

Project: Site Improvements to 3009 University Ave. / 3118 Harvey St.

3009 University Avenue & 3118 Harvey Street
Madison, Wisconsin 53705

December 3, 2013 (City of Madison - Land Use Application)

Land Use Application

DRAWING INDEX

000 Title Sheet

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PROJECT INFORMATION

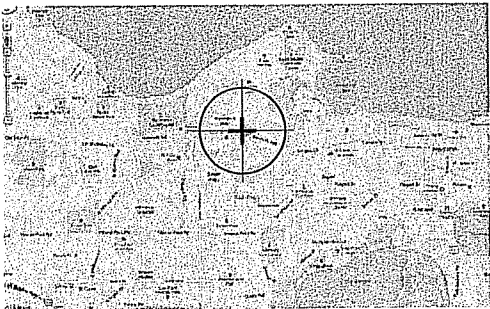
Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2012
Storage occupancy, Group S-2

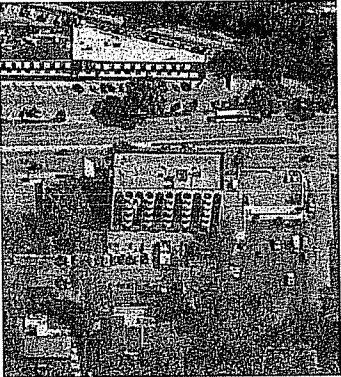
Zoning: City of Madison ordinances

Type of Construction

New Carport Structures (Exterior Only)
Type of construction, unprotected, type 5b - Non-Sprinklered



Location Map



OWNER:

SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Contact: Duke Dykstra
TEL 608-238-0501
duke@cleanplace.com

ARCHITECT:

RUSS OWENS, AIA, CCCA, LEEDap
413 Ravine Street
Janesville, WI 53548
TEL 608 219-1316
rowensra@sbcglobal.net

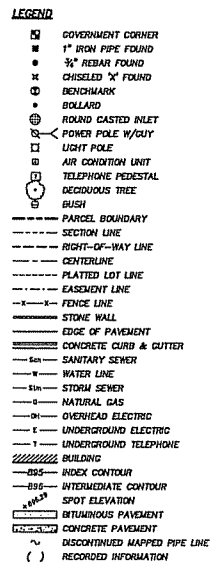
CIVIL ENGINEER:

JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593
TEL 608 848-5060
Bill Dunlop, P.E. - bill.dunlop@jsdinc.com

Asphalt Paving Consultant: Preeda Chaturabong

STRUCTURAL ENGINEER:

MP-Squared Structural Engineers, LLC
583 D'Onofrio Drive, Suite 201
Madison, WI 53719
TEL 608 821-4770
Melissa A. Peyton, P.E. - mpeyton@mpsqr.com



1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON NOVEMBER 03, 2013.
2. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, (WCCS), DANE COUNTY, THE NORTH LINE OF THE NORTHWEST QUARTER, BEARS S 85°33'34" E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1885 (NAVD83). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE NORTHEAST CORNER OF SECTION 21, T07N, R09E, ELEVATION = *****
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFLECT THE TOP BACK OF CURB.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPEARANCES, LOCATING DIGESTS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGEST'S HOTLINE TICKET NO. 201334406831 AND 201334406343.
7. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED, FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGEST'S HOTLINE, AT 1.800.242.8511.
8. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING USED FOR UTILIZATION. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
9. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

PARCEL A

PARCEL D

PART OF LOTS THREE AND FOUR, QUARRY TOWN, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING 231 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 3, QUARRY TOWN; THENCE NORTH 01 DEGREE 01 MINUTES 44 SECONDS WEST, 94.92 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 05 SECONDS EAST, 128.97 FEET; THENCE SOUTH 05 DEGREES 30 MINUTES 52 SECONDS EAST, 65.94 FEET; THENCE NORTH 01 DEGREE 38 MINUTES 55 SECONDS WEST, 128.60 FEET TO THE POINT OF BEGINNING.

PARCELS

PART OF LOTS THREE (3), FOUR (4), AND FIVE(5), QUARRY TOWN, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON STAKE 300 FEET SOUTH OF THE CENTRINE OF UNIVERSITY AVENUE AND 58.2 FEET OF THE WEST LINE OF SCHWITT ADDITION TO FIDULAY PARK; THENCE SOUTH 123.1 FEET PARALLEL; TO SAID WEST LINE TO AN IRON STAKE IN THE NORTHERLY CORNER OF SAID LOT THREE; THENCE WEST 110 FEET PARALLEL TO SAID IRON STAKE AND NOW NORTH 12.03 FEET PARALLEL; TO SAID WEST LINE TO AN IRON STAKE 300 FEET SOUTH OF THE CENTRINE OF UNIVERSITY AVENUE; THENCE NORTH 12.03 FEET PARALLEL; TO SAID WEST LINE TO AN IRON STAKE 300 FEET SOUTH OF THE CENTRINE OF UNIVERSITY AVENUE; THENCE EAST 34.9 FEET PARALLEL; TO SAID CENTER LINE TO AN IRON STAKE; THENCE NORTH 35 FEET PARALLEL; TO SAID WEST LINE OF SCHWITT ADDITION TO AN IRON STAKE; THENCE SOUTH 35 FEET PARALLEL; TO SAID WEST LINE; AND THE POINT OF BEGINNING.

I, JOHN KREBS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1078, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN KREBS, S-1878
REGISTERED LAND SURVEYOR

DATE _____

BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY

PART OF LOTS THREE (3), FOUR (4) AND FIVE (5), QUARRY TOWN, BEING PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



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PROJECT NO: 10-4352

FILE NO: E-180

SURVEYED: JH

F.B. NO/PQ: 273/75

SHEET NO: 1

REVISION NO.	DESCRIPTION
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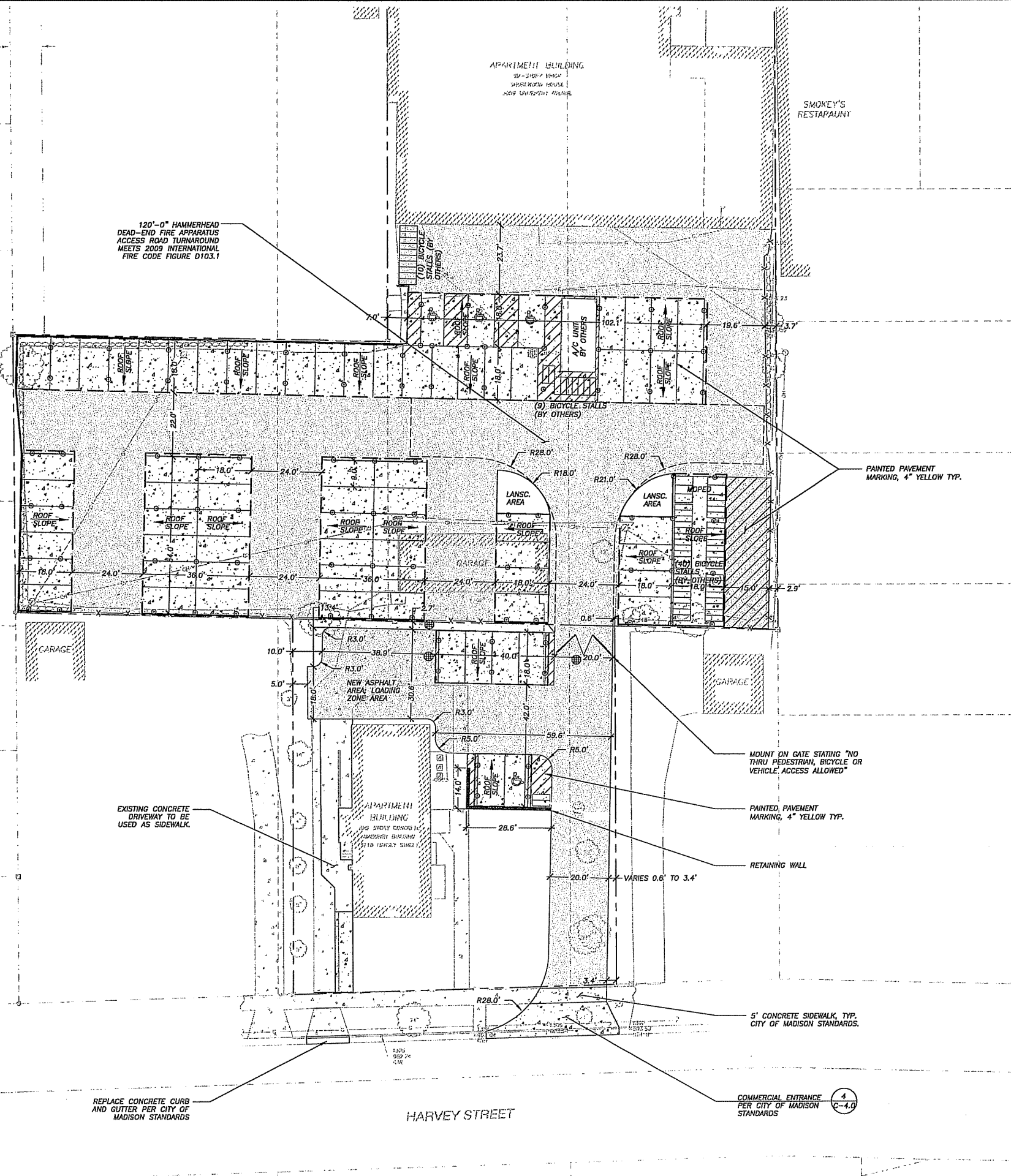
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LEGEND (PROPOSED)

---	PROPERTY LINE
---	ROOF OUTLINE
-X-X-X-	PROPOSED FENCE LINE
---	EDGE OF PAVEMENT
---	RETAINING WALL/FIRE WALL
---	1 HOUR RATED FIRE WALL
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- SITE PLAN NOTES**
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
 - EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
 - BIKE RACK TO MEET CITY OF MADISON STANDARDS.

Parking Lot Plan Site Information Block

Site Address: 3009 University Avenue
Site acreage (total): 0.989

Number of building stories (above grade): 8
Building height: xx
DILHR type of construction (new structures or additions): N/A
Total square footage of building: 11,000

Use of property: Apartments
Gross Square Feet of office: 0
Gross Square Feet of retail: 0
Number of employees in warehouse: --
Number of employees in production area: --
Capacity of restaurant/place of assembly: --

Number of bicycle stalls shown: 8 (inside building)

Number of parking stalls:

shown	
Small car	0
Large car	64
Accessible	3
Total	67

Number of trees shown: xx

Parking Lot Plan Site Information Block

Site Address: 3118 Harvey Street
Site acreage (total): 0.316

Number of building stories (above grade): 2
Building height: xx
DILHR type of construction (new structures or additions): N/A
Total square footage of building: 1,830

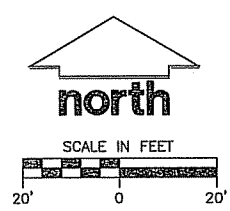
Use of property: Apartments
Gross Square Feet of office: 0
Gross Square Feet of retail: 0
Number of employees in warehouse: --
Number of employees in production area: --
Capacity of restaurant/place of assembly: --

Number of bicycle stalls shown: 59

Number of parking stalls:

shown	
Small car	0
Large car	5
Accessible	1
Total	6

Number of trees shown: xx



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www.jsdinc.com

SERVICES PROVIDED TO:
SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
**3009 UNIVERSITY AVE/
3118 HARVEY STREET
PARKING LOT AND
FIRE LANE**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: PGB 11/20/13
DRAWN: PGB 11/20/13
APPROVED: BD 11/20/13

PLAN MODIFICATIONS:

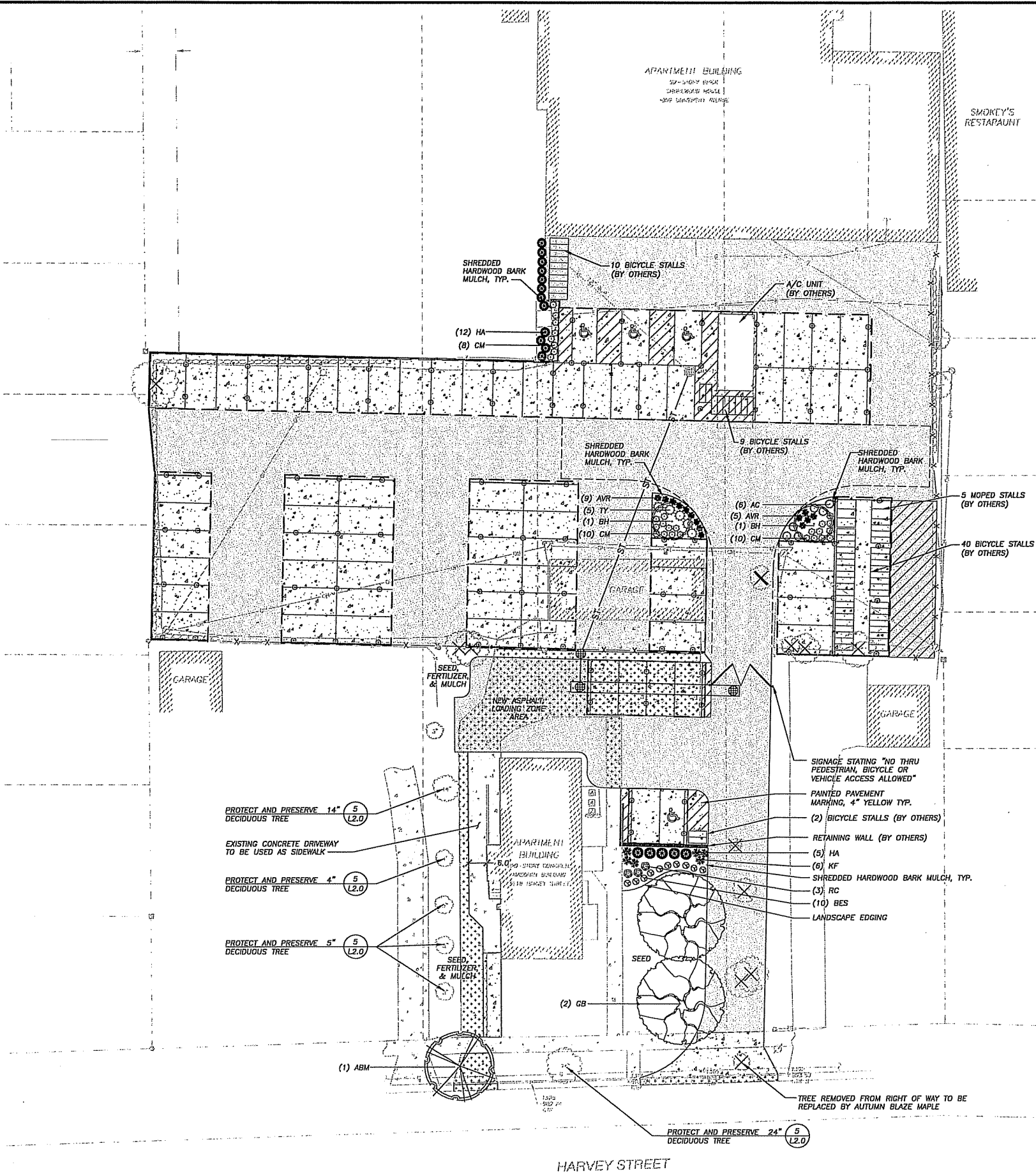
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SHEET TITLE:
**OVERALL
SITE PLAN**

SHEET NUMBER:
CO-1

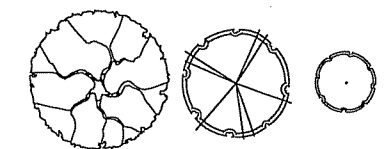
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LEGEND (PROPOSED)

- PROPERTY LINE
- ROOF OUTLINE
- PROPOSED FENCE LINE
- POLYETHYLENE EDGING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PAVEMENT REMOVAL
- PROPOSED TREE/SHRUB REMOVAL

EXISTING LARGE DECIDUOUS TREE



- UPRIGHT EVERGREEN SHRUB
- MEDIUM EVERGREEN SHRUB
- MEDIUM DECIDUOUS SHRUB
- PERENNIALS
- ORNAMENTAL GRASSES

LANDSCAPE PLANT LIST - 3009 UNIVERSITY AVE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
EX	2	Existing Large Deciduous Trees	VARIES	22" TOTAL DBH		14	22x14=308 (30% OF 487 = 146) 146 POINTS ALLOWED FOR EXISTING TREE TOTAL 70
BH	2	Bonhall Maple	ACER rubrum 'Bonhall'	2-1/2" Cal.	B&B	35	
UPRIGHT EVERGREEN SHRUBS							
HA	12	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4" Min. HL	B&B	10	120
MEDIUM EVERGREEN SHRUBS							
TY	5	Taunton Yew	TAXUS x media 'Tauntonii'	12"-24" Min HL	# 3 Cont.	4	20
MEDIUM DECIDUOUS SHRUBS							
AC	6	Alpine Currant	RIBES alpinum	12"-24" Min HL	# 3 Cont.	3	18
PERENNIALS							
AVR	14	Visions in White	ASTILBE x chinensis 'Visions in White'	8"-18" Min HL	# 1 Cont.	2	28
ORNAMENTAL GRASSES							
CM	28	Korean Feather Reed Grass	CALAMAGROSTIS brachytricha	8"-18" Min HL	# 1 Cont.	2	56
DECORATIVE FENCING							
	72 LF	Cedar Picket Fence				4 per 10 lineal feet	29
						TOTAL:	487

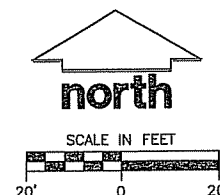
LANDSCAPE PLANT LIST - 3118 HARVEY STREET

