

**The Dudgeon Center
Renewal and Extension Project**

3200 Monroe Street
Madison, WI 53705

Plan Commission Submittal Set
January 30, 2007
for
Plan Commission Presentation
March 19, 2007

Architect

BWZ Architects
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Middleton, WI 53562

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Engineer

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Madison, WI 53713

Educational Planning

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Madison, WI 53705

Cost and Sequencing

Thomason Clark Corp.
949D N. Plum Grove Road
Schaumburg, IL 60173

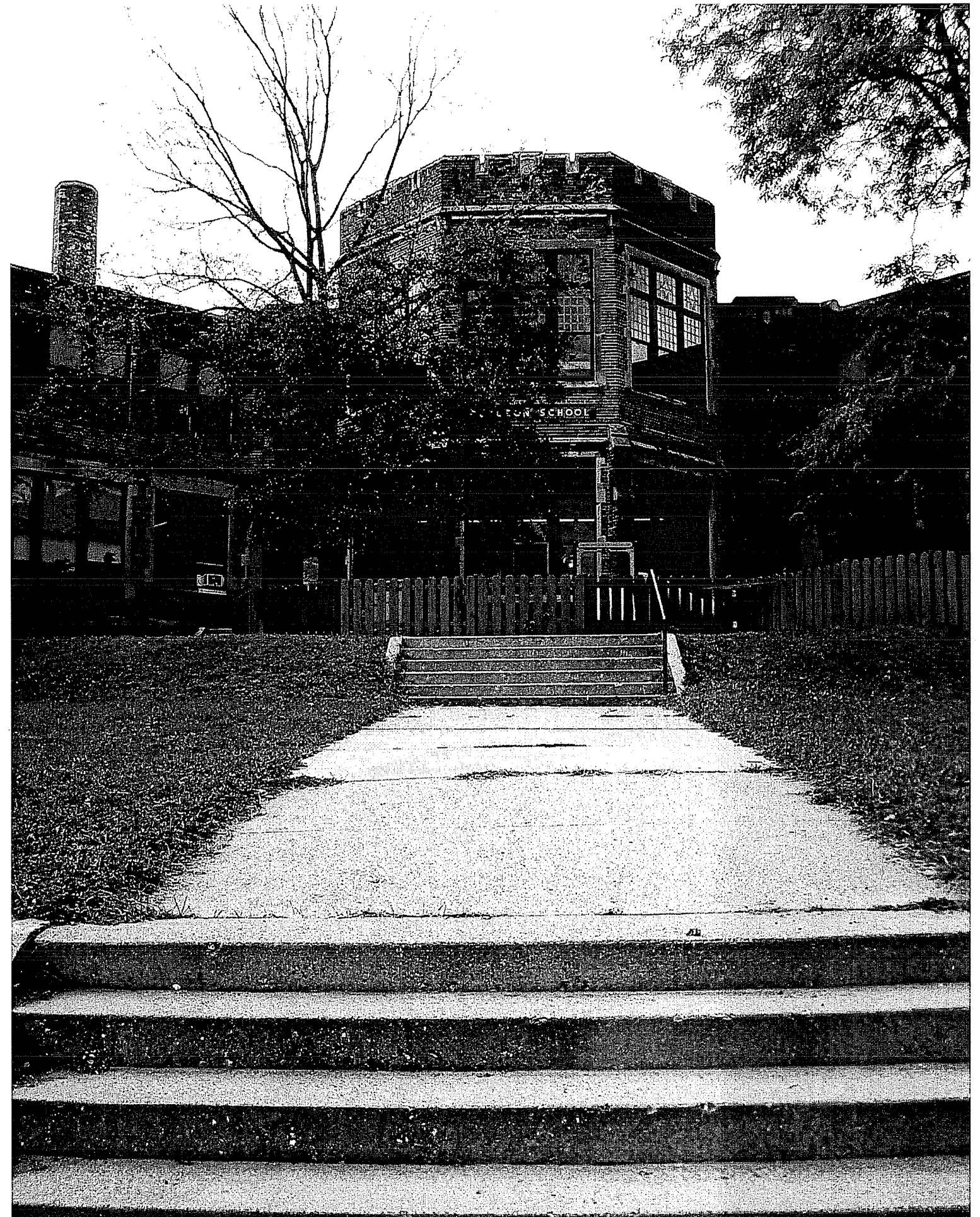




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Project Description

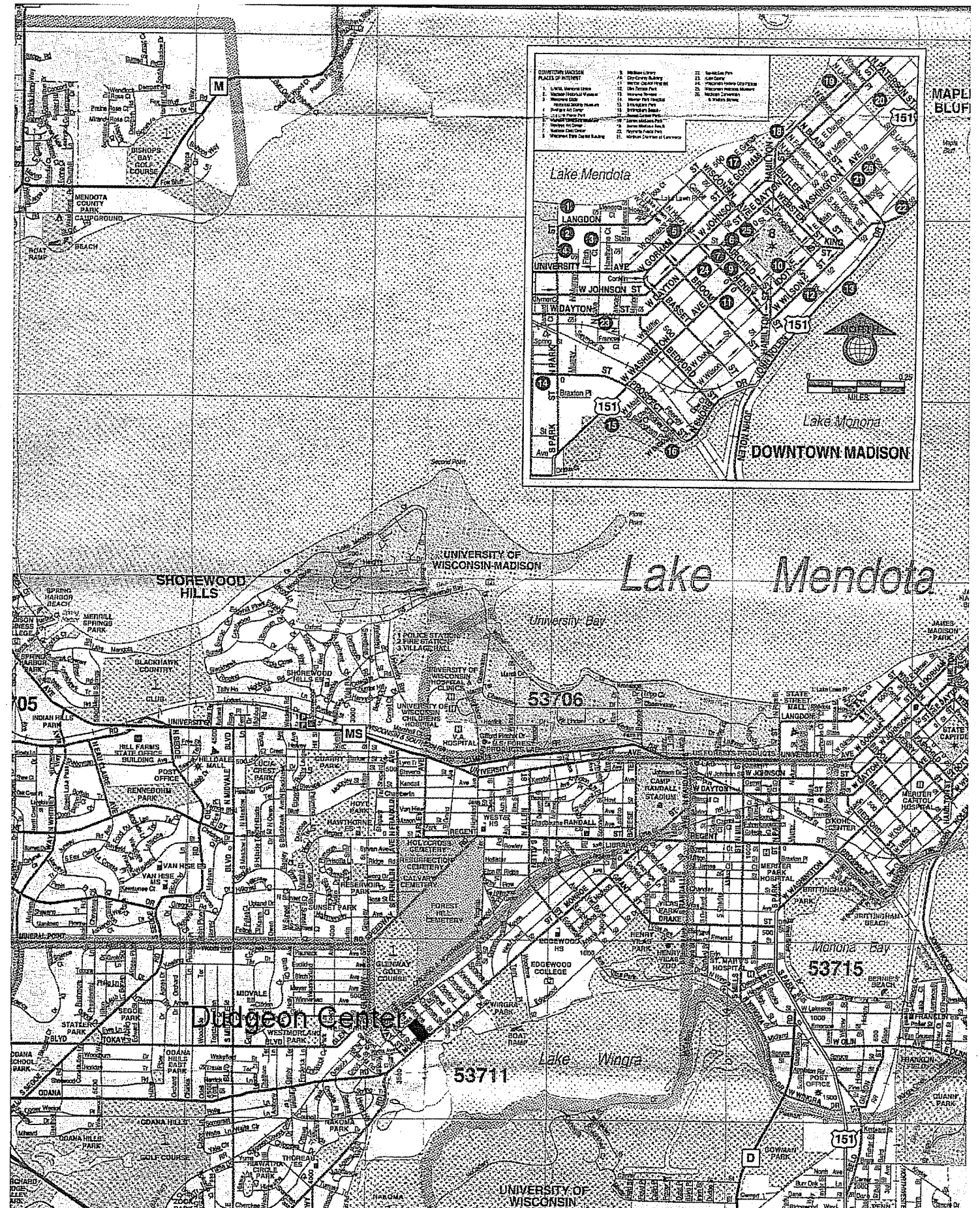
This project involves the purchase of property and improvements at 3200 Monroe Street. The current primary building tenant, Wingra School, is an independent K-8 school seeking to modernize the existing 30,000 square foot facility and construct an 8,000-15,000 square foot extension toward the north. The current secondary tenant, New Morning Nursery School, is intending to remain in the facility as a tenant.

