

# CARDINAL GLENN NEIGHBORHOOD

*Madison, Wisconsin*

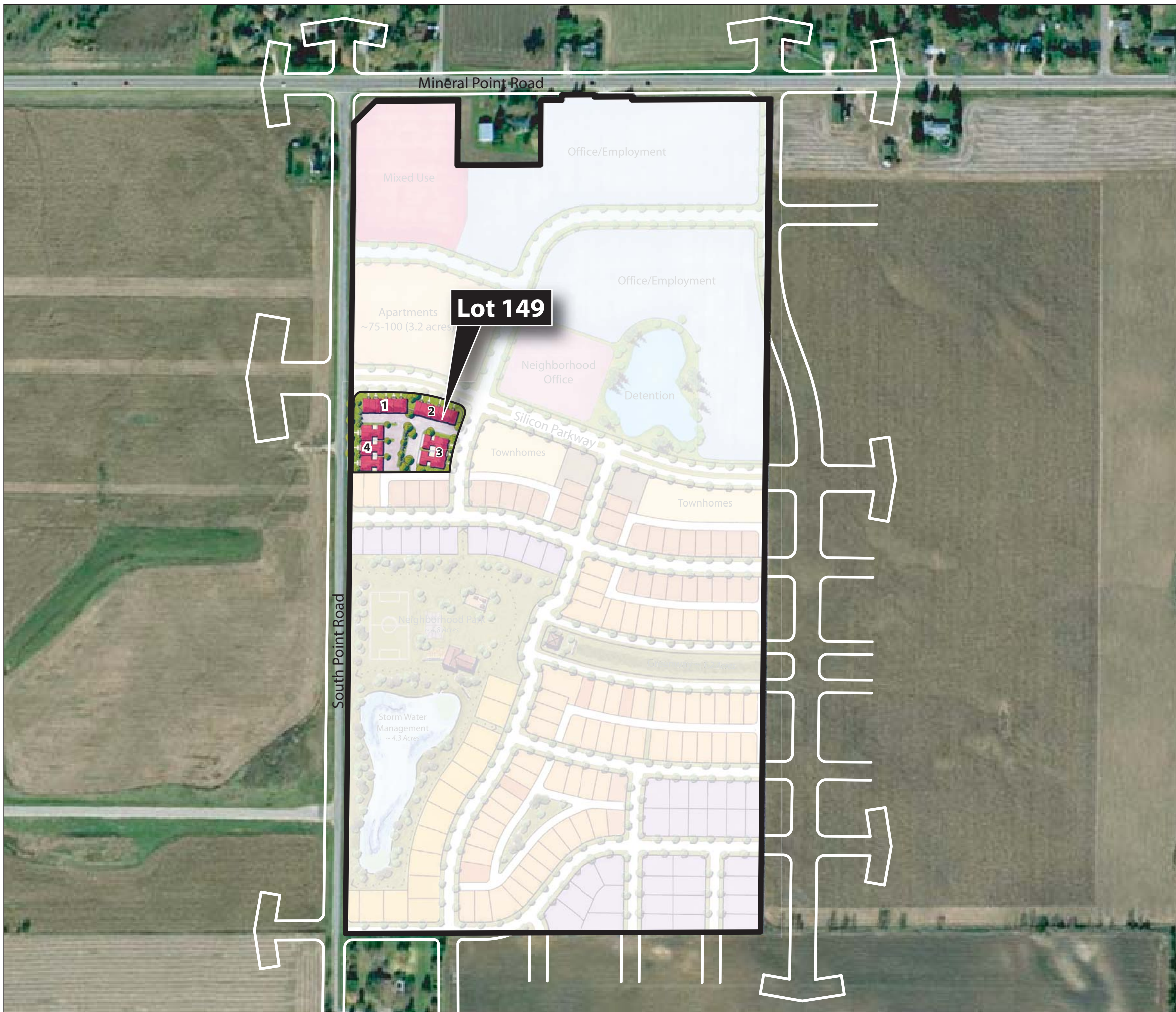
## SIP SUBMITTAL

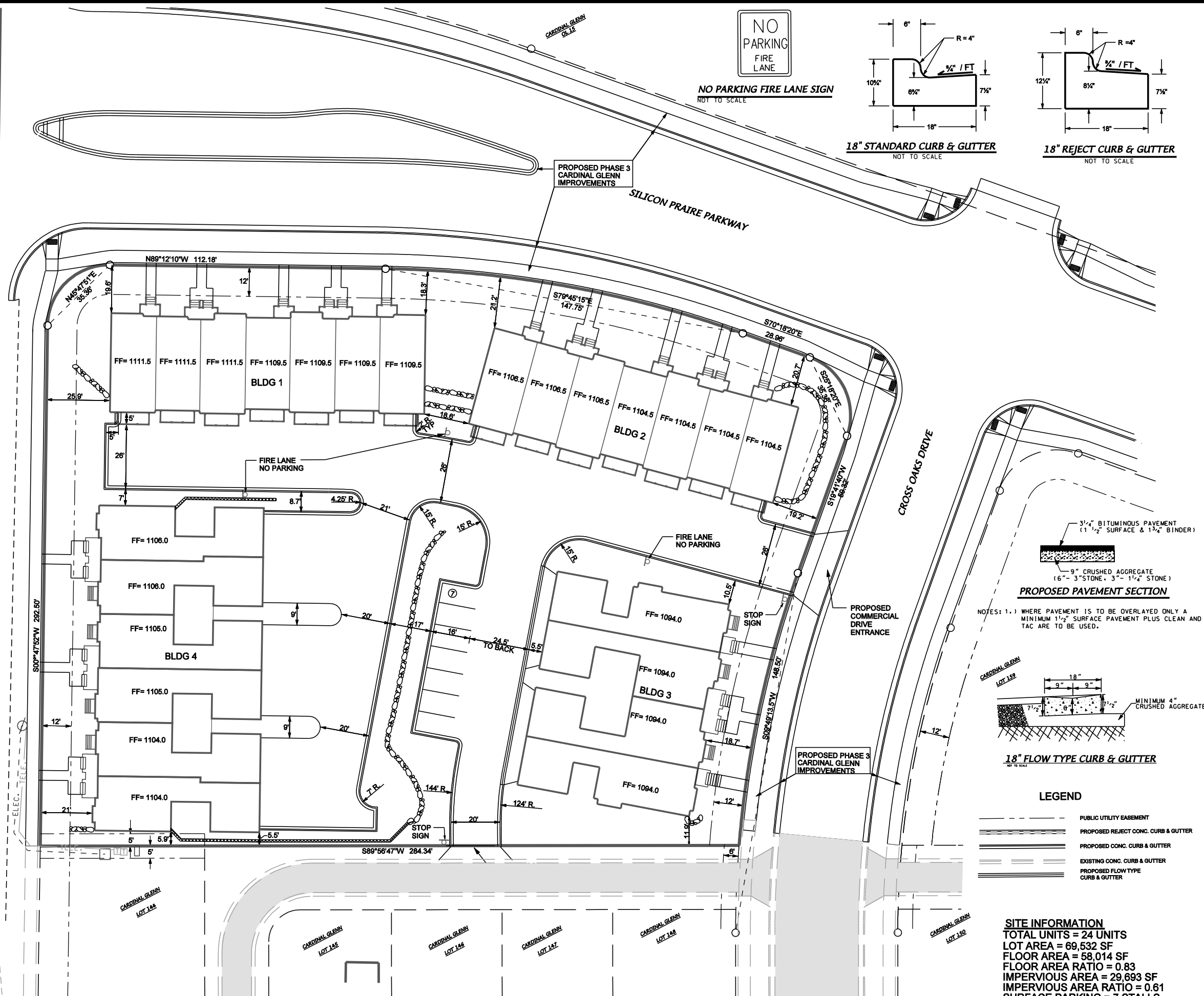
### LOT 149 TOWNHOMES

- Location Map/Cover Page
- Site Plan
- Site Grading Plan
- Site Utility Plan
- Townhome Buildings #1 & #2
  - Front, Rear, & Side Elevations
  - Garage Level & First Floor Plans
  - Second Floor Plan & Roof Plans
- Townhome Building #3
  - Front Elevation
  - Side & Rear Elevations
  - Lower Level Floor Plan
  - First Floor Plan
  - Second Floor Plan
  - Roof Plan
- Townhome Building #4
  - Front Elevation
  - Side & Rear Elevations
  - Lower Level Floor Plan
  - First Floor Plan
  - Second Floor Plan
  - Roof Plan
- Landscape Plan
- Lighting Plan
- Inclusionary Zoning Plan

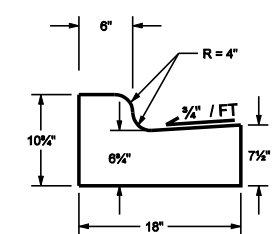


Planning, Creating, Rebuilding  
Madison & Milwaukee, Wisconsin  
Vandewalle & Associates, Inc.  
21 March 2007

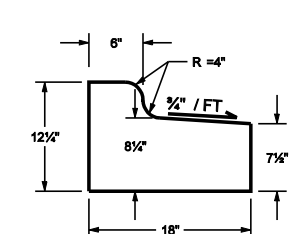




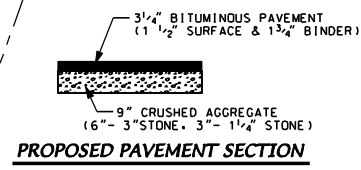
NO PARKING FIRE LANE SIGN  
NOT TO SCALE



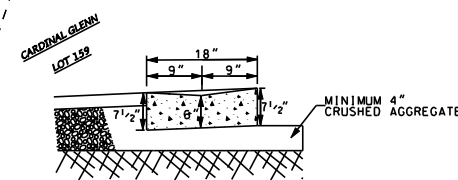
18" STANDARD CURB & GUTTER  
NOT TO SCALE



18" REJECT CURB & GUTTER  
NOT TO SCALE



NOTES: 1.1 WHERE PAVEMENT IS TO BE OVERLAYED ONLY A MINIMUM 1 1/2" SURFACE PAVEMENT PLUS CLEAN AND TAC ARE TO BE USED.



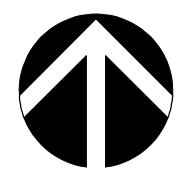
18" FLOW TYPE CURB & GUTTER  
NOT TO SCALE

LEGEND

- PUBLIC UTILITY EASEMENT
- PROPOSED REJECT CONC. CURB & GUTTER
- PROPOSED CONC. CURB & GUTTER
- EXISTING CONC. CURB & GUTTER
- PROPOSED FLOW TYPE CURB & GUTTER

SITE INFORMATION

TOTAL UNITS = 24 UNITS  
LOT AREA = 69,532 SF  
FLOOR AREA = 58,014 SF  
FLOOR AREA RATIO = 0.83  
IMPERVIOUS AREA = 29,693 SF  
IMPERVIOUS AREA RATIO = 0.61  
SURFACE PARKING = 7 STALLS  
GARAGE PARKING = 48 STALLS



SCALE: 1" = 20'

DATE: 03-21-07  
REV:

FN: 07-03-101  
DRAWN BY: TJS

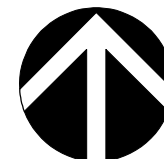
SITE PLAN

LOT 149 - CARDINAL GLENN

302 CROSS OAKS DRIVE  
MADISON, WISCONSIN

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089

YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



SCALE: 1" = 20'

DATE: 03-21-07  
REV:

