

# 330 E. WILSON MIXED USE

## 330 E. WILSON STREET MADISON, WI 53703

### PC - UDC SUBMITTAL

SEPTEMBER 24, 2014



| 330 E. WILSON MIXED USE |                     |             |                        |             |             |                 |                          |
|-------------------------|---------------------|-------------|------------------------|-------------|-------------|-----------------|--------------------------|
| Floor / Level           | UNIT TYPE           |             |                        |             |             |                 | SQUARE FOOTAGE PER FLOOR |
|                         | EFFICIENCY / STUDIO | (1) BEDROOM | ACCESSIBLE (1) BEDROOM | (2) BEDROOM | (3) BEDROOM | UNITS PER FLOOR |                          |
| Basement                | 0                   | 0           | 0                      | 0           | 0           | 0               | 2504                     |
| 1st                     | 0                   | 0           | 0                      | 0           | 0           | 0               | 2795                     |
| 2nd                     | 2                   | 1           | 1                      | 1           | 1           | 6               | 4830                     |
| 3rd                     | 2                   | 2           | 0                      | 1           | 1           | 6               | 4830                     |
| 4th                     | 2                   | 2           | 0                      | 1           | 1           | 6               | 4830                     |
| 5th                     | 2                   | 2           | 0                      | 1           | 1           | 6               | 4830                     |
| 6th                     | 2                   | 2           | 0                      | 1           | 1           | 6               | 4830                     |
| Total                   | 10                  | 9           | 1                      | 5           | 5           | 30              | 29449                    |

  
GARY BRINK & ASSOCIATES  
ARCHITECTS  
7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)

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PROJECT:  
**330 E. WILSON**  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT:  
**KOTHE REAL ESTATE PARTNERS**  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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PROJECT: 201249  
DRAWN BY:  
DATE:  
SCALE: AS NOTED

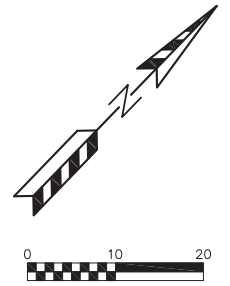
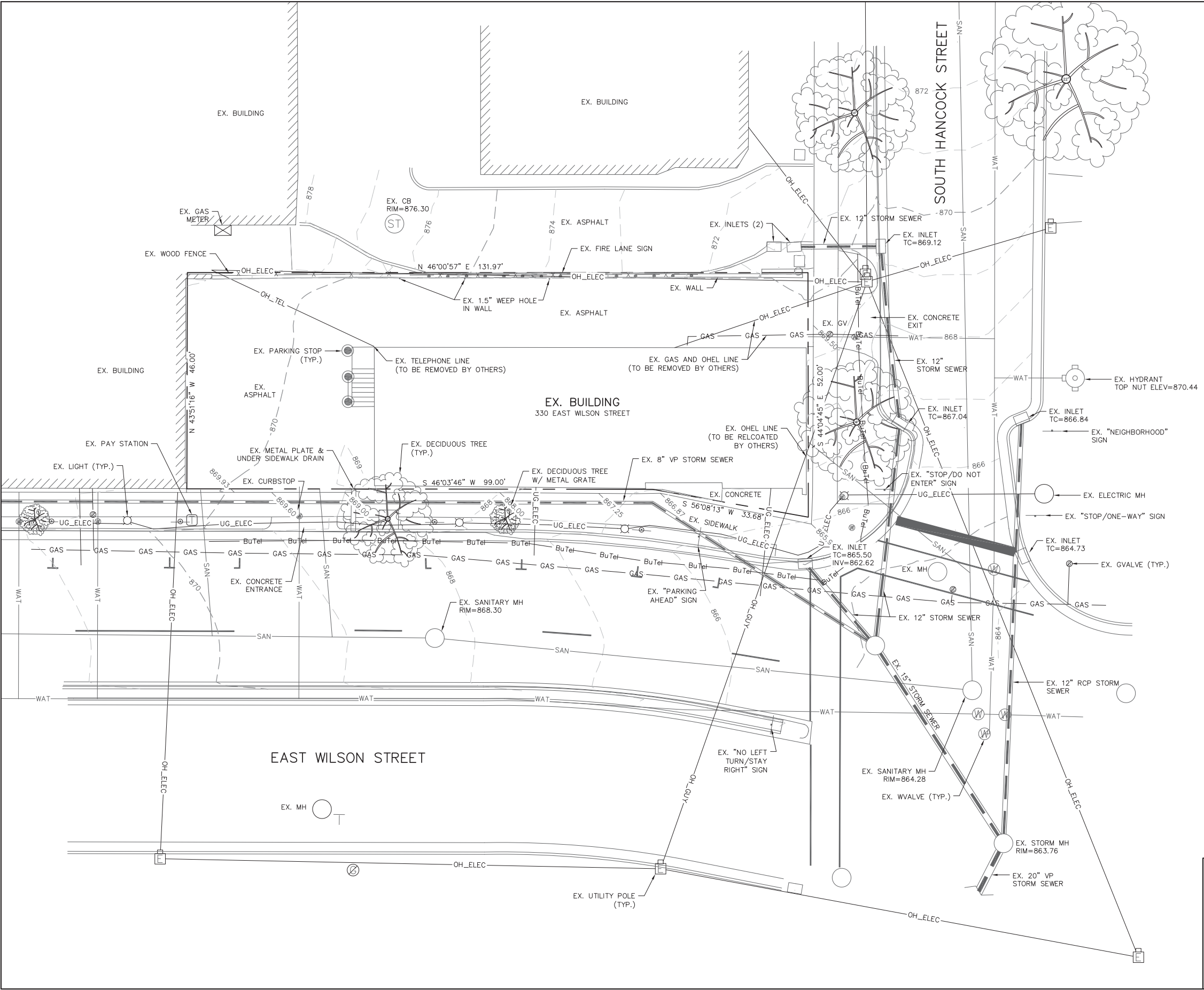
**OWNER/DEVEOPER:**  
PALLADIA, LLC  
c/o KOTHE REAL ESTATE PARTNERS  
115 E. MAIN ST., SUITE 210  
MADISON, WISCONSIN 53703  
PHONE: (608) 469-0059  
EMAIL: kevin@kotherep.com  
PRINCIPAL CONTACT: KEVIN PAGE

**ARCHITECT:**  
GARY BRINK & ASSOCIATES, INC.  
7780 ELMWOOD AVENUE, SUITE 204  
MIDDLETON, WISCONSIN 53562  
PHONE: (608) 829-1750  
EMAIL: josh.wilcox@garybrink.com  
PRINCIPAL CONTACT: JOSH WILCOX

**GENERAL CONTRACTOR:**  
LANDGRAF CONSTRUCTION  
5964 EXECUTIVE DRIVE  
MADISON, WISCONSIN 53719  
PHONE: (608) 274-4700  
EMAIL: mark.landgraf@landgrafconstruction.com  
PRINCIPAL CONTACT: MARK LANDGRAF

**CIVIL/SITE ENGINEER:**  
QUAM ENGINEERING, LLC  
4604 SIGGELKOW ROAD, SUITE A  
McFARLAND, WISCONSIN 53558  
PHONE: (608) 838-7750  
EMAIL: rquam@quamengineering.com  
PRINCIPAL CONTACT: RYAN QUAM