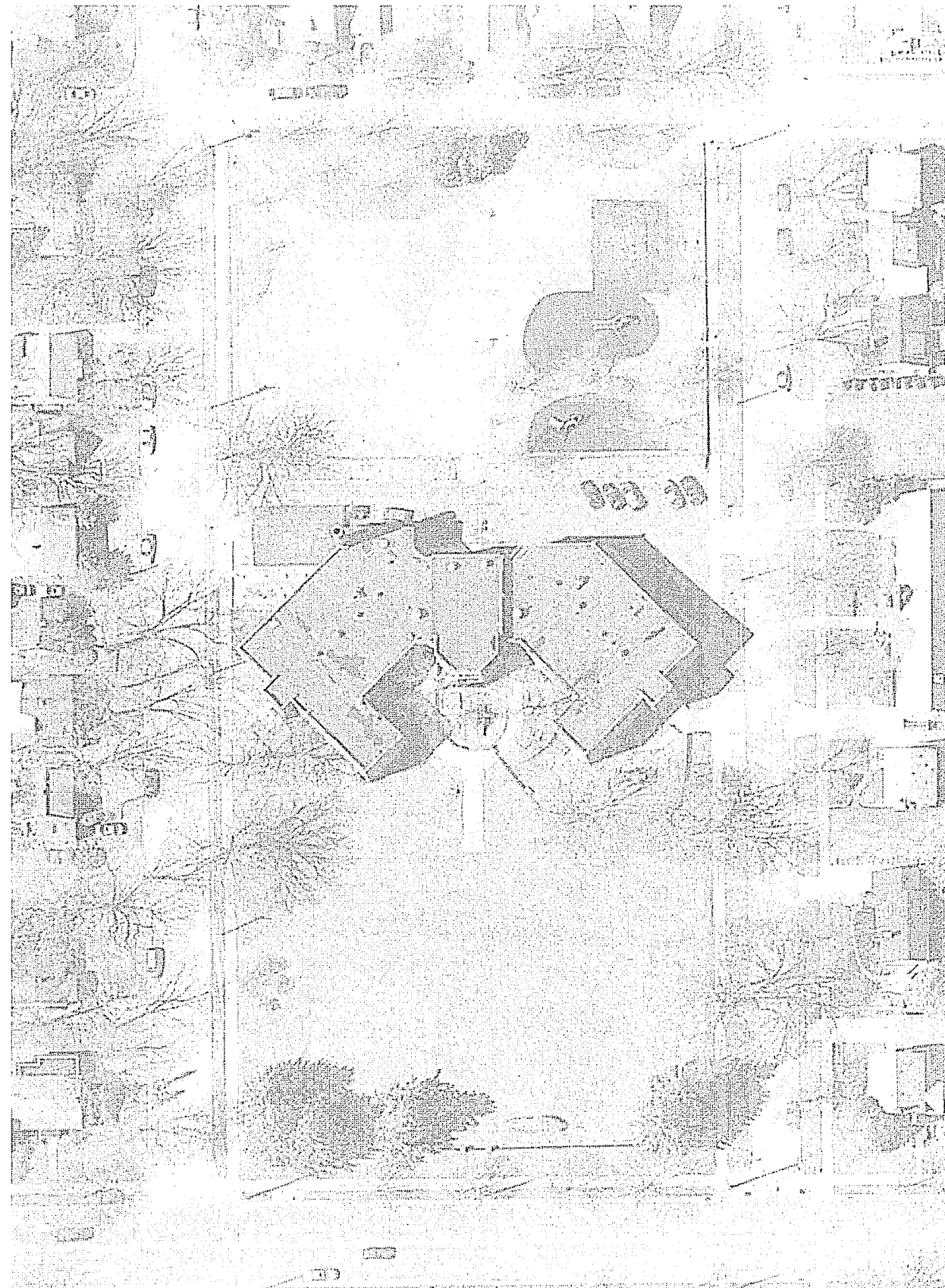
The current population of Wingra School is 140 students with 25 adult teachers and support staff. The current population of New Morning Nursery School is 30 children with 6 adult teachers and support staff. The proposed north extension is not intended to add to either student or adult populations.

Project goals for the building include a welcoming entry, full accessibility, envelope improvements, life safety improvements, energy efficiency, thermal comfort, and educational support. Project goals for the site include a significant modernization of the north playground, a dedicated fire lane for emergency vehicle access, parking and drop-off features, stormwater management, and a modest regrading of the south lawn. Both the north playground and the south lawn will continue to be owned by the City of Madison.

The existing facility was originally constructed in the 1920s and vertically extended in the 1930s. Exterior materials include old-fashioned wire-cut brick with smooth limestone trim at all doors, windows, belt courses, and parapet caps. Proposed work scope will involve repair of existing materials and selection of new materials that match existing conditions as closely as possible. New construction seeks to correct current inadequacies with an attractive and functional intervention that unifies the entire building. The design of an accessible green roof terrace will enhance educational options while capturing great views of the UW Arboretum and Lake Wingra.