FN: 07-03-101  
DRAWN BY: TAD

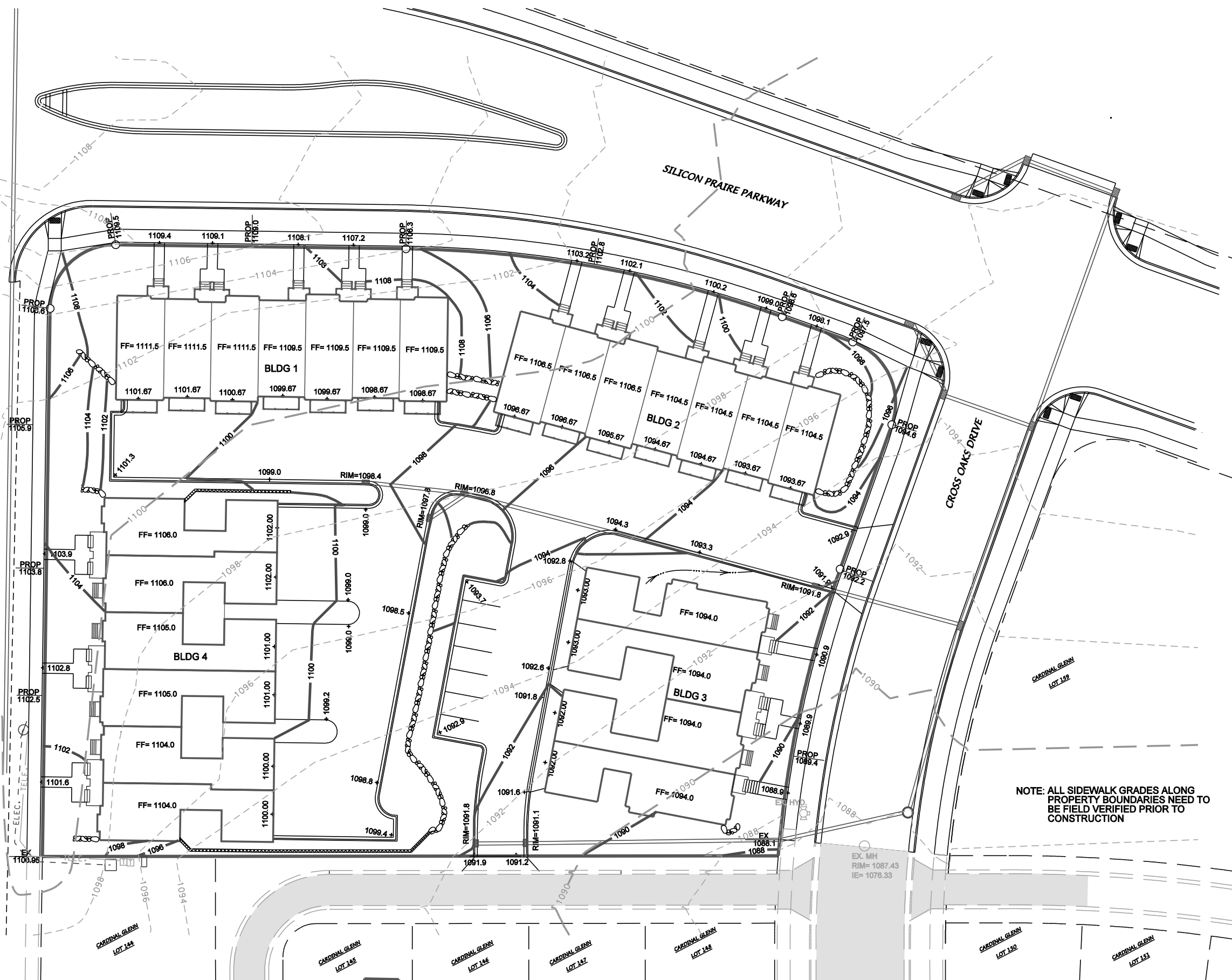
SITE GRADING PLAN

# LOT 149 - CARDINAL GLENN

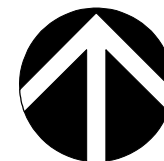
302 CROSS OAKS DRIVE  
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

C1.1







SCALE: 1" = 20'

DATE: 03-21-07  
REV:

FN: 07-03-101  
DRAWN BY: TAE

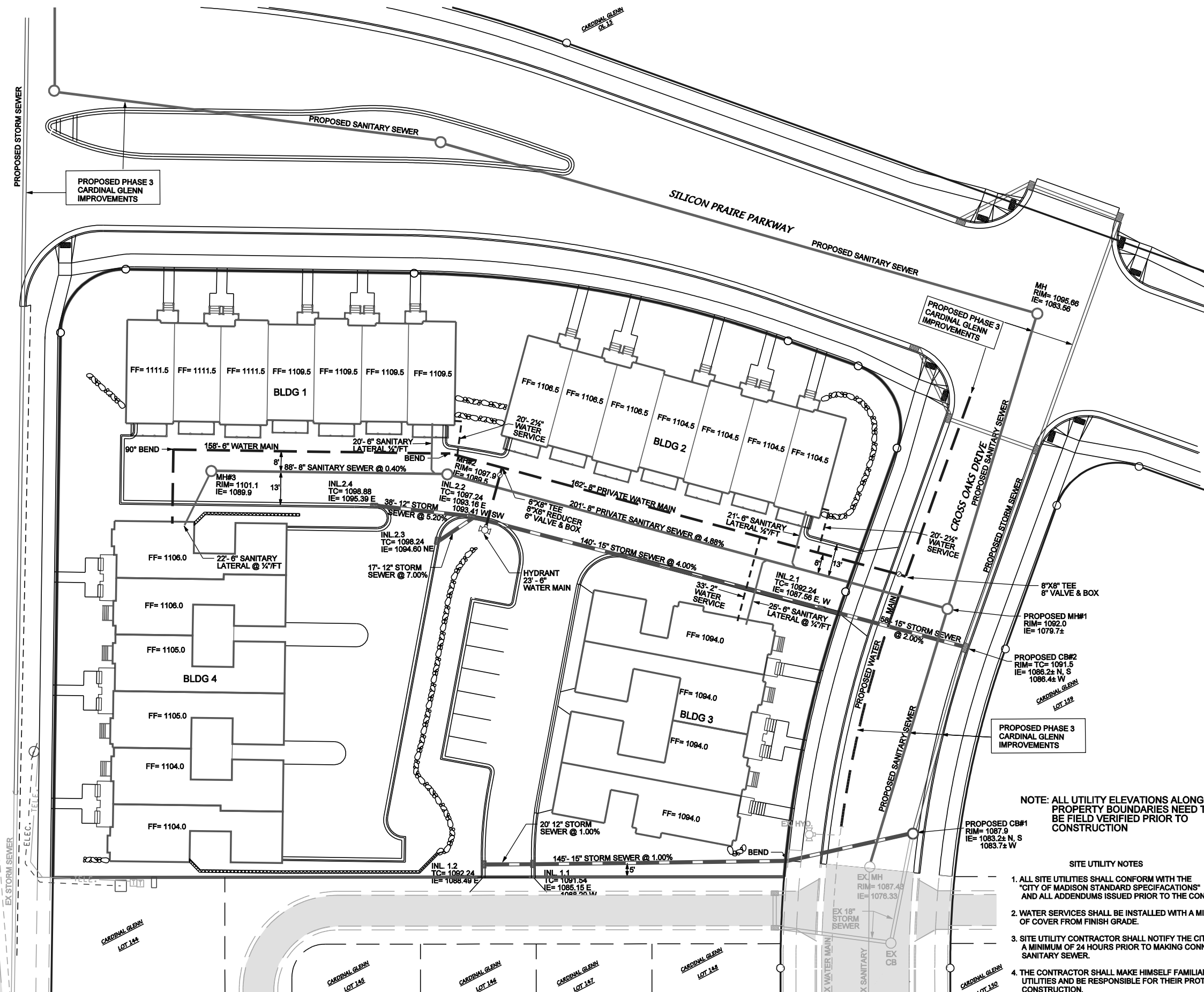
SITE UTILITY PLAN

## LOT 149 - CARDINAL GLENN

307 CROSS OAKS DRIVE  
MADISON, WISCONSIN

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
**YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT**

C1.2



NOTE: ALL UTILITY ELEVATIONS ALONG PROPERTY BOUNDARIES NEED TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION

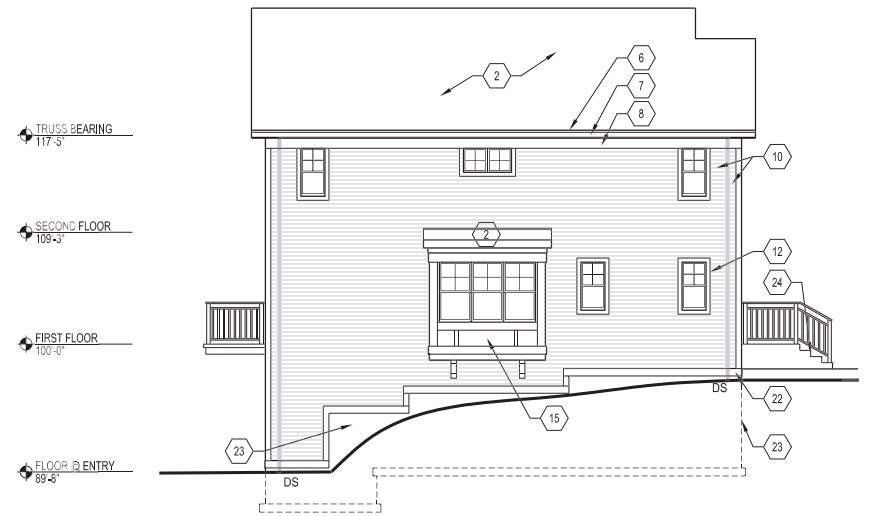
### SITE UTILITY NOTES

1. ALL SITE UTILITIES SHALL CONFORM WITH THE "CITY OF MADISON STANDARD SPECIFICATIONS" AND ALL ADDENDUMS ISSUED PRIOR TO THE CONTRACT DATE.
2. WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 6.5 FEET OF COVER FROM FINISH GRADE.
3. SITE UTILITY CONTRACTOR SHALL NOTIFY THE CITY OF MADISON A MINIMUM OF 24 HOURS PRIOR TO MAKING CONNECTIONS TO THE SANITARY SEWER.
4. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH EXISTING UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION DURING CONSTRUCTION.
5. PRIVATE SANITARY INTERCEPTOR TO BE SDR 35 PVC.
6. PRIVATE WATER MAIN TO BE CLASS 52 DUCTILE IRON.
7. PRIVATE STORM SEWER TO BE REINFORCED CONCRETE PIPE.