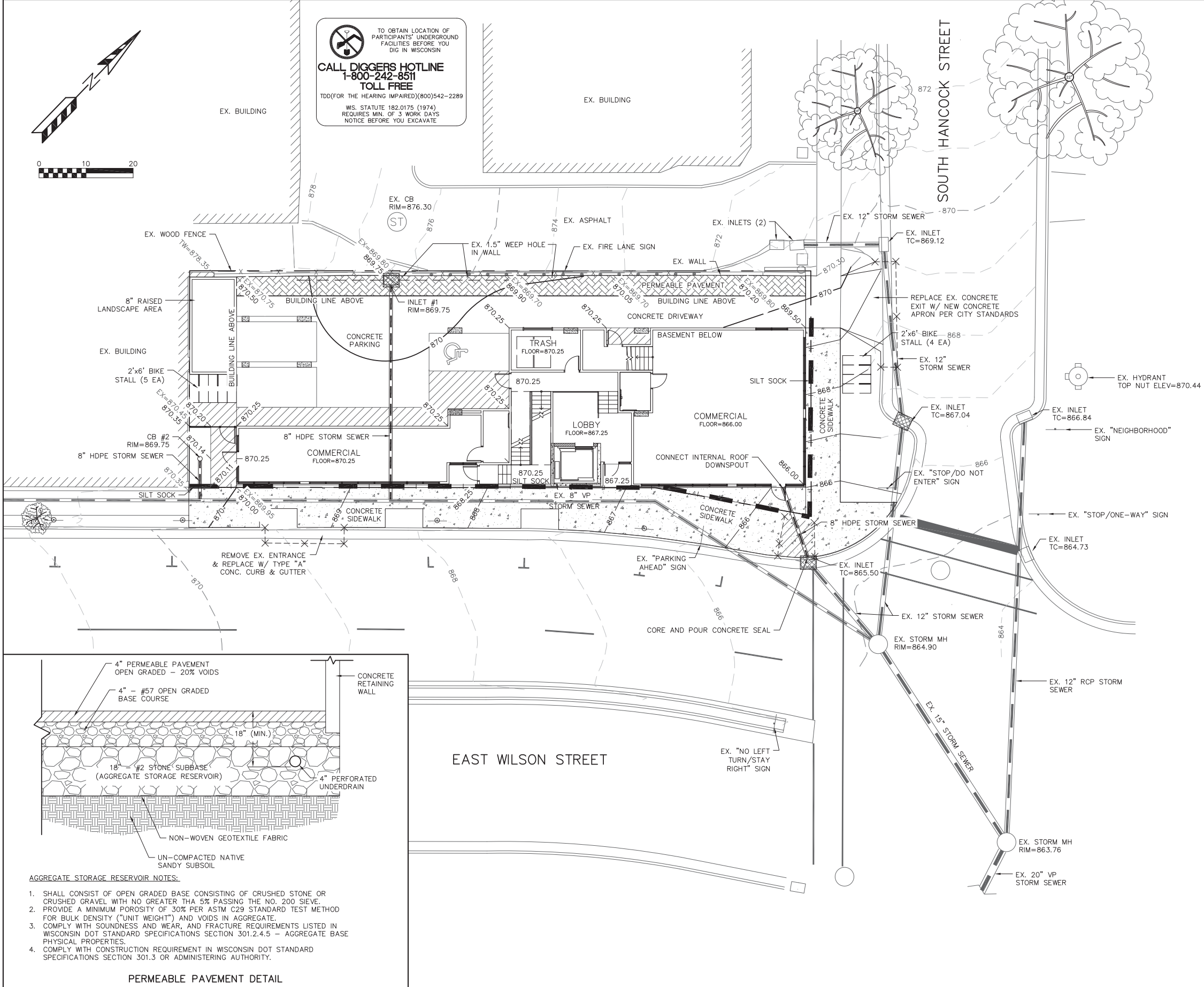
**LANDSCAPE DESIGNER:**  
KEN SAIKI DESIGN, INC.  
303 S. PATERSON, SUITE ONE  
MADISON, WISCONSIN 53703  
PHONE: (608) 251-3600  
EMAIL: amollien@ksd-la.com  
PRINCIPAL CONTACT: ABBIE MOLIEN



330 E. WILSON STREET - CITY OF MADISON  
EXISTING SITE PLAN  
SHEET: C1.00  
DATED: SEPTEMBER 24, 2014

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



**EROSION NOTES:**

THE EXISTING ASPHALT PAVEMENT SHALL ACT AS THE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PLACEMENT OF THE SURFACE COURSE OF ASPHALT. THE FILTER SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED.

ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

**TIME SCHEDULE:**

|                                  |                                                                              |
|----------------------------------|------------------------------------------------------------------------------|
| NOVEMBER 1, 2014                 | INSTALL INITIAL EROSION CONTROL DEVICES.                                     |
| NOVEMBER 1, 2014 - SEPT 15, 2015 | CONSTRUCT BUILDING, PARKING, UTILITIES AND RESTORE PERVIOUS DISTURBED AREAS. |

**RESTORATION NOTES:**

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:**  
ROBERT J. RUBIN  
317 E WILSON STREET  
MADISON, WI 53703

**ENGINEER:**  
QUAM ENGINEERING, LLC  
ATTN: RYAN QUAM  
4604 SIGGELKOW ROAD, SUITE A  
MCFARLAND, WI 53558

**SILT SOCK DETAIL**

ROD STAKES (10' SPACING)  
NOMINAL 2" x 2" x 30" MIN

3" MIN

FILTEREXX SILT SOCK (OR EQUAL)  
(12" DIA)

SHEET FLOW

MAINTAIN SILT SOCKS UNTIL  
VEGETATION IS ESTABLISHED.

**TYPE B INLET PROTECTION DETAIL**

GEOTEXTILE FABRIC,  
TYPE FF

INLET PROTECTION  
INSTALLATION SHALL  
CONFORM TO WDMR  
TECHNICAL  
STANDARD #1060

**LEGEND:**

|            |                                       |
|------------|---------------------------------------|
| — 869 —    | EXISTING MINOR CONTOUR.               |
| — 870 —    | EXISTING MAJOR CONTOUR.               |
| — 869 —    | PROPOSED MINOR CONTOUR.               |
| — 870 —    | PROPOSED MAJOR CONTOUR.               |
| - 870.00 - | PROPOSED SPOT ELEVATION               |
| [Pattern]  | INSTALL WDOT TYPE B INLET PROTECTION. |

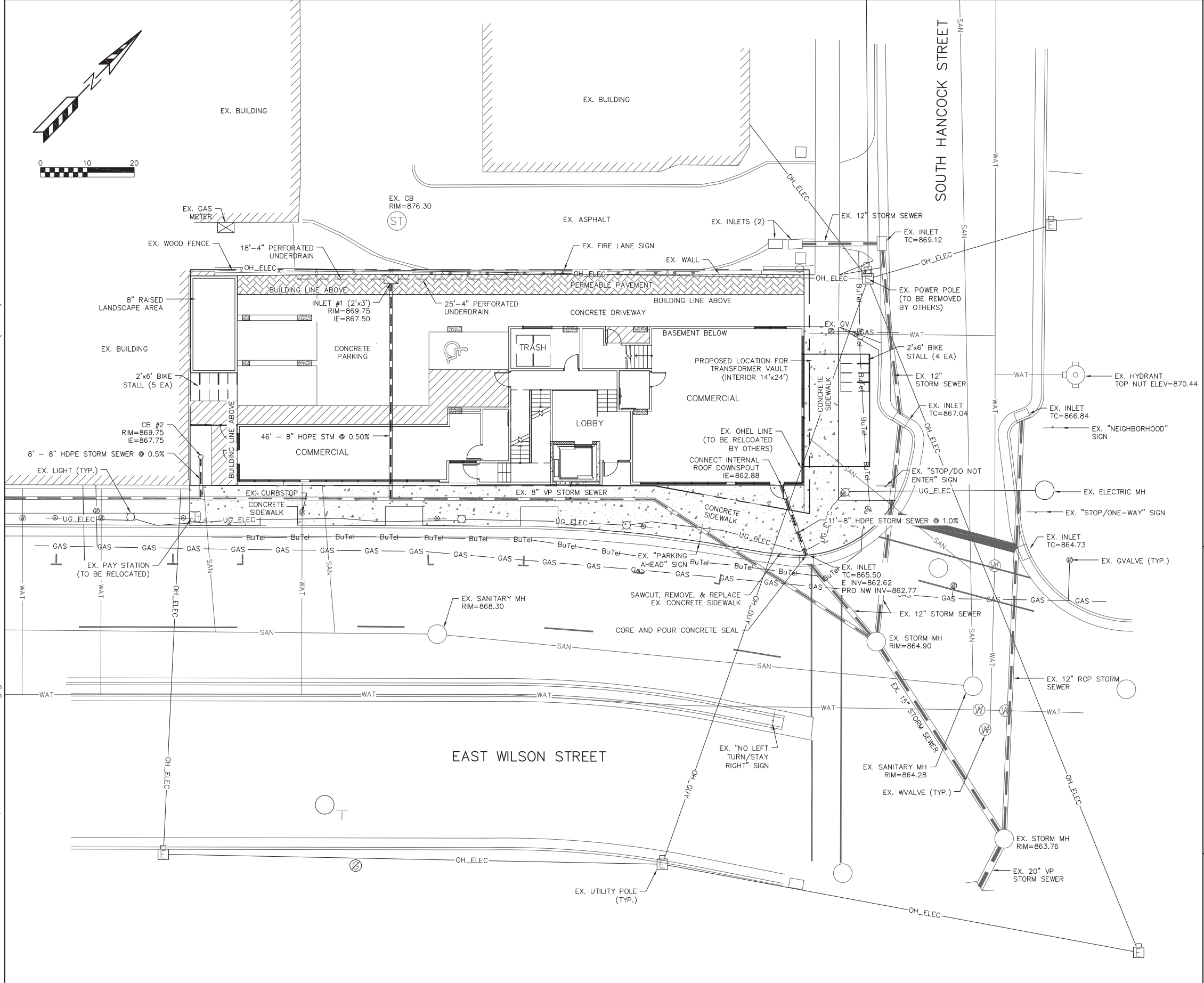
**330 E. WILSON STREET - CITY OF MADISON**  
GRADING AND EROSION CONTROL PLAN

SHEET: C1.01  
DATED: OCTOBER 3, 2014

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants

[www.quamengineering.com](http://www.quamengineering.com)