An ad hoc advisory neighborhood committee has been convened to work with Wingra School representatives on building and site improvements. A neighborhood public meeting organized by Alderperson Golden has been scheduled for January 31, 2007. Both Wingra School and New Morning Nursery School recognize the importance of this site to the neighborhood, and are committed to the careful renewal of this property for the benefit of everyone.

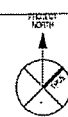
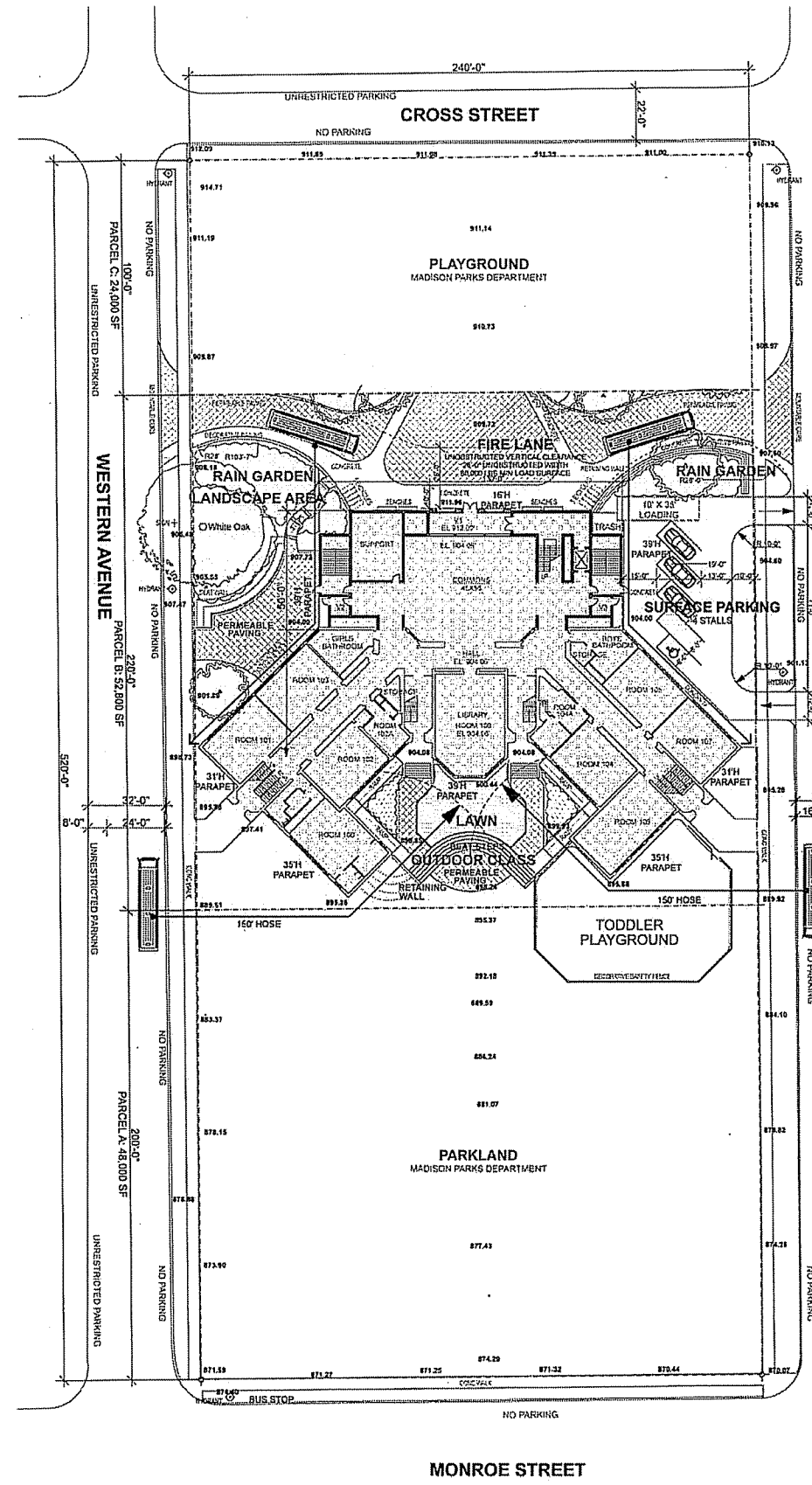




Dudgeon Center
3200 Monroe Street

Aerial Photo

BWZ Architects
October 30, 2006

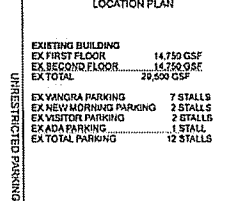
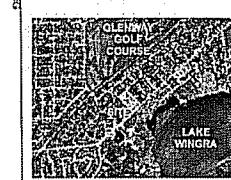
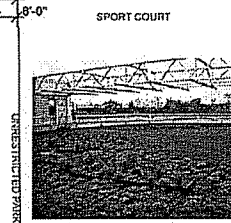
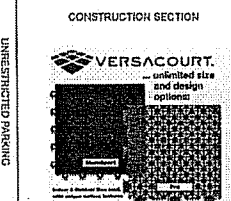
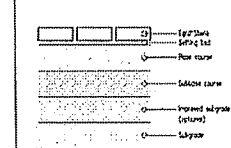
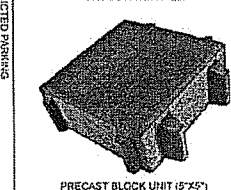
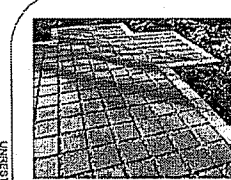


