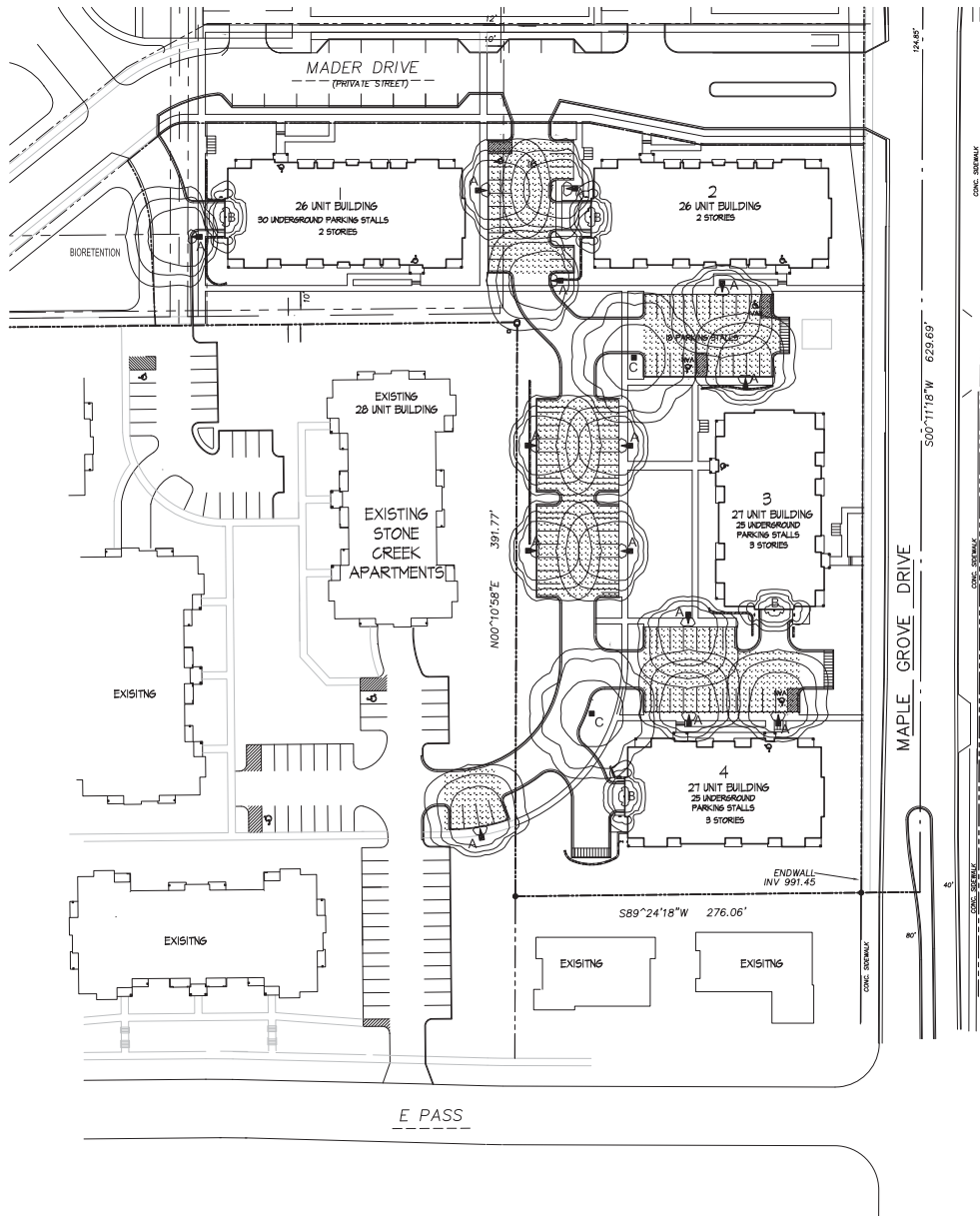
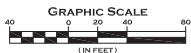


Project No.	Drawing No.
0852	C-1.1

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SITE LIGHTING PLAN
1" = 40'-0"



LIGHTING SCHEDULE									
Symbol	Letter	Qty	Manufacturer	Catalog Number	Description	Lamp	Fixture	Mounting	
	A	14	RULL LIGHTING	MAC4105BL	12" AREA CUTOFF / WINGCAP, SHIELD	100 WATT MH	MAC4175BL-6	18" ABOVE GRADE	ON POLE AND CONC. BASE
	B	4	RULL LIGHTING	EB405	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	EB507JES	8" ABOVE GRADE	ON SIDE OF BUILDING
	C	2	RULL LIGHTING	QV410	18" SQUARE VERTICAL, TYPE V	100 WATT MH	QV410JES	18" ABOVE GRADE	ON POLE AND CONC. BASE

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.5 fc	5.4 fc	0.4 fc	13.5:1	3.6:1