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



**GENERAL NOTES:**

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. FOR EACH LATERAL TO BE PLUGGED THE CONTRACTOR SHALL DEPOSIT \$1,000 WITH THE CITY ENGINEER IN TWO SEPARATE CHECKS IN THE FOLLOWING AMOUNTS: (1). \$100 NON REFUNDABLE DEPOSIT FOR THE COST OF INSPECTION OF THE PLUGGING BY CITY STAFF; AND (2). \$900 FOR THE COST OF CITY CREWS TO PERFORM THE PLUGGING. IF THE CONTRACTOR ELECTS TO COMPLETE THE PLUGGING OF A LATERAL AND THE PLUGGING IS INSPECTED AND APPROVED BY THE CITY ENGINEER, THE \$900 FEE SHALL BE RETURNED TO THE CONTRACTOR. THIS PERMIT APPLICATION IS AVAILABLE ONLINE AT [HTTP://WWW.CITYOFMADISON.COM/ENGINEERING/PERMITS.CFM](http://www.cityofmadison.com/engineering/permits.cfm)

**UTILITY NOTES:**

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

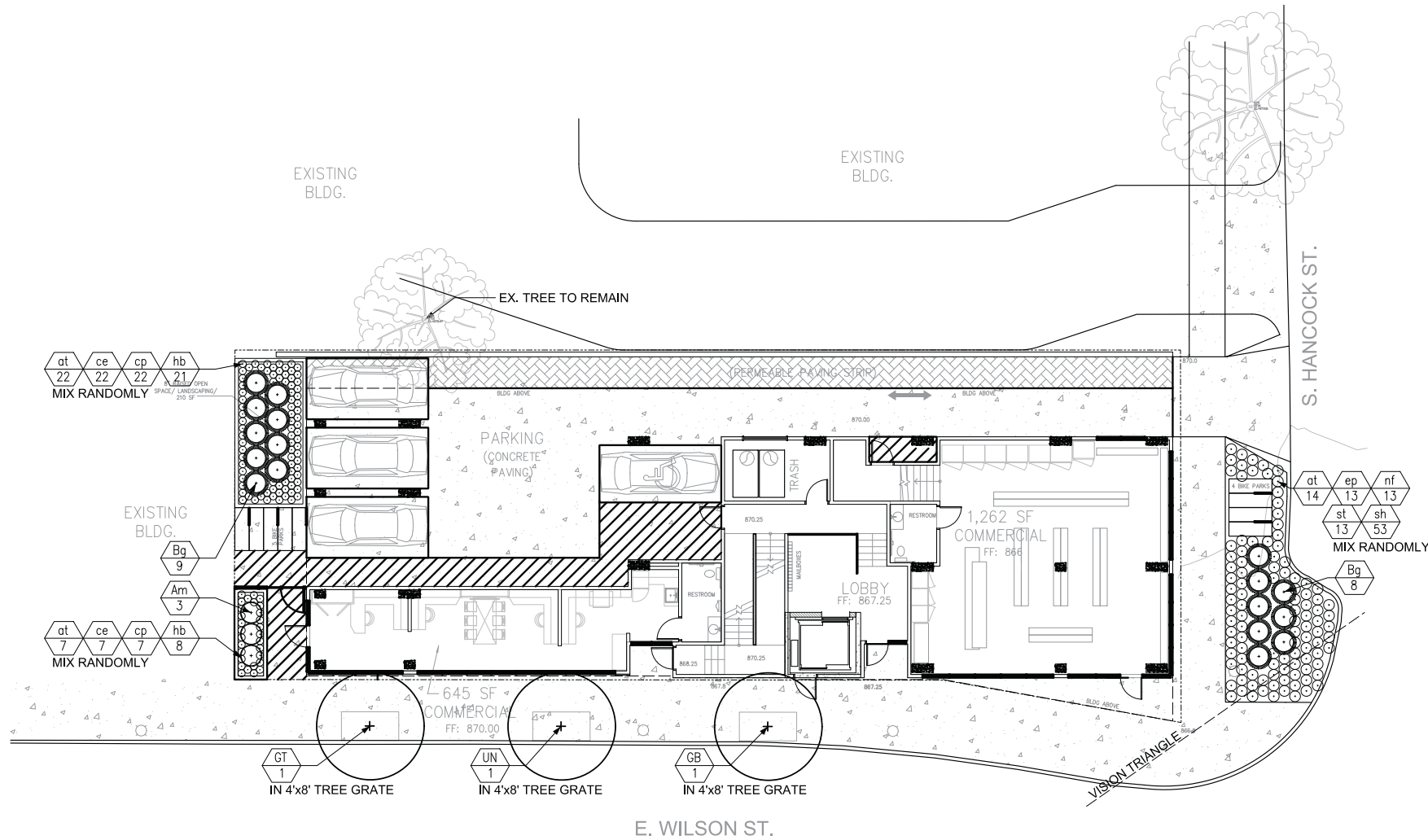
ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

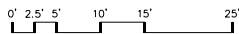
ANY DAMAGE TO EAST WILSON STREET OR SOUTH HANCOCK STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY OF MADISON PATCHING CRITERIA.

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

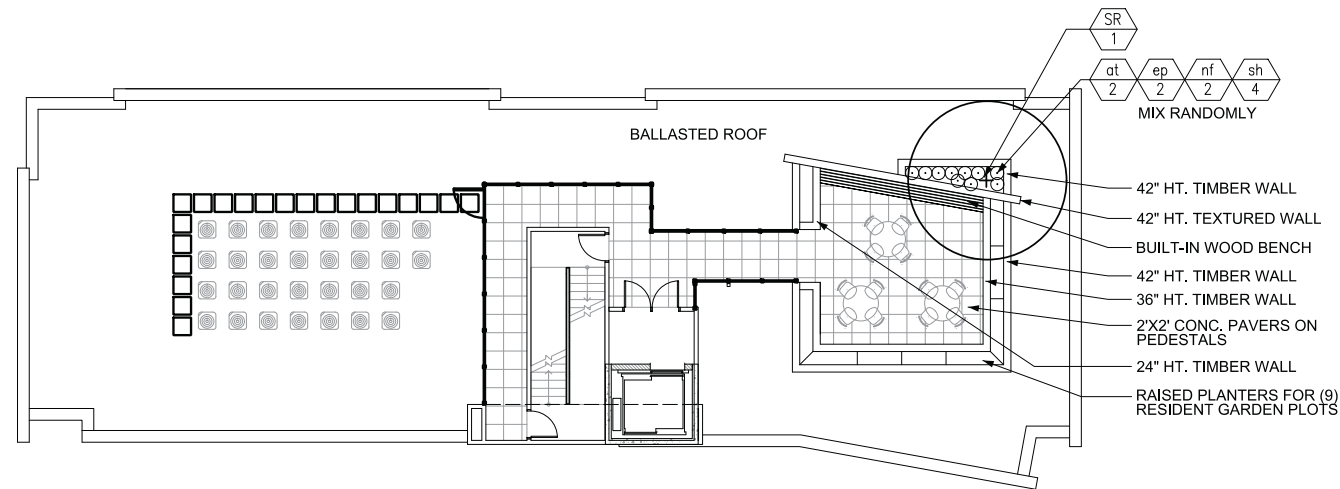
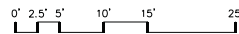




1 PLANTING PLAN  
1" = 10'-0"



2 ROOF PLANTING PLAN  
1" = 10'-0"



- NOTES:
1. All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
  2. Plantings under building overhangs shall be permanently irrigated.
  3. Contractor shall contact City Forestry at least 48 hours prior to any work on street trees. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com.
  4. Indicated street trees shall be removed & replaced w/ 3" caliper trees, species to be determined by City Forestry. These trees shall be planted in Neenah 4'x8' (R-8815-A) tree grates to be determined by City Engineering.
  5. Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan.
  6. Trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.

### City of Madison, WI Landscape Worksheet

3-Oct-14

Urban Mixed Use

| Developed Lots       | SF    | Landscape Units Required  |
|----------------------|-------|---------------------------|
| Total Developed Area | 6,180 | 21                        |
|                      |       | Landscape Points Required |
|                      |       | 103                       |

### General Site, Foundation, Screening

| Element                                           | Point Value | Quantity Proposed | Quantity Existing | Points Achieved |
|---------------------------------------------------|-------------|-------------------|-------------------|-----------------|
| Overstory Deciduous Tree                          | 35          |                   |                   | 0               |
| Ornamental Tree                                   | 15          | 1                 |                   | 15              |
| Evergreen Tree                                    | 15          |                   |                   | 0               |
| Shrub, deciduous                                  | 3           | 3                 |                   | 9               |
| Shrub, evergreen                                  | 4           | 17                |                   | 68              |
| Ornamental Grass/Perennial                        | 2           | 232               |                   | 464             |
| Ornamental/Decorative Fence or Wall (4 pts/10 LF) | 4           |                   |                   | 0               |
| General Site Plantings Total                      |             |                   |                   | 556             |

TOTAL LANDSCAPE POINTS ACHIEVED 556



GARY BRINK & ASSOCIATES  
ARCHITECTS

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MIDDLETON, WI 53562  
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KEN SAKI DESIGN  
LANDSCAPE  
ARCHITECTS

PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703

CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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PROJECT: 201249