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3200 Monroe Street

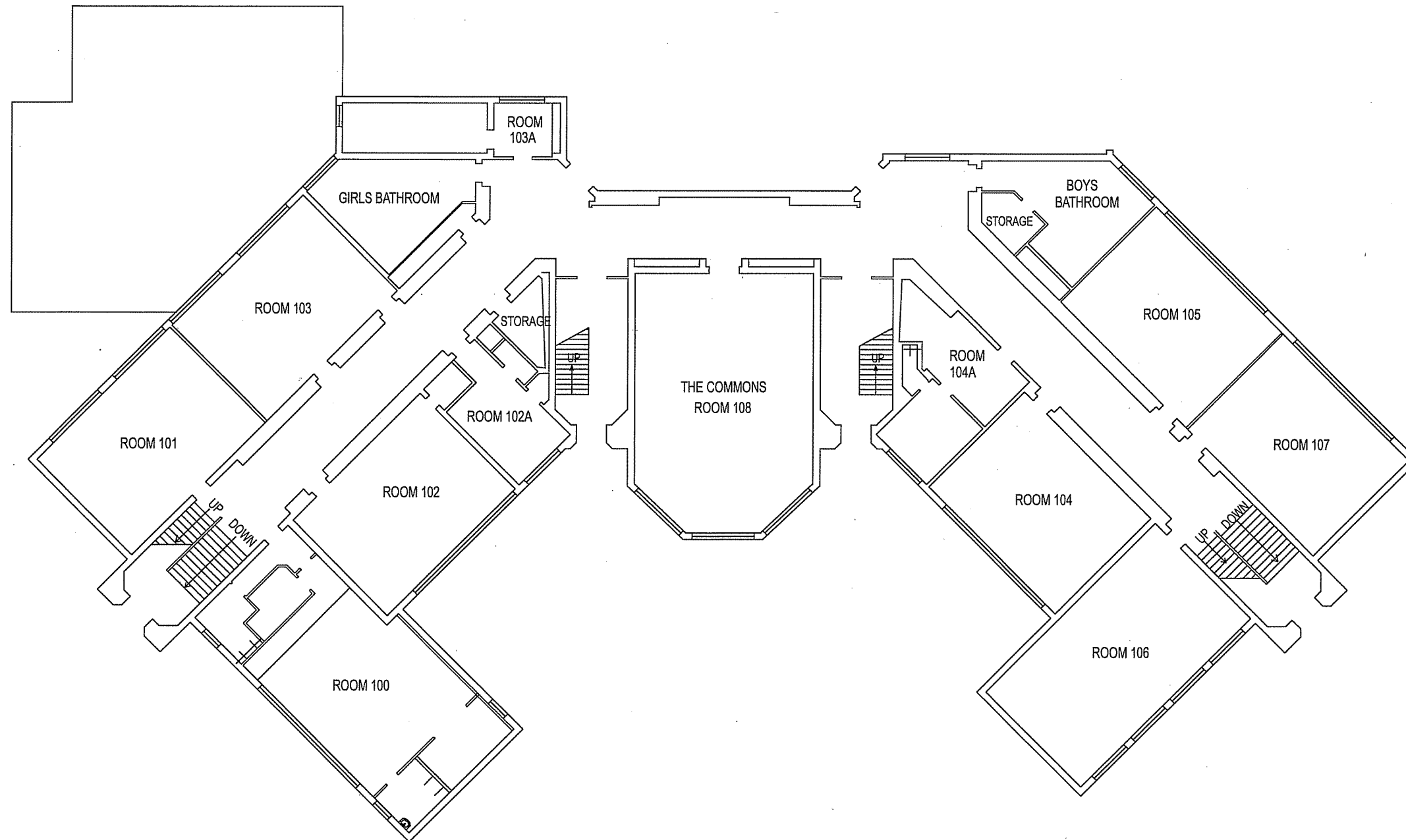
Site Plan

1" = 20'-0"

BWZ Architects
January 29, 2007



EXISTING BUILDING	14,750 GSF
EX FIRST FLOOR	14,750 GSF
EX SECOND FLOOR	20,500 GSF
EX TOTAL	35,250 GSF
EX WINGRA PARKING	7 STALLS
EX NEW MORNING PARKING	2 STALLS
EX NORTON PARKING	2 STALLS
EX ADA PARKING	1 STALL
EX TOTAL PARKING	12 STALLS

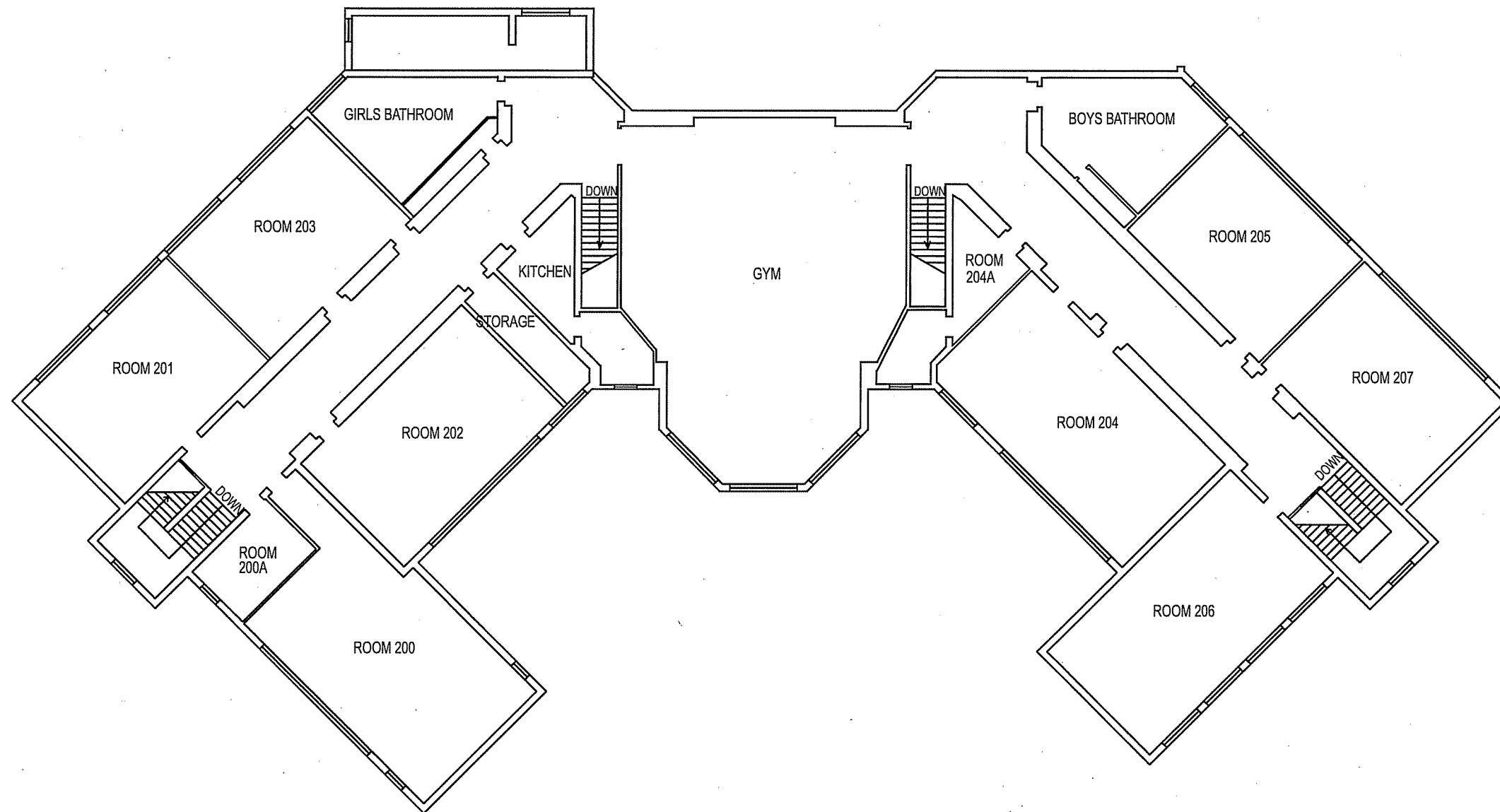


Dudgeon Center
3200 Monroe Street

Existing First Floor Plan

1" = 20'-0"