Revisions
5th Submittal - Oct. 6, 2011

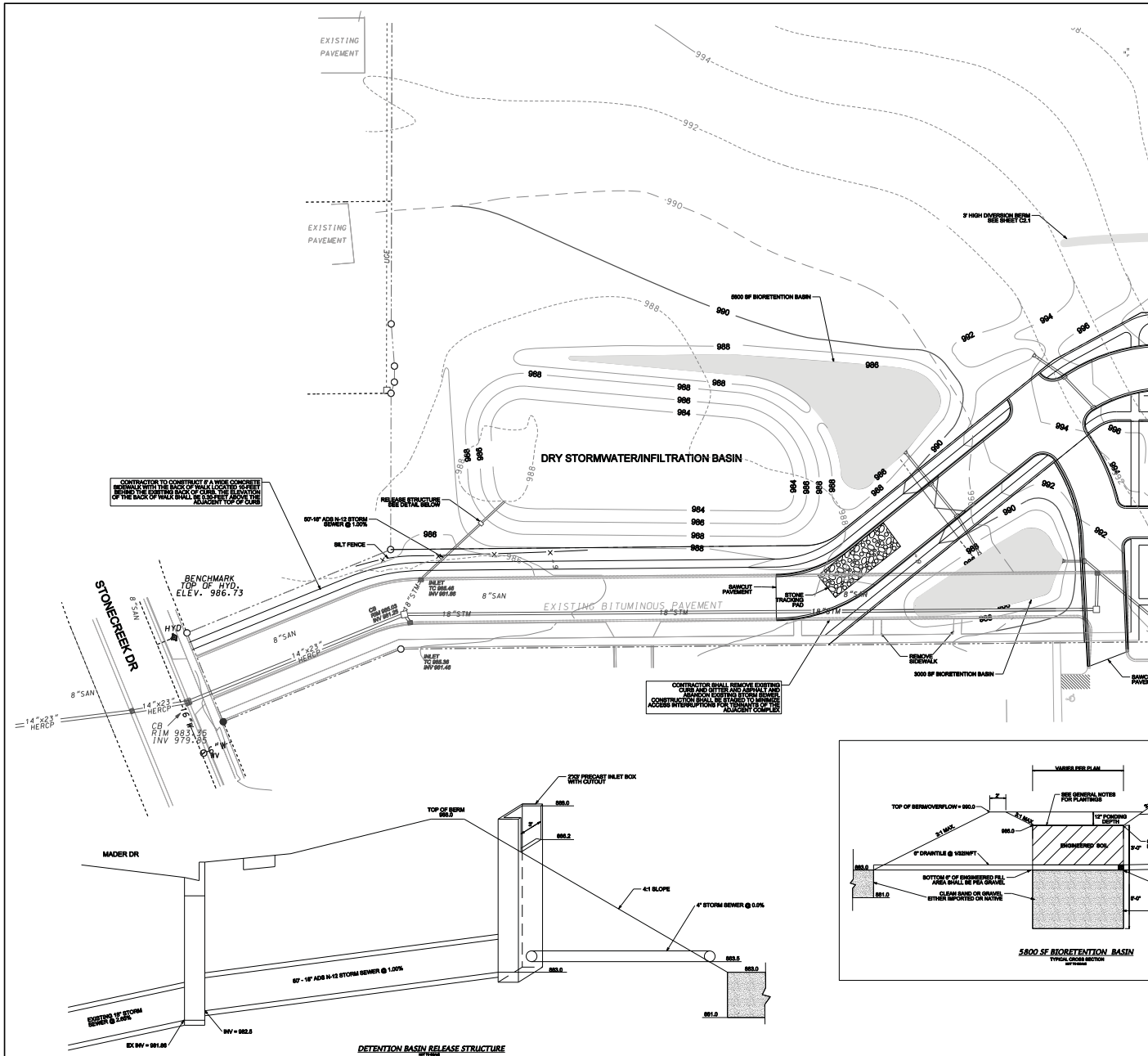
Project Title
Stone Creek Apartments II

Address
Drawing Title
Site Plan - Lighting

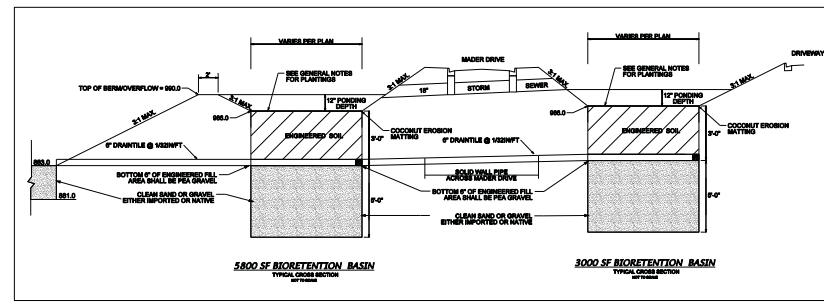
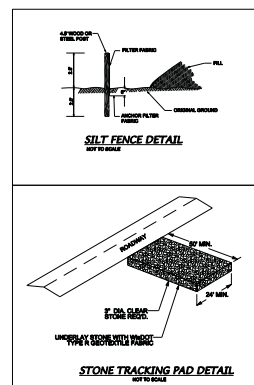
Project No.
0852

Drawing No.
C-1.2

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- SITE GRADING AND EROSION CONTROL NOTES**
- 1) All site grading and erosion control shall conform with the City of Madison Chapter 27 Ordinance, and any amendments thereto prior to the contract start date.
 - 2) Site force and the slope limiting pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 - 3) Areas disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
 - 4) Disturbed areas within the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
 - 5) Public streets shall be closed daily as necessary. Hydraulic fluming will not be allowed.
 - 6) Erosion control shall be the responsibility of the Contractor until the site has been stabilized. Erosion measures are listed for the minimum measures that will be acceptable.
 - 7) The Contractor shall submit additional erosion measures as requested in writing by the project superintendent or the City of Madison within 48 hours of notification.
 - 8) Once the site has undergone final stabilization and vegetation has established, the site force shall be removed and if necessary, replaced with final topsoil and mulch. Alternatively, a vegetation for all erosion control measures shall be maintained until the site has been stabilized.
 - 9) Type D silt fence shall be installed in all areas requiring runoff immediately upon placement of a satisfactory seed of grass has been achieved.
- BIORETENTION NOTES**
- A) The basin shall be constructed per the Wisconsin DNR Conservation Practice Standard 1004.
 - B) The basin shall be installed after the parking lots and drives are paved and a satisfactory stand of vegetation on the pond banks and side hills occurred.
 - C) The basin shall be constructed to retain 1 inch of storm water from the site it is designed to receive and to be capable of holding 1 inch of water. The basin shall be capable of holding 1 inch of water. The basin shall be constructed to retain 1 inch of storm water from the site it is designed to receive and to be capable of holding 1 inch of water.
 - D) During construction, basin area shall be kept free of compaction by heavy equipment and materials.
 - E) The engineered fill shall be a mixture of 70-80% coarse sand and 10-30% compost meeting the locally requirements. Sand shall be per ASTM D 1557, 2.0mm sieve size, 100% passing. Compost shall be per the requirements of Wisconsin DNR 1004.
 - F) The engineered soil shall be free of rocks, roots, and debris over 1" in diameter.
 - G) Contractor shall place engineered fill in a manner that minimizes compaction of fill and subgrade and allows for natural settlement of fill.
 - H) Restoration of the bioretention basin shall include placement of a layer of coarse fabric followed by the planting of native plants within 12" of center. Landscaping material shall provide the appropriate plant types that will provide optimum survival and stand in well with existing trees.