DRAWN BY: ARM

DATE: 10/03/2014

SCALE: AS NOTED

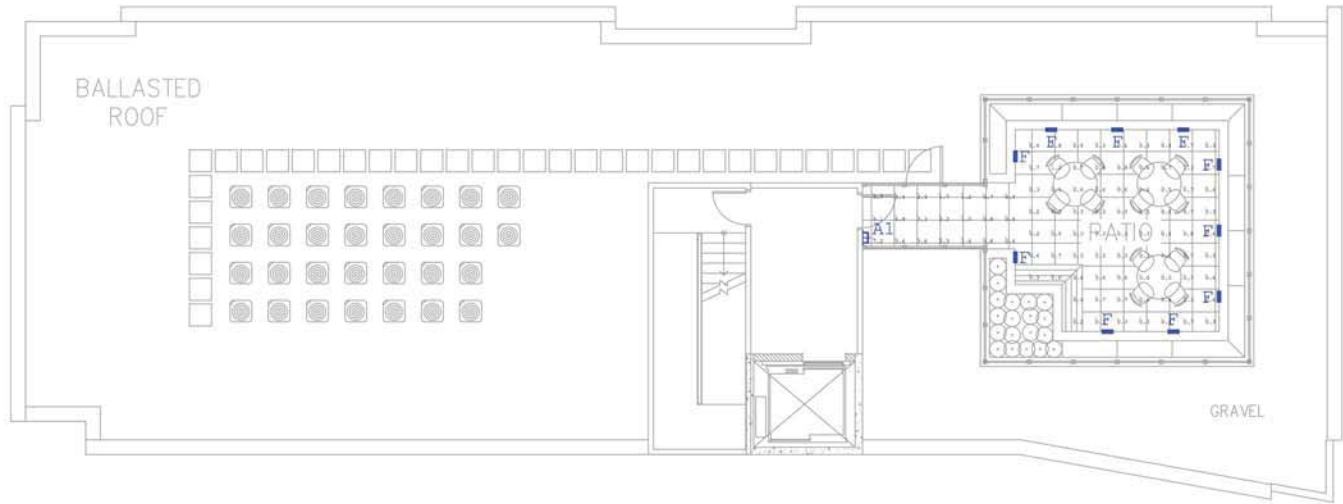
PLANTING  
PLAN

L1.00

| Plant List                                 |                                                          |                                     |          |          |       |                                                                              |
|--------------------------------------------|----------------------------------------------------------|-------------------------------------|----------|----------|-------|------------------------------------------------------------------------------|
| Key                                        | Botanical Name                                           | Common Name                         | Quantity | Size     | Spec  | Comments                                                                     |
| Deciduous Trees                            |                                                          |                                     |          |          |       |                                                                              |
| GB                                         | <i>Griego biloba</i> 'Princeton Sentry'                  | Princeton Sentry Griego             | 1        | 2.5' Cal | B&B   | Single, straight leader, match specimens, branching shall start at 5'-0" min |
| GT                                         | <i>Gedidia triacanthos</i> var. <i>inermis</i> 'Skycole' | Skyline Honeylocust                 | 1        | 2.5' Cal | B&B   | Single, straight leader, match specimens, branching shall start at 5'-0" min |
| UN                                         | <i>Ulmus x NewHorizon</i>                                | New Horizon Elm                     | 1        | 2.5' Cal | B&B   | Single, straight leader, match specimens, branching shall start at 5'-0" min |
| Ornamental Trees                           |                                                          |                                     |          |          |       |                                                                              |
| AA                                         | <i>Amelanchier arborea</i>                               | Downy Serviceberry                  | 1        | 6 ft.    | B&B   | Multistem min 3 leaders, well-developed crown, no overlapping leaders        |
| SR                                         | <i>Syringa reticulata</i> 'Summer Snow'                  | Summer Snow Tree Lilac              | 1        | 2' Cal   | B&B   | Single, straight leader, match specimens, branching shall start at 5'-0" min |
| Deciduous Shrubs                           |                                                          |                                     |          |          |       |                                                                              |
| Am                                         | <i>Aronia melanocarpa</i> 'Mortor'                       | Ironquios Beauty Chokeberry         | 3        | 5 gal.   | Cort. | Space 3'-0" o.c.                                                             |
| Evergreen Shrubs                           |                                                          |                                     |          |          |       |                                                                              |
| Bg                                         | <i>Buxus x Green Velvet</i>                              | Green Velvet Boxwood                | 14       | 5 gal.   | Cort. | Space 3'-6" o.c. pruned into matching spheres                                |
| Perennials/Ornamental Grasses/Groundcovers |                                                          |                                     |          |          |       |                                                                              |
| at                                         | <i>Allium tanguticum</i> 'Nonesu'                        | Balloon Bouquet Ornamental Onion    | 46       | 1 gal.   | Cort. | Space 18" o.c.                                                               |
| oe                                         | <i>Carex eburnea</i>                                     | Bristleleaf Sedge                   | 29       | 1 gal.   | Cort. | Space 12" o.c.                                                               |
| cp                                         | <i>Carex pennsylvanica</i>                               | Pennsylvania Sedge                  | 29       | 1 gal.   | Cort. | Space 12" o.c.                                                               |
| ep                                         | <i>Echinacea Pixie Meadowbrite</i>                       | Pixie Meadowbrite Purple Coneflower | 15       | 1 gal.   | Cort. | Space 18" o.c.                                                               |
| hb                                         | <i>Hosta Blue Mouse Ears</i>                             | Blue Mouse Ears Hosta               | 29       | 1 gal.   | Cort. | Space 12" o.c.                                                               |
| rf                                         | <i>Nepeta x faassenii</i> 'Blue Wonder'                  | Blue Wonder Nepeta                  | 15       | 1 gal.   | Cort. | Space 18" o.c.                                                               |
| st                                         | <i>Sedum 'Thundercloud'</i>                              | Thundercloud Sedum                  | 13       | 1 gal.   | Cort. | Space 18" o.c.                                                               |
| sh                                         | <i>Sporobolus heterolepis</i> 'Tara'                     | Tara Prairie Dropseed               | 57       | 1 gal.   | Cort. | Space 18" o.c.                                                               |

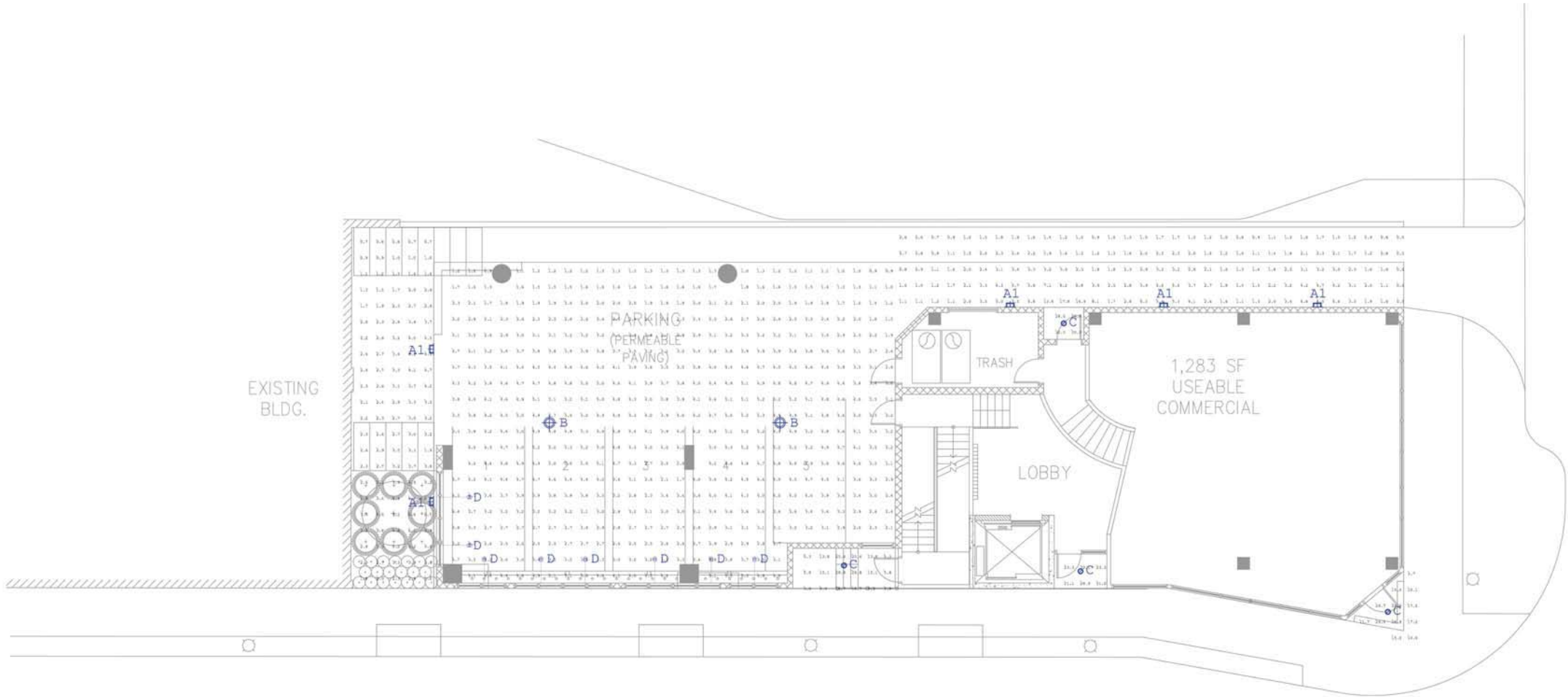


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| Luminaire Schedule |       |             |             |       |                                           |
|--------------------|-------|-------------|-------------|-------|-------------------------------------------|
| Qty                | Label | Arrangement | Lum. Lumens | LLF   | Description                               |
| 6                  | A     | SINGLE      | 735         | 0.900 | LUMARK + XTOR1A                           |
| 2                  | B     | SINGLE      | 5170        | 0.900 | McGRAW-EDISON + TT-A3-LED-E1-WQ           |
| 4                  | C     | SINGLE      | 1477        | 0.900 | PORTFOLIO + LD4A13D010TE-ERMA13835-4LM1LI |
| 8                  | D     | SINGLE      | 405         | 0.900 | LUMENPULSE + LBS-120-27K-WFL-SI           |
| 10                 | F     | SINGLE      | 25          | 0.900 | COLE + L158W-N-J                          |