1 NORTH ELEVATION  
1/8"=1'-0"

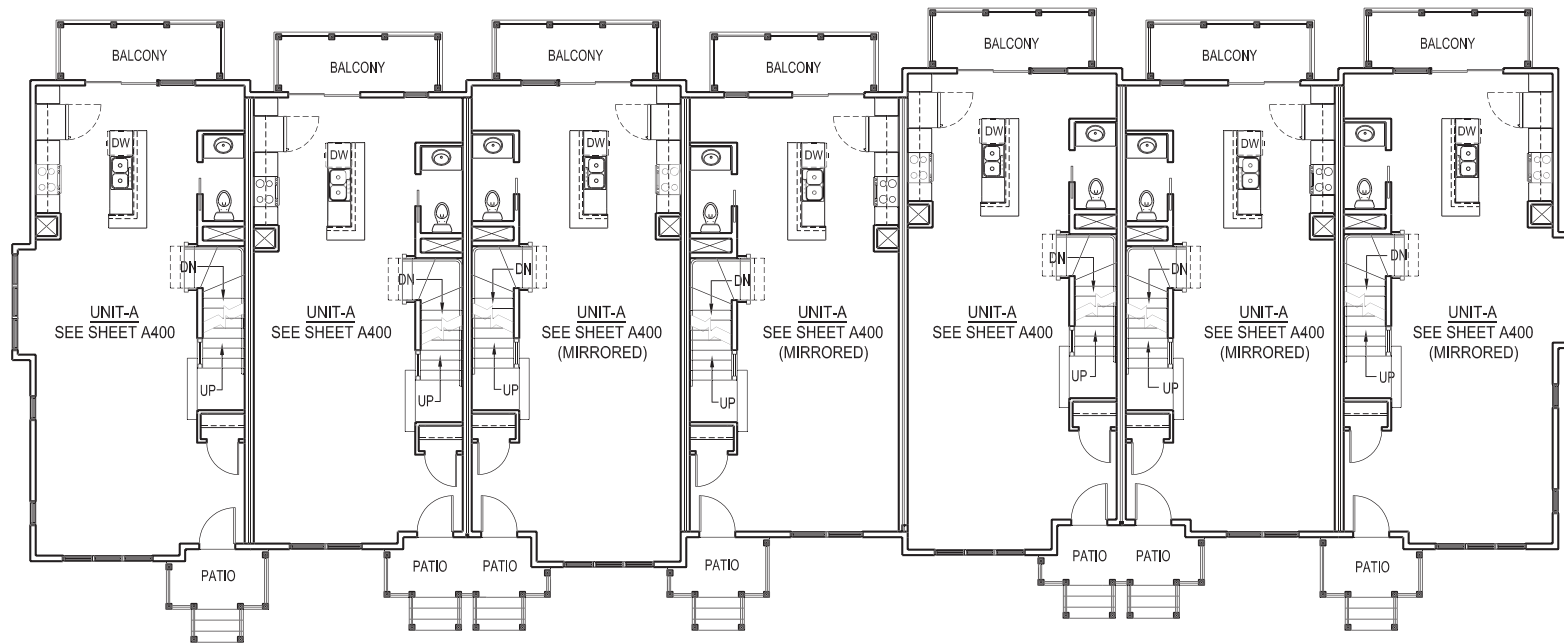


2 EAST ELEVATION  
1/8"=1'-0"

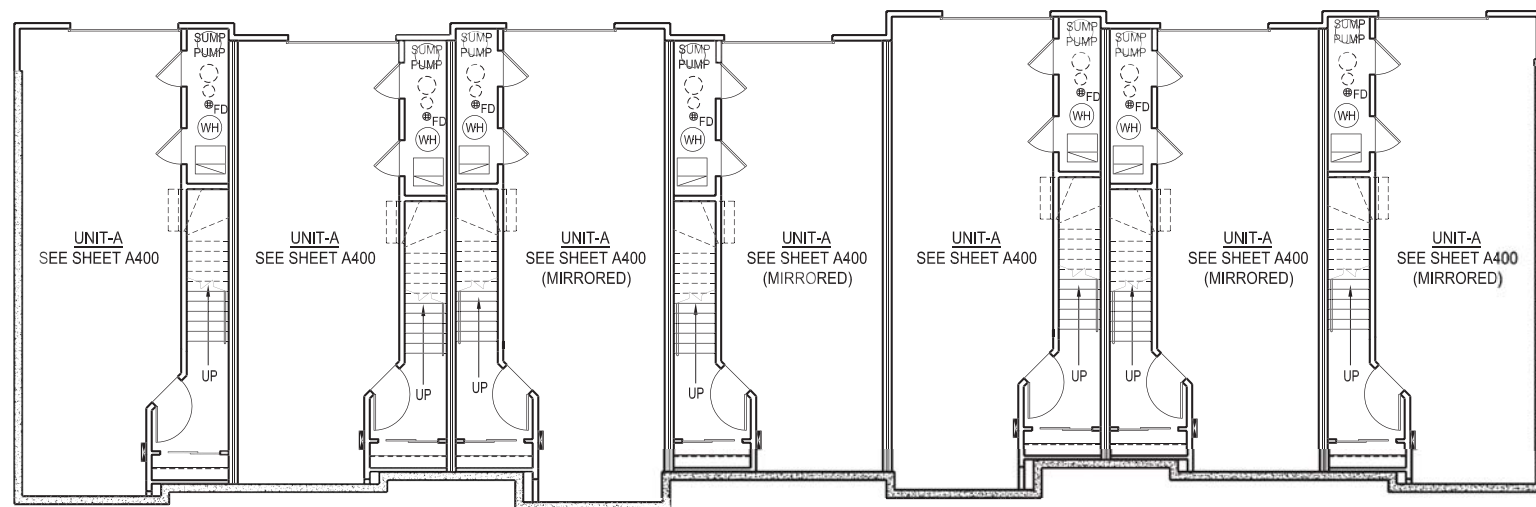


3 SOUTH ELEVATION  
1/8"=1'-0"

TOWNHOUSE MATERIAL KEY				15	SMOOTH FINISH CEMENT BOARD PANEL (PAINT)	23	CONCRETE FOUNDATION
1	SHINGLED ROOF VENT	8	TYPICAL FRIEZE BOARD 5/4x8 COMPOSITE TRIM (SEE SECTIONS) - PAINT	16	EXTERIOR LIGHT FIXTURE LOCATION ("KITCHLER" MODEL#-97080Z) - PHOTOCELL FIXTURE @ GARAGE DOOR	24	CONCRETE STAIRS
2	FIBERGLASS SHINGLES TYPICAL AT ALL SLOPED ROOF ASSEMBLIES	9	SINGLE HUNG VINYL WINDOWS SEE 2 & 3/A-213 FOR TRIM DETAILS	17	PAINTED WOOD TRELLIS- SEE 22/A500	25	PRIVACY WALL
3	SHAKE CEMENT BOARD SIDING (PAINT)	10	CEMENT BOARD SIDING 'A' 4" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	18	10"x8" PAINTED CEMENT BOGARG ADDRESS PLATE (1/2" ROUTED EDGES)	26	NOT USED
4	TYPICAL RAKE PREFINISHED ALUMINUM WRAPPED 1x RAKE FASCIA	11	CEMENT BOARD SIDING 'B' 6" EXPOSURE (PAINT) SEE SHEET A203 FOR COLOR	19	PAINTED WOOD RAILING	27	NOT USED
5	"NU-WOOD" 12"x24" DECORATIVE GABLE VENT	12	3 1/2" COMPOSITE TRIM (PAINT)	20	5 1/2" COMPOSITE CORNER TRIM (PAINT)	28	NOT USED
6	TYPICAL FASCIA "QUALITY EDGE" PREFINISHED ALUMINUM WRAPPED 1x FASCIA ON 2x SUB-FASCIA	13	5 1/2" COMPOSITE TRIM (PAINT)	21	DECORATIVE BRACKET (SEE DETAIL 7/A500)	29	NOT USED
7	ALUMINUM GUTTERS & DOWNSPOUTS	14	COMPOSITE TRIM (SIZE VARIES) (PAINT)	22	TYPICAL SKIRT BOARD 5/4x8 COMPOSITE TRIM (PAINT)	30	NOT USED



2 FIRST FLOOR PLAN  
1/8"=1'-0"



1 GARAGE LEVEL PLAN  
1/8"=1'-0"

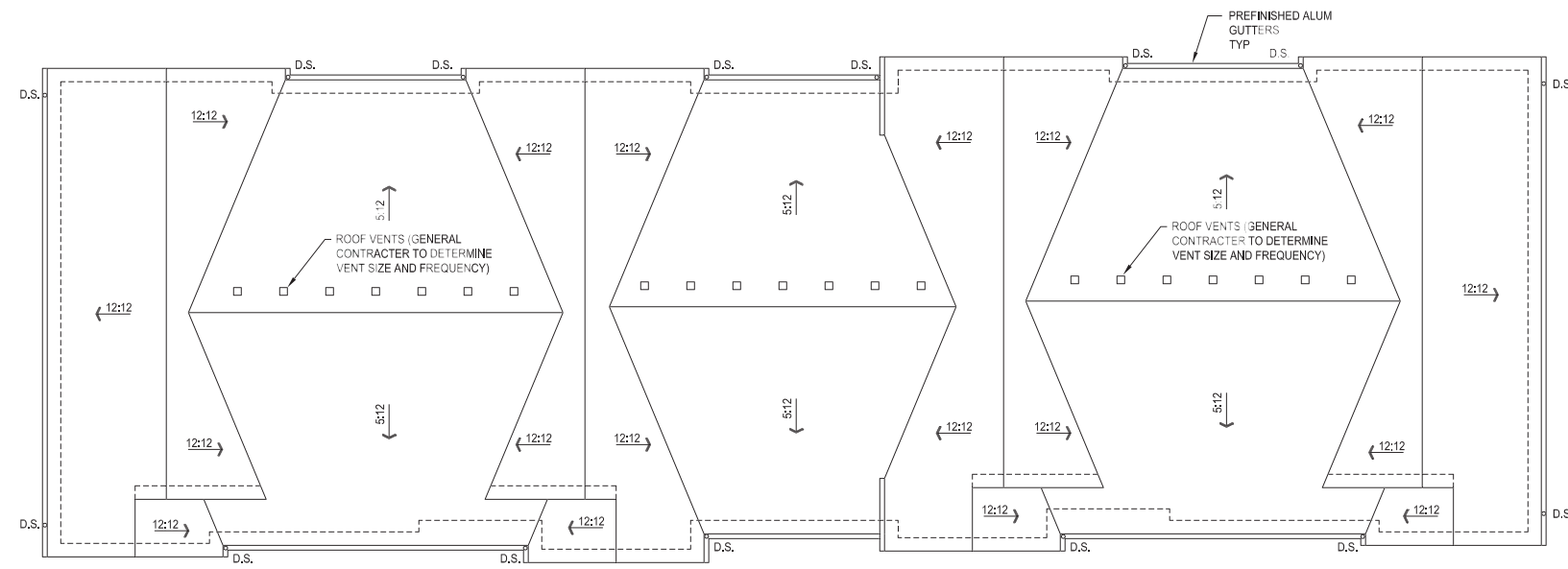


0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

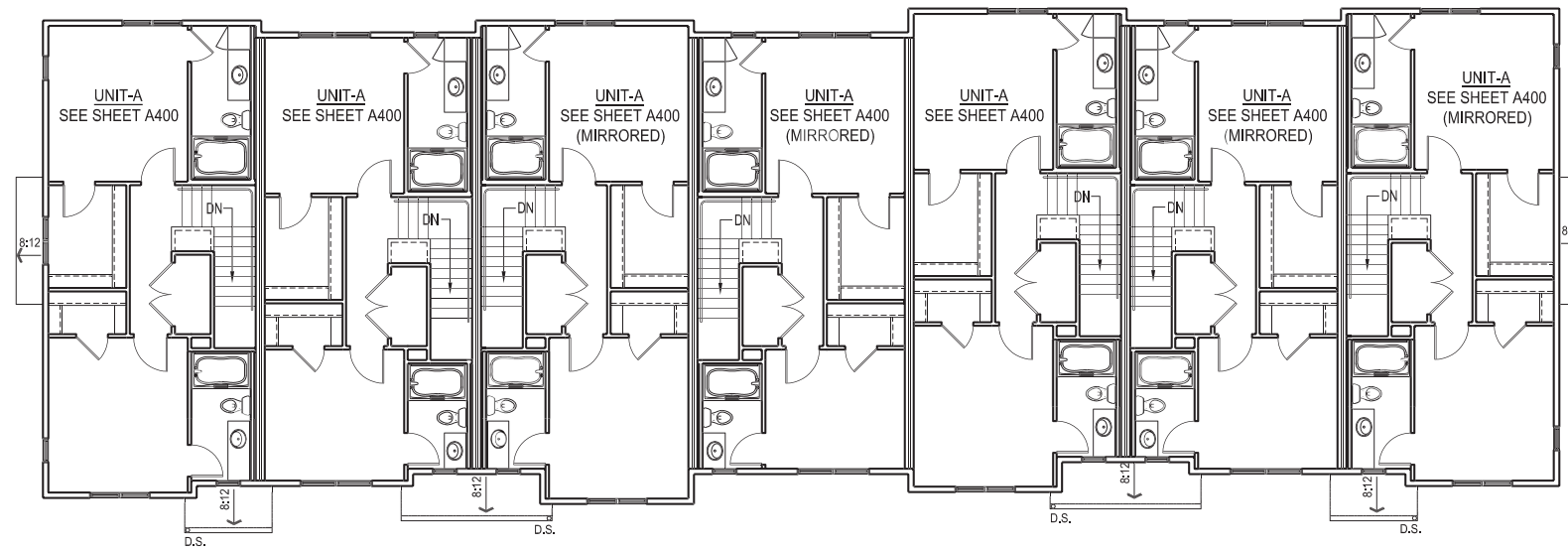


eppstein uhen : architects

# LOT 149 CARDINAL GLEN TOWNHOMES (BUILDINGS 1 & 2) - SIP SUBMITTAL

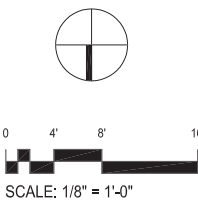


**2 ROOF PLAN**  
1/8"=1'-0"



**1 SECOND FLOOR PLAN**  
1/8"=1'-0"

# LOT 149 CARDINAL GLEN TOWNHOMES (BUILDINGS 1 & 2) - SIP SUBMITTAL







0FT 4FT 8FT 16FT

#### EXTERIOR ELEVATION MATERIAL SCHEDULE

- 1 BRICK
- 2 HARDIPANEL SMOOTH CEMENT BOARD PANEL
- 3 HARDIE SHINGLE STAGGERED EDGE PANEL
- 4 COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
- 5 WOOD COLUMN PAINTED
- 6 WOOD FASCIA PAINTED
- 7 NSULATED GARAGE DOOR
- 8 ROOF SHINGLES
- 9 CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
- 10 CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT