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
EX	5	Existing Large Deciduous Trees	VARIES	78" TOTAL DBH		14	78x14=1092 (30% OF 119 REQUIRED POINTS = 36) 36 POINTS ALLOWED FOR EXISTING TREE TOTAL
ABM	1	Autumn Blaze Maple	ACER x freemanii 'Jeffersrad'	2-1/2" Cal.	B&B	(ROW)*	0
GB	2	Autumn Gold Ginkgo	GINKGO biloba 'Autumn Gold'	2-1/2" Cal.	B&B	35	70
UPRIGHT EVERGREEN SHRUBS							
HA	5	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4" Min. HL	B&B	10	50
MEDIUM DECIDUOUS SHRUBS							
RC	3	Ruby Spice Clethra	CLETHRA alnifolia 'Ruby Spice'	12"-24" Min HL	# 3 Cont.	3	9
PERENNIALS							
BES	10	Black-Eyed Susan	RUDIBECKIA fulgida var. fulgida	8"-18" Min HL	# 1 Cont.	2	20
ORNAMENTAL GRASSES							
KF	6	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiform 'Karl Foerster'	8"-18" Min HL	# 1 Cont.	2	12
						TOTAL:	197

* Removal of existing tree in Right-of-Way must be replaced therefore no landscape points are provided

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AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KJY 11/20/13
DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS: DATE:

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SHEET TITLE:

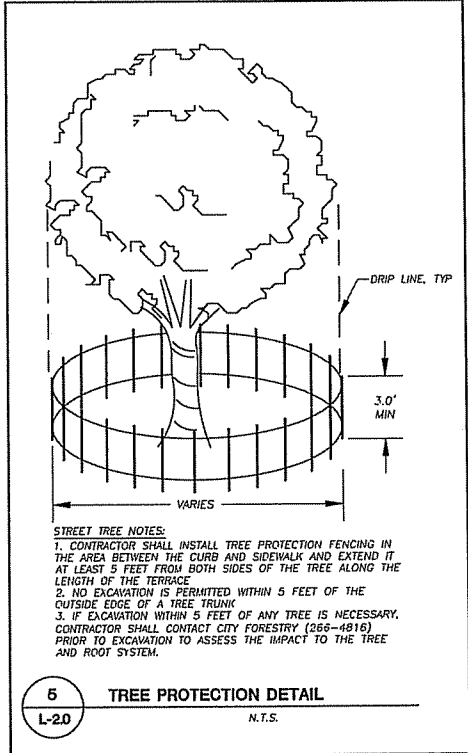
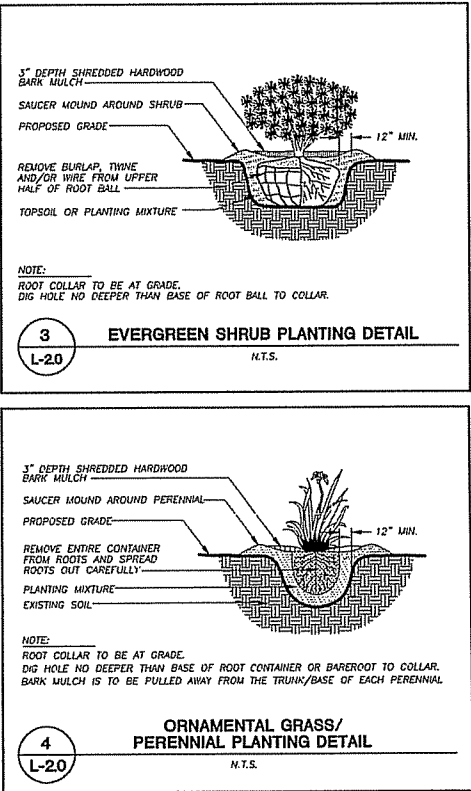
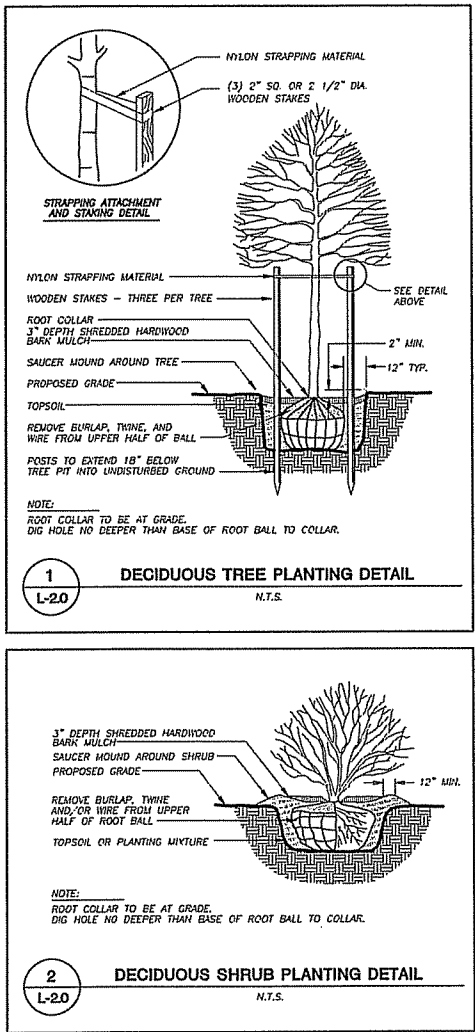
**OVERALL
LANDSCAPE PLAN**

SHEET NUMBER:

LO-1

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LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5844 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
1. PLANTING AREAS = 24"
2. TREE PIT = SEE DETAILS
PLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - ALL PLANTING AREAS** SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- SEED:** ALL DISTURBED LAWN AREAS SHALL BE SEEDDED WITH EARTH CARPET'S 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSAL OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3118 HARVEY STREET, MADISON, WI
Name of Project 3118 HARVEY STREET, MADISON, WI
Owner / Contact SHOREWOOD HOUSE, LLP
Contact Phone (608) 848-5060 Contact Email MIKE.SCHMELTZER@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 7,128
Total landscape points required 119

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arbutoviae)	3-4 feet tall	10			5	50
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			3	9
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			16	32
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.				
Existing significant specimen tree	Minimum size: 2 1/4 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	5 TREES AT 78" TOTAL DBH		78x14=1092 (30% OF 119=36)	36
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				36		161

Total Number of Points Provided 197

* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3009 UNIVERSITY AVENUE, MADISON, WI
Name of Project 3009 UNIVERSITY AVENUE, MADISON, WI
Owner / Contact SHOREWOOD HOUSE, LLP
Contact Phone (608) 848-5060 Contact Email MIKE.SCHMELTZER@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 29,208
Total landscape points required 487

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arbutoviae)	3-4 feet tall	10			12	120
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			6	18
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			5	20
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			33	66
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.			72 LF	288
Existing significant specimen tree	Minimum size: 2 1/4 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	2 TREES AT 22" TOTAL DBH		22x14=308 (30% OF 487=146)	146
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				146		341

Total Number of Points Provided 487

* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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MADISON REGIONAL OFFICE
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MADISON | MILWAUKEE

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www.jsdinc.com

SERVICES PROVIDED TO:

SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

**3009 UNIVERSITY AVE./
3118 HARVEY STREET
PARKING LOT AND
FIRE LANE**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS: DATE:

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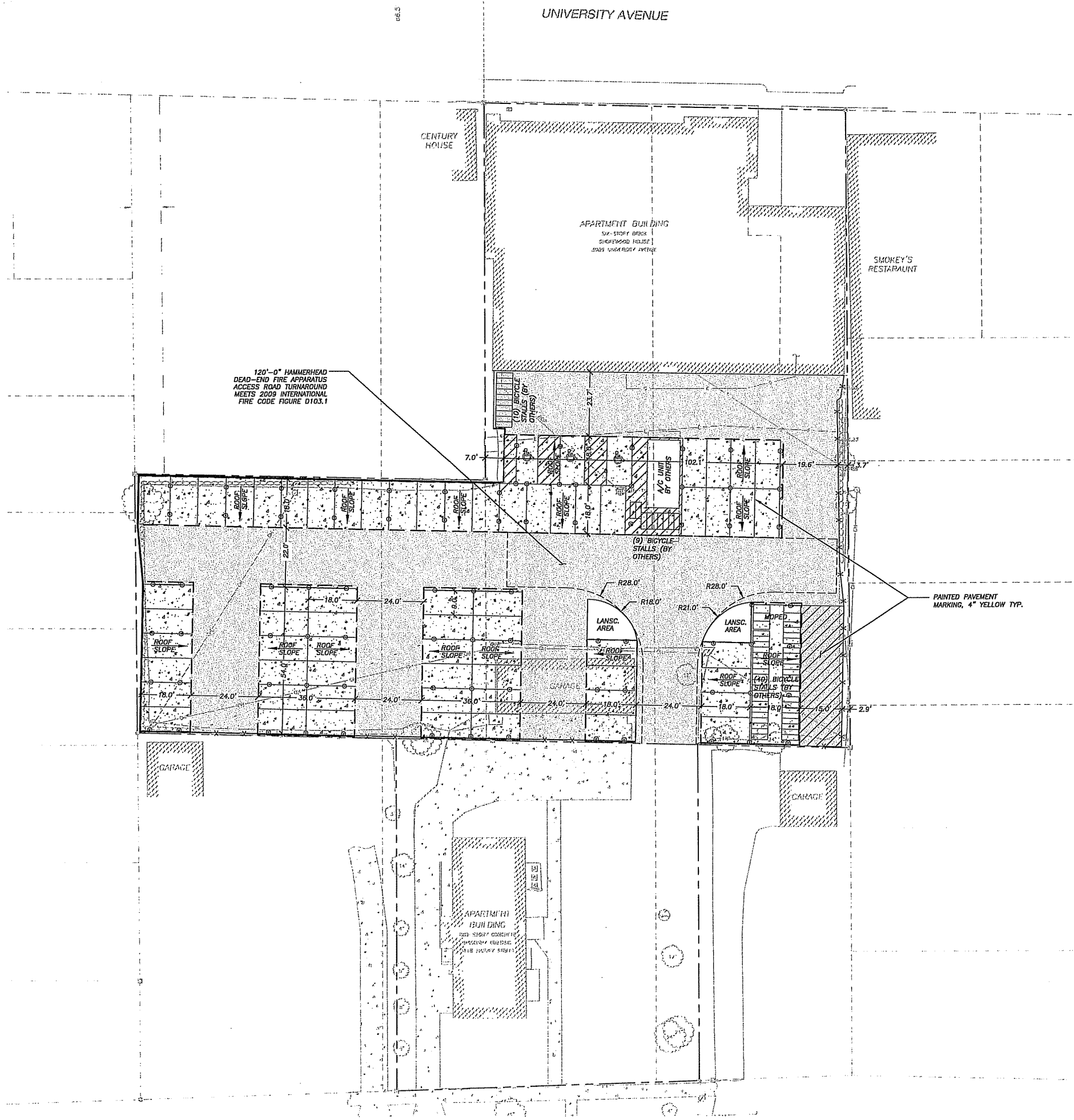
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SHEET TITLE:

**LANDSCAPE DETAILS
& SPECIFICATIONS**

SHEET NUMBER:

LO-2



LEGEND (PROPOSED)

---	PROPERTY LINE
---	ROOF OUTLINE
-X-X-X-	PROPOSED FENCE LINE
---	EDGE OF PAVEMENT
---	RETAINING WALL
---	1 HOUR RATED FIRE WALL
---	PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
---	PROPOSED ASPHALT PAVEMENT, 3.25" MIN. E.O.3; 1.5" 9.5 MM SURFACE; 1.75", 12.5 MM BINDER

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

1. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
2. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
3. EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
4. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
5. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
7. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
8. BIKE RACK TO MEET CITY OF MADISON STANDARDS.

Parking Lot Plan Site Information Block	
Site Address	3009 University Avenue
Site acreage (total)	0.989
Number of building stories (above grade)	8
Building height	xx
DILHR type of construction (new structures or additions)	N/A
Total square footage of building	11,000
Use of property	Apartments
Gross Square Feet of office	0
Gross Square Feet of retail	0
Number of employees in warehouse	--
Number of employees in production area	--
Capacity of restaurant/place of assembly	--
Number of bicycle stalls shown	59
Number of parking stalls:	shown
Small car	0
Large car	64
Accessible	3
Total	67
Number of trees shown	xx

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SERVICES PROVIDED TO:

**SHOREWOOD
HOUSE, LLP.**

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

**3009 UNIVERSITY AVE
PARKING LOT**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

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APPROVED: BD 11/20/13

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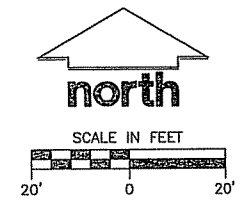
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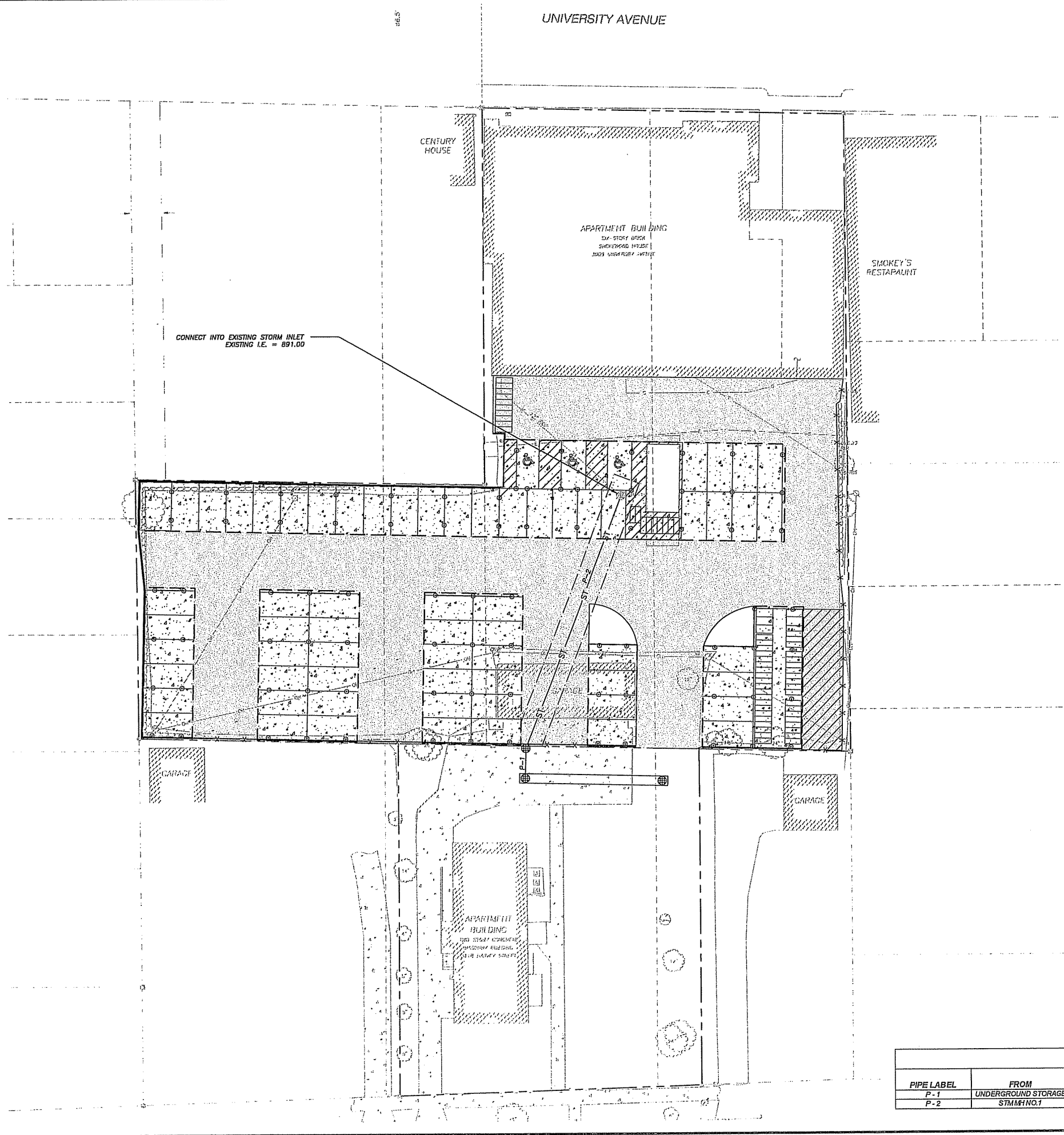
SITE PLAN

SHEET NUMBER:

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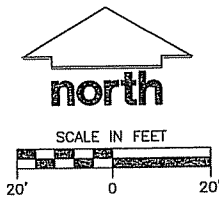
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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - ROOF OUTLINE
 - EDGE OF PAVEMENT
 - 5' STORM SEWER EASEMENT
 - ST
 - ROUND CATCH BASIN INLET

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSFS, AND WDNR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
 - WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
 - COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
 - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1081.