| Calculation Summary        |             |       |       |      |      |         |         |
|----------------------------|-------------|-------|-------|------|------|---------|---------|
| Label                      | CalcType    | Units | Avg   | Max  | Min  | Avg/Min | Max/Min |
| BIKE RACKS & PLANTING AREA | Illuminance | Fc    | 2.96  | 6.6  | 0.7  | 4.23    | 9.43    |
| COMMERCIAL ENTRY           | Illuminance | Fc    | 17.25 | 28.8 | 3.7  | 4.66    | 7.78    |
| DRIVE ACCESS               | Illuminance | Fc    | 2.51  | 17.8 | 0.4  | 6.28    | 44.50   |
| EXIT TO DRIVE              | Illuminance | Fc    | 29.15 | 30.3 | 28.0 | 1.04    | 1.08    |
| LOBBY ENTRY                | Illuminance | Fc    | 24.95 | 32.1 | 21.0 | 1.19    | 1.53    |
| PARKING                    | Illuminance | Fc    | 3.47  | 6.5  | 0.9  | 3.86    | 7.22    |
| ROOF PATIO                 | Illuminance | Fc    | 0.48  | 1.3  | 0.2  | 2.40    | 6.50    |
| ROOF PATIO_1               | Illuminance | Fc    | 2.59  | 7.2  | 0.4  | 6.48    | 18.00   |
| STAIR EXIT                 | Illuminance | Fc    | 13.87 | 28.8 | 3.8  | 3.65    | 7.58    |



E. WILSON ST.

PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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PROJECT: 201249  
DRAWN BY:  
DATE:  
SCALE: AS NOTED

SITE  
LIGHTING  
CALCULATIONS  
A1.00

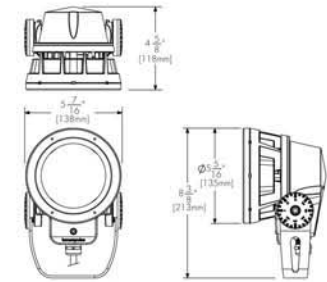


SPECIFICATION SHEET

Client: \_\_\_\_\_  
Project name: \_\_\_\_\_  
Order #: \_\_\_\_\_  
Type: \_\_\_\_\_ Qty: \_\_\_\_\_

FEATURES AND BENEFITS

- Physical :**
- Low copper content high pressure die-cast aluminum housing
  - Heavy aluminum formed yoke
  - Stainless steel hardware
  - Silicone sealing devices
  - Clear tempered glass
  - Dual chamber design for heat management and ease of maintenance
  - Electrostatically applied polyester powder coat finish
  - 2.40 kg / 5.20 lbs
  - EPA: front = 0.35 sq.ft./0.033 sq.m. Side= 0.31 sq.ft./0.029 sq.m.
  - IP66
  - Corrosion-resistant option for marine environments
- Performance :**
- 6°, 10°, 20°, 40°, 60°, Elliptical distribution on 10° and 40° optics
  - CRI values: 78+
  - Lumen maintenance 120,000 hrs [L70 @ 25°C]
  - Operating temperatures: -25° C to 50° C [13F to 122F]
- Electrical :**
- Line voltage luminaire for 120 to 277V
  - Power and data in 1 cable, 3ft/1m cord (#16-5)
  - 14 watts
  - 0-10 volt, DMX or DALI dimming options



Standard Yoke Mounting Option

5 year warranty

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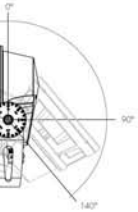
**lumenpulse™**  
Sustainable architectural LED lighting systems



Wiring detail

WIRE COLOR / USE

|        |                |
|--------|----------------|
| GREEN  | GROUND         |
| WHITE  | NEUTRAL        |
| BLACK  | 0-10V / DATA + |
| RED    | 0-10V / DATA - |
| ORANGE | 0-10V / DATA + |



5 year warranty

SPECIFICATION SHEET

| LBS     | Select: | Select:                       | Select: | Select:        | Select: | Select: | Select:         | Select: | Select: |
|---------|---------|-------------------------------|---------|----------------|---------|---------|-----------------|---------|---------|
| Housing | Voltage | Colors and color temperatures | Optic   | Optical Option | Finish  | Dimming | Mounting Option | Option  |         |
| 1       | 2       | 3                             | 4       | 5              | 6       | 7       | 8               | 9       |         |

1 **Housing:**  
LBS - Lumenbeam™ Small

2 **Voltage:**  
120 - 120 volts  
208 - 208 volts  
220/240 - 220 to 240 volts  
277 - 277 volts

3 **Colors and Color temperatures:**  
27K - 2700K  
30K - 3000K  
35K - 3500K  
40K - 4000K  
57K - 5700K  
RD - Red  
GR - Green  
BL - Blue

4 **Optic:**  
VN - Very Narrow 6°  
NS - Narrow Spot 10°  
NF - Narrow Flood 20°  
FL - Flood 40°  
WFL - Wide Flood 60°

5 **Optical Option:**  
LSH - Linear Spread Lens Horizontal distribution  
LSLV - Linear Spread Lens Vertical distribution  
\*Factory installed, available for 6° to 40° optics.  
See Optical Accessories for field adjustable spread lens.

6 **Finish:**  
SI - Silver SandText  
BK - Black SandText  
WH - White  
CC - Custom (please specify RAL color)

7 **Dimming:**  
DIM - 0-10V Dimming option (10% minimum dimming value)  
DMX - DMX Dimming option (1% minimum dimming value)  
DALI - DALI Dimming option (1% minimum dimming value)  
NO - No Dimming

8 **Mounting Option:**  
SK - Stake Mounting  
KN - Knuckle Mounting  
CN - Canopy Cover Mounting

9 **Option:**  
CRC - Corrosion-resistant Coating

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**lumenpulse™**  
Sustainable architectural LED lighting systems

**lumenbeam™**  
SMALL  
WHITE & STATIC COLORS

**COLE LIGHTING**

333 E. Wilson  
Type F  
L158W-N-J

| Series | LED | Floor | Incan. | Dimming | Exterior | Interior | Feed-Thru | Other Options                                                      |
|--------|-----|-------|--------|---------|----------|----------|-----------|--------------------------------------------------------------------|
| 158    | ●   | ●     | ●      | ●       | ●        | ●        | ●         | Faceplate color<br>LED color<br>Sharp cutoff lower<br>Junction box |

**158W-J**

**L158W-B-J — Cast bronze faceplate**

**L158W-N-J — Stainless steel**

**L158W-SCL-BLK — LED Interior**

LED with standard or high output options, 7W or 9W compact fluorescent lamp, or incandescent, may be specified for this series.

The junction box on Cole Steplites may be field mounted to the back or bottom of the fixture.

**COLE Lighting**

C.W. Cole & Company, Inc.  
2560 N. Rosemead Boulevard  
South El Monte, CA 91733-1593

Tel. (626) 443-2473  
Fax (626) 443-9253  
info@colighting.com  
www.colighting.com

**Steplites**

**158 SERIES**

**Description**  
The 158 Series of Steplites is a low-profile, "brick size" site fixture with LED, fluorescent, and incandescent lamp options. It is suitable for a variety of interior or exterior applications. The rugged construction, engineering excellence, and quality make these fixtures ideal for specification in most public areas.

**Features**  
Louvers in the 158 Series are more widely spaced than most fixtures of this type, allowing for significantly greater forward projected illumination. Exceptional durability is provided by the thick cast aluminum faceplate and the tempered glass diffuser. Lowered models offer even greater protection to the diffuser while controlling the distribution of light. Cole Steplites feature an optional cast aluminum junction box which may be easily field mounted to either the back or bottom of the housing to best suit installation conditions.