BWZ Architects
January 2, 2007

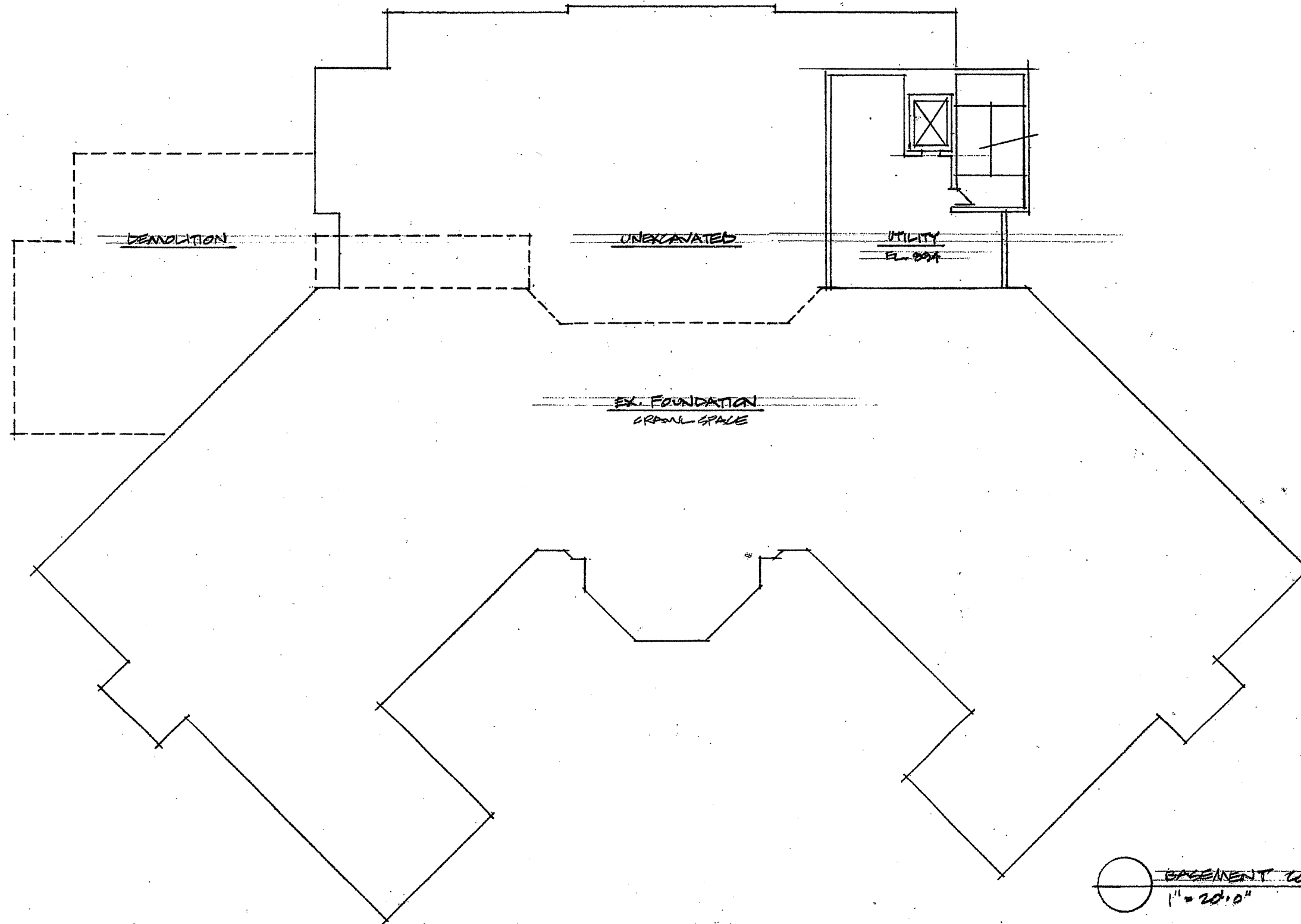


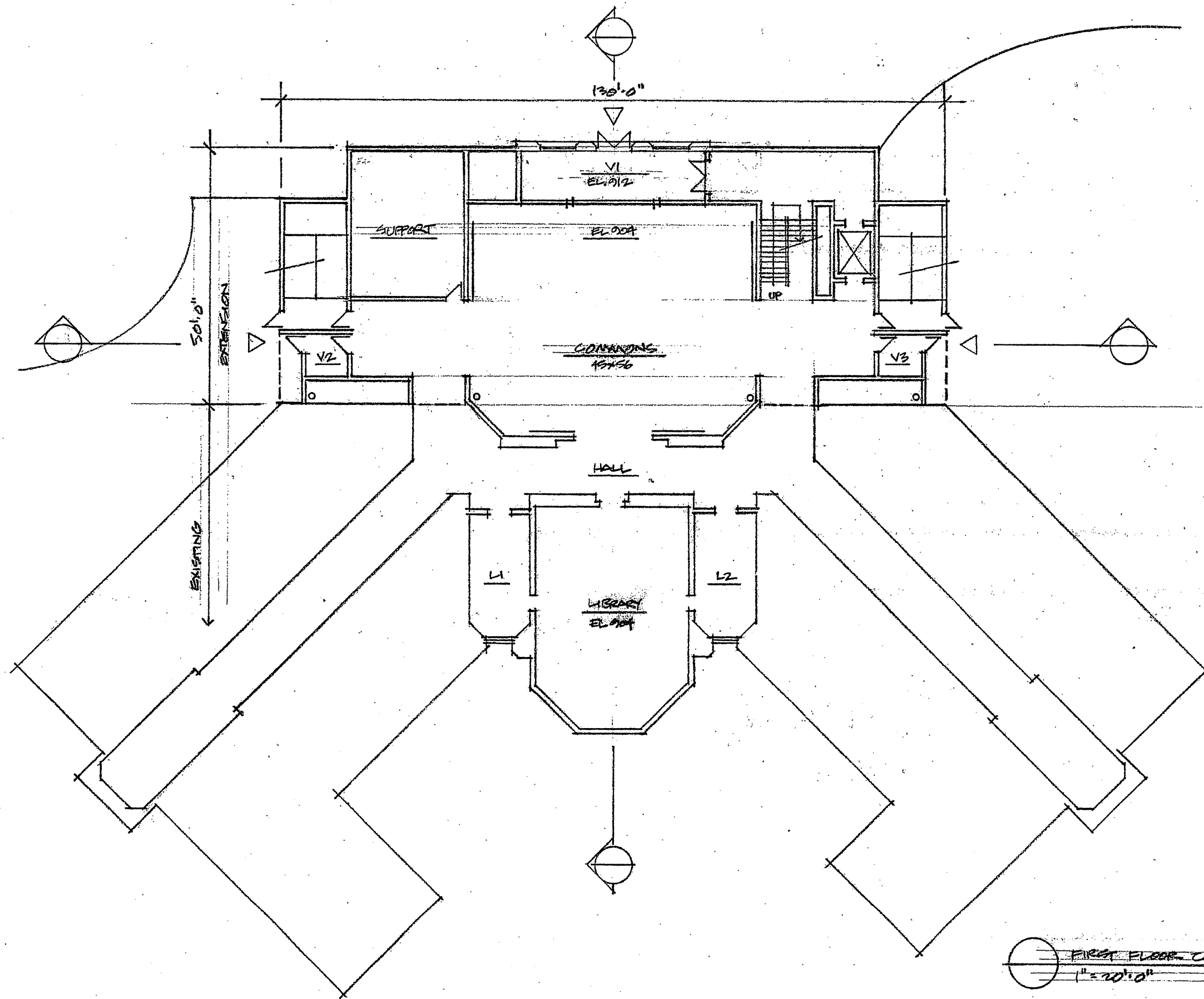
Dudgeon Center
3200 Monroe Street

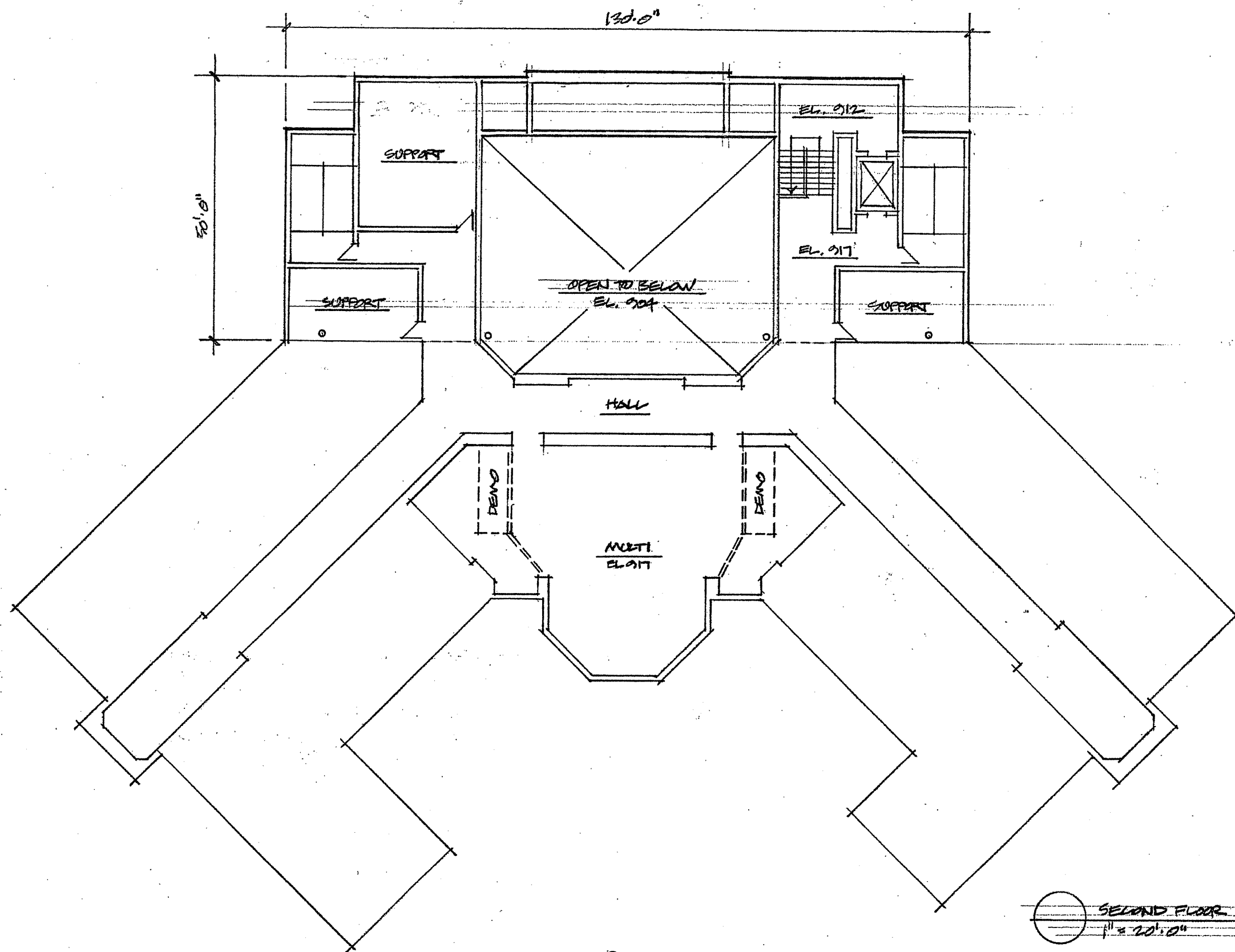
