
 Single Unit

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FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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A 2.5

FOUNDATION PLAN  
SCALE: 1/4" = 1'

PLAN START DATE 05/10/02
REVISED 05/18/02
REVISED 05/24/02

# AMERICAN DESIGN CONCEPTS

Bentley Green Development  
Alteration to Approved Conditional Use Permit  
Single Unit

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