**Applications**  
The 158 Series Steplites are suitable for concrete pour/block wall and stud wall mounting in indoor or outdoor installations. They are ideal in low walls and side mounting at stairs. LED and incandescent fixtures will work well in extremely cold climates. The LED and fluorescent lamp options may be specified for interior combustible conditions. They are ideal in low walls and step risers.

**Custom**  
If your project demands a special fixture we would be pleased to discuss the production of modified standard fixtures or custom fixtures to suit your specific conditions. For more information on our custom capabilities, please contact your local Cole representative.

**Catalog Numbers**

| Lamp                                        | Faceplate    | Louver       | Non-louver    |
|---------------------------------------------|--------------|--------------|---------------|
| LED 1.5W, (126 lm @ 3000°K)                 | L158W        | L158W        | L158GW        |
| LED 3.6W, (215 lm @ 3000°K)                 | L158W-HO     | L158W-HO     | L158GW-HO     |
| LED 7.2W, (430 lm @ 3000°K)                 | L158W-HO-2   | L158W-HO-2   | L158GW-HO-2   |
| One 7W or 9W (2G7 base) compact fluorescent | F158W-7 or-9 | F158W-7 or-9 | F158GW-7 or-9 |
| One 40W T10 medium base incandescent        | T158W        | T158W        | T158G         |

Photometric data available for Steplites can be downloaded at: [www.colighting.com/steplites/](http://www.colighting.com/steplites/)

**Options**

**Junction box:** Bottom or back mounted junction box for feed-thru. Add suffix -J

**Stainless steel faceplate:** 3/16" thick narrow louvered faceplate. Add suffix -N

**Sharp cutoff lower:** Reduces illumination pattern. Add suffix -SCL

**Bronze faceplate:** Satin finish, clear coated. Add suffix -B

**Voltage:** Fluorescent 277V ballast. Add suffix -277. (LED Universal voltage standard).

**Dimming:** Universal voltage 0-10V driver. Add suffix -DIM

**Faceplate color:** Black or white. Add suffix -BLK or -WHT

**Tamperproof screws:** Tamperproof socket head faceplate screws. Add suffix -TP

**LED colors:** 4000°K (146 lm), -HO (249 lm), -HO-2 (498 lm) add suffix -4K  
Amber, add suffix -AMB  
Blue, add suffix -BLU

**How to Specify**

1. Select catalog number with desired features.
2. Add suffixes for options required to meet job conditions

**COLE LIGHTING**

333 E. Wilson  
Type F  
L158W-N-J

| Series | LED | Floor | Incan. | Dimming | Exterior | Interior | Feed-Thru | Other Options                                                      |
|--------|-----|-------|--------|---------|----------|----------|-----------|--------------------------------------------------------------------|
| 158    | ●   | ●     | ●      | ●       | ●        | ●        | ●         | Faceplate color<br>LED color<br>Sharp cutoff lower<br>Junction box |

**158W-J**

**L158W-B-J — Cast bronze faceplate**

**L158W-N-J — Stainless steel**

**L158W-SCL-BLK — LED Interior**

LED with standard or high output options, 7W or 9W compact fluorescent lamp, or incandescent, may be specified for this series.

The junction box on Cole Steplites may be field mounted to the back or bottom of the fixture.

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**Steplites**

**158 SERIES**

**Specifications**

**Construction**  
• Fixture housing is constructed from die-formed 16 gauge electro-galvanized steel finished with a white polyester coating  
• Faceplate is cast aluminum with metallic aluminum polyester coating, gas-filled and retained by stainless steel screws  
• Diffuser is frosted tempered glass, set in silicone sealant  
• Reflector is constructed of die-formed white aluminum  
• Optional junction box is cast aluminum with polyester coating  
• cETLus listed, suitable for wet locations  
• Incandescent models for concrete pour/block wall construction only  
• LED and fluorescent models for any wall construction.

**Electrical**  
• Fixture is wired with high performance LEDs, one compact fluorescent or one 40W A19 incandescent lamp  
• Driver is standard universal voltage  
• Ballast is standard 120V (277V optional) electronic  
• Optional junction box allows 8 wire thru-wiring, 4 in and 4 out. Provided with two 1/2" tapped conduit entrances in the bottom and one 1/2" conduit entrance in each side.

**Mounting**  
Housing has flange with holes for mounting.

**Catalog Numbers**

| Lamp                                        | Faceplate    | Louver       | Non-louver    |
|---------------------------------------------|--------------|--------------|---------------|
| LED 1.5W, (126 lm @ 3000°K)                 | L158W        | L158W        | L158GW        |
| LED 3.6W, (215 lm @ 3000°K)                 | L158W-HO     | L158W-HO     | L158GW-HO     |
| LED 7.2W, (430 lm @ 3000°K)                 | L158W-HO-2   | L158W-HO-2   | L158GW-HO-2   |
| One 7W or 9W (2G7 base) compact fluorescent | F158W-7 or-9 | F158W-7 or-9 | F158GW-7 or-9 |
| One 40W T10 medium base incandescent        | T158W        | T158W        | T158G         |

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**Options**

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**LED colors:** 4000°K (146 lm), -HO (249 lm), -HO-2 (498 lm) add suffix -4K  
Amber, add suffix -AMB  
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**How to Specify**

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608-829-1750  
608-829-3056 (FAX)

PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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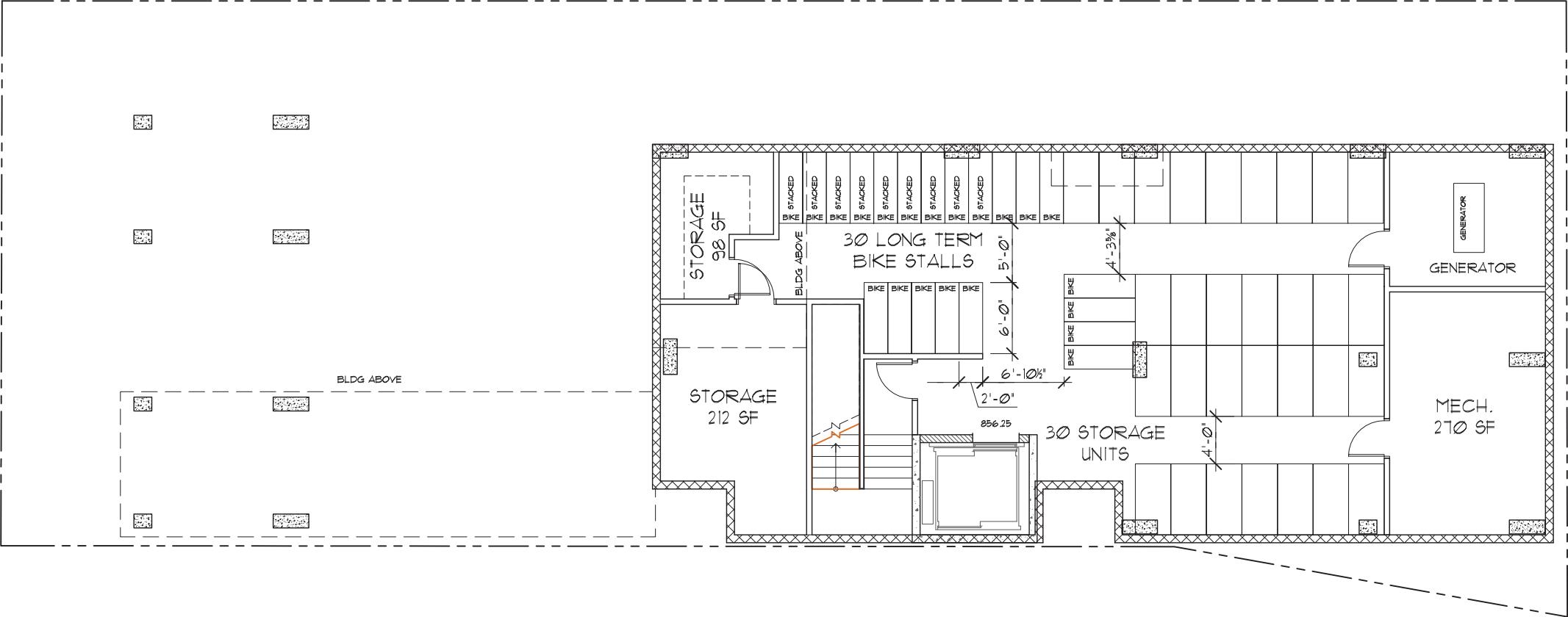
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SCALE: AS NOTED