PROPOSED STORM SEWER PIPE SCHEDULE						
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STMM#NO.1	10	892.10	892.00	8" PVC
P-2	STMM#NO.1	EXISTING INLET	98	891.98	891.00	8" PVC

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SERVICES PROVIDED TO:
SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	11/20/13
DRAWN:	PGB	11/20/13
APPROVED:	BD	11/20/13

PLAN MODIFICATIONS:	DATE:

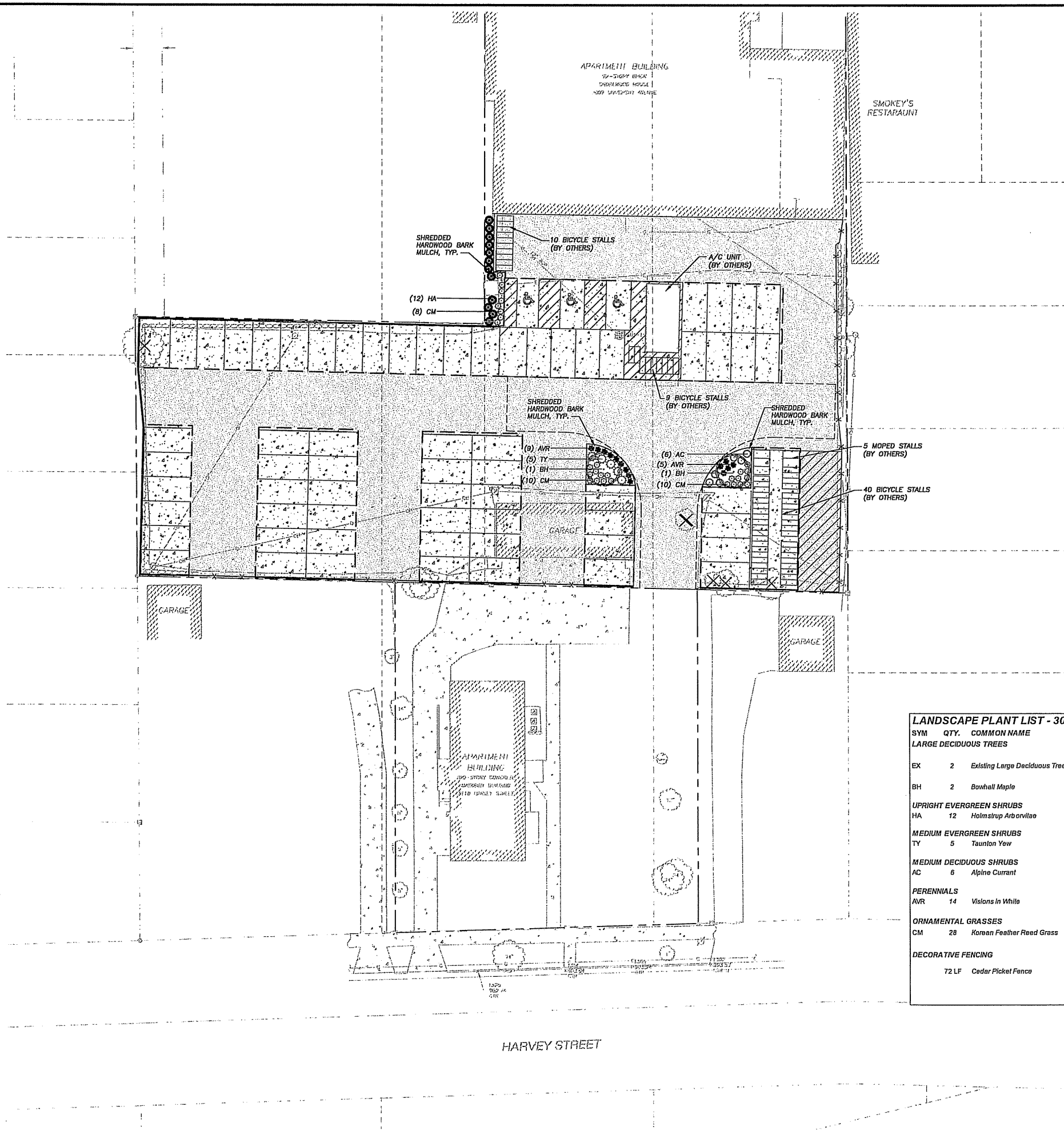
DIGGERS HOTLINE









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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-3.0A

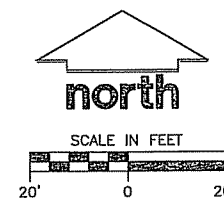
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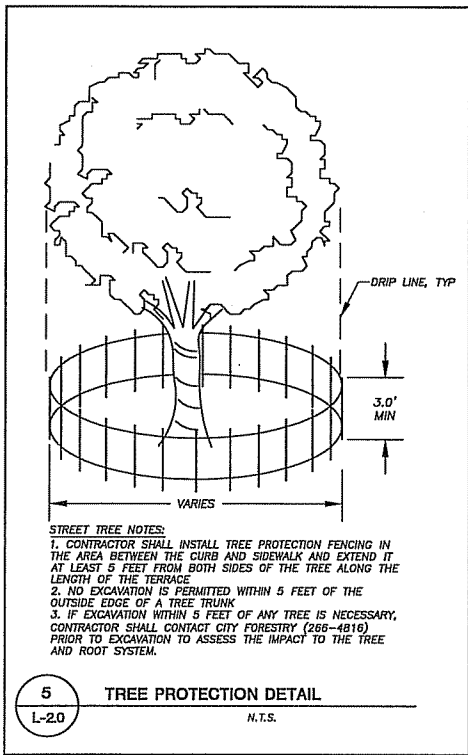


- | | |
|---|--------------------------------|
|  | PROPOSED TREE/SHRUB REMOVAL |
|  | EXISTING LARGE DECIDUOUS TREES |
|  | TALL DECIDUOUS TREES |
|  | UPRIGHT EVERGREEN SHRUBS |
|  | MEDIUM EVERGREEN SHRUBS |
|  | MEDIUM DECIDUOUS SHRUBS |
|  | PERENNIALS |
|  | ORNAMENTAL GRASSES |

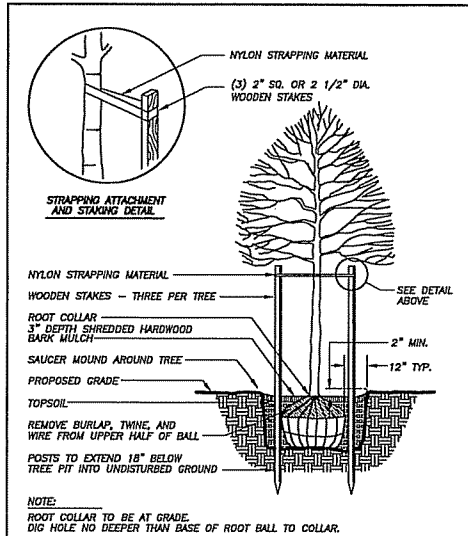
SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
EX	2	Existing Large Deciduous Trees	VARIES	22" TOTAL DBH		14	22x14=308 (30% OF 487 = 146) 148 POINTS ALLOWED FOR EXISTING TREE TOTAL 70
BH	2	Bowhall Maple	ACER rubrum 'Bowhall'	2-1/2" Cal.	B&B	35	
UPRIGHT EVERGREEN SHRUBS							
HA	12	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4' Mn. Ht.	B&B	10	120
MEDIUM EVERGREEN SHRUBS							
TY	5	Taunton Yew	TAXUS x media 'Tauntonii'	12"-24" Mn Ht.	# 3 Cont.	4	20
MEDIUM DECIDUOUS SHRUBS							
AC	6	Alpine Currant	RIBES alpinum	12-24" Mn Ht.	# 3 Cont.	3	18
PERENNIALS							
AVR	14	Visions In White	ASTILBE x chinensis 'Visions in White'	8"-18" Mn Ht.	# 1 Cont.	2	28
ORNAMENTAL GRASSES							
CM	28	Korean Feather Reed Grass	CALAMAGROSTIS brachytricha	8"-18" Mn Ht.	# 1 Cont.	2	56
DECORATIVE FENCING							
	72 LF	Cedar Picket Fence				4 per 10 lineal feet	29
						TOTAL:	487

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, SITE PLAN, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF HAZARD KANSAS CITY PUBLIC WORKS CONSTRUCTION SPECIFICATIONS AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

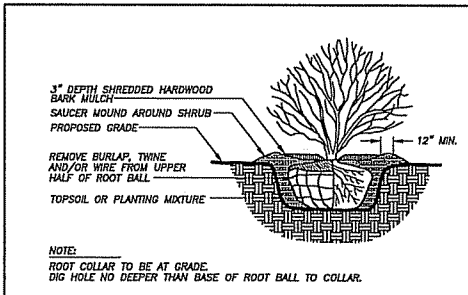




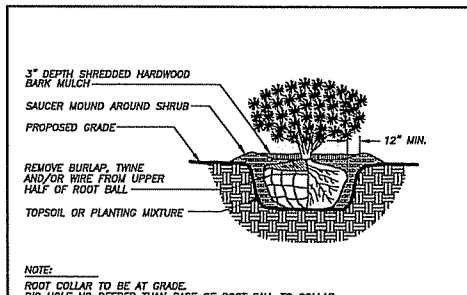
1 DECIDUOUS TREE PLANTING DETAIL N.T.S. L-2.0



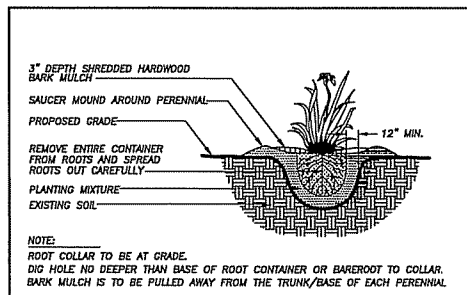
2 DECIDUOUS SHRUB PLANTING DETAIL N.T.S. L-2.0



3 EVERGREEN SHRUB PLANTING DETAIL N.T.S. L-2.0



4 ORNAMENTAL GRASS/ PERENNIAL PLANTING DETAIL N.T.S. L-2.0



LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS = 24"
 2. TREE PITS = SEE DETAILSPLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - ALL PLANTING AREAS** SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- SEED:** ALL DISTURBED LAWN AREAS SHALL BE SEEDING WITH EARTH CARPETS' 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3009 UNIVERSITY AVENUE, MADISON, WI
Name of Project 3009 UNIVERSITY AVENUE, MADISON, WI
Owner / Contact SHOREWOOD HOUSE, LLP
Contact Phone (608) 848-5060 Contact Email MIKE.SCHMELTZER@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structure, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 29,208
Total landscape points required 467

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			12	120
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			6	18
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			5	20
Ornamental grasses/ perennials	#1 gallon container size, Min. 6"-18"	2			33	66
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.			72 LF	288
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. 2 TREES AT 22" TOTAL DBH				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "unit"				
Sub Totals				146		341

Total Number of Points Provided 467

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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- TRANSPORTATION ENGINEERING
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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

**SHOREWOOD
HOUSE, LLP.**

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

**3009 UNIVERSITY AVE.
PARKING LOT AND
FIRE LANE**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

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DESIGN: KJY 11/20/13
DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS: DATE:



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Milwaukee Area (414) 259-1181
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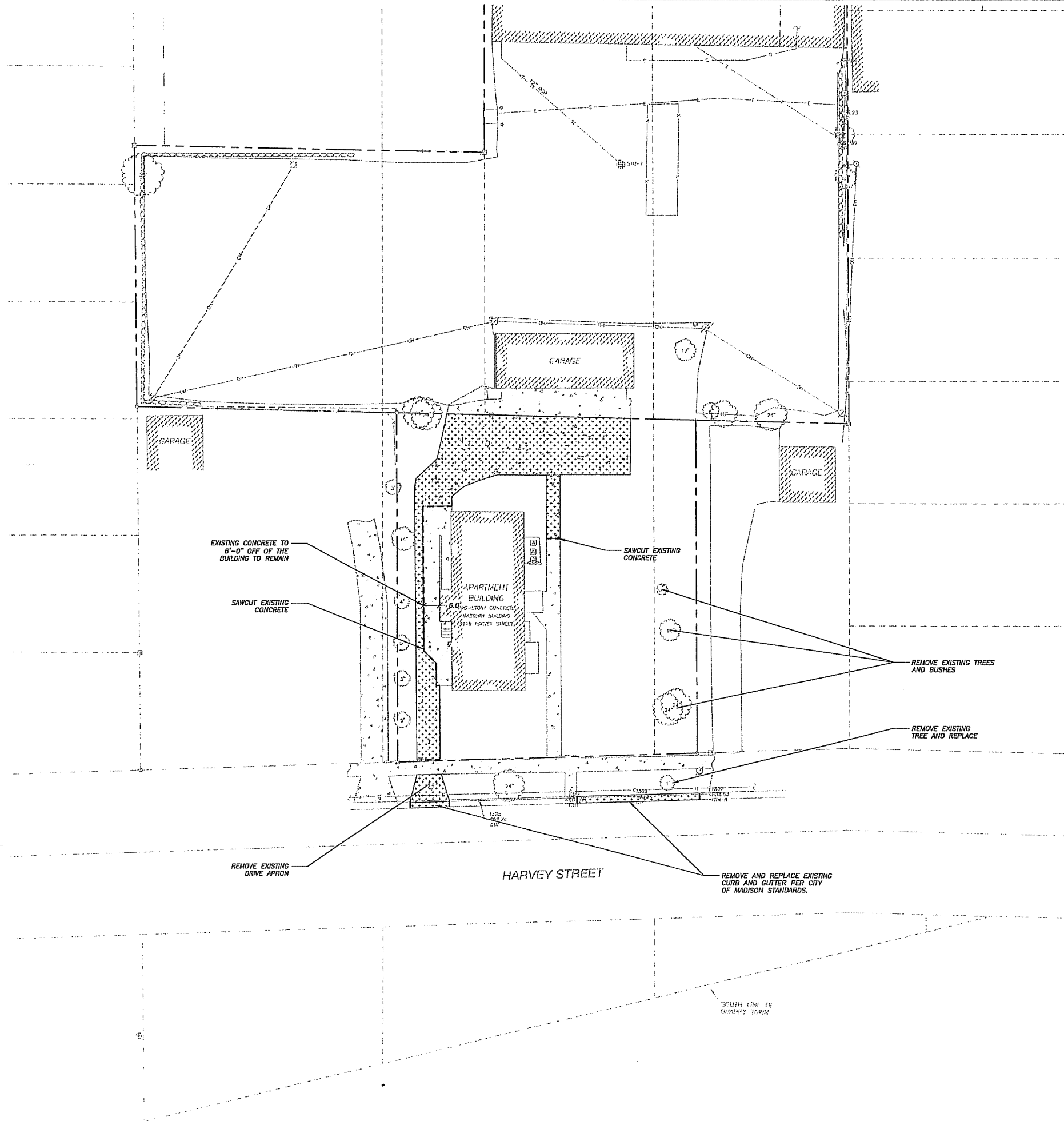
SHEET TITLE:

**LANDSCAPE DETAILS
& SPECIFICATIONS**

SHEET NUMBER:

L-2.0A

File: J:\2010A\104352\dwg\104352-Civil Design (Harvey).dwg Layout: C-0.1 (Harv) User: pbaker Plotdate: Nov 20, 2013 - 1:46pm Xref's:



LEGEND (PROPOSED)

- PROPERTY LINE
- SAWCUT
- CONCRETE/BASE REMOVAL

GENERAL NOTES

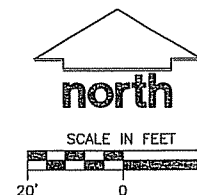
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY BY JSD PROFESSIONAL SERVICES DATED 11-05-13 FOR EXISTING CONDITIONS NOTES AND LEGEND.
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- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENCRROACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER SERVICES SHALL BE FIELD VERIFIED FOR LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION. THESE SHOULD BE REMOVED IF LOCATED WITHIN THE BUILDING FOOTPRINT AND REMOVED OR ABANDONED IF LOCATED OUTSIDE OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

INDEX OF SHEETS

- C-0.1 - DEMOLITION PLAN
- C-1.0 - SITE PLAN
- C-2.0 - GRADING & EROSION CONTROL PLAN
- C-3.0 - UTILITY PLAN
- C-4.0 - DETAILS
- L-1.0 - LANDSCAPE PLAN
- L-2.0 - LANDSCAPE DETAILS AND SPECIFICATIONS



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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX
MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

SHOREWOOD
HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

3118 HARVEY STREET
FIRE LANE

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	11/20/13
DRAWN:	PGB	11/20/13
APPROVED:	BD	11/20/13

PLAN MODIFICATIONS:	DATE:

DIGGERS HOTLINE

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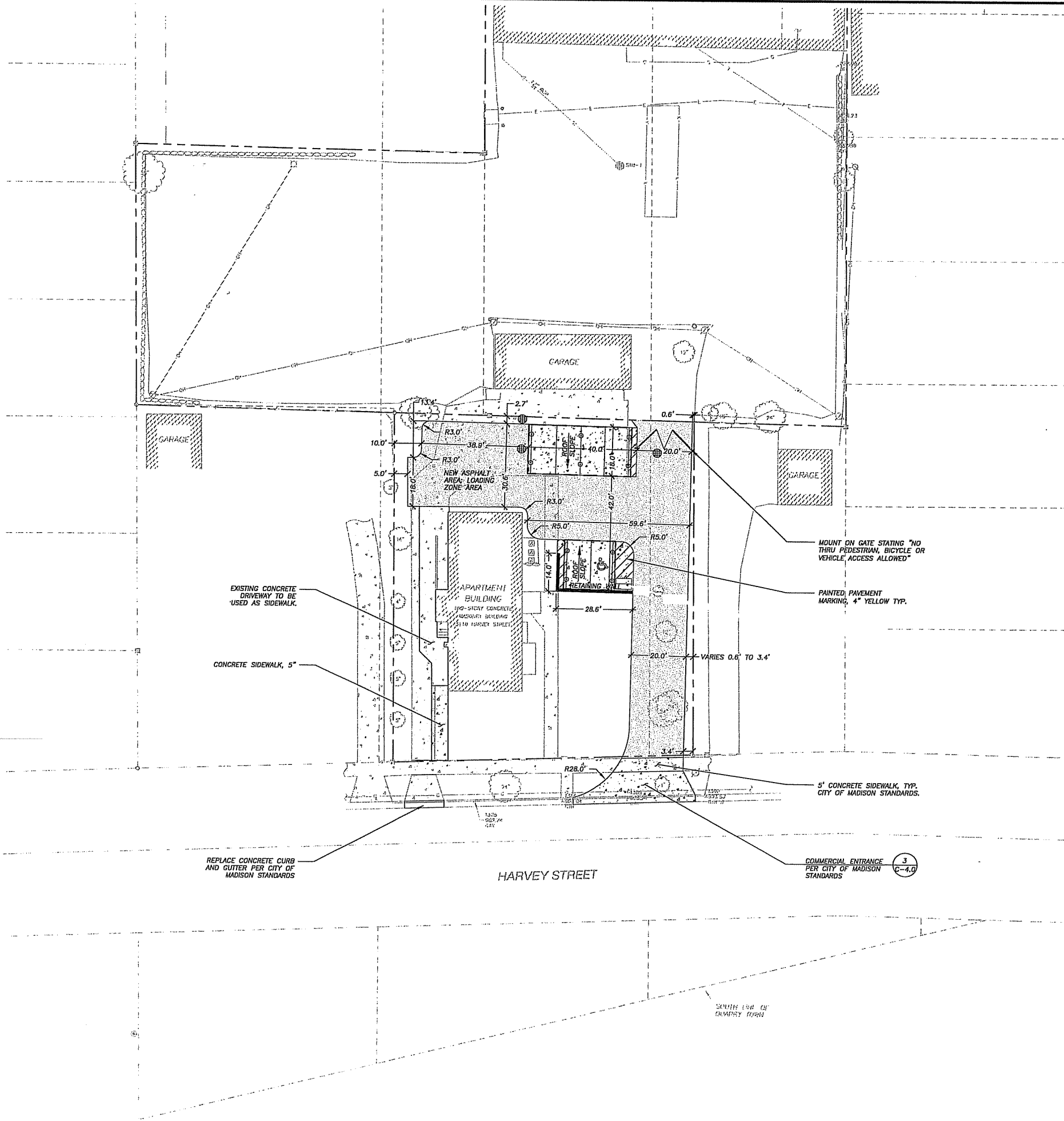
SHEET TITLE:

DEMOLITION
PLAN

SHEET NUMBER:

C-0.1B

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LEGEND (PROPOSED)

---	PROPERTY LINE
- - -	ROOF OUTLINE
-X-X-X-	PROPOSED FENCE LINE
---	EDGE OF PAVEMENT
---	8" FON-DU-LAC DRYWALL STONE, DRY STACKED, RETAINING WALL
---	PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
---	PROPOSED ASPHALT PAVEMENT, 3.25" MIN, EO.3; 1.5" 9.5 MM SURFACE; 1.75", 12.5 MM BINDER

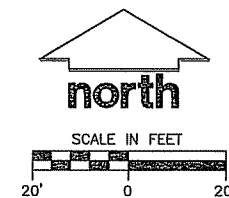
GENERAL NOTES

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4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

1. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
2. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
3. EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
4. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
5. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
7. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
8. BIKE RACK TO MEET CITY OF MADISON STANDARDS.