## CARDINAL GLEN - LOT 149 - BUILDING 3

### ELEVATIONS

EADP Project No. 071704.00

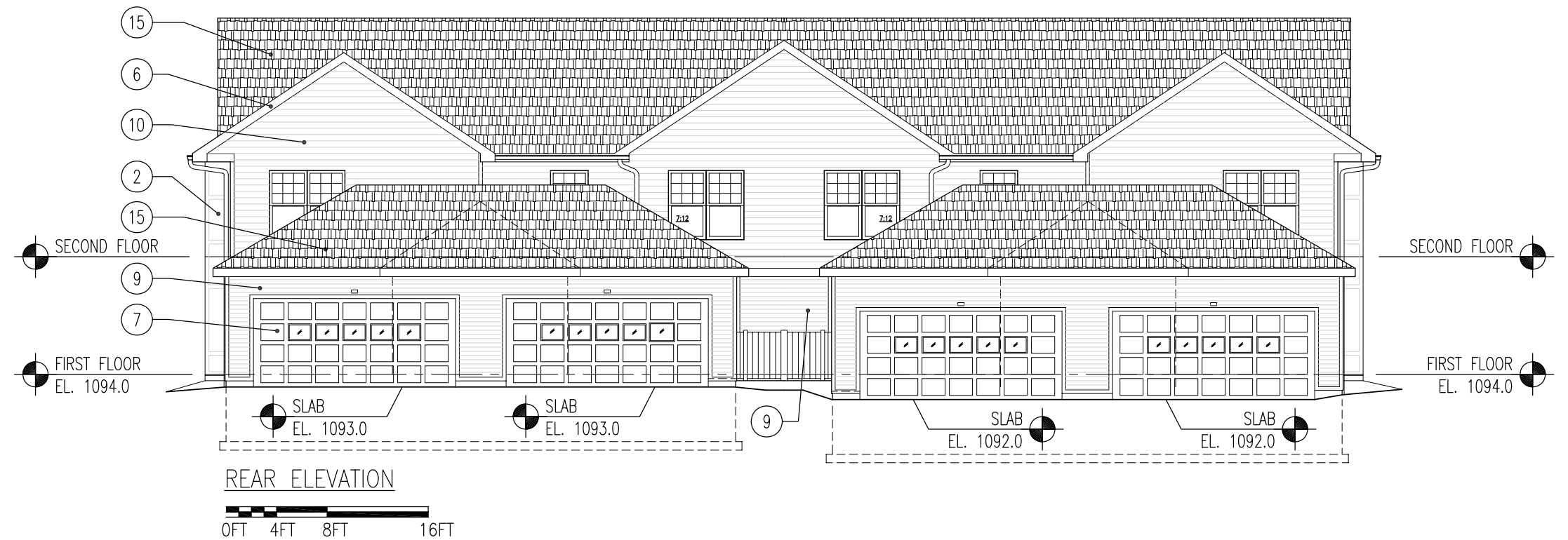
Engberg Anderson



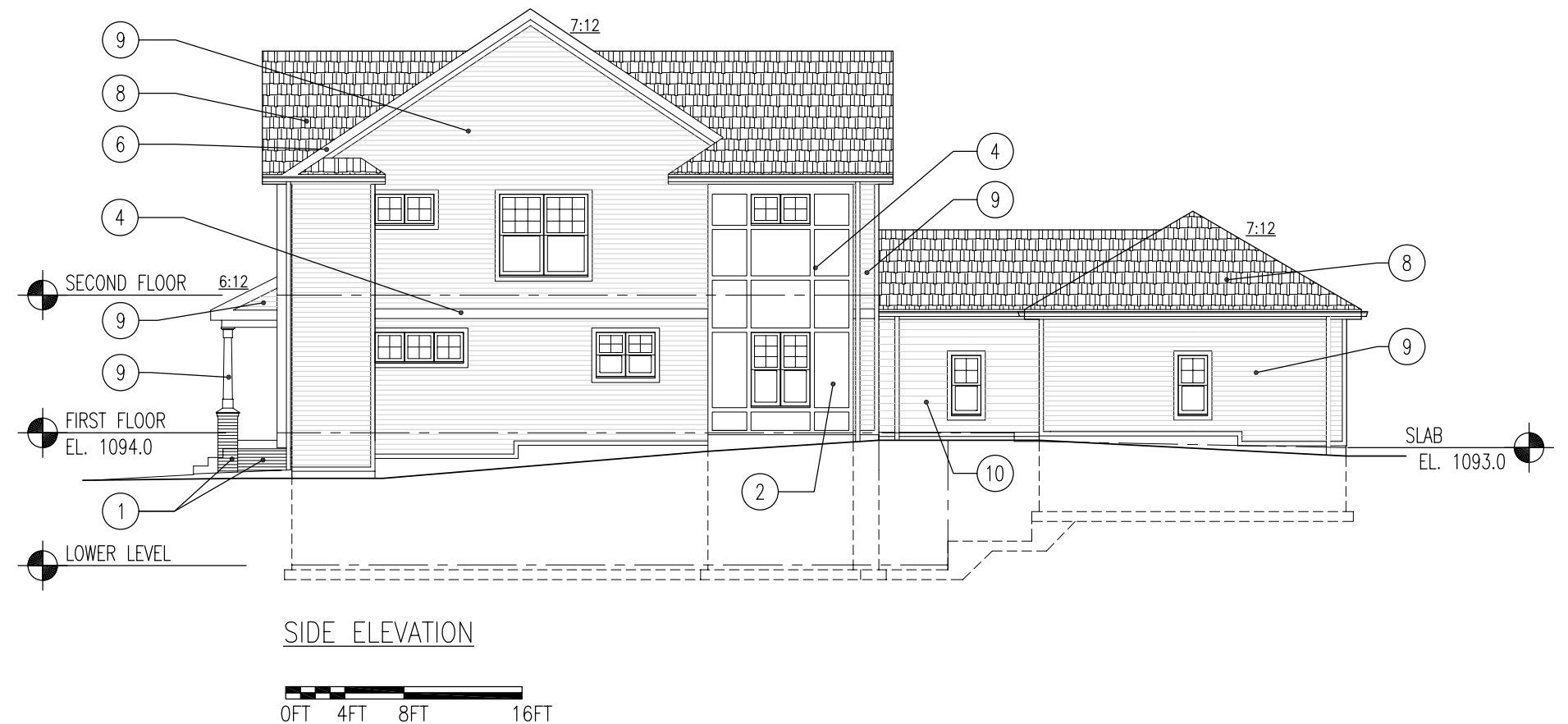
Design Partnership, Inc.

Scale: 3/32" = 1'-0"

March 21, 2007



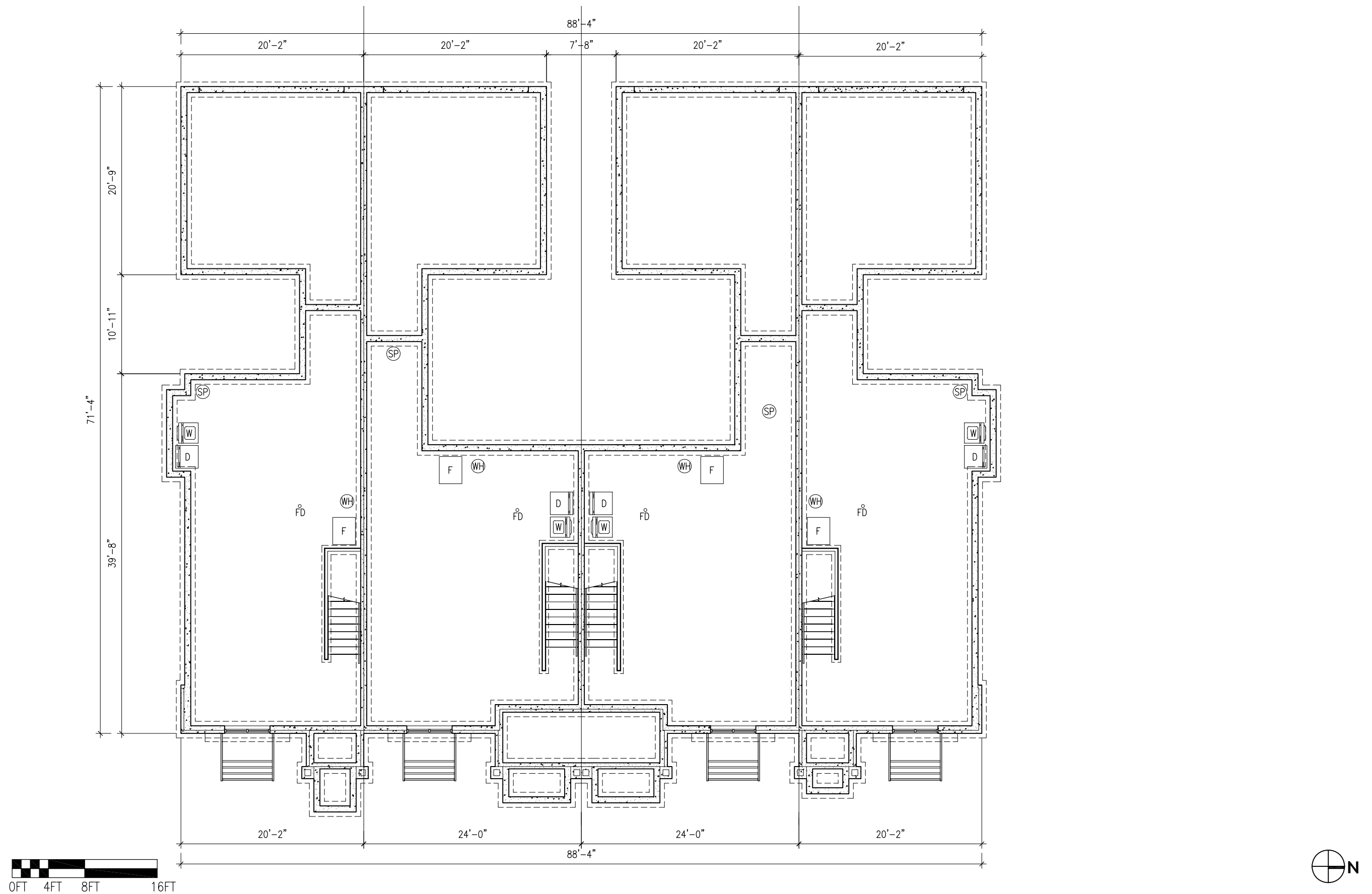
EXTERIOR ELEVATION MATERIAL SCHEDULE	
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## CARDINAL GLEN - LOT 149 - BUILDING 3