DETENTION POND GRADING & EROSION CONTROL PLAN

STONE CREEK II

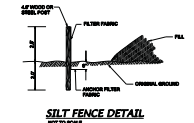
MADER DRIVE
MADISON, WISCONSIN



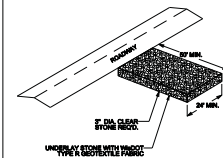
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REVISED:

DRAWN BY: JLN
FN: 11-05-131

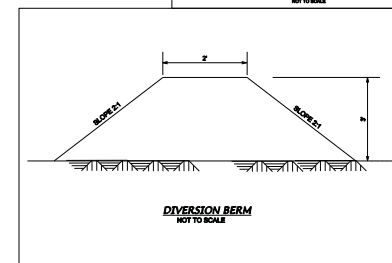
Sheet Number:
C2.2



SILT FENCE DETAIL



STONE TRACKING PAD DETAIL



DIVERSION BERM
NOT TO SCALE

MADER DRIVE GRADING & EROSION CONTROL PLAN

STONE CREEK II

**MADER DRIVE
MADISON, WISCONSIN**



SCALE: 1" = 30'
(PAGE SIZE: 24x36)

DATE: 10-04-11
REVISED:

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DRAIN BT: SJH

FA# 11-05131

FN: 11-03-131

Sheet Number:

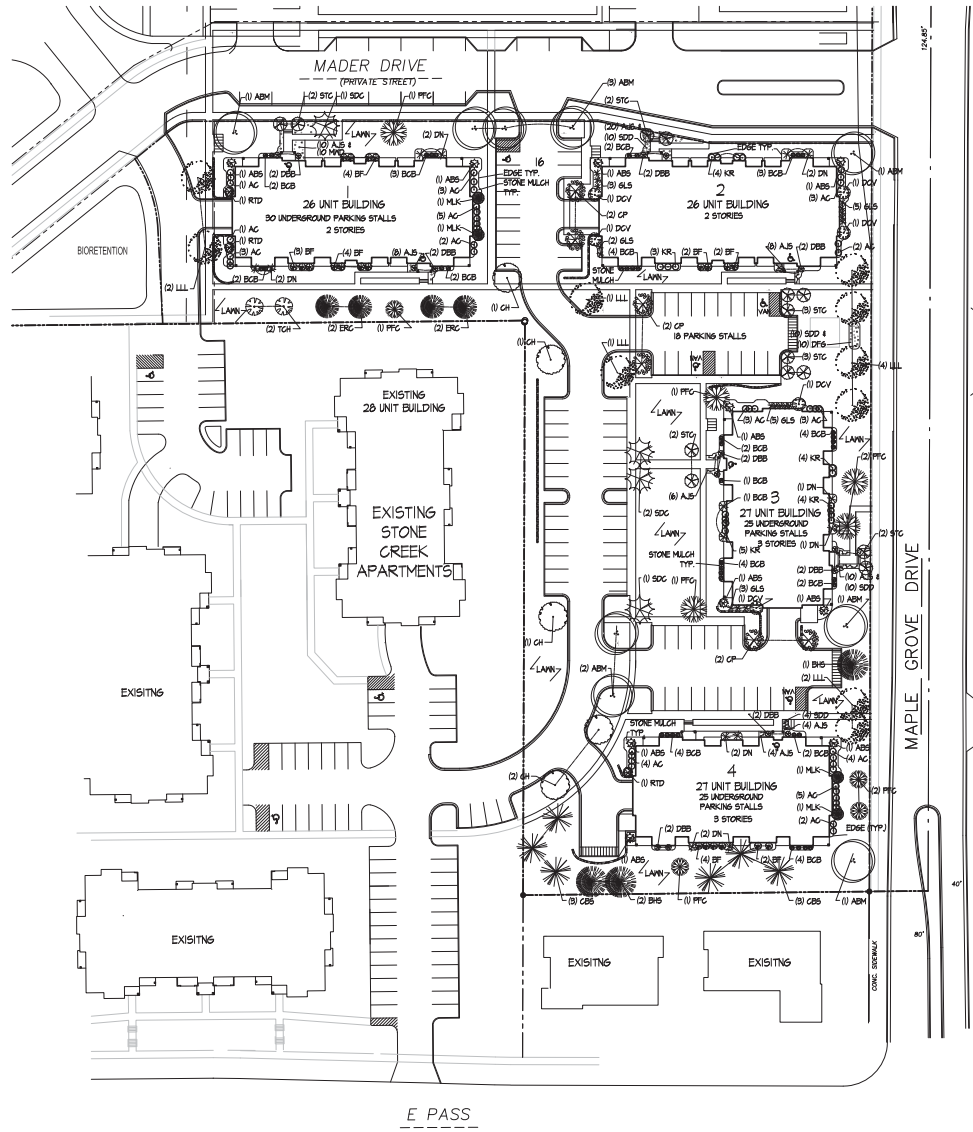
C2.3

[illegible]



Consultant

Notes



LANDSCAPE PLAN
1" = 40'-0"



Plant List				
Qty	Size	Common Name	Notes	Quantity
Shrub/Trees				
ABH	2.5"	Autumn Blaze Maple	80	9
CH	2.5"	Common Hackberry	80	9
LL	2.5"	Little Leaf Linden	80	10
Shrub/Trees				
PC	1.5"	Prunella Sp. Crab	80	9
PC	1.5"	Callery Pear	80	6
SDC	1.5"	Sorbus Orn. Crab	80	4
STC	2"	Sorbus Orn. Crab	80	14
TC-1	8"	Thornless Cucumber Hedgehog	80	1
Shrub/Trees				
BH-6	4"	Black Hills Spruce	80	3
CB	4"	Colorado Blue Spruce	80	5
EC	4"	Eastern Red Cedar	80	4
Shrub/Trees				
ABH	3"	Autumn Blaze Maple	80	10
AC	3"	Acorn Damask	80	45
BCS	3"	Black Chokeberry	80	45
BF	3"	Brown Forsythia	80	35
DB	3"	Doyle's Bush	80	15
DOV	3"	Doyle's Caneberry Bush	80	7
DN	3"	Diablo Ninebark	80	14
GLS	3"	Green Leafy Spruce	80	11
GR	3"	Graceland Rose	80	13
MLG	3"	Miss Kim Lilac	80	6
RTD	3"	Red Twig Dogwood	80	5
Shrub/Trees				
qH	1.5"	All Shrub	80	53
qT	1.5"	Doyle's Rosemary Shrub	80	10
msd	1.5"	Midnight Blue Dogwood	80	14
add	1.5"	Blue Dogwood	80	14

- NOTES:
1. Some Areas shall be tree planted, fertilized, and enclosed in a locally grown soil.
 2. Planting beds designated as "stone mulch" to receive 2" of 1/2 inch stone over weed barrier fabric.
 3. Planting beds designated as "dark mulch" to receive 3" of 1/2 inch dark wood bark mulch.
 4. Individual trees and shrubs in lawn areas to receive 3" of 1/2 inch dark wood bark mulch (4" diameter) around to a depth of 3'.
 5. Planting beds to be in sections from lawn areas with 1/2" black steel wire mesh (Volley Mesh) 2' x 2' mesh or smaller.
 6. Retaining walls to be constructed of a 1/2 inch field stone.
 7. Check for slope stability for proposed stone wall construction.