Existing Second Floor Plan

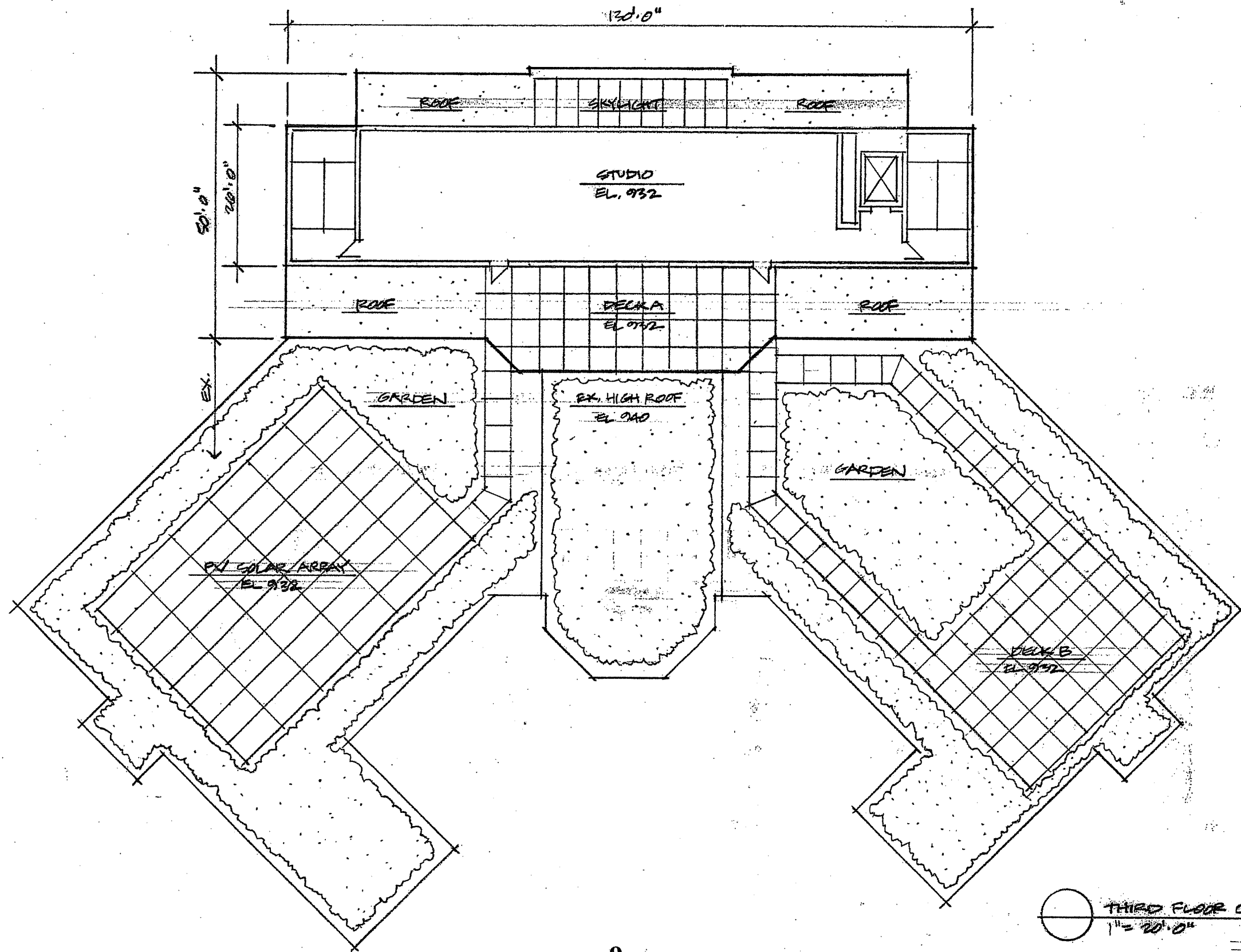
1" = 20'-0"

BWZ Architects
January 2, 2007

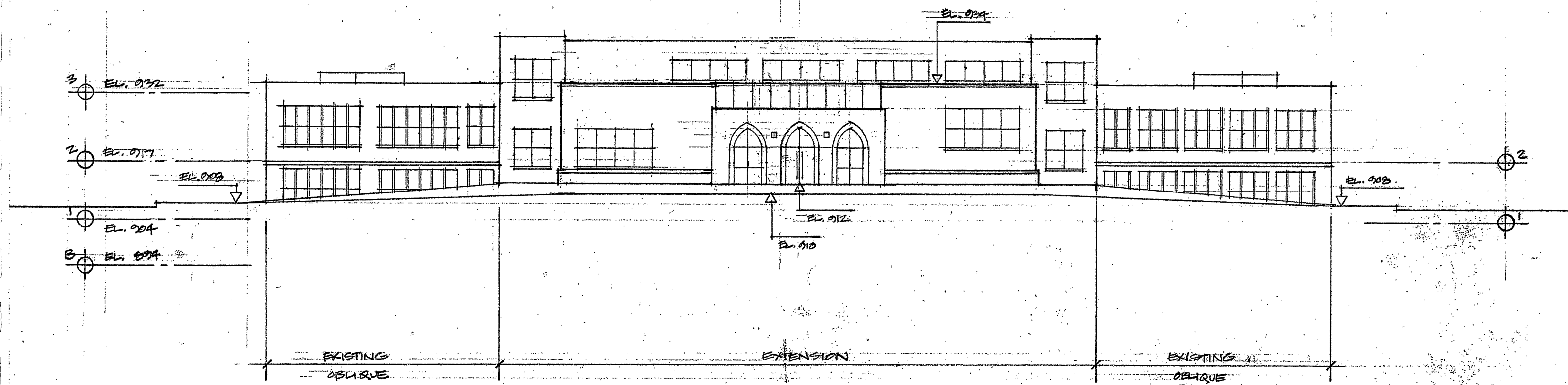