Parking Lot Plan Site Information Block	
Site Address	3118 Harvey Street
Site acreage (total)	0.316
Number of building stories (above grade)	2
Building height	xx
DILHR type of construction (new structures or additions)	N/A
Total square footage of building	1,830
Use of property	Apartments
Gross Square Feet of office	0
Gross Square Feet of retail	0
Number of employees in warehouse	-
Number of employees in production area	-
Capacity of restaurant/place of assembly	-
Number of bicycle stalls shown	8 (inside building)
Number of parking stalls:	
shown	
Small car	0
Large car	5
Accessible	1
Total	6
Number of trees shown	xx



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PLAN MODIFICATIONS:	DATE:



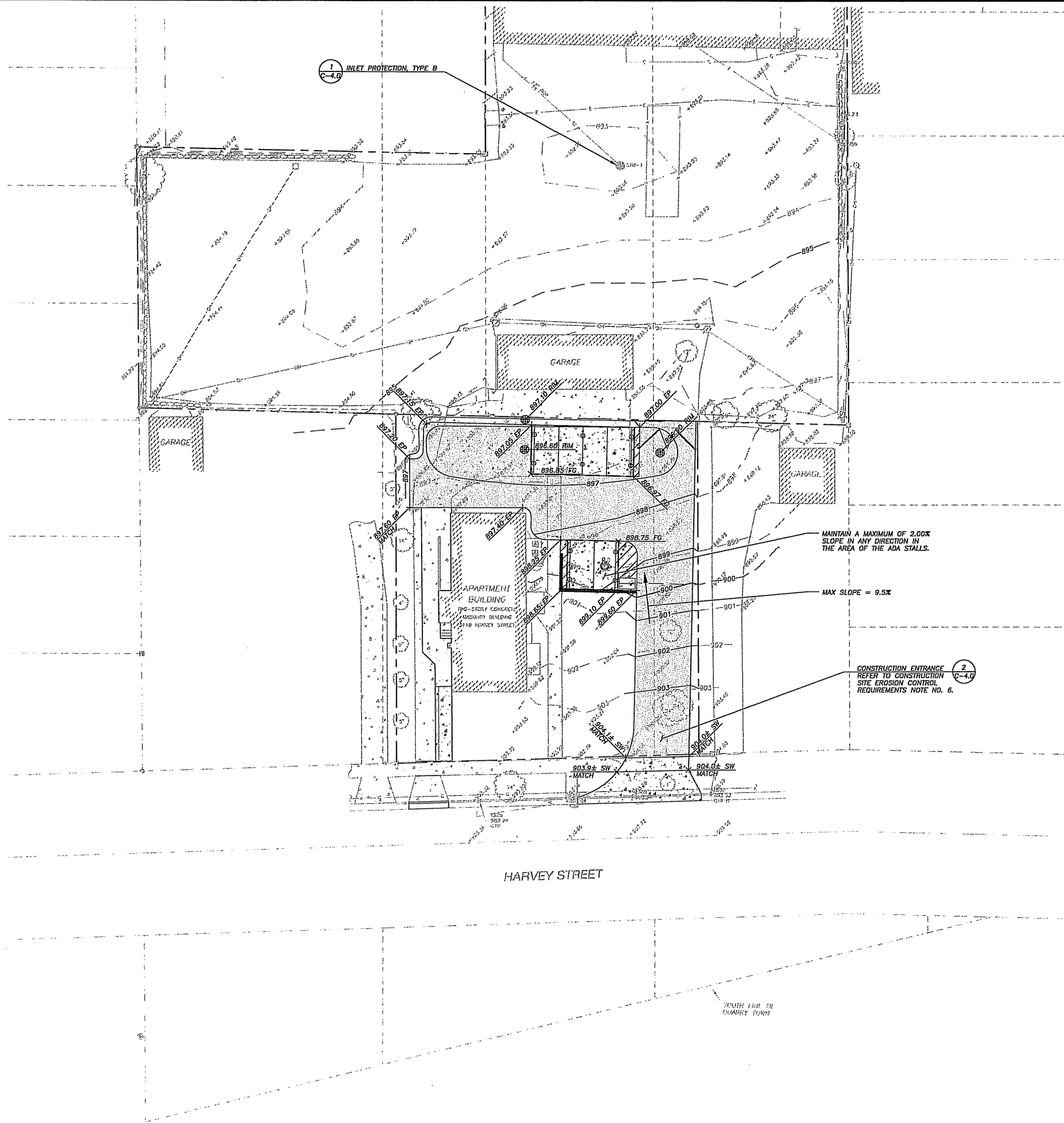
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SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-1.0B



LEGEND (PROPOSED)

---	PROPERTY LINE
---896---	PROPOSED 1 FOOT CONTOUR
---895---	PROPOSED 5 FOOT CONTOUR
---	ROOF OUTLINE
-X-X-X-	PROPOSED FENCE LINE
---	EDGE OF PAVEMENT
---	RETAINING WALL
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT
SPOT ELEVATION	
EP -	EDGE OF PAVEMENT
FFE -	FINISHED FLOOR ELEVATION
SW -	SIDEWALK
FG -	FINAL GRADE
RM -	STRUCTURE RIM

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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

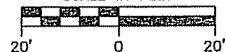
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MUSKEGO.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

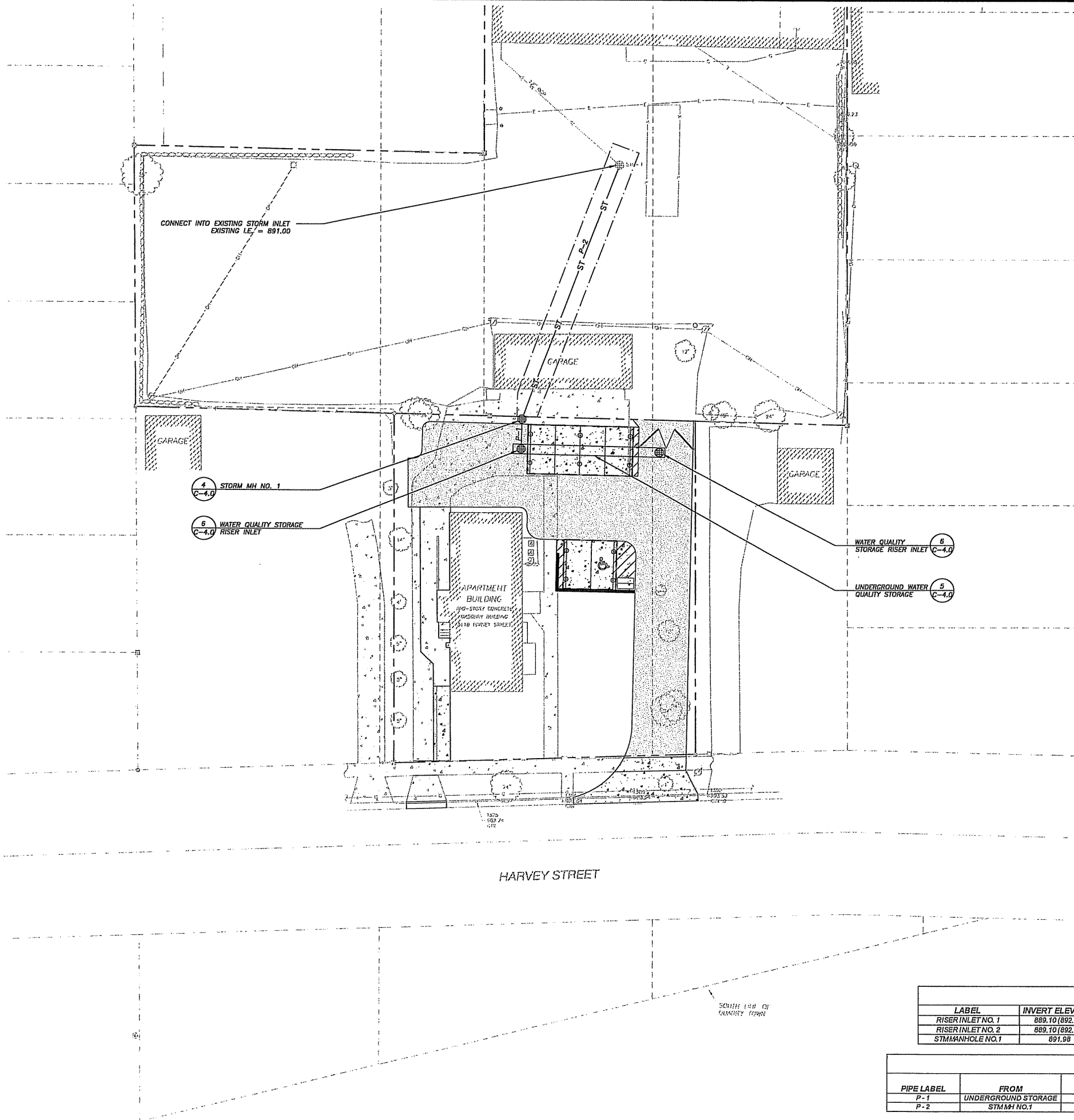
1. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.



SCALE IN FEET



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LEGEND (PROPOSED)

---	PROPERTY LINE
---	ROOF OUTLINE
---	EDGE OF PAVEMENT
---	5' STORM SEWER EASEMENT
---	STORM SEWER
⊗	ROUND CATCH BASIN INLET

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UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
15. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
16. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
17. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
RISER INLET NO. 1	889.10 (892.10)	896.50	7.40 (4.40)	36" CMP RISER	R-2578, INLET FRAME, TYPE C GRATE
RISER INLET NO. 2	889.10 (892.10)	896.90	7.80 (4.80)	36" CMP RISER	R-2578, INLET FRAME, TYPE C GRATE
STORM MANHOLE NO. 1	891.98	897.10	5.12	24" DIA MANHOLE	R-1669, CLOSED LID, TYPE B GRATE

PROPOSED STORM SEWER PIPE SCHEDULE						
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STORM NO. 1	10	892.10	892.00	8" PVC
P-2	STORM NO. 1	EXISTING INLET	98	891.98	891.00	8" PVC

FABRIC SIZE SHALL BE 8" (MIN) GREATER ON ALL SIDES OF THE INLET COVER TO PROVIDE A HAND HOLD WHEN MAINTENANCE OR REMOVAL IS REQUIRED.

DO NOT INSTALL INLET PROTECTION TYPE B ON INLETS THAT ARE FITTED WITH A CURB BOX.



C-4.0

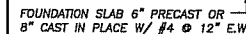
N.T.S.

(CAN BE INSTALLED ON ANY INLET TYPE)



G-40

N.T.S



G-40

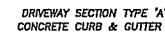
N.T.S.

**INSTALL FLOGARD PLUS CATCH BASIN FILTER
INSERT AS MANUFACTURED BY KRISTAR
ENTERPRISES, INC. OR EQUIVALENT. FILTER
SHALL BE INSTALLED IN ACCORDANCE WITH
MANUFACTURERS INSTRUCTIONS,
RECOMMENDATIONS AND SPECIFICATIONS.
DETAIL INFORMATION REGARDING MAINTENANCE
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WWW.KRISTAR.COM OR BY CALLING KRISTAR
INDUSTRIES AT (800) 579-8819.**

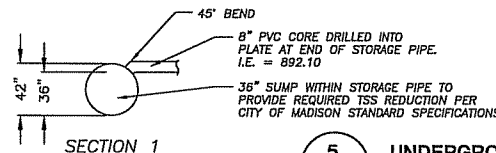


C-40

N.T.S.



SECTION



C-4.0

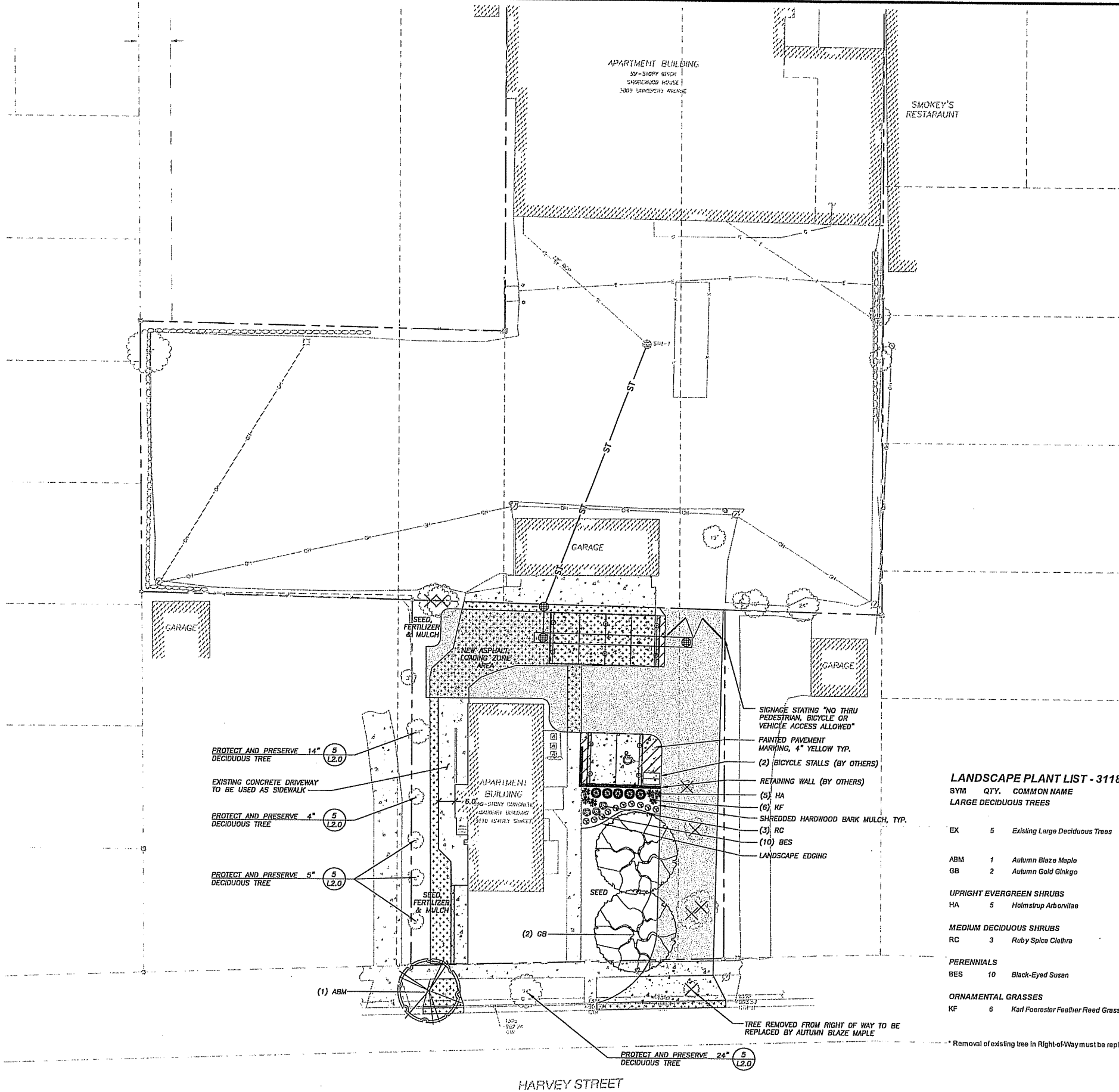
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C-4.0

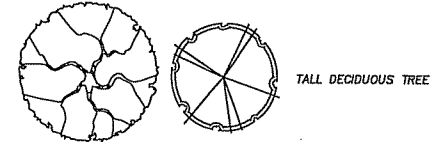
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LEGEND (PROPOSED)

- PROPERTY LINE
- CAR PORT ROOF OUTLINE
- PROPOSED FENCE LINE
- POLYETHYLENE EDGING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- REMOVED CONCRETE
- PROPOSED TREE/SHRUB REMOVAL
- EXISTING LARGE DECIDUOUS TREE



- UPRIGHT EVERGREEN SHRUB
- MEDIUM DECIDUOUS SHRUB
- PERENNIALS
- ORNAMENTAL GRASSES

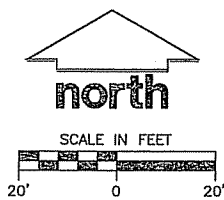
LANDSCAPE PLANT LIST - 3118 HARVEY STREET