SITE LIGHTING  
FIXTURE  
CUT SHEETS

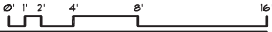
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1 BASEMENT FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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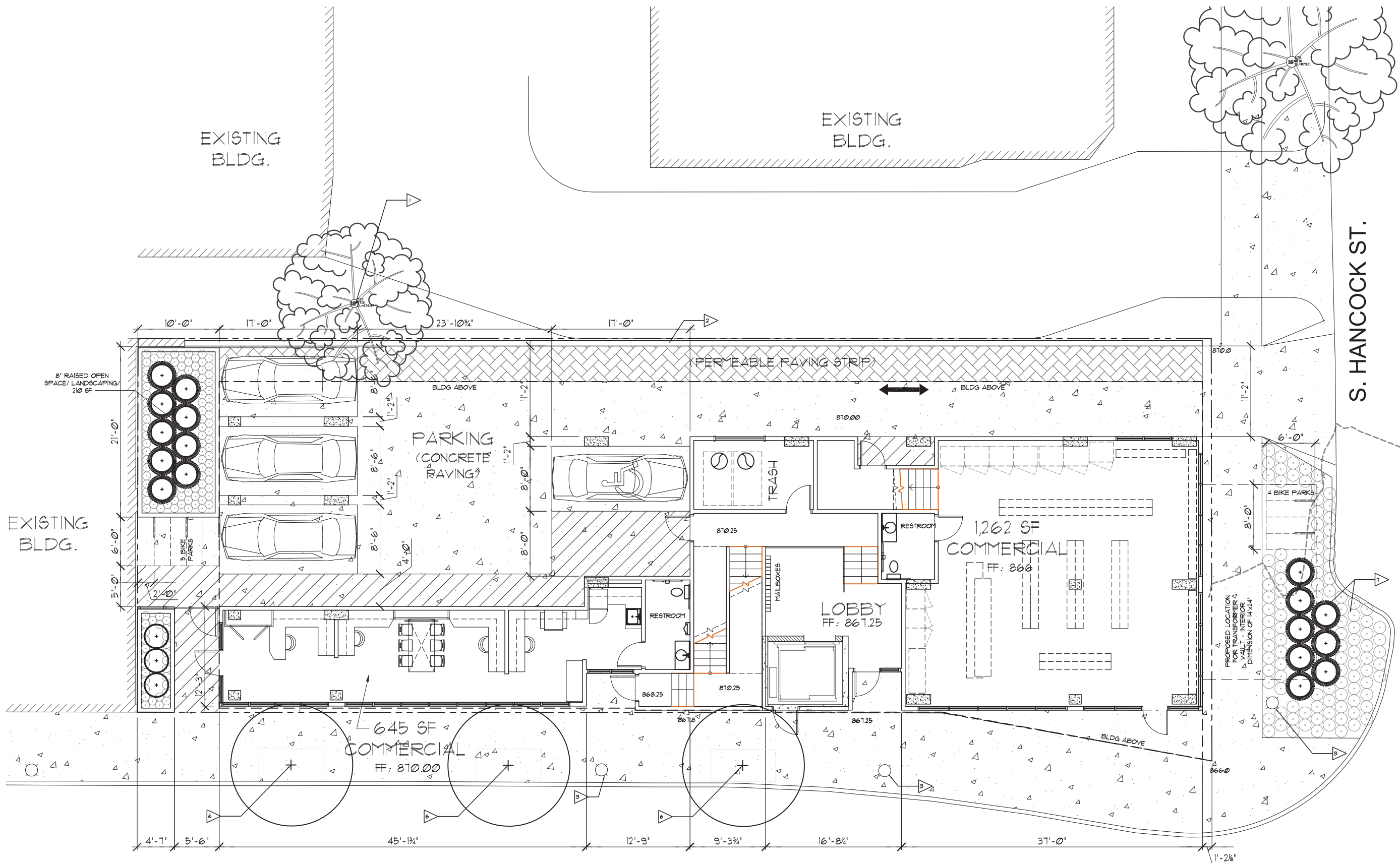
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BASEMENT  
FLOOR  
PLAN

A2.00



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- KEYED NOTES**
- EXISTING TREE
  - EXISTING RETAINING WALL
  - EXISTING STREET LAMP
  - NOT USED
  - NOT USED
  - NEW TREE - REFERENCE L100 FOR DETAILS
  - NEW PLANTINGS - REFERENCE L100 FOR DETAILS

**1 FIRST FLOOR PLAN / SITE PLAN**  
SCALE: 3/16" = 1'-0"

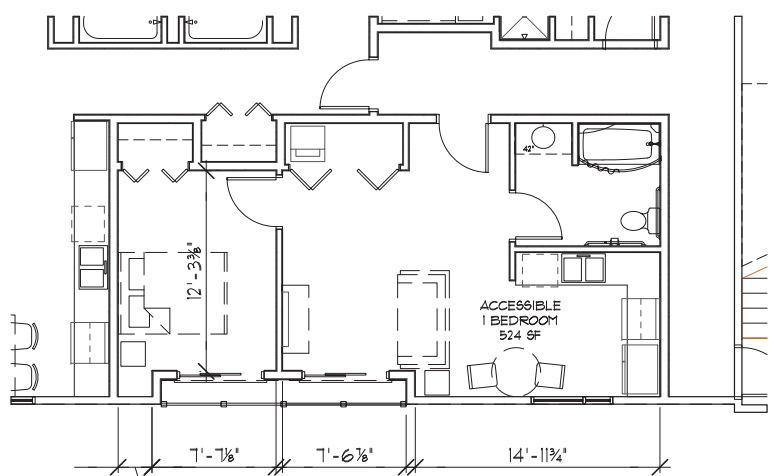
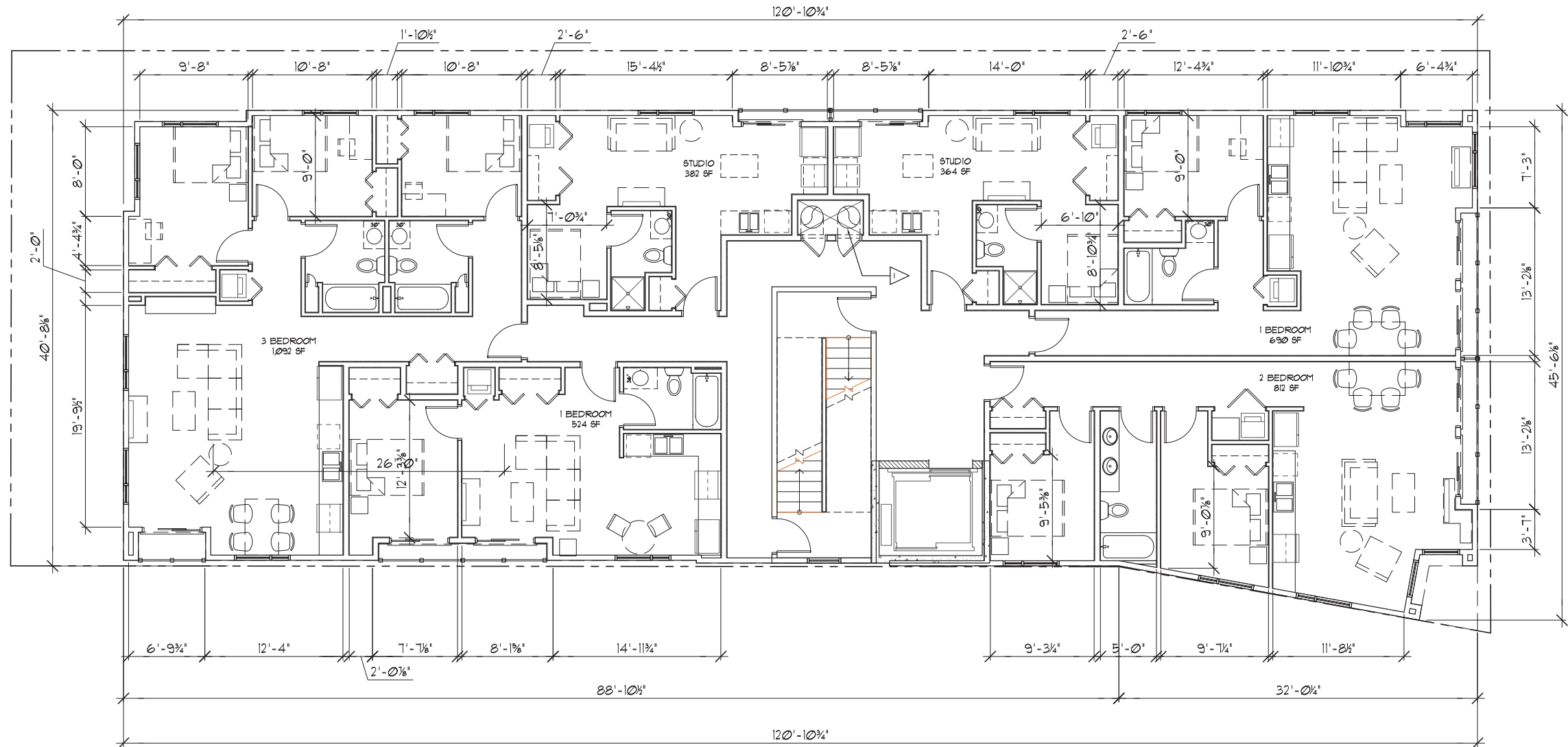
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FIRST FLOOR  
PLAN / SITE  
PLAN  
**A2.01**



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1 2nd THROUGH 6th FLOOR PLAN  
SCALE: 3/16" = 1'-0"

1 2nd FLOOR ACCESSIBLE PLAN  
SCALE: 3/16" = 1'-0"