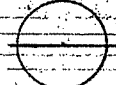


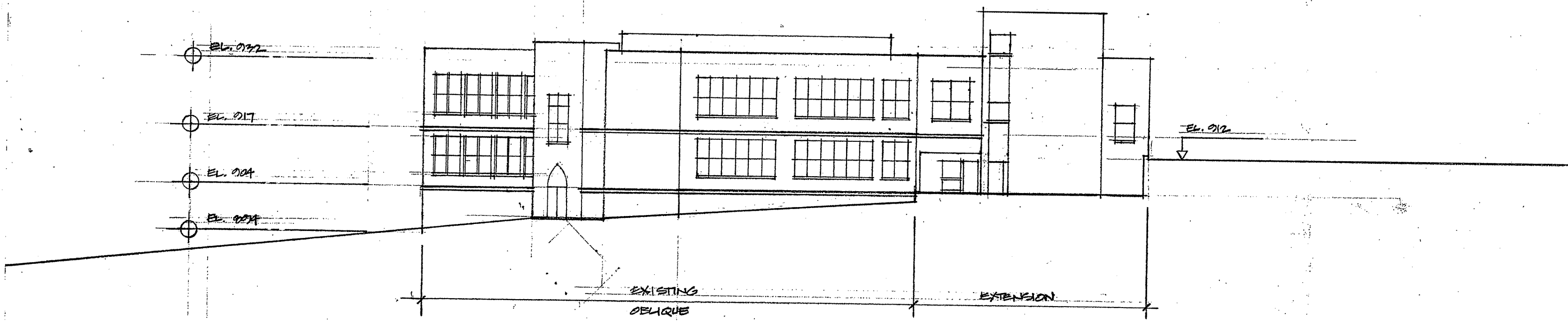




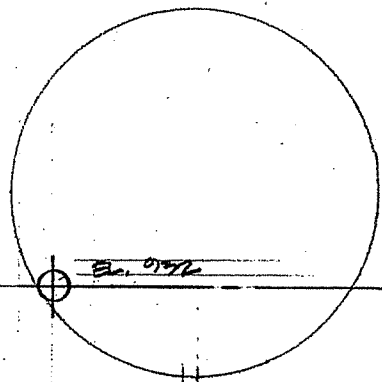
○ THIRD FLOOR CONCEPT
 1" = 20'-0"
 12.07
 15.01
 TRUE NORTH