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
EX	5	Existing Large Deciduous Trees	VARIES	78" TOTAL DBH		14	78x14=1092 (30% OF 119 REQUIRED POINTS = 36) 36 POINTS ALLOWED FOR EXISTING TREE TOTAL
ABM	1	Autumn Blaze Maple	ACER x freemanii 'Jeffersred'	2-1/2" Cal.	B&B	(ROW)*	0
GB	2	Autumn Gold Ginkgo	GINKGO biloba 'Autumn Gold'	2-1/2" Cal.	B&B	35	70
UPRIGHT EVERGREEN SHRUBS							
HA	5	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4' Min. Ht.	B&B	10	50
MEDIUM DECIDUOUS SHRUBS							
RC	3	Ruby Spice Clethra	CLETHRA alnifolia 'Ruby Spice'	12-24" Min Ht.	# 3 Cont.	3	9
PERENNIALS							
BES	10	Black-Eyed Susan	RUDIBECKIA fulgida var. fulgida	8"-18" Min Ht.	# 1 Cont.	2	20
ORNAMENTAL GRASSES							
KF	6	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	8"-18" Min Ht.	# 1 Cont.	2	12
						TOTAL:	197

* Removal of existing tree in Right-of-Way must be replaced therefore no landscape points are provided

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SHOREWOOD
HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

3118 HARVEY STREET
PARKING LOT AND
FIRE LANE

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KJY 11/20/13
DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS:	DATE:

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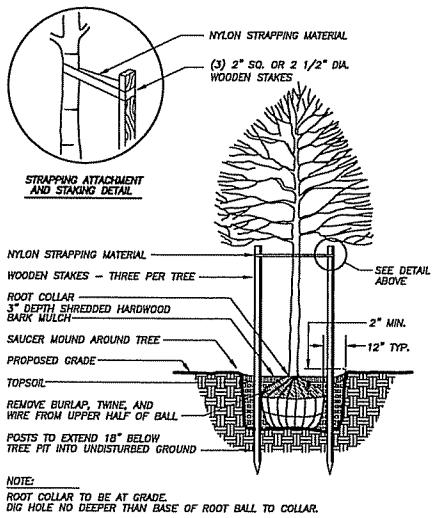
SHEET TITLE:

LANDSCAPE PLAN

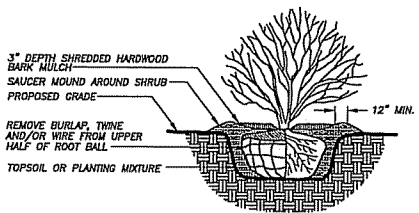
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L-1.0B

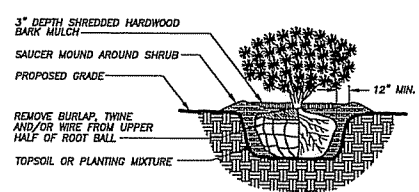
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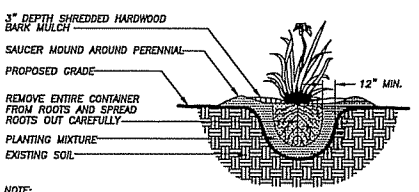
1 DECIDUOUS TREE PLANTING DETAIL
L-2.0 N.T.S.



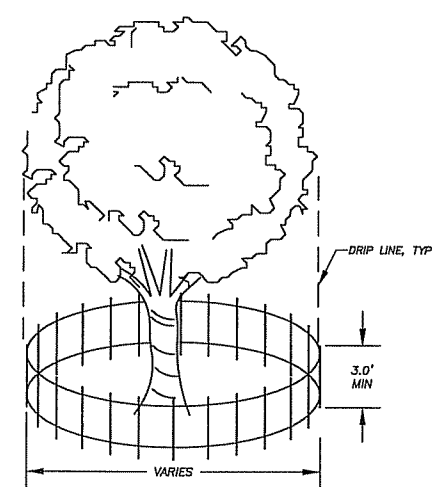
2 DECIDUOUS SHRUB PLANTING DETAIL
L-2.0 N.T.S.



3 EVERGREEN SHRUB PLANTING DETAIL
L-2.0 N.T.S.



4 ORNAMENTAL GRASS/ PERENNIAL PLANTING DETAIL
L-2.0 N.T.S.



5 TREE PROTECTION DETAIL
L-2.0 N.T.S.

LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS = 24"
 2. TREE PITS = SEE DETAILSPLANTING SOIL TO BE A MINIMUM 30" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - ALL PLANTING AREAS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.**
- MATERIALS - TREE RINGS:** ALL TREES PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC:** ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- SEED:** ALL DISTURBED LAWN AREAS SHALL BE SEED WITH EARTH CARPETS 'BOULEVARD' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3118 HARVEY STREET, MADISON, WI
Name of Project 3118 HARVEY STREET, MADISON, WI
Owner / Contact SHOREWOOD HOUSE, LLP
Contact Phone (608) 848-5060 Contact Email MIKE.SCHMELTZER@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and decking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 7,128

Total landscape points required 119

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

10/2013

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			2	70
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			5	50
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			3	9
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			16	32
Ornamental/ decorative fencing or wall	n/a	4 per 10 linear ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh. *Trees must be within developed area and cannot comprise more than 10% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	5 TREES AT 78" TOTAL DBH	36 POINTS ALLOWED FOR EXISTING TREE TOTAL		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				36		161

Total Number of Points Provided 197

* As determined by ANSI, ANLA - American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

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SERVICES PROVIDED TO:

SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

**3118 HARVEY STREET
PARKING LOT AND
FIRE LANE**

PROJECT LOCATION:

**CITY OF MADISON
DANE COUNTY, WI**

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: KJY 11/20/13
DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS: DATE:



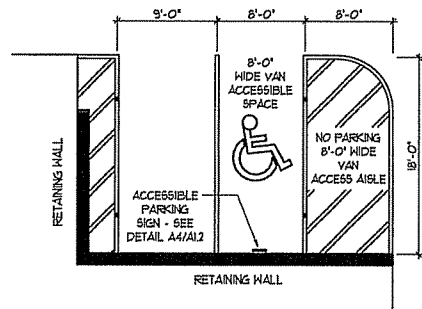
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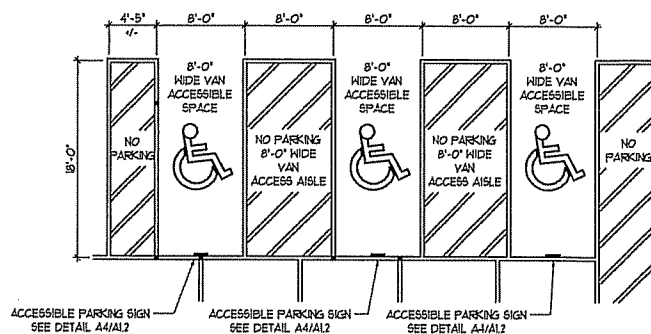
**LANDSCAPE DETAILS
& SPECIFICATIONS**

SHEET NUMBER:

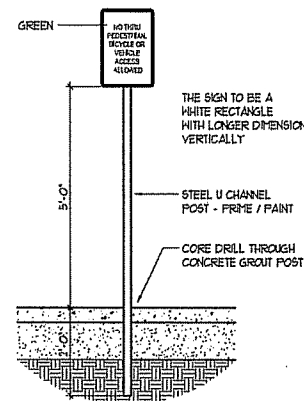
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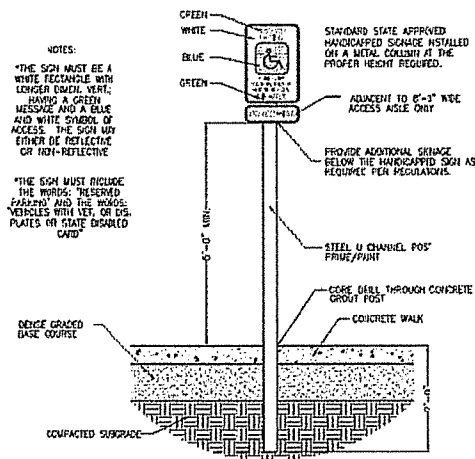
A1
ACCESSIBLE PARKING STALL LAYOUT
3118 HARVEY STREET
1/8"=1'-0"



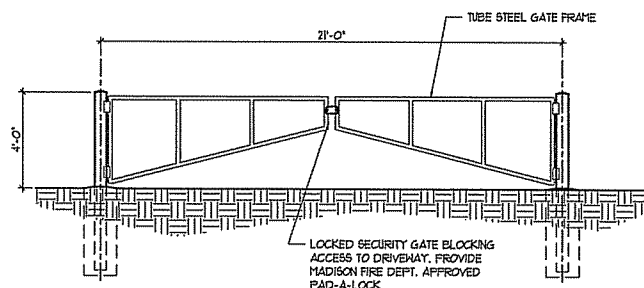
A2
ACCESSIBLE PARKING STALL LAYOUT
3009 UNIVERSITY AVENUE
1/8"=1'-0"



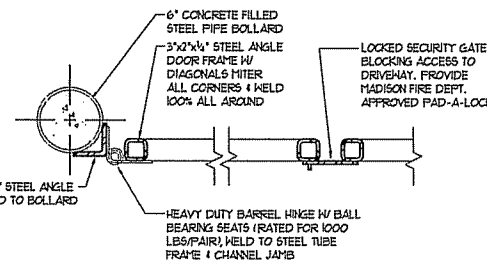
A3
SIGNAGE DETAIL
1/2"=1'-0"



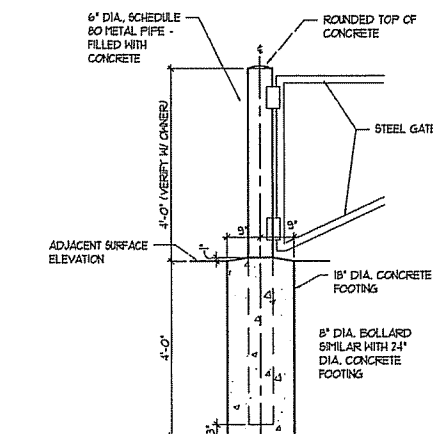
A4
ACCESSIBLE PARKING STALL SIGNAGE
1/2"=1'-0"



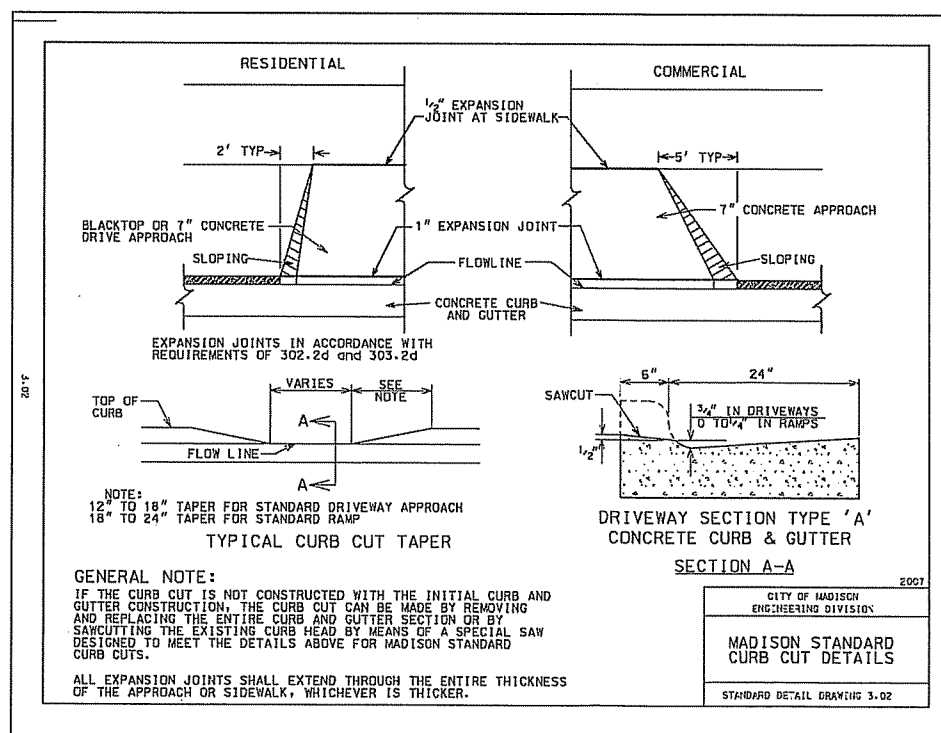
A5
ENCLOSURE GATE ELEVATION
1/4"=1'-0"



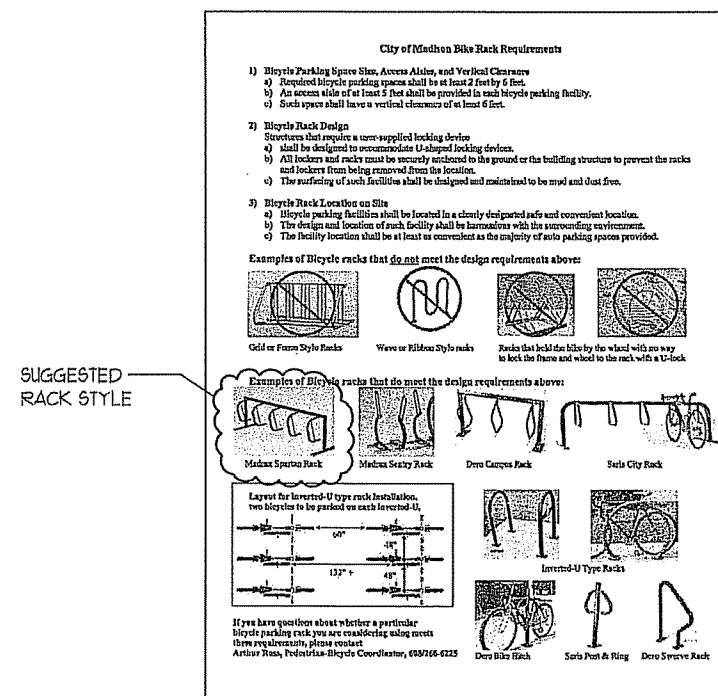
A6
ENCLOSURE GATE JAMB
1/2"=1'-0"



A7
CONCRETE FILLED PIPE BOLLARD
6" DIAMETER
1/2"=1'-0"



A8
CITY OF MADISON STANDARD CURB CUT DETAILS
NO SCALE



A9
CITY OF MADISON BIKE RACKS
NO SCALE

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbcglobal.net

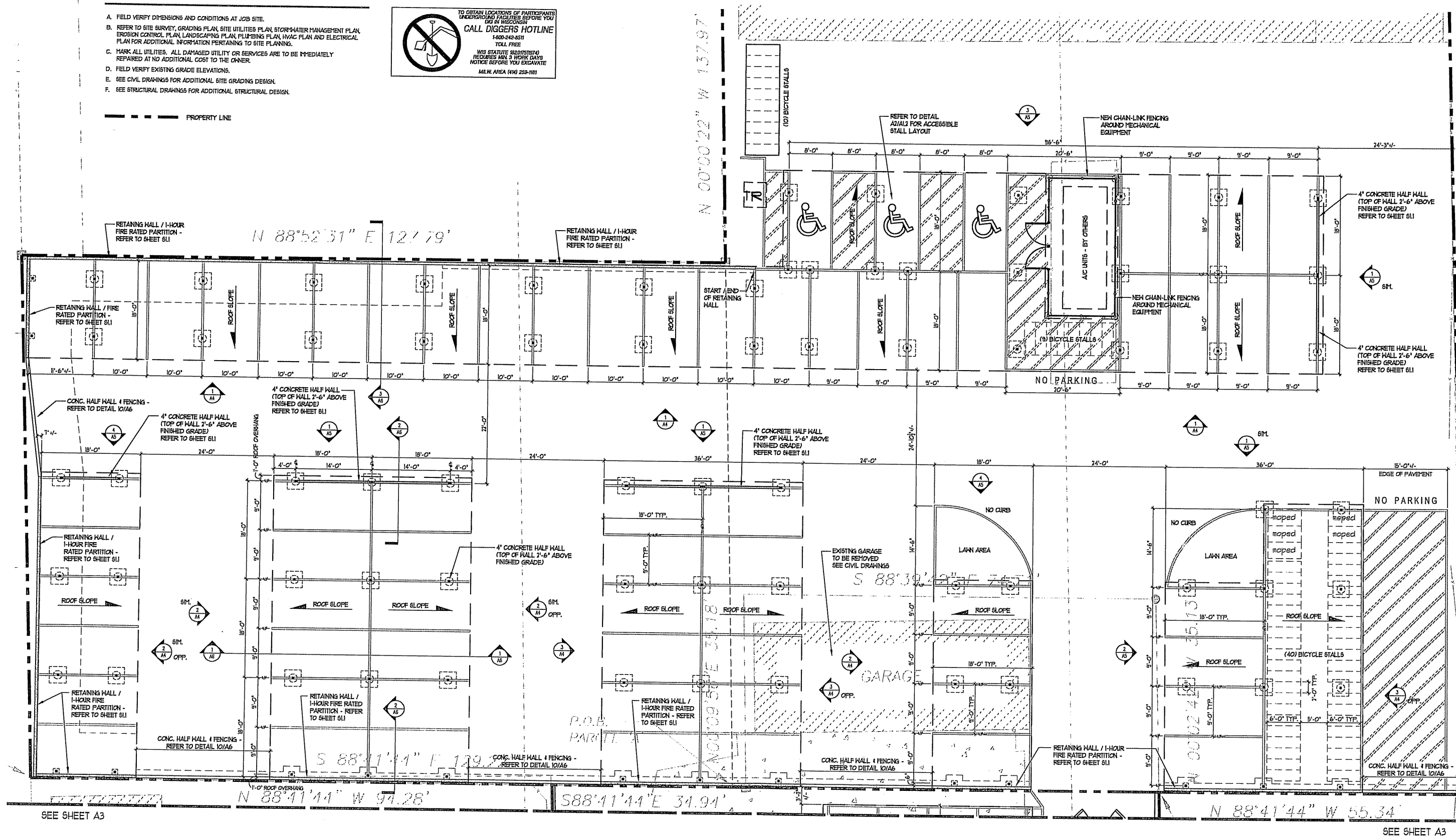
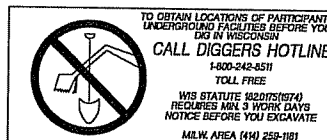
OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplace.com

PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

Revisions:

Drawn by:
AJR
Date:
12 / 03 / 2013
Sheet No.:
A1.2

- A. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. REFER TO SITE SURVEY, GRADING PLAN, SITE UTILITIES PLAN, STORMWATER MANAGEMENT PLAN, EROSION CONTROL PLAN, LANDSCAPING PLAN, PLUMBING PLAN, HVAC PLAN AND ELECTRICAL PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE PLANNING.
- C. MARK ALL UTILITIES, ALL DAMAGED UTILITY OR SERVICES ARE TO BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- D. FIELD VERIFY EXISTING GRADE ELEVATIONS.
- E. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE GRADING DESIGN.
- F. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DESIGN.