Revisions

SP 1/10/11 - Oct. 6, 2011

Project Title

Stone Creek
Apartments II

Address

Drawing Title
Landscape Plan

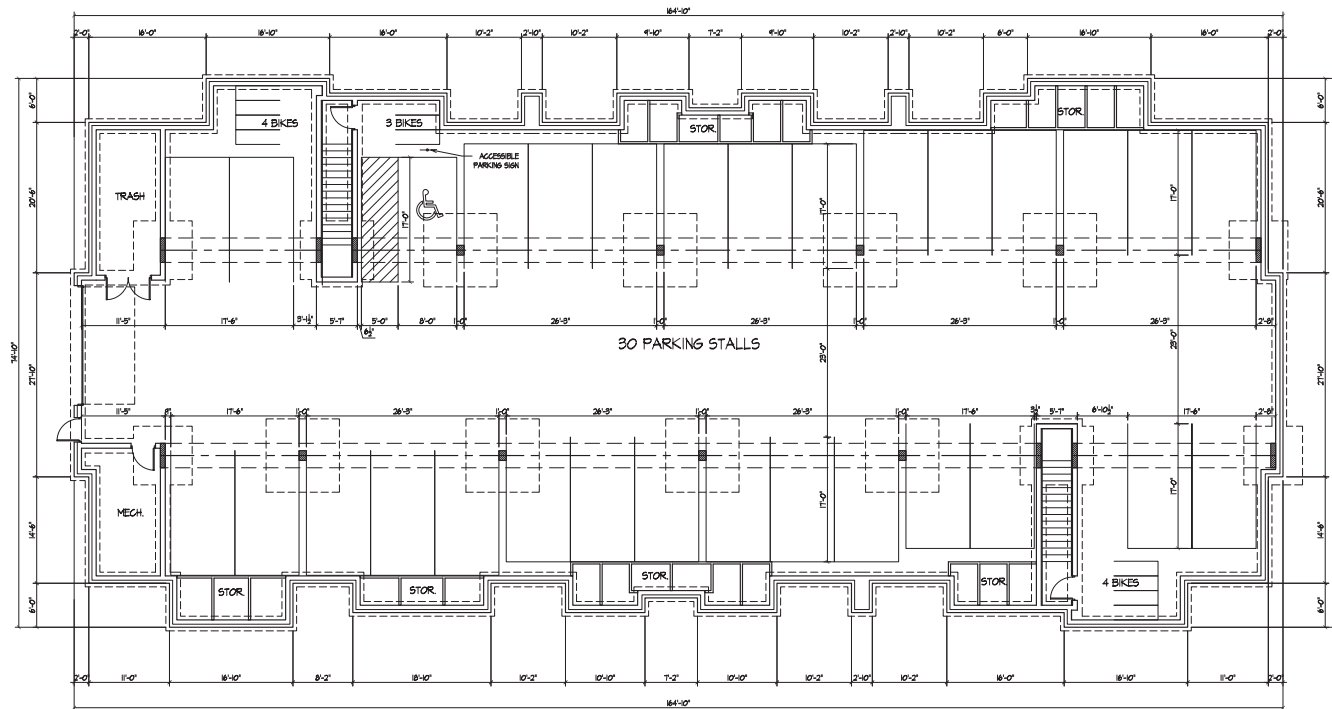
Project No.

0852

Drawing No.

C-4.1

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BASEMENT PLAN
1/8" = 1'-0"

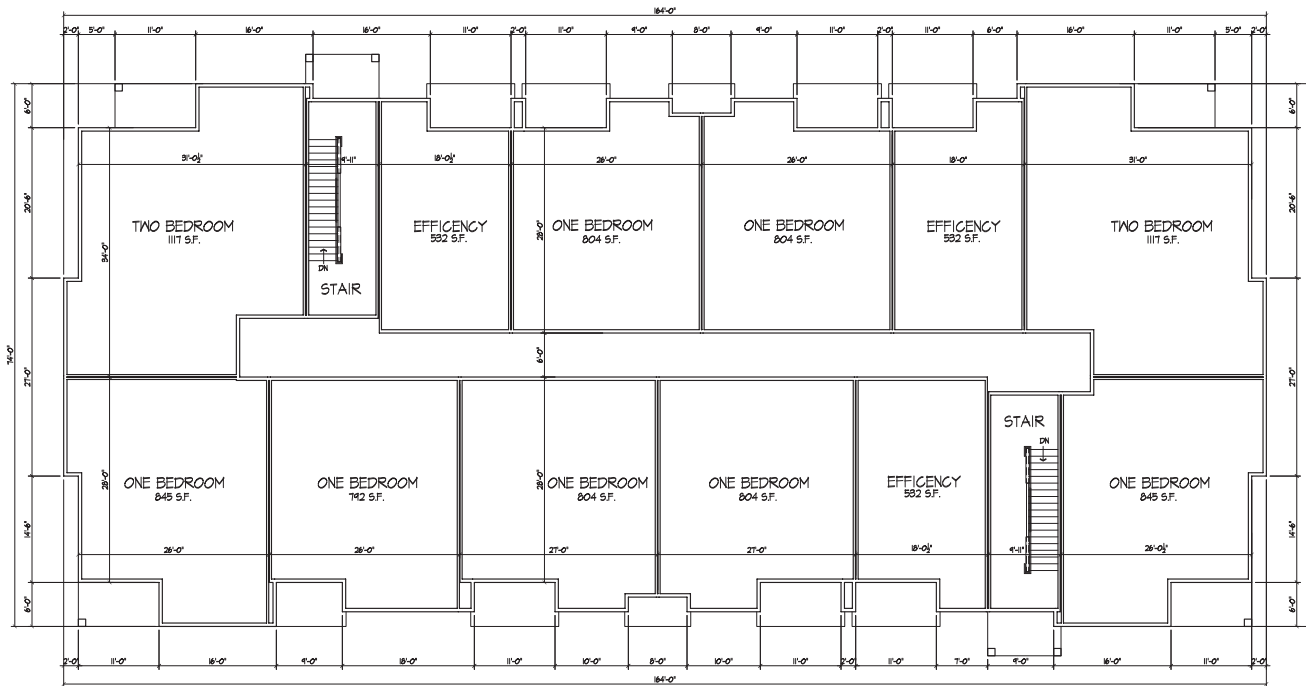
Revisions
SIP Submittal - October 5, 2011

Project Title
Stone Creek
Apartments II

Drawing Title
Basement Plan
Building 1 & 2 - 26 Unit
Project No.