### ELEVATIONS

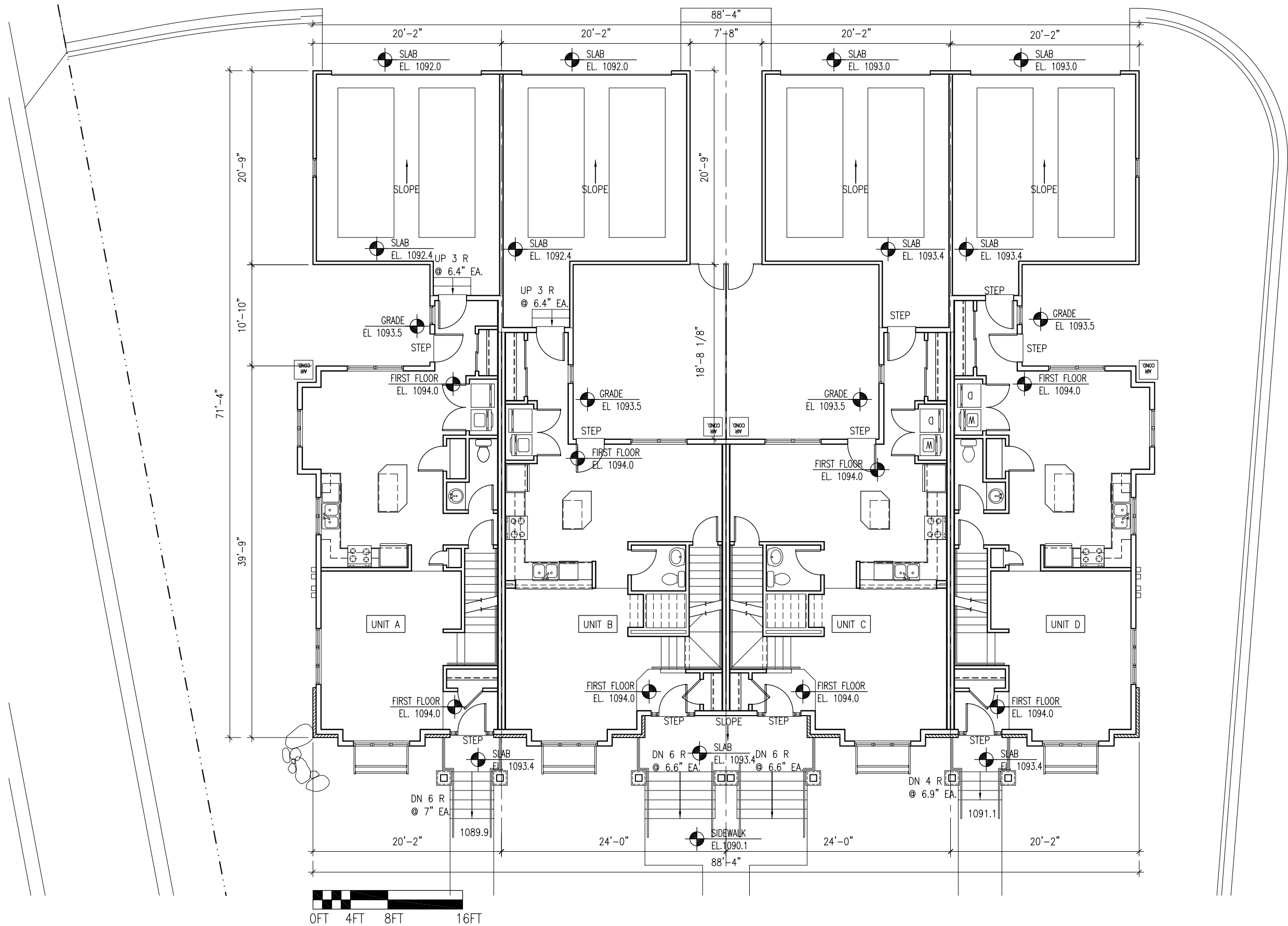
EADP Project No. 071704.00



# CARDINAL GLEN - LOT 149 - BUILDING 3

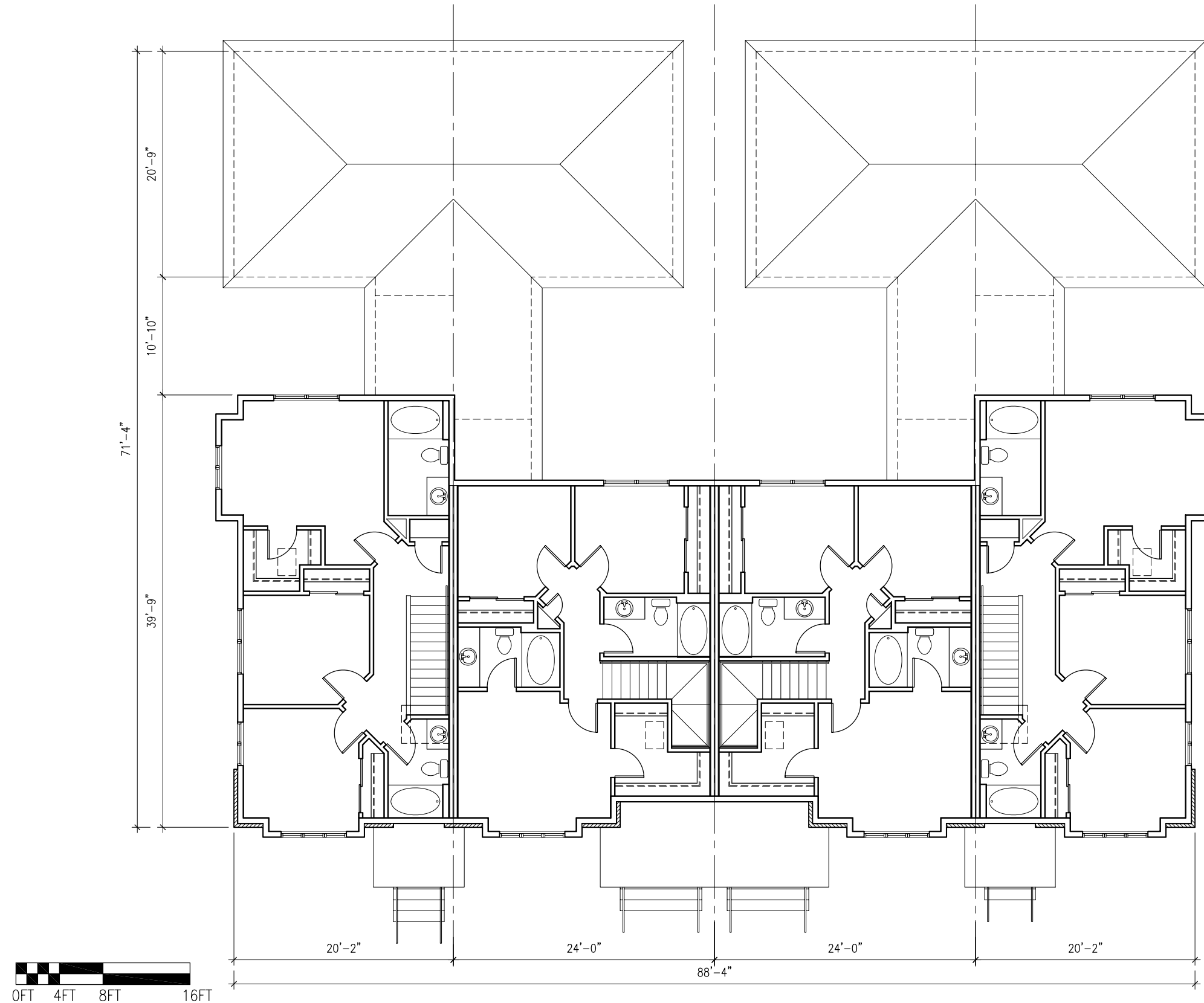
LOWER LEVEL FLOOR PLAN  
 EADP Project No. 071704.00





# CARDINAL GLEN - LOT 149 - BUILDING 3

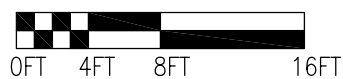
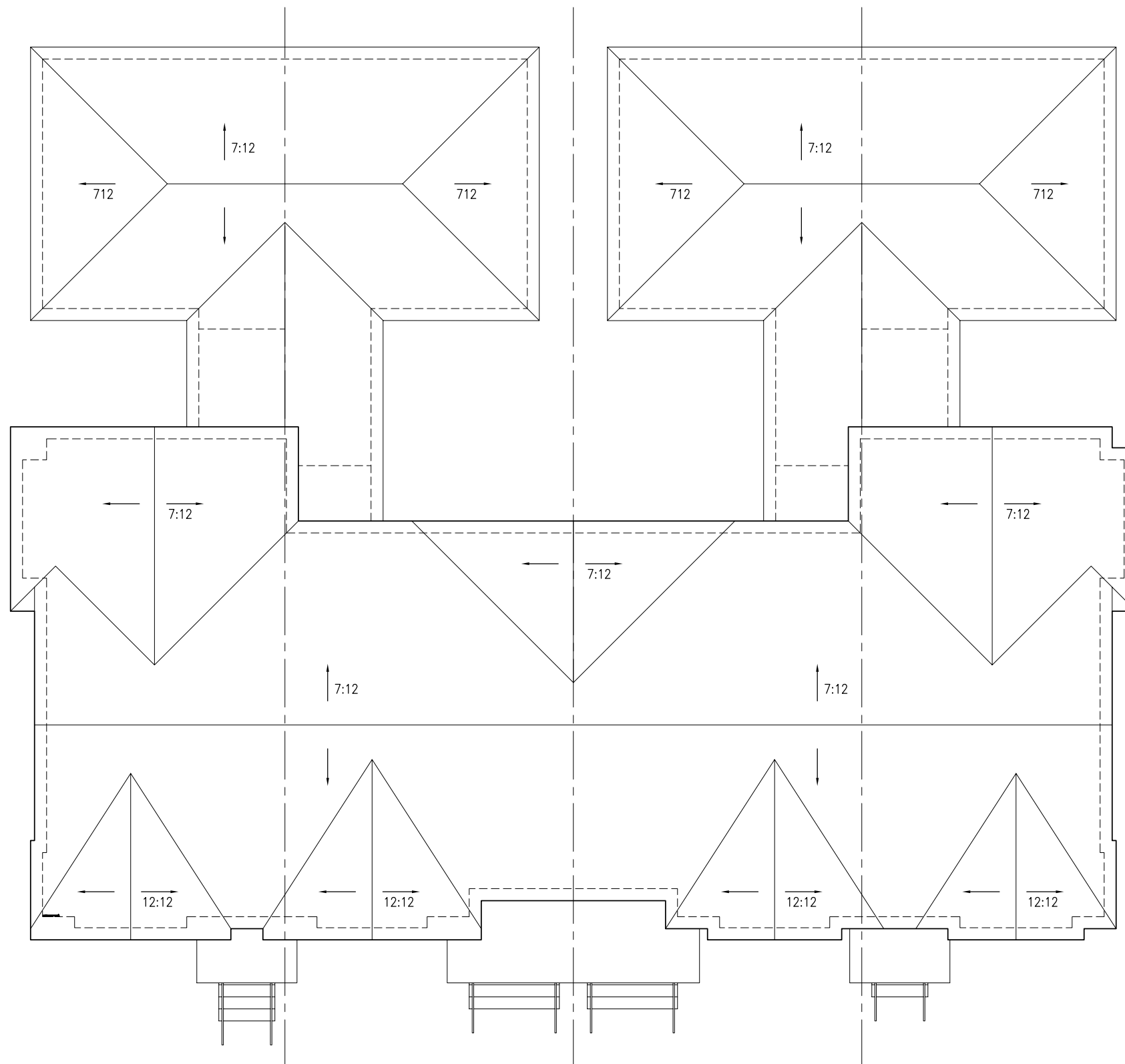
FIRST FLOOR PLAN  
EADP Project No. 071704.00



## CARDINAL GLEN - LOT 149 - BUILDING 3

SECOND FLOOR PLAN

EADP Project No. 071704.00



# CARDINAL GLEN - LOT 149 - BUILDING 3

ROOF PLAN

EADP Project No. 071704.00





#### EXTERIOR ELEVATION MATERIAL SCHEDULE

- 1 BRICK
- 2 HARDIPANEL SMOOTH CEMENT BOARD PANEL
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## CARDINAL GLEN - LOT 149 - BUILDING 4

### ELEVATIONS

EADP Project No. 071703.00

Engberg Anderson



Design Partnership, Inc.