SEE SHEET A3

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

3009 UNIVERSITY AVE. - CARPORT FLOOR PLAN

$$1/\beta^* = 1 - Q^*$$

MOPED STALLS	BICYCLE STALLS	PARKING STALLS
# OF MOPED STALLS REQUIRED: N/A	# OF BICYCLE STALLS REQUIRED: <u>56</u> STALLS	# OF PARKING STALLS REQUIRED: <u>56</u> STALLS
# OF MOPED STALLS PROVIDED: <u>5</u> MOPED STALLS (5 COVERED / 0 NOT COVERED)	# OF BICYCLE STALLS PROVIDED: <u>56</u> BICYCLE STALLS (49 COVERED / 0 NOT COVERED)	# OF PARKING STALLS PROVIDED: <u>61</u> STALLS (64 LARGE / 3 HANDICAP) (61 COVERED / 0 NOT COVERED)
TOTAL AREA COVERED BY CAR PORTS: 185 SQ. FT.	TOTAL AREA COVERED BY CAR PORTS: 356 SQ. FT.	TOTAL AREA COVERED BY CAR PORTS: 11901 SQ. FT.

ARCHITECT:

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
 413 RAVINE ST.
 JANESVILLE, WI 53548
 608-219-1316
 rowensra@sbcglobal.net

OWNER:

OWNER:
SHOREWOOD HOUSE, LLP:
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplace.com

PROJECT:

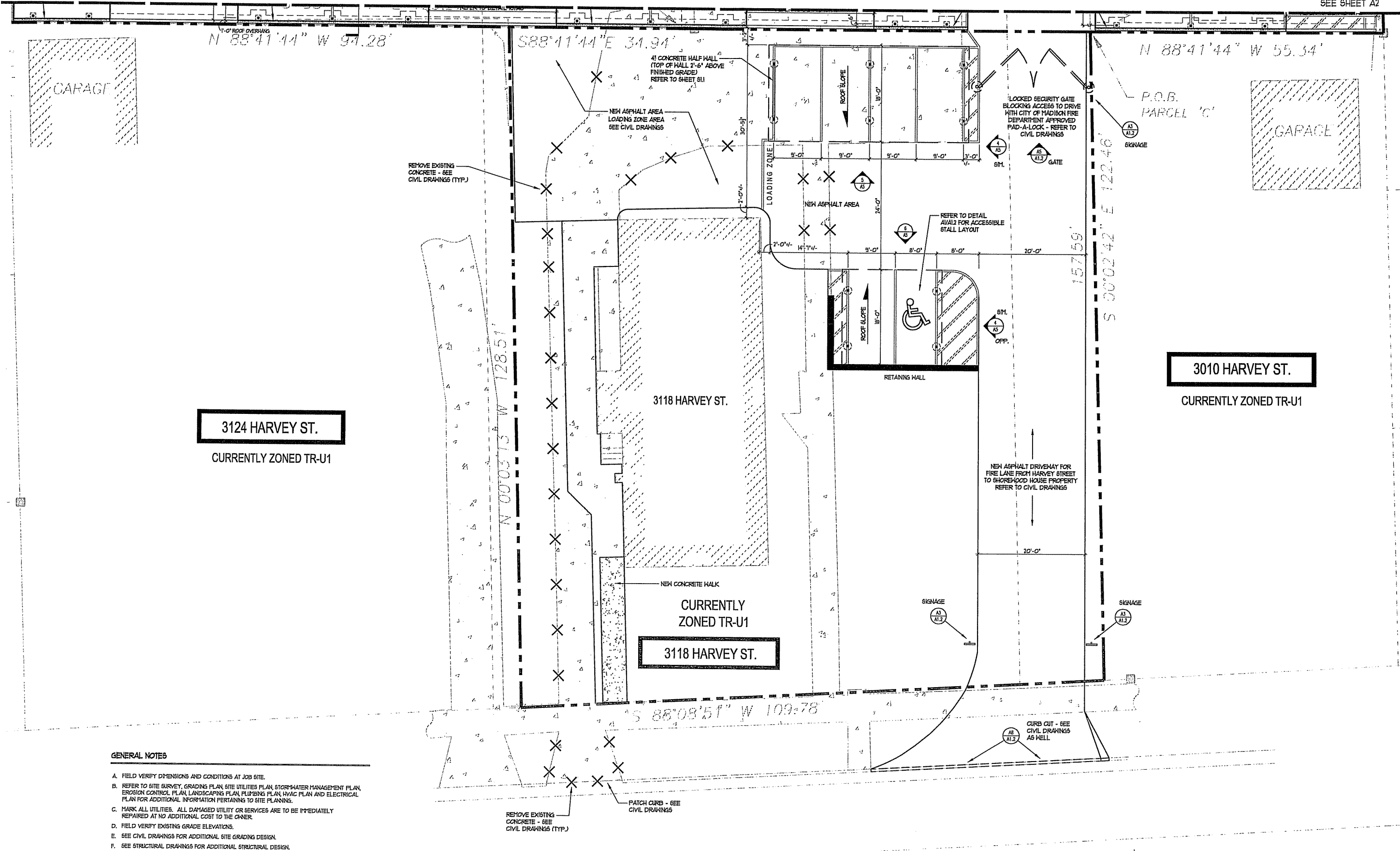
PROJECT: **Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties**
MADISON, WI 53705

Revisions:

Drawn by:
AJR

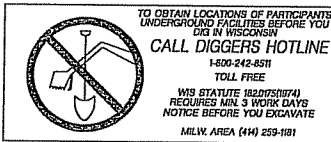
Date:
12 / 03 / 2013

Sheet No.:
A2

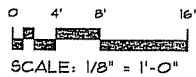


GENERAL NOTES

- A. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. REFER TO SITE SURVEY, GRADING PLAN, SITE UTILITIES PLAN, STORMWATER MANAGEMENT PLAN, EROSION CONTROL PLAN, LANDSCAPING PLAN, PLUMBING PLAN, HVAC PLAN AND ELECTRICAL PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE PLANNING.
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- E. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE GRADING DESIGN.
- F. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DESIGN.



PROPERTY LINE



3118 HARVEY STREET PARKING / FIRE LANE

1/8" = 1'-0"

3118 HARVEY STREET PARKING STALLS	
PARKING STALLS	BICYCLE STALLS
# OF PARKING STALLS REQUIRED: 5 STALLS	# OF BICYCLE STALLS REQUIRED: 5 STALLS
# OF PARKING STALLS PROVIDED: 6 STALLS (5 LARGE / 1 HANDICAP) (6 COVERED / 0 NOT COVERED)	# OF BICYCLE STALLS PROVIDED: 8 BICYCLE STALLS (ALL STALLS INSIDE BUILDING)
TOTAL AREA COVERED BY CAR PORTS: 1368 SQ. FT.	

3124 HARVEY ST.

CURRENTLY ZONED TR-U1

3118 HARVEY ST.

CURRENTLY ZONED TR-U1

3118 HARVEY ST.

3010 HARVEY ST.

CURRENTLY ZONED TR-U1

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OWNER:
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3009 University Avenue
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Duke Dykstra
duke@clearplace.com

PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

Revisions:

Drawn by:

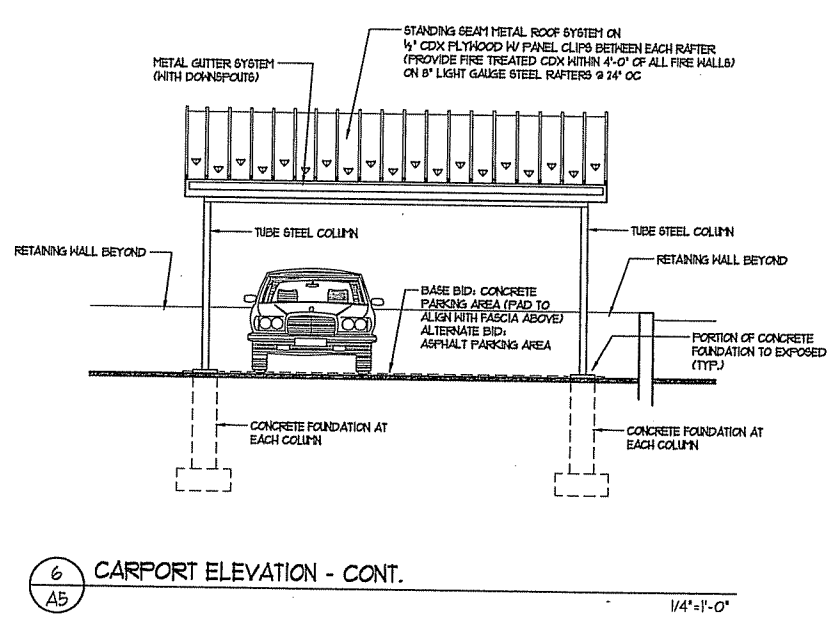
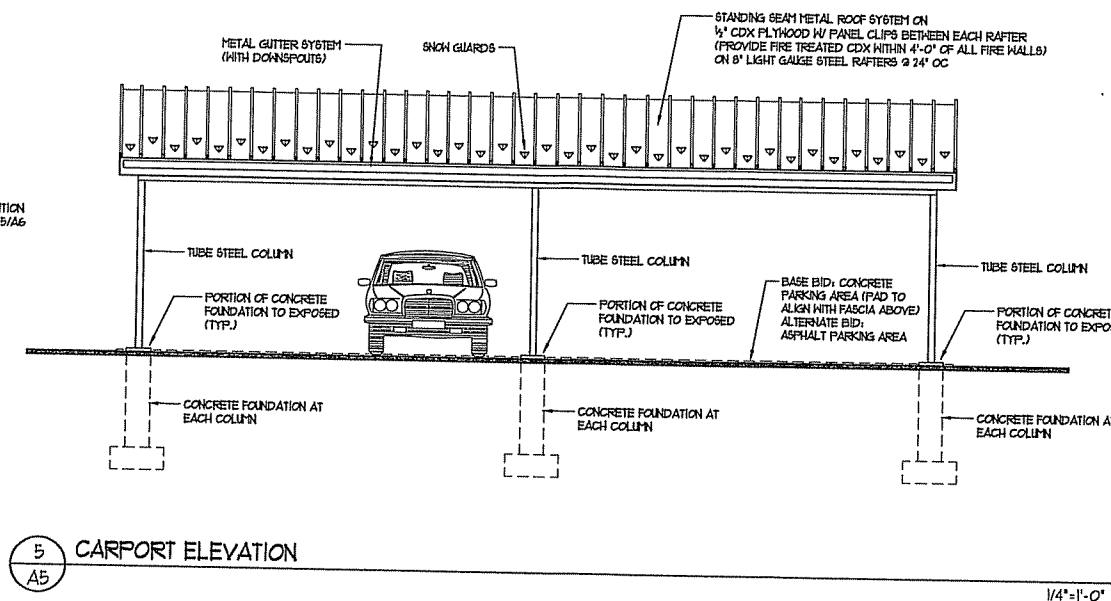
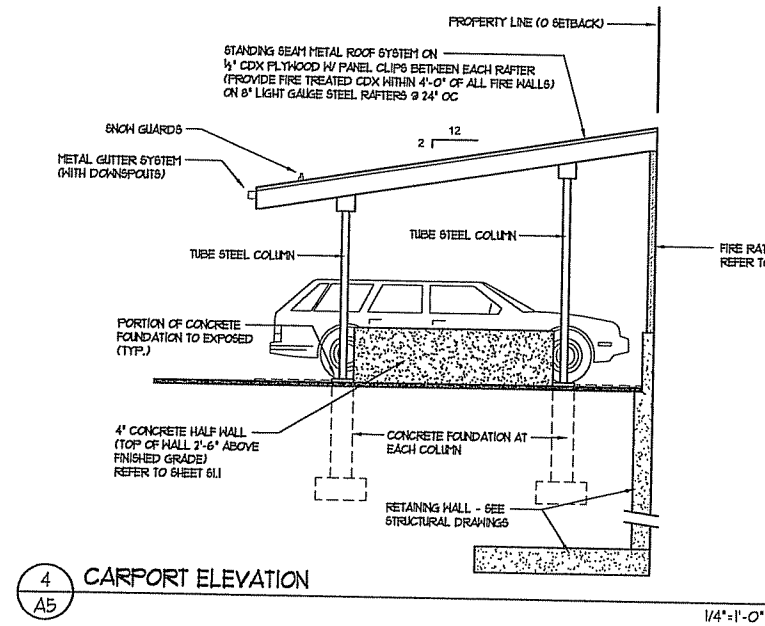
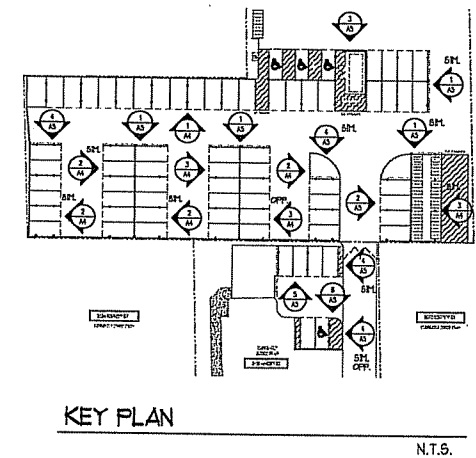
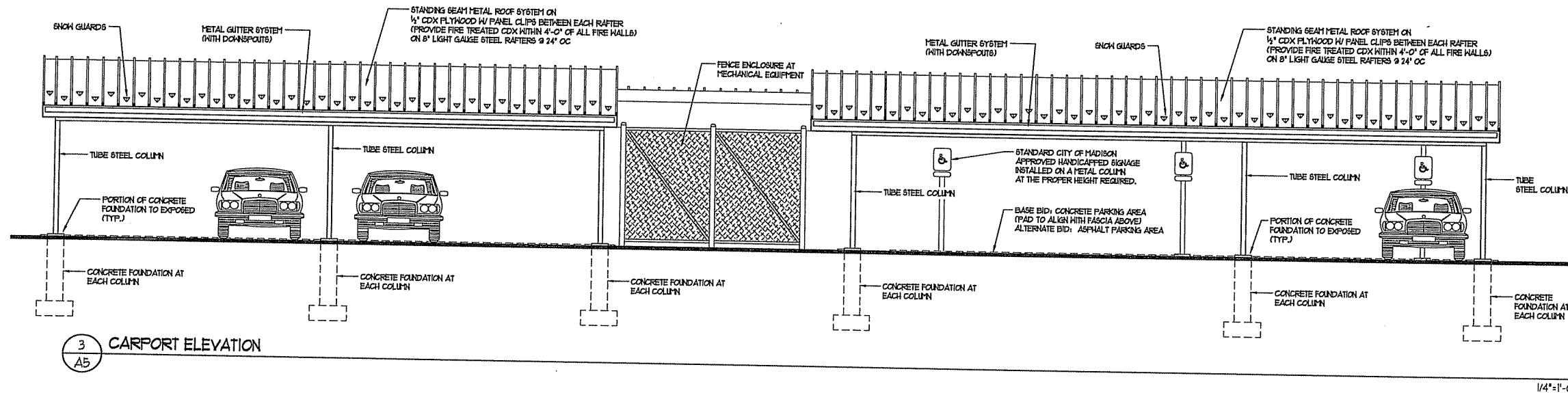
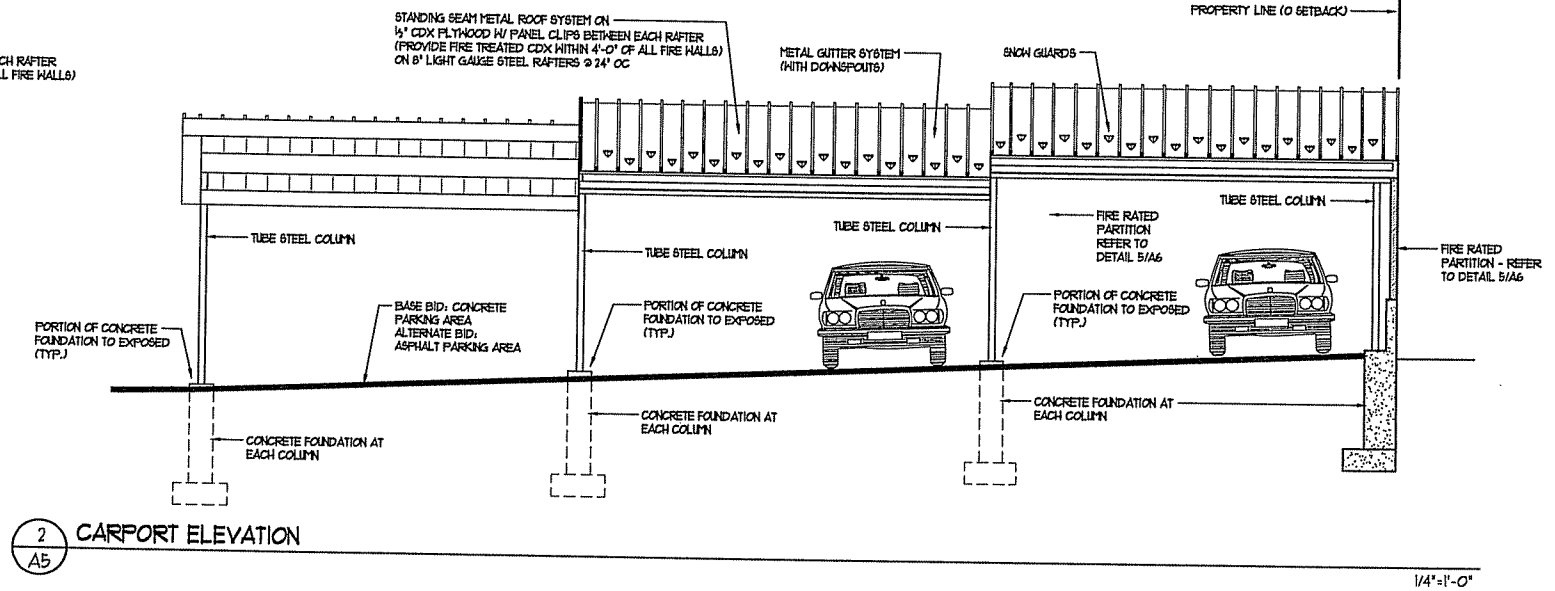
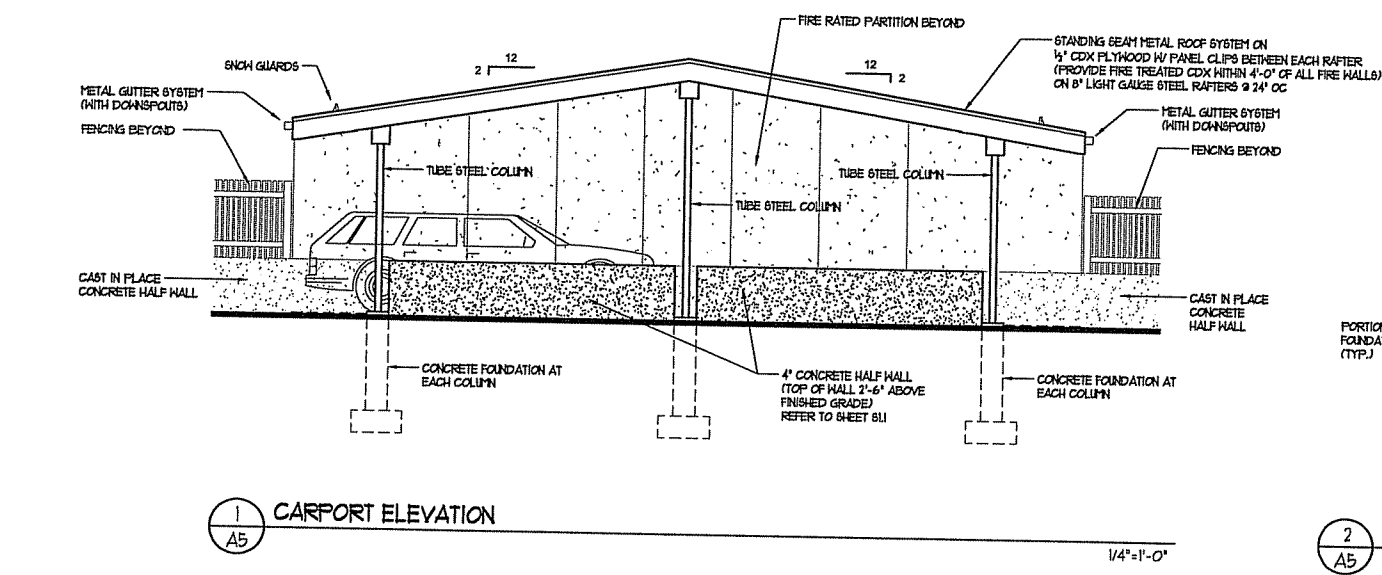
AJR