0852

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FIRST FLOOR PLAN
1/8" = 1'-0"

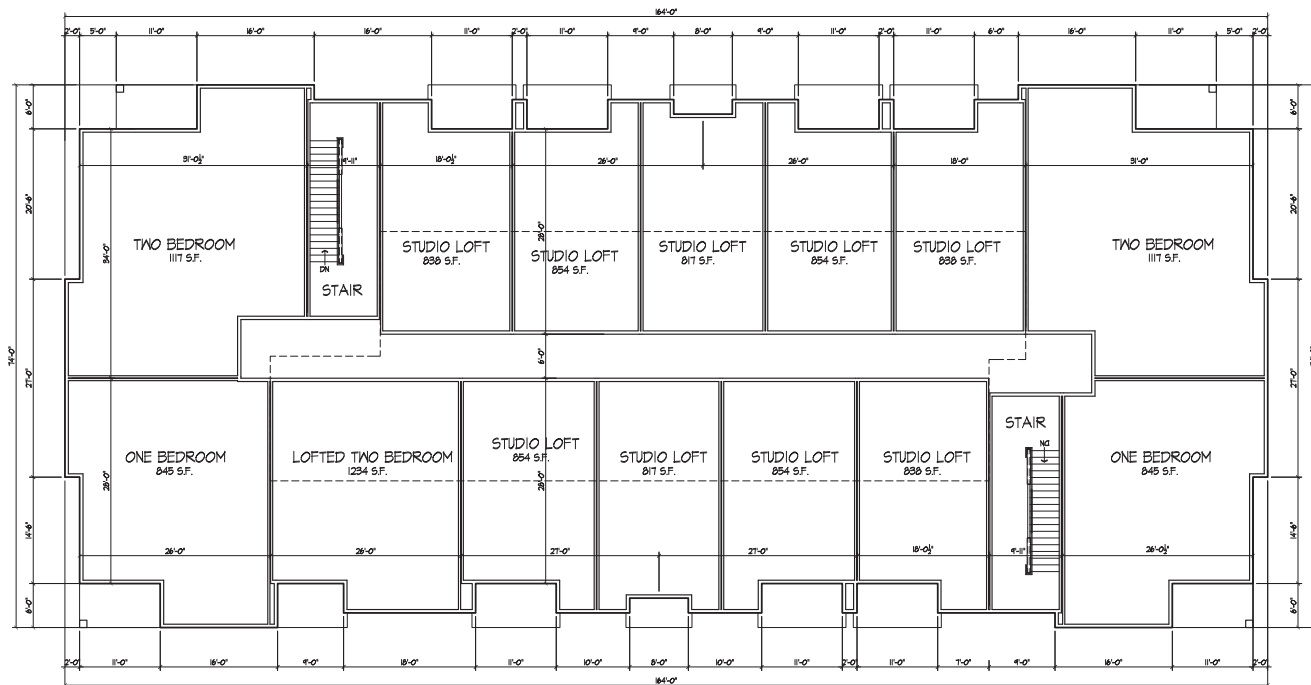
Consultant

Notes

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Revisions

SP Submitted - October 5, 2011



 **SECOND FLOOR PLAN**
1/8" = 1'-0"

Project Title

Stone Creek
Apartments II

Drawing Title

Second Floor Plan
Building 1 & 2 - 26 Unit

Project No.

0852

Drawing No.

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Notes

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- TYPICAL MATERIALS
ASPHALT SHINGLES
STANDING SEAM METAL ROOF
ALUM. WRAPPED FASCIA
ALUM. RAILING
COMPOSITE TRIM
HORIZONTAL SIDING
6" PRECAST SILL
PRECAST HEADS AND SILLS
SIMULATED STONE VENEER



 NORTH ELEVATION
1/8" = 1'-0"

Revisions

SP1 Submitted - October 5, 2011



 SOUTH ELEVATION
1/8" = 1'-0"

Project Title

Stone Creek
Apartments II

Drawing Title

Elevations

Building 1 & 2 - 26 Unit

Project No.

0852

Drawing No.

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 **EAST ELEVATION**
1/8" = 1'-0"



 **WEST ELEVATION**
1/8" = 1'-0"

Revisions

SP1 Submitted - October 5, 2011

Project Title

*Stone Creek
Apartments II*

Drawing Title

Elevations

Building 1 & 2 - 26 Unit

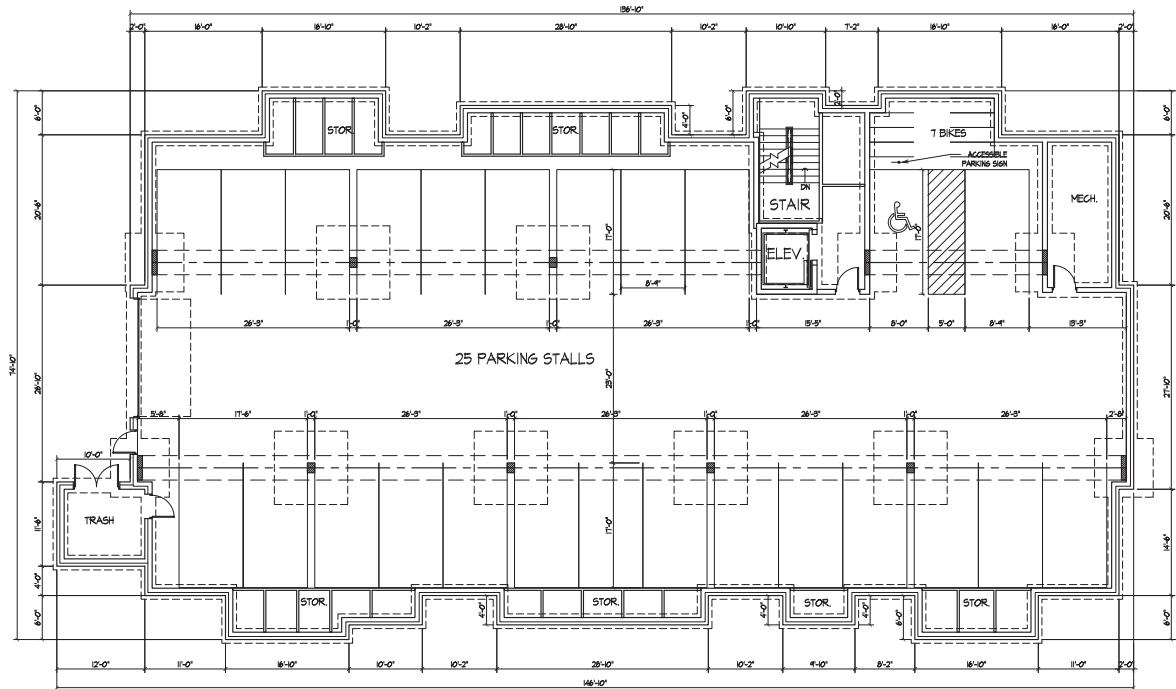
Project No.