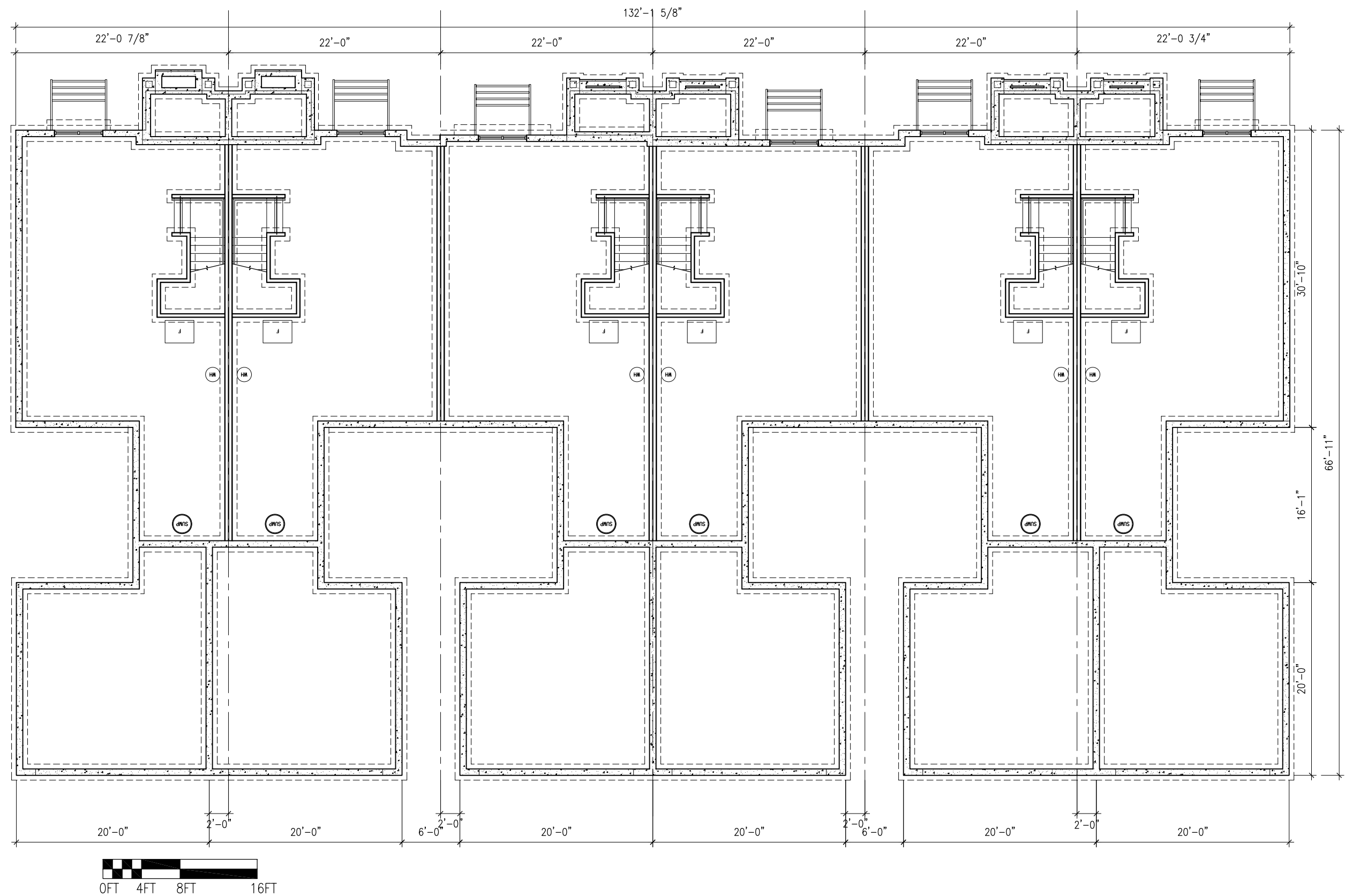
Scale: 3/32" = 1'-0"

March 21, 2007

EXTERIOR ELEVATION MATERIAL SCHEDULE	
1	BRICK
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3	HARDIE SHINGLE STAGGERED EDGE PANEL
4	COMPOSITE BOARD TRIM, ROUGH SIDE EXPOSED
5	WOOD COLUMN PAINTED
6	WOOD FASCIA PAINTED
7	INSULATED GARAGE DOOR
8	ROOF SHINGLES
9	CEMENT BD SIDING WITH 3" EXPOSURE ROUGH SIDE OUT
10	CEMENT BD SIDING WITH 4 1/2" EXPOSURE ROUGH SIDE OUT



March 21, 2007

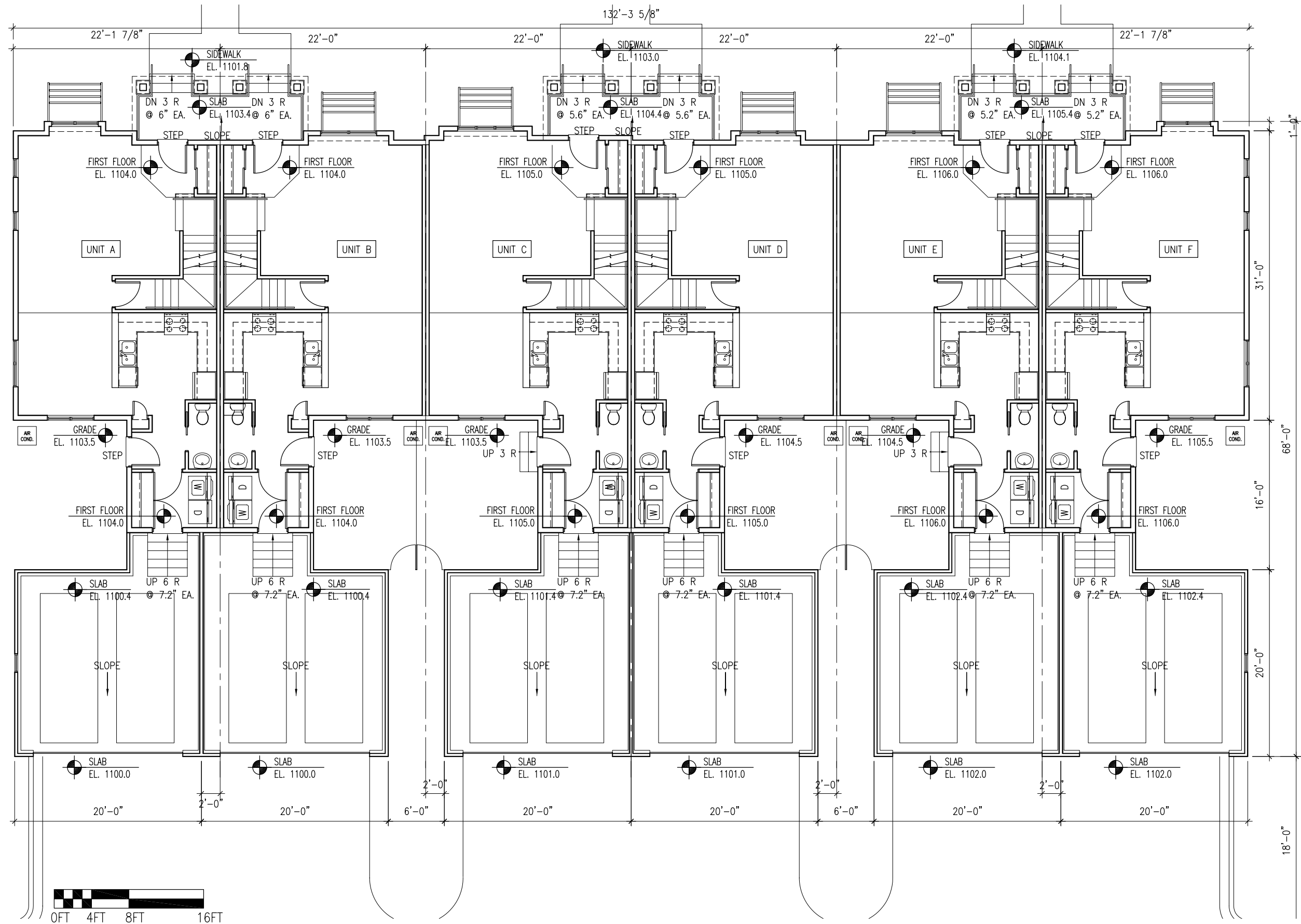


# CARDINAL GLEN - LOT 149 - BUILDING 4

LOWER LEVEL FLOOR PLAN

EADP Project No. 071703.00





# CARDINAL GLEN - LOT 149 - BUILDING 4

FIRST FLOOR PLAN

EADP Project No. 071703.00

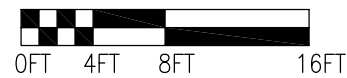
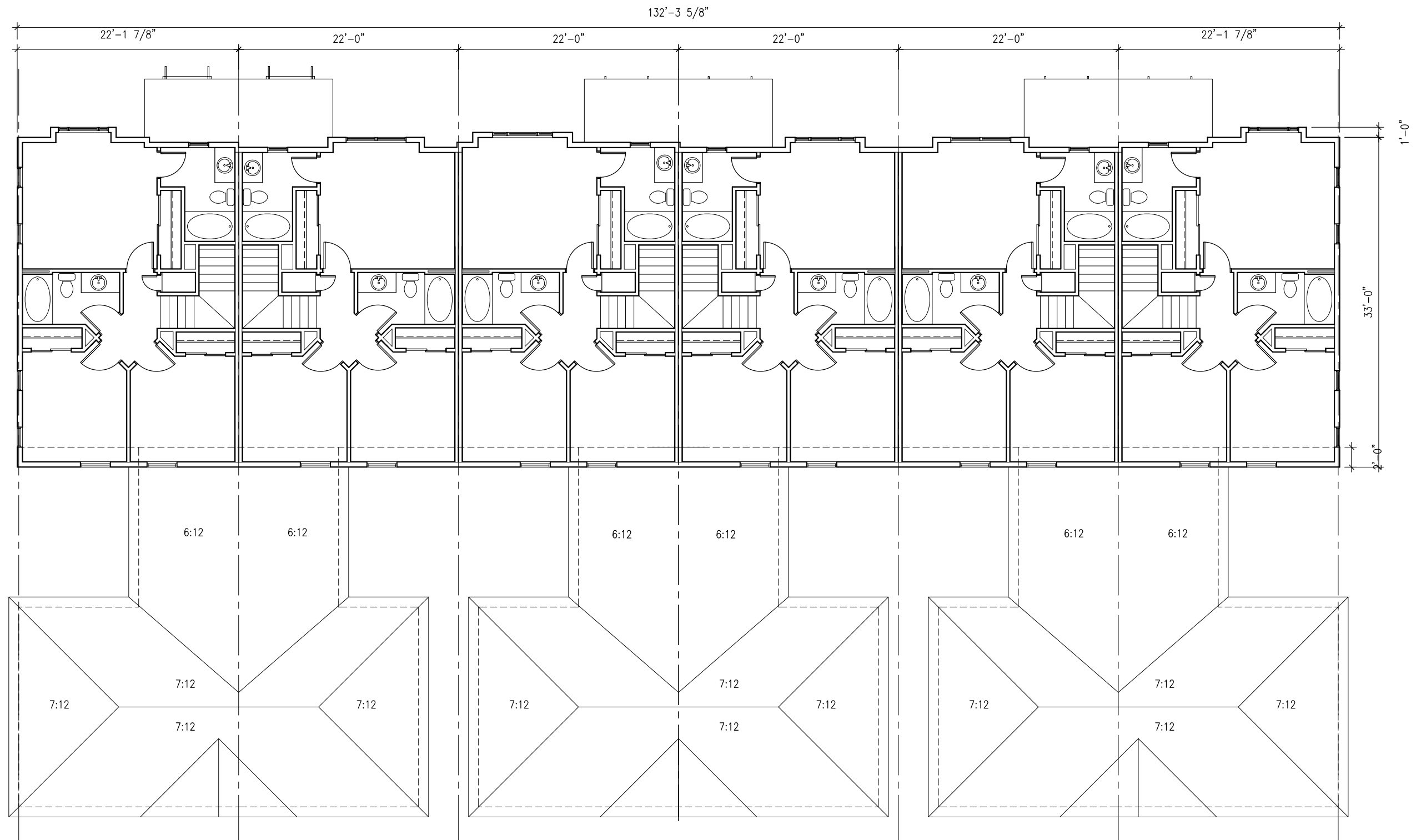
Engberg Anderson



Design Partnership, Inc.