Date:

12 / 03 / 2013

Sheet No.:

A3



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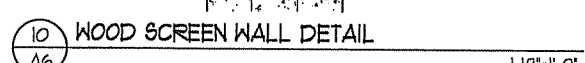
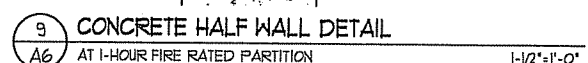
PROJECT:
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MADISON, WI 53705

Revisions:

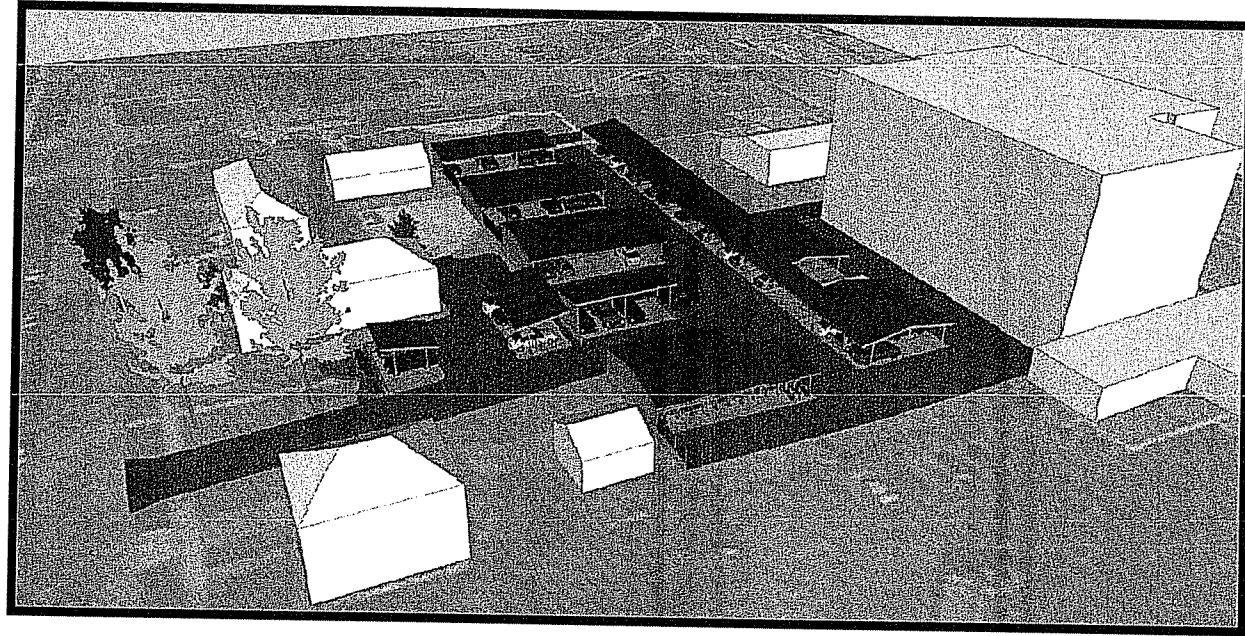
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Date:
12/03/2013

Sheet No.:
A5

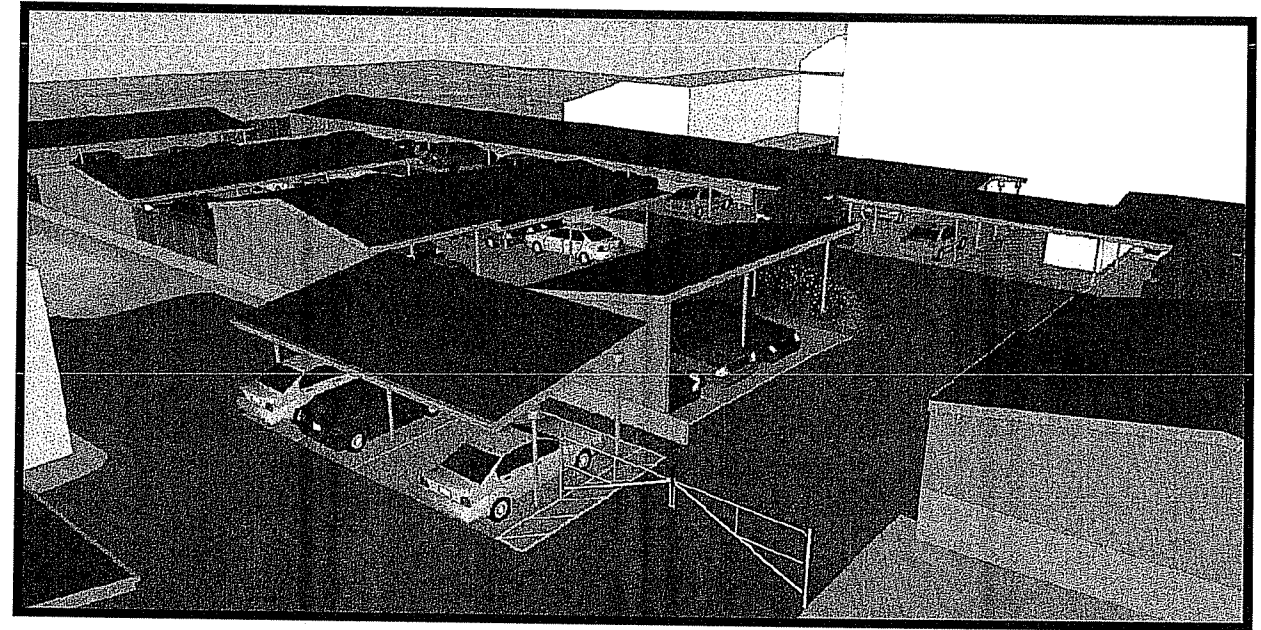


A6



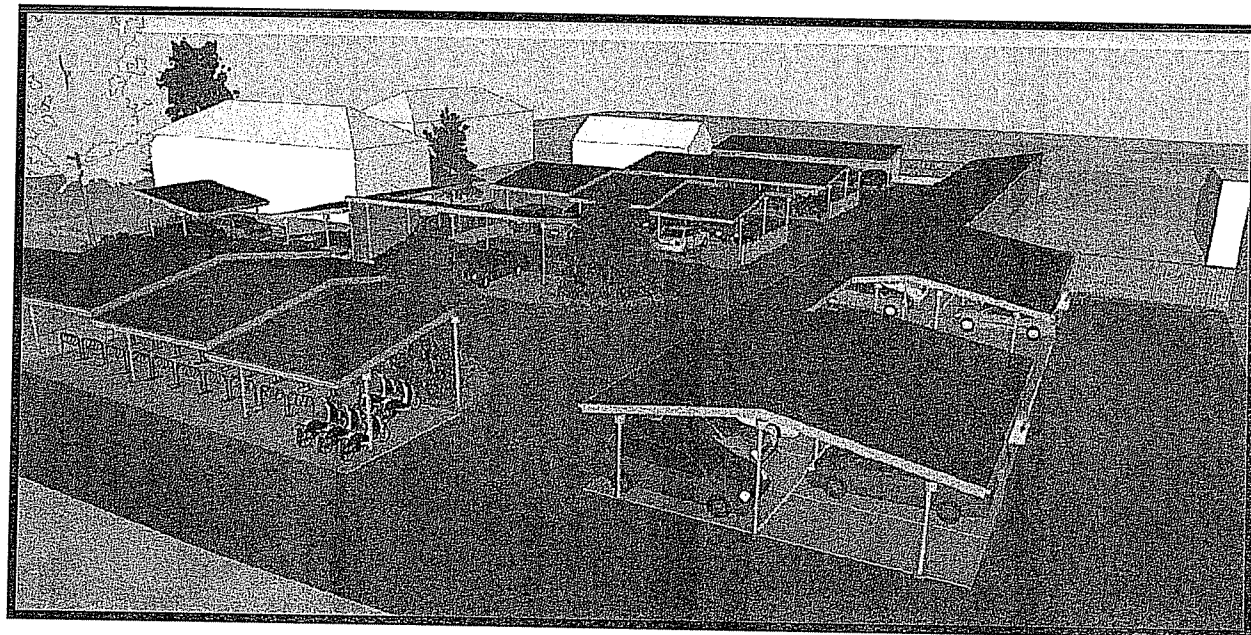
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A1 CARPORT PERSPECTIVE

NO SCALE



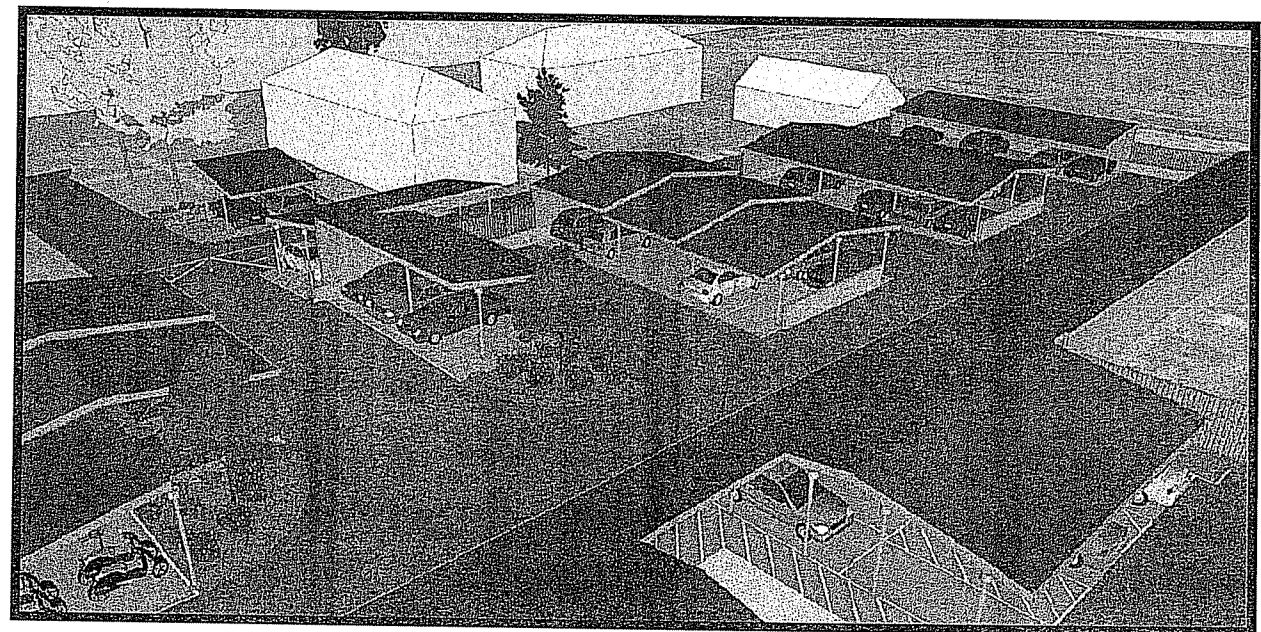
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A1 CARPORT PERSPECTIVE

NO SCALE



3
A1 CARPORT PERSPECTIVE

NO SCALE



4
A1 CARPORT PERSPECTIVE

NO SCALE

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Sheet No.:

A7

SYMBOLS LIST:

GFI 3 DUPLEX RECEPTACLE - MOUNTED 48" AFF TO CENTER OF BOX UNLESS NOTED OTHERWISE

CIRCUIT NUMBER
RECEPTACLE TYPE
(GFI) GROUND FAULT INTERRUPTING
(WP) WEATHERPROOF

JUNCTION BOX-HUBBELL QUAZITE RECESSED J-BOX WITH GASKETED HEAVY DUTY 4-BOLT COVER

METER SOCKET

CANOPY MOUNTED LIGHT FIXTURE
SEE SHEET E2 FOR LIGHT FIXTURE MANUFACTURER PHOTOMETRICS

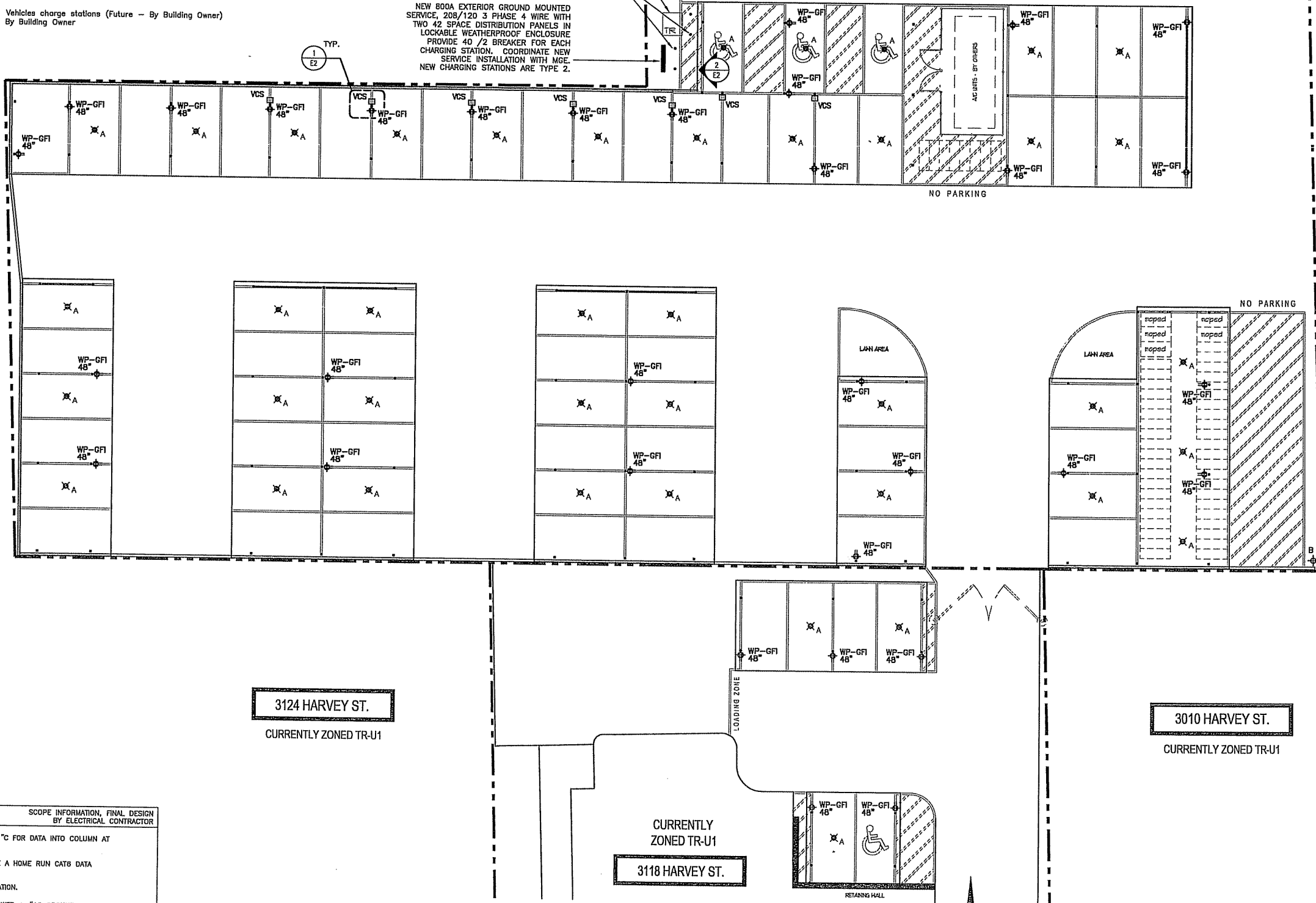
FIXTURE ID

VCS: Vehicles charge stations (Future - By Building Owner)
Security Camera: By Building Owner

PAD MOUNTED TRANSFORMER BY MG&E
PROVIDE NEW CONCRETE FILLED
PIPED BOLLARDS PER MG&E REQUIREMENTS

NEW 800A EXTERIOR GROUND MOUNTED
SERVICE, 208/120 3 PHASE 4 WIRE WITH
TWO 42 SPACE DISTRIBUTION PANELS IN
LOCKABLE WEATHERPROOF ENCLOSURE
PROVIDE 40 /2 BREAKER FOR EACH
CHARGING STATION. COORDINATE NEW
SERVICE INSTALLATION WITH MGE.
NEW CHARGING STATIONS ARE TYPE 2.