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Drawing No.

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BASEMENT PLAN
1/8" = 1'-0"

Revisions
SP Serial - October 5, 2011

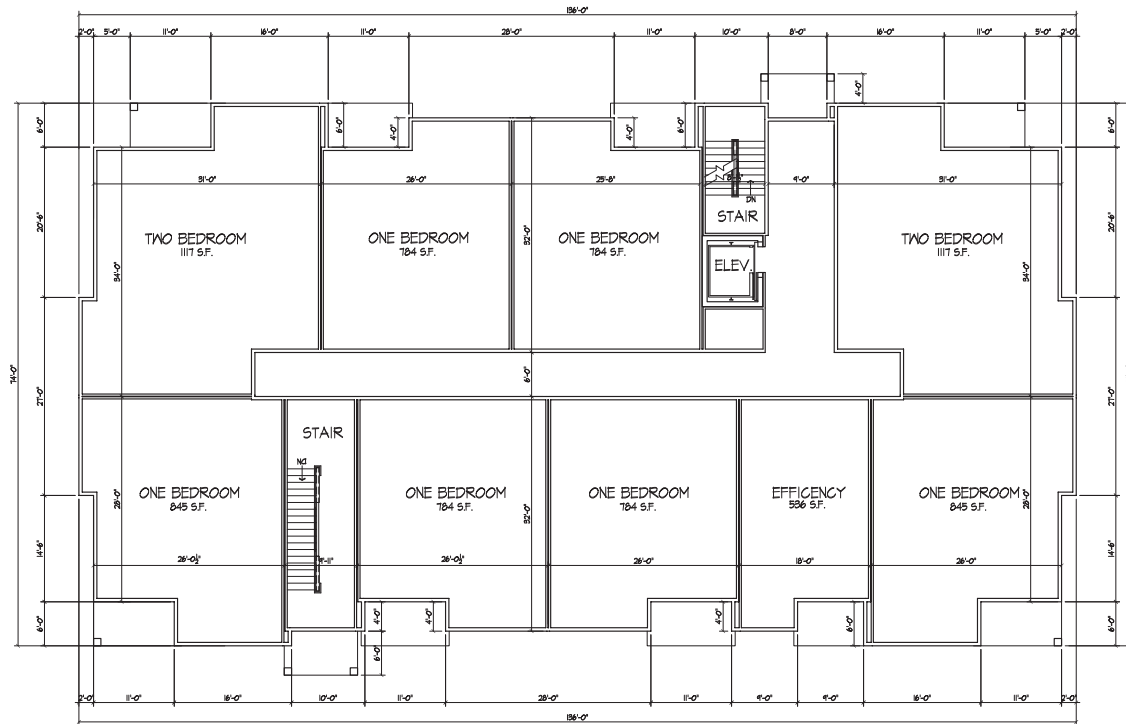
Project Title
**Stone Creek
Apartments II**

Drawing Title
Basement Plan
Building 3 - 27 Unit
Project No. Drawing No.

0852

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FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions
SP Submit - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
**First Floor Plan
Building 3 - 27 Unit**

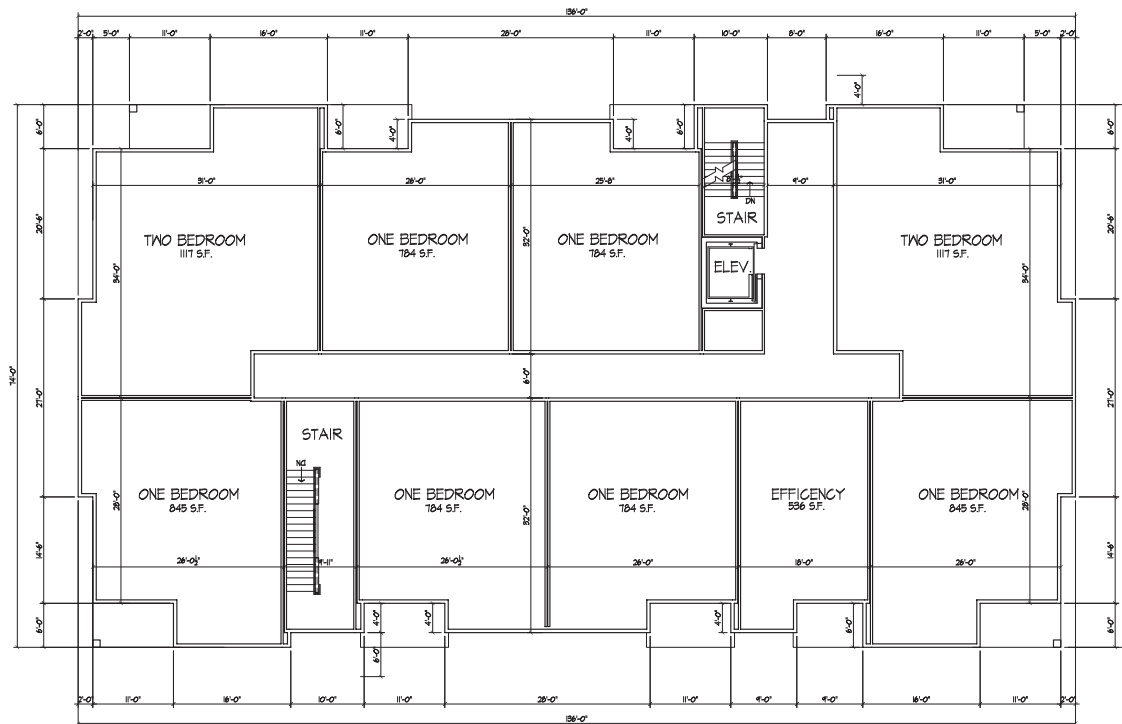
Project No.