Scale: 3/32" = 1'-0"

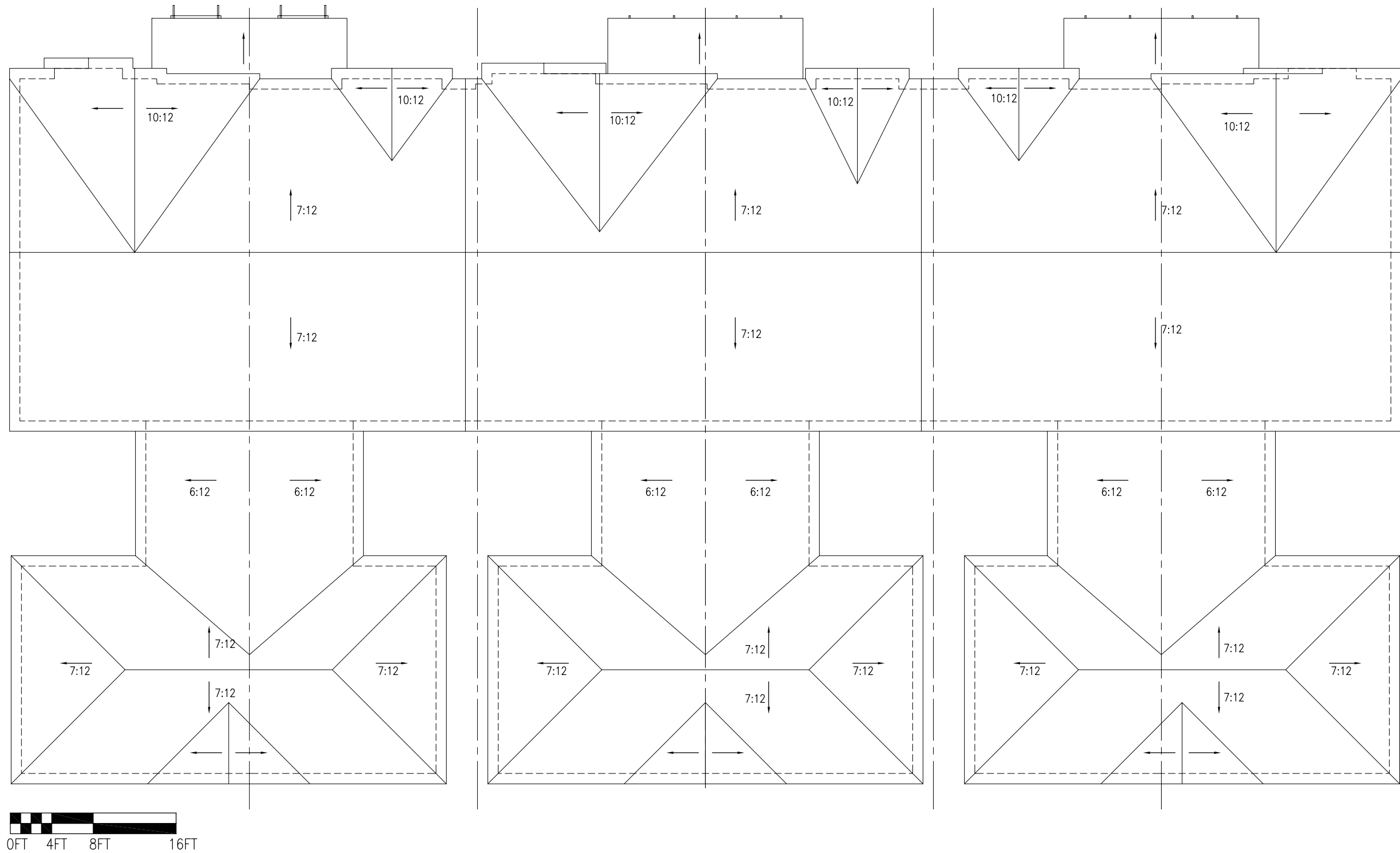
March 21, 2007



# CARDINAL GLEN - LOT 149 - BUILDING 4

SECOND FLOOR PLAN

EADP Project No. 071703.00



# CARDINAL GLEN - LOT 149 - BUILDING 4

ROOF PLAN

EADP Project No. 071703.00



Scale: 3/32" = 1'-0"

March 21, 2007



Planning Creating Rebuilding

## GENERAL

**Digging**  
Contact local Digger's Hotline prior to any digging.

Topsoil shall be classified as a sandy loam soil to silty loam. No organic topsoil from peaty sources will be accepted. Topsoil imported from a local supplier shall be stripped and stockpiled for more than 12 months to be relatively free of viable weed seeds. Topsoil shall be sifted and/or screened to be free of stones and clay lumps, plants or other extraneous materials.

**Fine Grading**  
Inspect site and verify that adequate topsoil has been provided for all seed and planting beds. Remove all trash and stone exceeding 2 inches in diameter from area to a depth of 2 inches prior to bed preparation and planting. Fine grade to within 1/2" of finished grade. All lawn areas to be sloped evenly to sheet drain and approximate contours on grading plan.

**Boulder Retaining Walls**  
Walls shall be made with fieldstone boulders varying in size from 8" to 36" in diameter. Obtain approval from landscape architect for specific type and source of boulders prior to ordering material. Each wall shall be uniform flat elevation across the top, with variation along the bottom elevation per grading plan.

## PLANTING

**Plant starter mix**  
A 2:1 ratio mix of two parts peat moss and one part manure. Available at certified peat & sod, New Berlin, WI (414-542-2270 for information) or approved equal.

**Substitutions**  
Substitutions/changes of plantings must be approved by landscape architect.

**Plant staking**  
Landscape contractor shall stake trees and shrub locations in the field and obtain approval from landscape architect prior to planting.

**Trees**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Tree holes to be at least 2 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Shrubs**  
Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Set depth of root ball to be same as grown in nursery or slightly higher if planting in clay soil.

**Perennials:**  
Condition topsoil in perennial planting beds by adding 3" plant starter mix. Add bone meal and milorganite, each at the rate of 1-2 lbs. per 100 S.F. Add granular sulfur at the rate of 3-4 lbs. per 100 S.F. Rototill to blend and re-grade as necessary. Set plant depth to be same as grow in nursery. Water-in well.

## MULCHING

install a 3" layer of shredded bark throughout tree, shrub, and perennial planting beds. For trees in lawn, install a 4-5' diameter circle of mulch around each tree. Do not allow mulch to touch plant stems. Contractor shall provide shredded bark mulch from disease-free hardwood trees. Provide generally flat bark, maximum of 1" wide and 4" long, graded down to sawdust, and relatively free of deleterious matter.

**STONE MULCH AT COURTYARDS**  
Install 3" depth of ¾" to 1 ½" diameter washed stone mulch. Place over weed cloth on compacted subgrade as located on plan.

**BED EDGING**  
All planting beds adjacent to turf areas shall be edged with a straight-face poly-vinyl edging, Slim-Edg, by Oly-Ola Edgings, Inc., or approved equal. Install per manufacturer's instructions.

## TURF SEDING

Proportions by common name		by weight
A.	Barron kentucky bluegrass	20 %

- |                                  |      |
|----------------------------------|------|
| B. Liberty kentucky bluegrass    | 20 % |
| C. Pennlawn fescue               | 20 % |
| D. Prelude ii perennial ryegrass | 20 % |
| E. Palmer ii perennial ryegrass  | 20 % |

Apply at the rate of 5 Lbs. per 1000 Sf.

Method of grass seeding may be varied at discretion of Contractor on their responsibility to establish smooth, uniform turf composed of the grasses specified.

- Spread lawn fertilizer per manufacturer's specifications.
- Do not seed following rain or if surface has been compacted by rain.
- Do not seed when wind velocity exceeds 6 m.p.h.
- Method of mulching may be varied at discretion of contractor. Fiber mulch to be mixed with seed and fertilizer if hydroseeding. Or, protect seeded areas by spreading straw mulch to form a continuous blanket over seeded areas.
- Keep seeded moist for next 4 weeks.

**MAINTENANCE**  
Maintenance Period – Contractor shall provide regular maintenance until a date of 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.

**PLANT GUARANTEE**  
The landscape contractor shall guarantee to replace once, without charge, any woody plant material (deciduous or evergreen trees & shrubs) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

**FENCES**  
Fences will comply with Cardinal Glenn Neighborhood Covenants, Conditions and Restrictions

Deciduous Trees													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3	2.5' Cal.	B/B	As shown							
GD	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	5	2.5' Cal.	B/B	As shown							
QR	Quercus rubra	Red Oak	4	2.5' Cal.	B/B	As shown							
Evergreen Trees													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
PG	Picea glauca var. densata	Black Hills Spruce	12	6' Ht.	B/B	As shown	15	180					
Ornamental Trees													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
AG	Amelanchier x g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	6' Ht. Multi	B/B	As shown	15	30					
CV	Crataegus viridis 'Winterking'	Winterking Hawthorn	6	2' Cal.	B/B	As shown	15	90					
MD	Malus x 'Donald Wyman'	Donald Wyman Crabapple	2	2' Cal.	B/B	As shown	15	30					
MS	Malus x 'Sentinel'	Sentinel Crab	11	2' Cal.	B/B	As shown	15	165					
Deciduous Shrubs													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
AA	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	72	24" Ht.	Container	As shown	2	144					
CS	Cornus sericea 'Ivanti'	Ivanti Redosier Dogwood	22	18" Ht.	Container	48" o.c.	2	44					
DL	Diervilla lonicera	Dwarf-bush Honeysuckle	37	2 Gal.	Container	54" o.c.	2	74					
EV	Euonymus fortunei 'Vegatus'	Bigleaf Wintercreeper	13	2 Gal.	Container	36" o.c.	2	26					
FB	Forsythia v. bronensis	Dwarf Forsythia	47	18" Ht.	B/B	30" o.c.	2	94					
HA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	53	2 Gal.	Container	48" o.c.	2	106					
HK	Hypericum kalmianum 'Ames'	Ames Kalm St. Johnswort	20	2 Gal.	Container	36" o.c.	2	40					
RA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	49	2 Gal.	Container	48" o.c.	2	98					
RCB	Rosa 'Carefree Beauty'	Carefree Beauty Rose	24	2 Gal.	Container	30" o.c.	2	48					
SBC	Spiraea x bumalda 'Gold Charm'	Gold Charm Spiraea	19	18" Ht.	Container	30" o.c.	2	38					
SP	Spiraea japonica 'Little Princess'	Little Princess Spiraea	45	18" Ht.	Container	30" o.c.	2	90					
SJ	Syringa meyeri 'Palibin'	Palibin Lilac	7	24" Ht.	B/B	As shown	2	14					
CV	Viburnum coccineum 'Compactum'	Compact Koreanspice Viburnum	5	24" Ht.	B/B	As shown	2	10					
VO	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	7	36" Ht.	B/B	72" o.c.	2	14					
VY	Viburnum opulus 'Compactum'	Compact European Viburnum	23	18" Ht.	B/B	54" o.c.	2	46					
WW	Weigela 'Wine & Roses'	Wine & Roses Weigela	6	2 gal.	Container	30" o.c.	2	12					
Evergreen Shrubs													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
JCK	Juniperus chinensis 'Kallays Compact'	Kallay's Compact Pfizer Juniper	24	2 Gal.	Container	54" o.c.	3	72					
JCS	Juniperus chinensis 'Sea Green'	Sea Green Juniper	32	2 Gal.	Container	60" o.c.	3	96					
TMD	Taxus x media 'Densiformis'	Dense Yew	20	18" Ht.	B/B	54" o.c.	3	60					
TO	Thuja occidentalis 'Wareana'	Siberian Arborvitae	6	6' Ht.	B/B	48" o.c.	3	18					
Perennials													
SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COND.	SPACING	POINTS	POINTS					
AC	Asillebe chinensis 'Visions'	Visions Astilbe	44	4.5"	Container	16" o.c.							
CA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass (5-6' ht.)	22	1 Gal.	Container	30" o.c.							
HS	Hemerocallis 'Stella d'Oro'	Low Yellow-Gold Daylily	88	1 Gal.	Container	18" o.c.							
HSW	Hemerocallis 'Summer Wine'	Summer Wine Daylily	101	1 Gal.	Container	18" o.c.							
HSP	Hosta 'Sun Power'	Sun Power Hosta	36	1 Gal.	Container	30" o.c.							
HSE	Hosta sieboldiana 'Elegans'	Blue Giant Hosta	33	1 Gal.	Container	30" o.c.							
HSP	Hydrangea anomala ssp. petiolaris	Climbing Hydrangea	13	2 Gal.	Container	As shown							
MSR	Miscanthus sinensis 'Red Flame'	Red Flame Miscanthus	13	1 Gal.	Container	30" o.c.							
PAH	Pennisetum setaceum 'Hamelin'	Hamelin Dwarf Fountain Grass	35	1 Gal.	Container	18" o.c.							
PF	Parthenocissus quinquefolia 'Engelmannii'	Engelmann Virginia Creeper	6	1 Gal.	Container	As shown							
RQ	Rudbeckia fulgida 'Goldsturm'	Goldsturm Rudbeckia	49	1 Gal.	Container	18" o.c.							
SS	Schizachyrium scoparium	Little Bluestem	30	1 Gal.	Container	30" o.c.							
								Total Points	1,639				

James Schifano

## REVISIONS

CARDINAL GLENN  
LOT 149 TOWNHOMES - LANDSCAPE PLAN

MADISON, WISCONSIN

SCALE: 1" = 30'-0"

DATE: March 21, 200

DRAWN BY: ERK

Cardinal Glenn - Lot 149

P 1.0



PLANTING REQUIREMENTS  
(CALCULATED FROM WORKSHEET, 1 PARKING STALLS)

NO. OF CANOPY SHADE TREES REQUIRED	1
NO. OF POINTS REQUIRED	35

# LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas  
(Section 28.04 Madison General Ordinance)

Project Location/Address: <u>302 Cross Oak Drive</u>
Name of Project: <u>Cardinal Glenn - Lot 149 Townhomes</u>
Owner/Contact: <u>Chris Landerud - Vandewalle + Associates</u>
Address: <u>120 E. Lakeside St., Madison WI 53715</u>

**FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT**

**I. Number of Trees Required**

The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.  
[Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].