LIGHT FIXTURE SCHEDULE							
Fixture Mounting							
P = Pendant Mounted from Ceiling							
R = Recess Mounted in Ceiling, Soffit, or Canopy							
S = Surface Mounted on Ceiling, Soffit, or Canopy							
V = Surface Mounted on Wall							
Fixt No.	Description	Manufacturer	Model No	Fixt. Volts	Lamp Qty and Type	Htg	Remarks
A	Canopy	Beta LED	PKG EXG PS DM 02 C 12 BK	120	20 LED	S	Alternate 3rd Fixture Photocell on-off See sheet E2 for fixture
B	Site Light Pole	Cooper Lighting	LDRV - T2 - 302 - E - DP	120-277V	21 LED LightBalls		See sheet E2 for fixture



WIRING SCHEDULE	SCOPE INFORMATION, FINAL DESIGN BY ELECTRICAL CONTRACTOR
ROUGH-IN MIN. 3/4" C FOR POWER AND 1" C FOR DATA INTO COLUMN AT EACH CHARGING STATION LOCATION.	
EACH SECURITY CAMERA AND VCS REQUIRE A HOME RUN CAT6 DATA	
EACH VCS REQUIRES TWO#6AWG POWER + #10AWG GROUND TO EACH LOCATION.	
RECEPTACLE WIRING TO BE 2 #10 AWG POWER + #10 GROUND.	
ALL CAT 6 DATA WIRING TO HOME RUN TO BASEMENT PATCH PANEL, APPROX. 30' INSIDE EXISTING APARTMENT BUILDING	

0 5'-4" 10'-8" 21'-4"
SCALE: 3/32" = 1'-0"

CARPORT SCOPE ELECTRICAL PLAN

3/32" = 1'-0"



THE ARCHITECT PREPARED ELECTRICAL DESIGN SCOPE DOCUMENTS CONSISTING OF DRAWINGS AND SPECIFICATIONS THAT WILL OUTLINE THE GENERAL REQUIREMENTS FOR BIDDING. IT IS THE RESPONSIBILITY OF THE BIDDING CONTRACTOR TO TAKE RESPONSIBILITY OF THE FINAL DESIGN FOR NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

PROJECT: **Site Improvements for 3009 University Avenue / 3118 Harvey Street Properties**
MADISON, WI 53705

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Revisions:
Drawn by: AJR
Date: 12 / 03 / 2013
Sheet No.: E1

Panelboard	Site 1	Panel Source:	MDP
Bus Ampacity	400	Volts	120/208
Branch Brkr Space	42	Phase	3
MLO Amps	400	Wires	4
MCB A/P	--	Surface	Load Fed
Pnl Hfr	New	Recessed	Sub-Feed Lugs
Pnl Type	--	AIC	Load Fed
Pnl Height	--		Sub-Feed Brkr #1
Pnl Width	26"	Pnl MCA	Load Fed
Pnl Depth	5.75"		Sub-Feed Brkr #2
Largest Motor FLA	--		Load Fed
X-Ray Adj 3-Ph Equiv KVA			

Load to be Fed	Cct No	Brkr A/P	Left Phases			Right Phases			Brkr A/P	Cct No	Load to be Fed
			A	B	C	A	B	C			
Vehicle Charger	1	40/2	3600			1215			20/1	2	Site Lighting
---	3	---		3600			1680		20/1	4	Exterior Recept.
Vehicle Charger	5	40/2			3600			1440	20/1	6	Exterior Recept.
---	7	---	3600						20/1	8	Spare
Vehicle Charger	9	40/2		3600					20/1	10	Spare
---	11	---			3600				40/2	12	Spare
Vehicle Charger	13	40/2	3600						---	14	---
---	15	---		3600					40/2	16	Spare
Spare	17	40/2							---	18	---
---	19	---							40/2	20	Spare
Spare	21	40/2							---	22	---
---	23	---							40/2	24	Spare
Spare	25	40/2							---	26	---
---	27	---							40/2	28	Spare
Spare	29	40/2							---	30	---
---	31	---							40/2	32	Spare
Spare	33	40/2							---	34	---
---	35	---							40/2	36	Spare
Spare	37	40/2							---	38	---
---	39	---							40/2	40	Spare
Spare	41	20/1							---	42	---
Feed-Thru Lugs	73	-	-	-	-	-	-	-	74	Sub-Feed Brkr 1	
---	75	-	-	-	-	-	-	-	76	---	
---	77	-	-	-	-	-	-	-	78	---	
Sub-Feed Lugs	79	-	-	-	-	-	-	-	80	Sub-Feed Brkr 2	
---	81	-	-	-	-	-	-	-	82	---	
---	83	-	-	-	-	-	-	-	84	---	
Total Lights			--	--	--	--	--	--			
Total Recepts			--	--	--	--	--	--			
Total HVAC Bkrs			--	--	--	--	--	--			
Total HVAC A/C			--	--	--	--	--	--			
Total HVAC Htg			--	--	--	--	--	--			
Total HVAC			--	--	--	--	--	--			
Total X-Ray Instant											
Total X-Ray Long											
Total Misc			--	--	--	--	--	--			
Total Phases			5750	6050	6500						
Total Panel				18,305							

Panelboard	Site 2		Panel Source:	MDP	
Bus Ampacity	400	Volts	120/208	Feed (Top/Bottom)	
Branch Brkr Space	42	Phase	3	Feed-Thru Lugs	
MLO Amps	400	Wires	4	Load Fed	
MCB A/P	---	Surface	---	Sub-Feed Lugs	
Pnl Hfr	New	Recessed	X	Load Fed	
Pnl Type	---	AIC	---	Sub-Feed Brkr #1	
Pnl Height	---			Load Fed	
Pnl Width	26"	Pnl MCA	---	Sub-Feed Brkr #2	
Pnl Depth	5.75"			Load Fed	
Largest Motor FLA					
X-Ray Adj 3-Ph Equiv KVA					

Load to be Fed	Cct No	Brkr A/P	Left Phases			Right Phases			Brkr A/P	Cct No	Load to be Fed
			A	B	C	A	B	C			
Spare	1	40/2	-			-			20/1	2	Spare
---	3	---							20/1	4	Spare
Spare	5	40/2							20/1	6	Spare
---	7	---							40/2	8	Spare
Spare	9	40/2							---	10	---
---	11	---							40/2	12	Spare
Spare	13	40/2							---	14	---
---	15	---							40/2	16	Spare
Spare	17	40/2							---	18	---
---	19	---							40/2	20	Spare
Spare	21	40/2							---	22	---
---	23	---							40/2	24	Spare
Spare	25	40/2							40/2	28	Spare
---	27	---							---	30	---
Spare	29	40/2							40/2	32	Spare
---	31	---							---	34	---
Spare	33	40/2							40/2	36	Spare
---	35	---							---	38	---
Spare	37	40/2							40/2	40	Spare
---	39	---							---	42	---
Spare	41	20/1									
Feed-Thru Lugs	73	-	-	-	-	-	-	-		74	Sub-Feed Brkr 1
	75									76	
	77									78	
Sub-Feed Lugs	79	-	-	-	-	-	-	-		80	Sub-Feed Brkr 2
	81									82	
	83									84	
Total Lights			-	-	-	-	-	-			
Total Recepts			-	-	-	-	-	-			
Total HVAC Bkrs			-	-	-	-	-	-			
Total HVAC A/C			-	-	-	-	-	-			
Total HVAC Htg			-	-	-	-	-	-			
Total HVAC			-	-	-	-	-	-			
Total X-Ray Instant			-	-	-	-	-	-			
Total X-Ray Long			-	-	-	-	-	-			
Total Misc			-	-	-	-	-	-			
Total Phases			-	-	-	-	-	-			
Total Panel			-	-	-	-	-	-			

DIVISION 16 ELECTRICAL

PART 1 - GENERAL

DESCRIPTION
Prior to submitting a bid, bidders are required to visit the premises, take measurements, inspect existing conditions & limitations & obtain first hand information necessary to submit a bid. The intent of the contract is to obtain complete systems, tested, ready for operation. No extras will be allowed because of the Contractor's misunderstanding of the work involved.

Work included: Provide electrical work as specified herein, and as needed for a complete and proper installation including, but not necessarily limited to:
Underground Electric Service, metering facilities, main breaker, main distribution, and distribution panelboards;
Feeder system, in conduit to branch circuits panels;
Branch circuit panels for power and lighting;
Branch circuit wiring, in conduit, for lighting, receptacles, junction boxes;

Date wiring conduit system

Hangers, anchor sleeves, chase supports for fixtures, and other electrical materials and equipment in association therewith

Lighting fixtures and lamps;

Other items and services required to complete the systems.

Work of Other Sections
Openings for electrical work in ceiling, columns, etc., will be provided by General Contractor. Location and size of these openings will be the responsibility of the Electrical Contractor.

Painting electrical equipment will be the responsibility of Painting Contractor.

Roofing, exterior wall and related exterior opens shall be cooked, sealed and patched by the General Contractor.

GENERAL PROVISIONS

Everything essential for the completion of the work implied to be covered by these Specifications to make the system ready for normal and proper operation must be furnished and installed by this Contractor. Accordingly any omission from either the plans or the Specifications, or both, of details necessary for the proper installation and operation of the system shall not relieve this Contractor from furnishing such detail in full and proper manner.

QUALITY ASSURANCE
Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work of this Section.

Without additional cost to the Owner, provide such other labor and materials as required to complete the work of this Section in accordance with the requirements of governmental agencies having jurisdiction, regardless of whether such materials and associated labor are called for elsewhere in these Contract Documents.

In acceptance or rejection of installed work, the Architect or Engineer shall make no allowance for lack of skill on the part of the Workmen.

Reference Standards: The following standards are imposed, as applicable to work in each instance:

ASME American Society of Mechanical Engineers
ASTM American Society of Testing and Materials
IES Illuminating Engineering Society
NECA National Electrical Contractors Association
NEC National Electric Code
NEMA National Electrical Manufacturers Association
UL Underwriters Laboratories

CODES AND PERMITS

The Contractor must comply with building and electrical codes and other ordinances in force where the building is located as far as same apply to his work.

He must secure permits from proper offices and pay fees as may be necessary for fulfilling the requirements of these Specifications.

One copy of all permits must be furnished to the Owner.

COORDINATION

Cooperate and coordinate with other trades to assure that all systems in the electrical work may be installed in the best arrangement. Coordinate as required with all other trades to share space in common areas and to provide the maximum of access to each system.

Arrange electrical work in a neat, well organized manner with piping and similar running parallel with primary lines of building construction.

FLOOR, WALL, ROOF AND CEILING OPENINGS

The General Contractor will be required to leave openings in new ceiling, columns, etc., as required to install the electrical work specified or shown on the Drawings. The Electrical Contractor is responsible for correct size and location of his openings.

Provisions for openings and holes to be made in advance of construction of such parts of the building.

If the Electrical Contractor should neglect to inform the General Contractor of his opening requirements and that portion of the Building construction has been completed, the Electrical Contractor shall pay the General Contractor for providing these openings.

Make arrangements with various other contractors for all special framing, spacing and chases.

EQUIPMENT ACCESS

General: All panel boards, boxes, equipment and accessories shall be installed to permit access to equipment for maintenance, servicing or repairs.

EQUIPMENT SUPPORTS

General: Provide all supporting steel and related materials not indicated on structural drawings as required for the installation of equipment and materials, including angles, channels, beams and hangers.

Prime coat paint all supports.

GUARANTEE

All material and workmanship must be new and first class in every respect; the electrical equipment and systems must be turned over to the owner in complete working order and free from mechanical defects.

The Electrical Contractor must:

Guarantee all labor and materials for two (2) year from the completion and acceptance of the systems

Keep or place same in repair for said period, unless such defects are clearly the result of bad management after apparatus is out of his control.

Before final acceptance of this work, the Contractor shall:

Have the entire apparatus and system in complete and satisfactory operation.

Shall have all testing and balancing complete and approved.

Shall maintain system in satisfactory and continuous operation for a period of ten days prior to the date of acceptance.

The Electrical Contractor shall submit to the Engineer in triplicate at the completion of his work, a certified statement, signed by a principal of the firm, stating that the system has been fully installed and is operating within the intent of the plans and specifications and that all system components have been tested and adjusted. This statement shall be submitted before the system is presented to the Owner for final inspection.

Provide a two year warranty on ballasts for all new fluorescent lighting fixtures.

SUBMITTALS

The Electrical Contractor will be held responsible for correction of work deemed necessary by the Engineer due to proceeding with the work without shop drawings that have the Engineers final approval.

Shop drawings shall include data on physical dimensions, gauges, materials of construction and capacities.

Incomplete drawings will be disapproved.

This Contractor will be responsible for all figures and dimensions shown on the shop drawings. Approval of shop drawings describing equipment that cannot fit in the space allotted does not relieve this Contractor from providing equipment that will meet the space requirements.

Submit one electronic copy of shop drawings to the Architect/Engineer for approval, with complete detail for all equipment, materials, etc., to be furnished and installed for this project as follows:

Service Equipment

Panelboards

Switchboards

Devices

Light Fixtures

Instructions and OEM manuals.

Manual: Upon completion of this portion of the Work, and as a condition of its acceptance, deliver to the Architect two copies of an operation and maintenance manual compiled in accordance with the provisions of Division 1 of these Specifications. Include within the manual:

Copy of the approved Record Documents for this portion of the Work;

Copies of all circuit directories;

Copies of all warranties and guarantees.

Marked-up blue-line prints indicating as-built Electrical work.

INSTRUCTIONS

Upon completion of the installation, but before final acceptance of the system, this Contractor shall instruct the Owner on the care and operation of all parts of the systems installed by this contractor.

Furnish and install adequate marking of panelboards, disconnect switches, motor starters, junction boxes, conductors (at each accessible point), and empty raceways/ junction boxes.

Equipment markers shall be engraved plastic construction with letters 1/2" high minimum unless available space dictates otherwise.

Conductor identification shall be wraparound adhesive markers equal to Brady. In addition color coding is required, each phase, neutral and ground shall be a specific color.

PART 2 - PRODUCTS

GENERAL

Provide only materials that are new, of the type and quality specified. Where Underwriters' Laboratories, Inc. have established standards for such materials, provide only materials bearing the UL label.

SERVICE ENTRANCES AND METERING

Provide new 80A, 120/208 volt 3-phase underground electric service as required by the local utility.

Main switches

Provide main breaker as shown on plans and specifications. Verify required AIC rating with MG&E. NEMA 3R enclosure.

Metering

Provide metering equipment per MG&E requirements.

Main Distribution Panel

Provide MDP panel as indicated on plans complete with 22000 AIC breakers, and NEMA 3R enclosure and other components required for a complete installation.

Provide engraved plastic nameplate secured by two cadwin screws indicating "Panel MDP".

Panel board shall be equal to Square D - I Line type NCK.

Approved Manufacturers: Square D, Cutler Hammer, Siemens ITE, and General Electric.

GROUNDING SYSTEM

Ground all equipment, including conduit systems, motors, and other apparatus, by conduit or conductor to independent electrode, using irreversible exothermic welds.

Use additional ground rods to bound parking structure steel to ground rods.

Locate ground rods in planters or similar areas which will receive water regularly, and drive to a depth of at least 6'-0".

Make meg ground tests to measure ground resistance, and provide not more than 5 ohms resistance, adding ground rods as required to achieve that level.

Locate all ground electrodes on record drawings. Make ground rods accessible for inspection.

DISTRIBUTION SYSTEM

Identification

Identify all panelboards.

Provide plastic laminate nameplates, black face with white core letters, showing proper and complete identification.

See plans for panel capacity, voltage ratings, and branch circuit breaker units.

All panels to be of the circuit breaker type with plug-on circuit breakers.

Branch circuit breakers shall be thermal magnetic; quick-make and quick break. Multi-pole breakers to have common trip. Handle ties of any sort not allowed.

Panelboards shall be Square "D" type NCKD with plug-on branch circuit breakers, 22000 Amp I.C.

Panelboard of comparable construction and arrangement as manufactured by Cutler Hammer, General Electric, shall be considered acceptable alternates.

Each panel shall be provided with a typewritten directory mounted on inside of panel door and covered with clear plastic. This directory shall indicate the load supplied by each branch circuit breaker in panel.

All panelboards shall be equipped with an equipment grounding bar that is separate from the solid neutral bar.

WIRING DEVICES

General

Devices shall be provided at each location shown on the plans or called for in the specifications.

All devices to be Leviton, Hubbell or General Electric.