Drawing No.

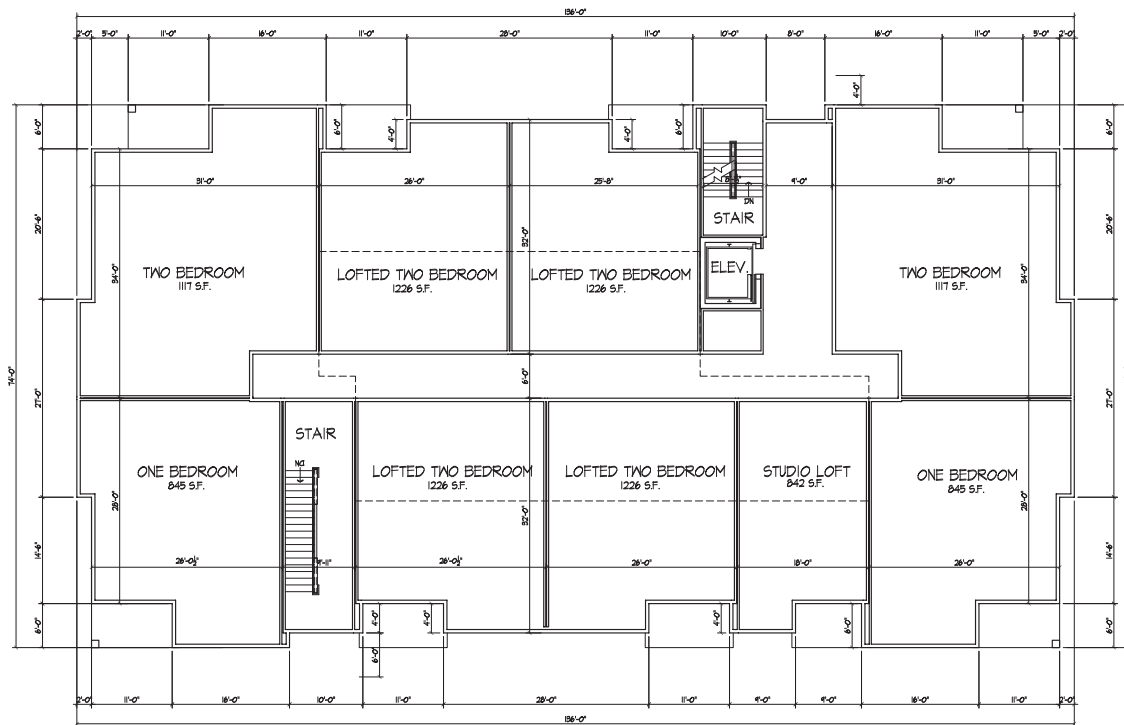
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SECOND FLOOR PLAN
1/8" = 1'-0"



THIRD FLOOR PLAN
1/8" = 1'-0"

Revisions

5th Submittal - October 5, 2011

Project Title

Stone Creek
Apartments II

Drawing Title

Third Floor Plan
Building 3 - 27 Unit

Project No.

0852

Drawing No.

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Notes



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

Revisions

SP Submit - October 5, 2011

Project Title

Stone Creek
Apartments II

Drawing Title

Elevations
Building 3 - 27 Unit

Project No.

0852

Drawing No.

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Notes
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 NORTH ELEVATION
1/8" = 1'-0"



 SOUTH ELEVATION
1/8" = 1'-0"

Revisions
SIP Submittal - October 5, 2011

Project Title
Stone Creek
Apartments II

Drawing Title
Elevations
Building 3 - 27 Unit

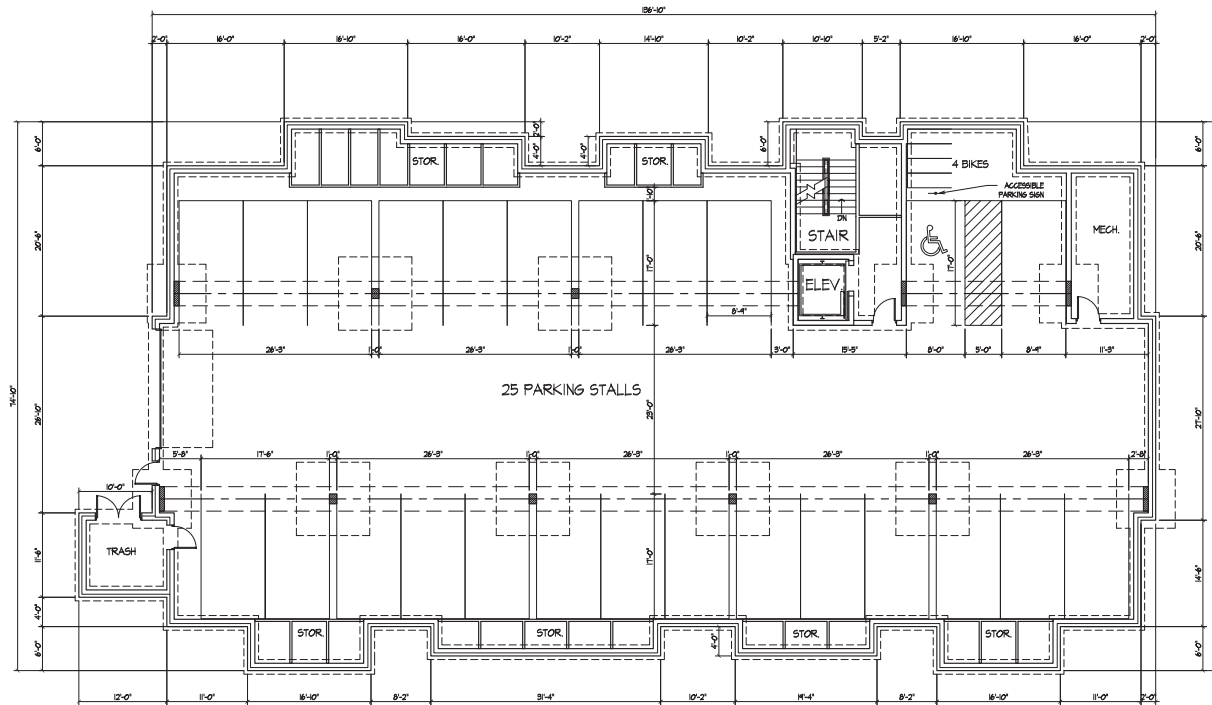
Project No.