Number of Parking Stalls _____	7
Total Square Footage of the Storage Area _____ Divided by Three Hundred (300) Square Feet	—
Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) (See Schedule on reverse side) _____	1

TOTAL

**II. Number of Landscape Points Required**

The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for <u>loading areas</u> is (75) points for each loading berth. (See Schedule on reverse side) _____	—
Number of Points Required (See Schedule on reverse side) _____	35

TOTAL

**Tabulation of Points and Credits**

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	
				QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2"*	35	2	70		
Deciduous Shrub	2	8	16		
Evergreen Shrub	3	10	30		
Decorative Wall or Fence (per 10 L.F.)	5	—			
Earth Berm (per 10 L.F.) Avg. Height 30"	5	—			
Avg. Height 15"	2	—			
Evergreen Trees 3' height minimum	15	—			
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15	—			
Sub Totals			116	+	0

TOTAL

= 116

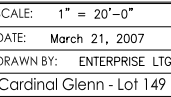
Total No. of Points Provided  
(Equal to or greater than points  
required)

\*Trees required in Part I above, are not to be included in the point count.

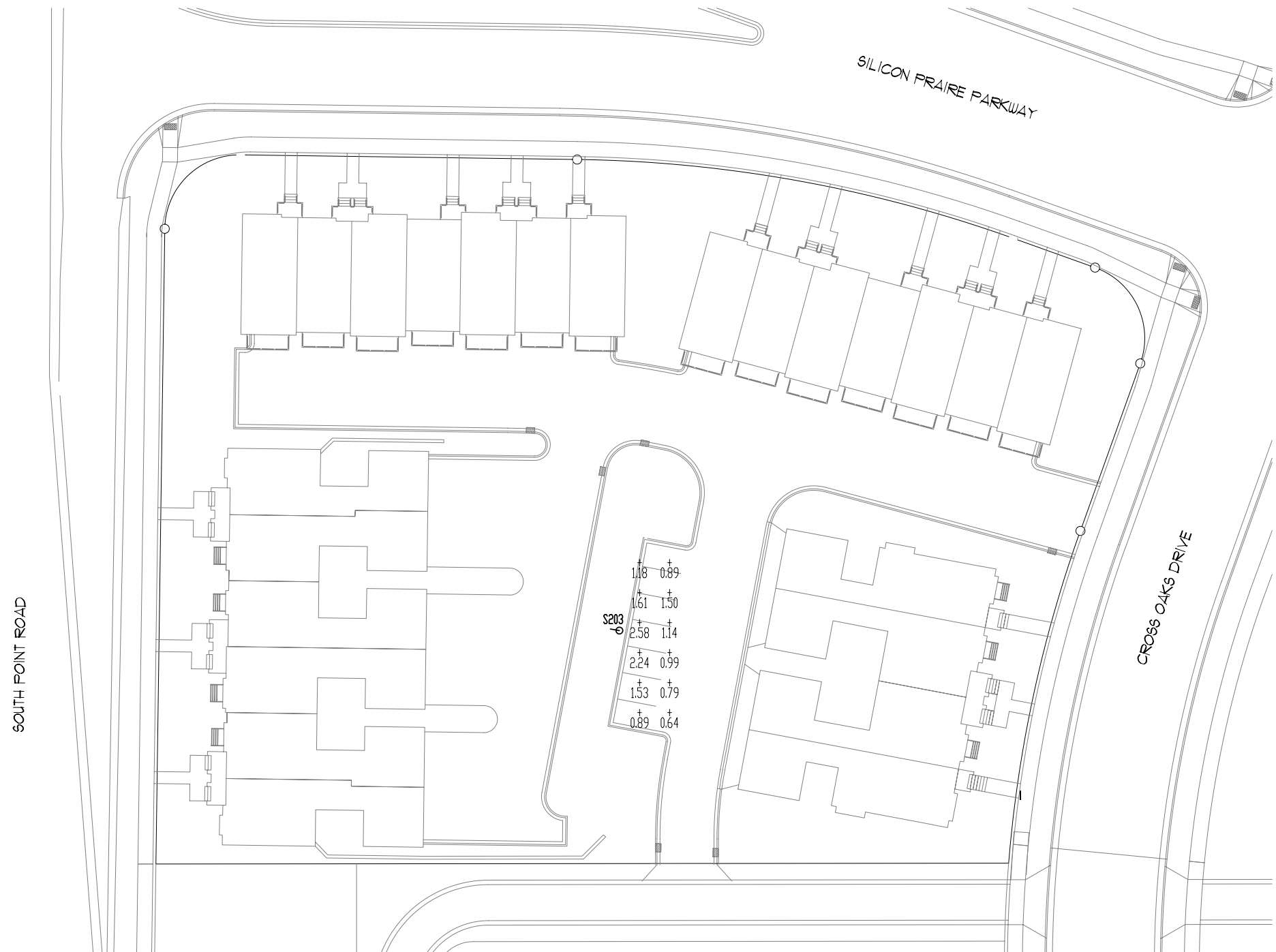
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_



CARDINAL GLENN  
LOT 149 TOWNHOMES - LIGHTING PLAN  
MADISON, WISCONSIN



# L 1.0



CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Site	109.31x174.00ft	Grade / H-H	12	10.00	<+>	1.33	2.58	0.64	4.05	2.09

Grandview Commons LUMINAIRE SCHEDULE							
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
S203	⬇	COOPER LIGHTING (1) *103" AES-100-MH-XX-3S	(1)	8500		0.80	1

AREA SUMMARY SCHEDULE					
AREA NAME	I/O	DIMENSIONS	LUMS / <ASMS>	WATTS / SQ FT	QTY
Site	OUT	109.31x174.00ft	<S203> (1)	0.01	1

DESCRIPTION

ASCENT enhances the rectilinear form with a housing that blends effortlessly to traditional or ambitious architectural environments. ASCENT brings two housing sizes and a fluid form to match the culture in which it resides.

Catalog #	Type	
Project		
Comments	Date	
Prepared by		

SPECIFICATION FEATURES

A ... Housing

Two-piece heavy-wall, die-cast aluminum housing maintains a nominal .125 wall thickness and utilizes continuous silicone gasketing between castings for a forbidding seal.

B ... Door

Heavy-wall, die-cast aluminum door maintains a nominal .125 thickness. Continuous silicone gasketing provides IP66 compliant optical cavity. Toolless entry to housing is provided via two (2) flush mounted quick release latches. Concealed hinging allows door to be removed from housing without tools.

C ... Lens

Impact resistant 1/8" thick tempered clear or optional frosted flat glass for concealment of lamp image.

D ... Optical Systems

Choice of five (5) high efficiency segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs, or other means of attachment which may cause streaking in the light distribution.

All reflector modules feature toolless removal, quick disconnect wiring plugs, and are toolless field rotatable in 90° increments. Small housing (AES) optics feature medium-base lampholders for HID lamp sources.

E ... Electrical Tray

Ballast and related electrical components are mounted to a reinforced one-piece die-cast aluminum power tray. Quick disconnects allow tray to be completely removed from housing providing ample hand and tool room for attachment of luminaire during installation.

F ... Finish

Housing and arm finished in a 5 stage premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum, and graphite metallic. RAL and custom color matches available. Consult your INVUE Lighting Systems Representative for more information.



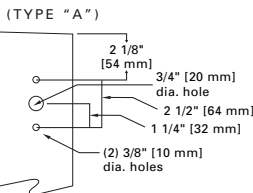
AES  
ASCENT  
SITE SMALL

42-175W  
Metal Halide  
High Pressure Sodium  
Compact Fluorescent

ARCHITECTURAL  
AREA LUMINAIRE

DARK SKY  
COMPLIANT FCO  
Full Cutoff

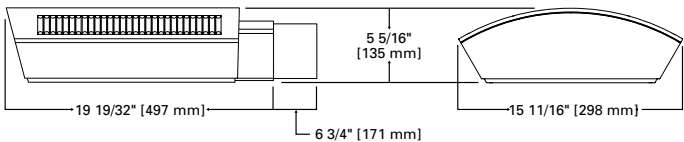
DRILLING PATTERNS



Wattage Table

	AES
Metal Halide	70, 100, 175W
High Pressure Sodium	70, 100, 150W
Compact Fluorescent	42, 57W

DIMENSIONS



Certifications

IP66 Rated	U.L. 1598	3G Vibration Tested	FCO Full Cutoff
CSA Listed	40°C Ambient	ISO 9001	

Shipping DATA (approx.)  
Net Weight (lbs.): 35  
Volume (cu. ft): 3.00



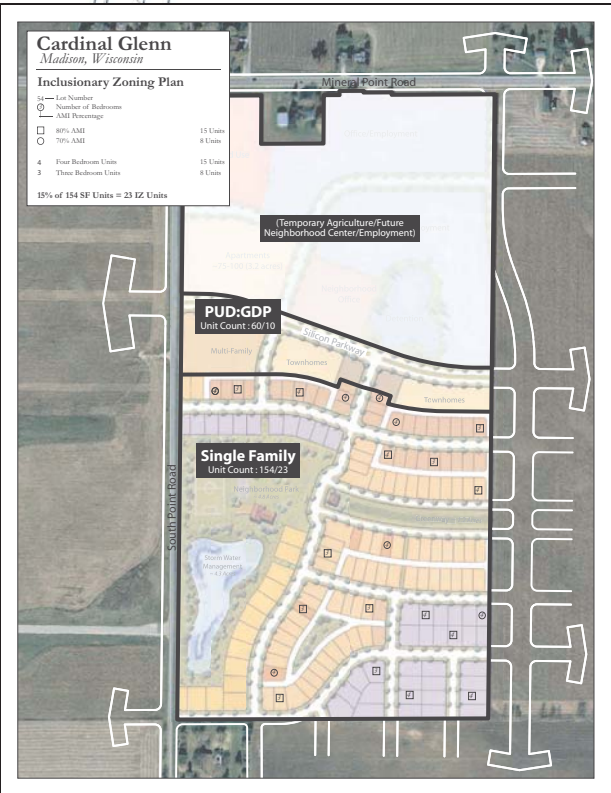
# CARDINAL GLENN NEIGHBORHOOD

Madison, Wisconsin

## Inclusionary Zoning Plan LOT 149 TOWNHOMES

- 20 Market-Rate Units**
  - ~ Owner-Occupied
  - ~ 2 & 3 Bedrooms
  - ~ 2 Car Garage
  - ~ Projected Sales: \$189,000 - \$209,000
- 4 Inclusionary Units**
  - ② 3 Units at 80% AMI - \$158,841
  - ② 1 Unit at 70% AMI - \$139,038
    - ~ Owner-Occupied
    - ~ 2 Bedrooms
    - ~ 2 Car Garage

24 Total Units\*



\* The Cardinal Glenn General Development Plan set the maximum unit count for lot 149 at 36 units; resulting in 6 IZ units. The proposed plans show development of 24 townhome units; resulting in 4 IZ units. The net result to the Cardinal Glenn Neighborhood is a reduction of 12 units: 10 market rate units and 2 inclusionary units.