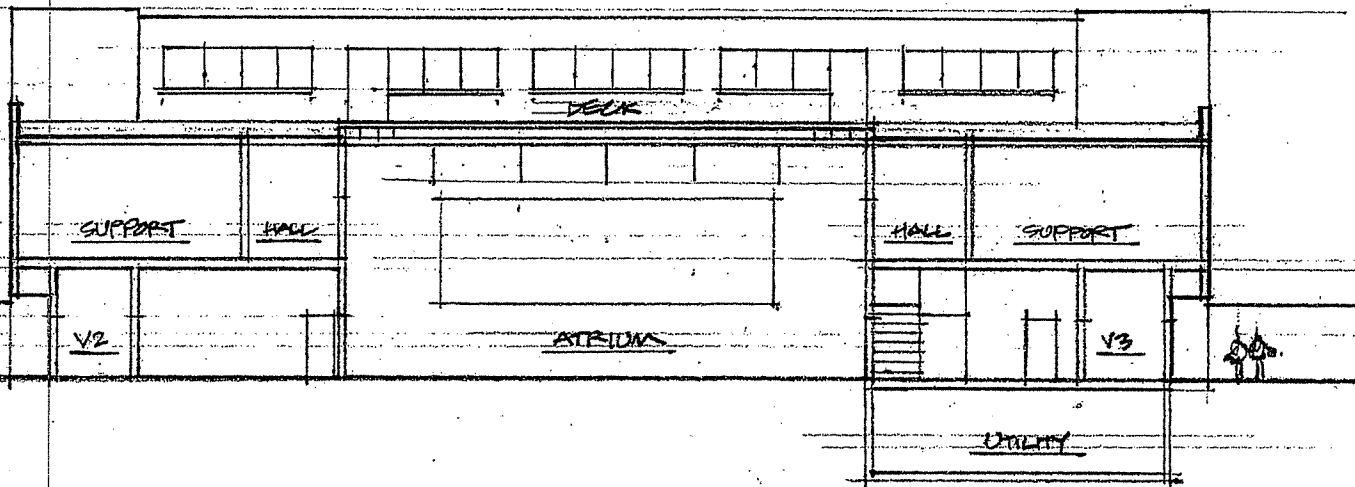

 NORTH ELEVATION - PROPOSED
 1" = 20'-0"
 12.20.06
 1.2.07



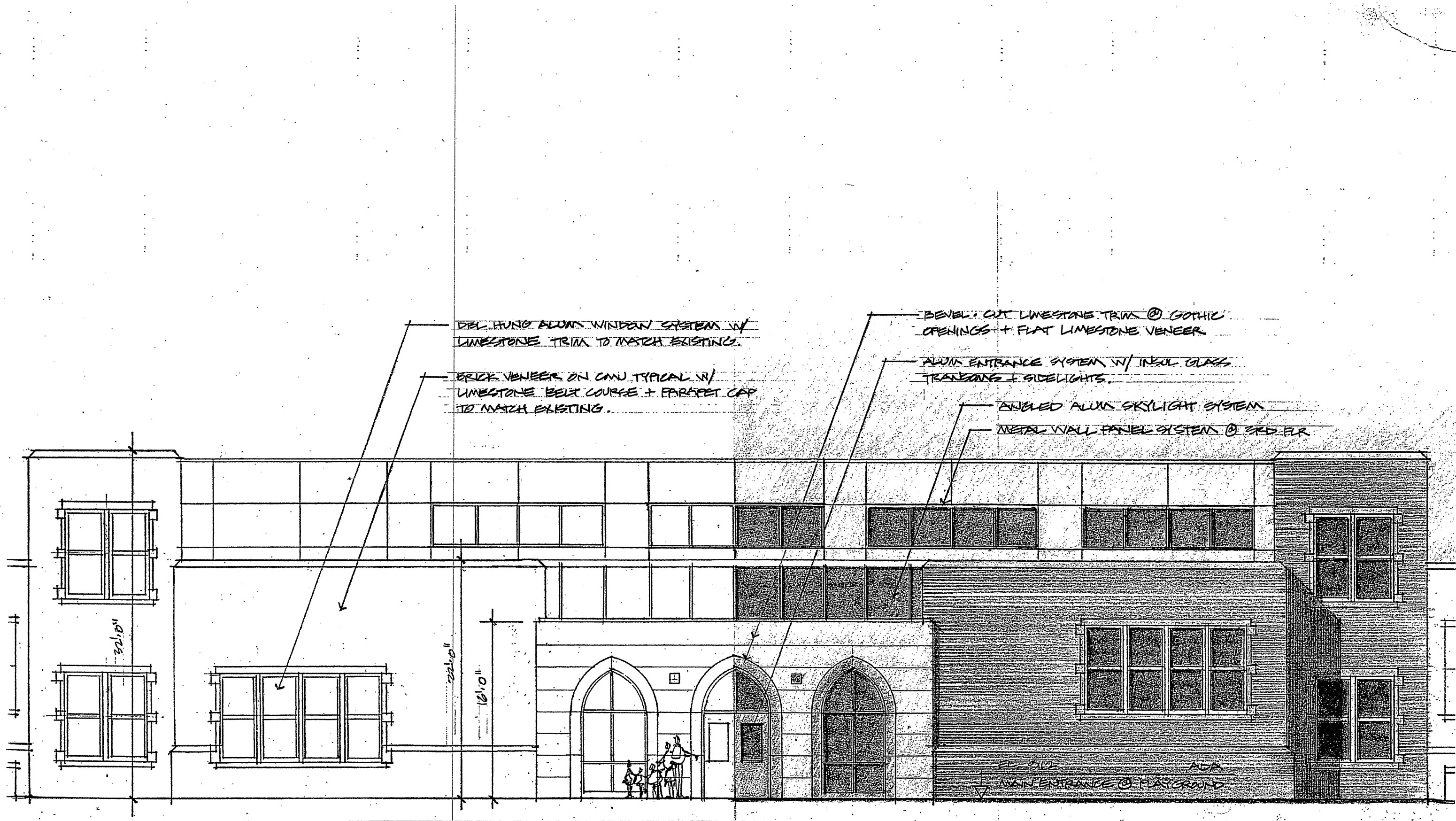
EAST ELEVATION - PROPOSED
 1/2" = 20.0'
 WEST ELEV. S.M.S. 1.2.06
 12.20.06



EL. 0976
 EL. 0917
 EL. 0904
 EL. 0894



SECTION LOOKING NORTH
 1" = 20'-0"
 12/28/06
 T. Z. 07



DEL. HUNG ALUM. WINDOW SYSTEM W/
LIMESTONE TRIM TO MATCH EXISTING.

BRICK VENEER ON CMU TYPICAL W/
LIMESTONE BELT COURSE + PARAPET CAP
TO MATCH EXISTING.

BEVEL CUT LIMESTONE TRIM @ GOTHIC
OPENINGS + FLAT LIMESTONE VENEER

ALUM. ENTRANCE SYSTEM W/ INSUL. GLASS
TRANSOMS + SIDELIGHTS.

ANELED ALUM. SKYLIGHT SYSTEM

METAL WALL PANEL SYSTEM @ 3RD FLR.

EL. 510 ADA
MAINTENANCE @ MASTERGARD