Drawing No.

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BASEMENT PLAN
1/8" = 1'-0"

Consultant

Notes

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Revisions
SP Submit - October 5, 2011

Project Title
**Stone Creek
Apartments II**

Drawing Title
First Floor Plan
Building 4 - 27 Unit

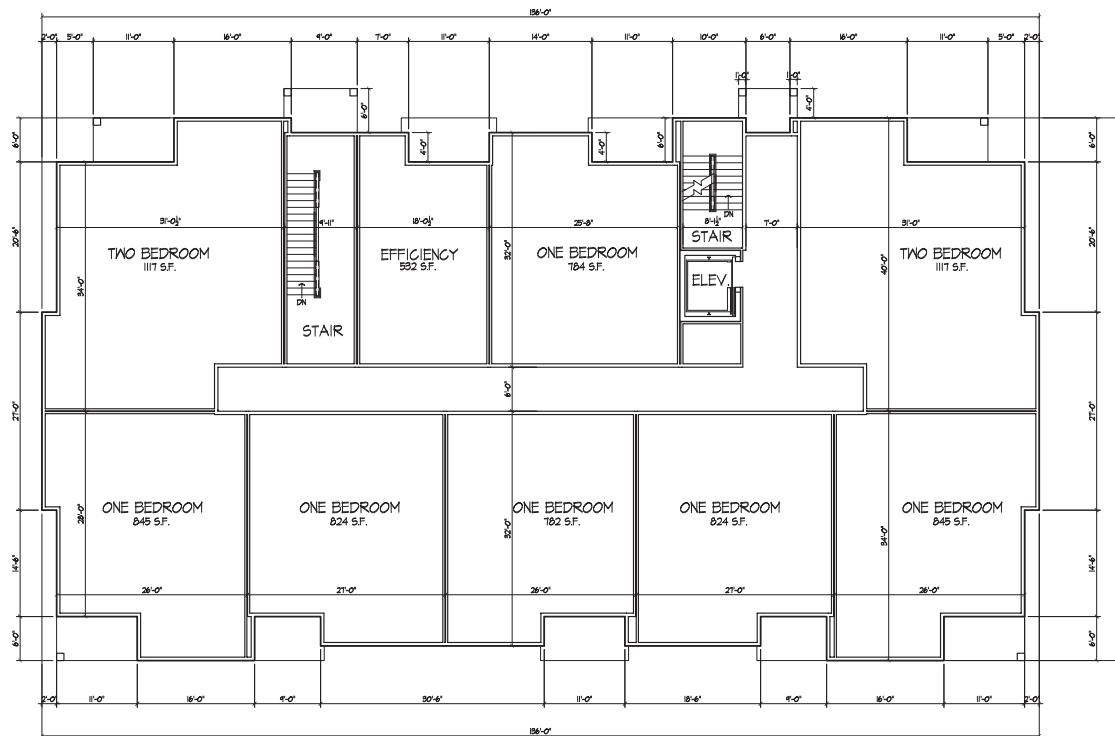
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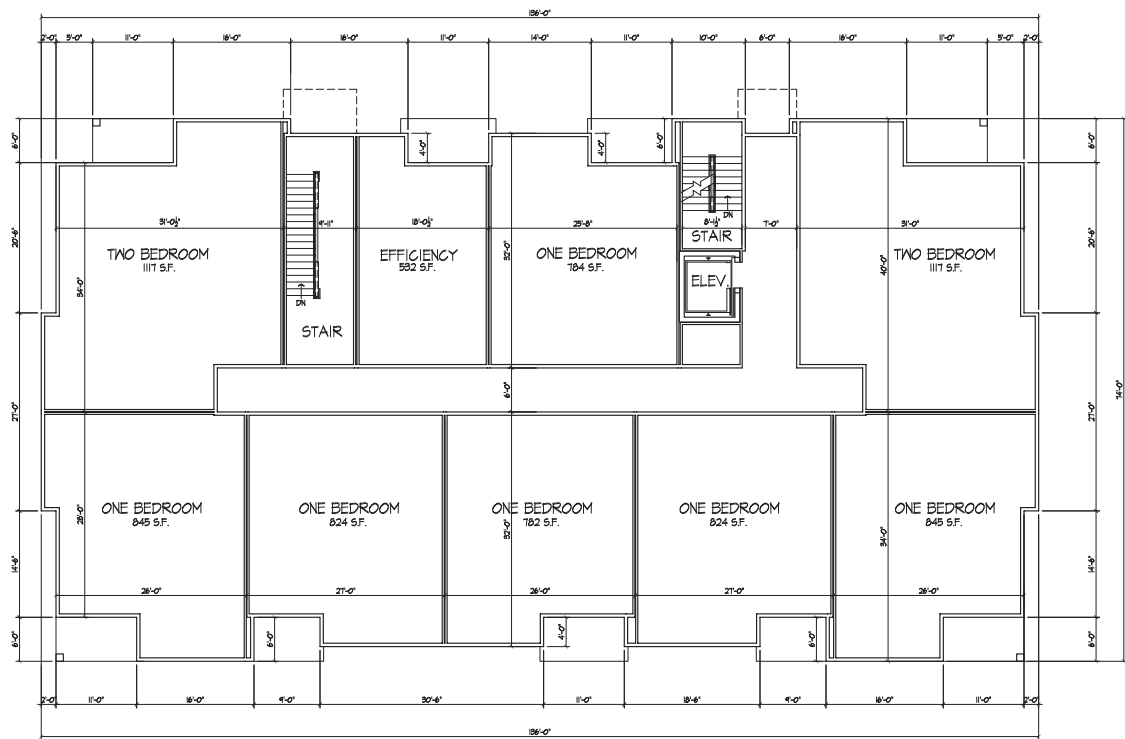
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FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"

Consultant

Notes

-

Revisions

5th Submit - October 5, 2011

Project Title

Stone Creek
Apartments II

Drawing Title

Third Floor Plan
Building 4 - 27 Units

Project No.

0852

Drawing No.

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