KEYED NOTES  
1. TRASH CHUTE FROM 2ND TO 1ST FLOOR ONLY

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SCALE: **AS NOTED**

ROOF  
PLAN

A2.03

# KEYED NOTES

1. TREE - REFERENCE L1000 FOR DETAILS

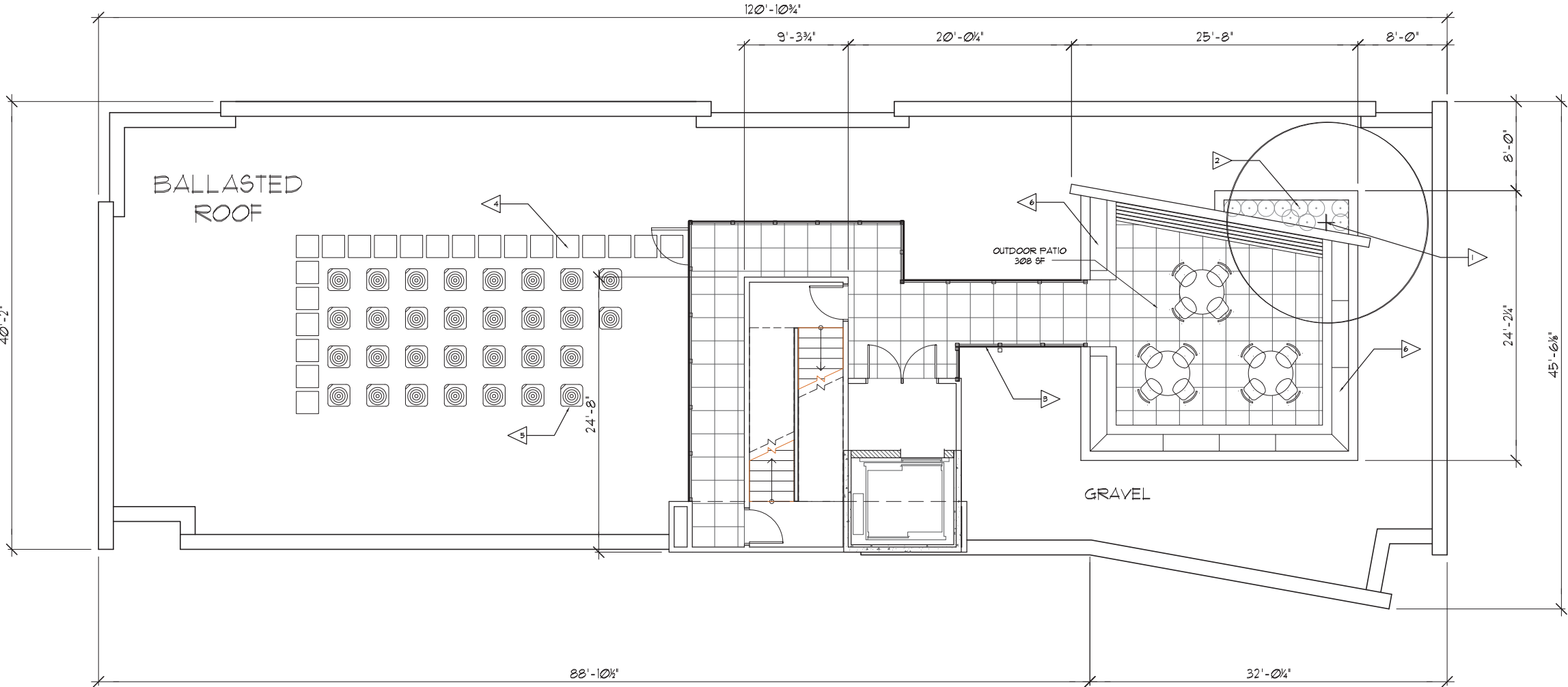
2. PLANTINGS - REFERENCE L1000 FOR DETAILS

3. GUARDRAIL / FENCING - TOP @ 42" AFF

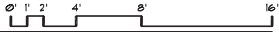
4. WALKWAY PAD

5. CONDENSER UNITS

6. RAISED PLANTER / GARDEN



1 ROOF PLAN  
SCALE: 3/16" = 1'-0"





| GRAPHIC                                                                             | KEY                                                                                      | EXTERIOR FINISH DESCRIPTION                                                                                |
|-------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
|  |  M-1  | MASONRY FIELD<br>MFR: ROCKCAST<br>SIZE: 4'x2'<br>COLOR: SLATE (SPLIT FACE)                                 |
|  |  M-1  | ALUMINUM PANEL<br>MFR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: STONE WHITE                                      |
|  |  M-2  | ALUMINUM PANEL<br>MFR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: REGAL BLUE                                       |
|  |  S-1  | RHP LAP SIDING<br>MFR: LP SMARTSIDE<br>SIZE: 3"<br>COLOR: SW644, 6797, 6510                                |
|  |  GL-1 | GLASS FIELD (CLEAR)<br>MFR: VIRACON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: VIRACON SOLARSREEN VE4-2M    |
|  |  GL-2 | GLASS FIELD (FROSTED)<br>MFR: VIRACON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: FROSTED VIRACON SOLARSREEN |

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DATE: \_\_\_\_\_

SCALE: AS NOTED

PLAN SOUTH  
ELEVATION

---

A6.01



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PLAN WEST ELEVATION  
SCALE: 1/8" = 1'-0"



PLAN EAST ELEVATION  
SCALE: 1/8" = 1'-0"

| GRAPHIC | KEY  | EXTERIOR FINISH DESCRIPTION                                                                                  |
|---------|------|--------------------------------------------------------------------------------------------------------------|
|         | ST-1 | MASONRY FIELD<br>MFOR: ROCKCAST<br>SIZE: 4"x24"<br>COLOR: SLATE (SPLIT FACE)                                 |
|         | M-1  | ALUMINUM PANEL<br>MFOR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: STONE WHITE                                       |
|         | M-2  | ALUMINUM PANEL<br>MFOR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: REGAL BLUE                                        |
|         | S-1  | SHIP LAP SIDING<br>MFOR: LP SMARTSIDE<br>SIZE: 3"<br>COLOR: SW6244, 6797, 6510                               |
|         | GL-1 | GLASS FIELD (CLEAR)<br>MFOR: VIRACON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: VIRACON SOLARSCREEN VE4-2M    |
|         | GL-2 | GLASS FIELD (FROSTED)<br>MFOR: VIRACON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: FROSTED VIRACON SOLARSCREEN |

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PLAN NORTH  
ELEVATION  
A6.03



PLAN NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

| GRAPHIC | KEY  | EXTERIOR FINISH DESCRIPTION                                                                                   |
|---------|------|---------------------------------------------------------------------------------------------------------------|
|         | ST-1 | MASONRY FIELD<br>MFR: ROCKCAST<br>SIZE: 4'x24"<br>COLOR: SLATE (SPLIT FACE)                                   |
|         | M-1  | ALUMINUM PANEL<br>MFR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: STONE WHITE                                         |
|         | M-2  | ALUMINUM PANEL<br>MFR: DRI DESIGN<br>SIZE: N.A.<br>COLOR: REGAL BLUE                                          |
|         | S-1  | SHIP LAP SIDING<br>MFR: LP SMARTSIDE<br>SIZE: 3"<br>COLOR: SW6244, 6797, 6510                                 |
|         | GL-1 | GLASS FIELD (CLEAR)<br>MFR: VIRAICON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: VIRAICON SOLARSCREEN VE4-2M    |
|         | GL-2 | GLASS FIELD (FROSTED)<br>MFR: VIRAICON<br>SIZE: REFER TO SPECIFICATIONS<br>TYPE: FROSTED VIRAICON SOLARSCREEN |



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MASSING  
MODEL  
RENDERINGS  
**R1.01**



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SCALE: AS NOTED

MASSING  
MODEL  
RENDERINGS  
**R1.02**



# EXISTING EXTERIOR PHOTOGRAPHS



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MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)



PROJECT: 330 E. WILSON  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: KOTHE REAL ESTATE PARTNERS  
115 E. MAIN STREET SUITE 210  
MADISON, WI 53703

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PROJECT: 201249  
DRAWN BY: KR  
DATE:  
SCALE: AS NOTED

SUPPLEMENTARY  
CONTEXT  
EXHIBITS  
EX.02

# EXISTING INTERIOR PHOTOGRAPHS



GARY BRINK & ASSOCIATES  
ARCHITECTS  
7780 ELMWOOD AVE. STE. 204  
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SUPPLEMENTARY  
CONTEXT  
EXHIBITS  
EX.03



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S. HANCOCK  
VIEW SHED  
STUDY  
EX.04



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STAIR/ELEVATOR CORE

EDGE OF BUILDING



PROJECT: 330 E. WILSON  
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MADISON, WI 53703  
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DATE:

SCALE: AS NOTED

S. HANCOCK  
VIEW SHED  
STUDY

EX.05



GARY BRINK & ASSOCIATES  
ARCHITECTS  
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608-829-3056 (FAX)



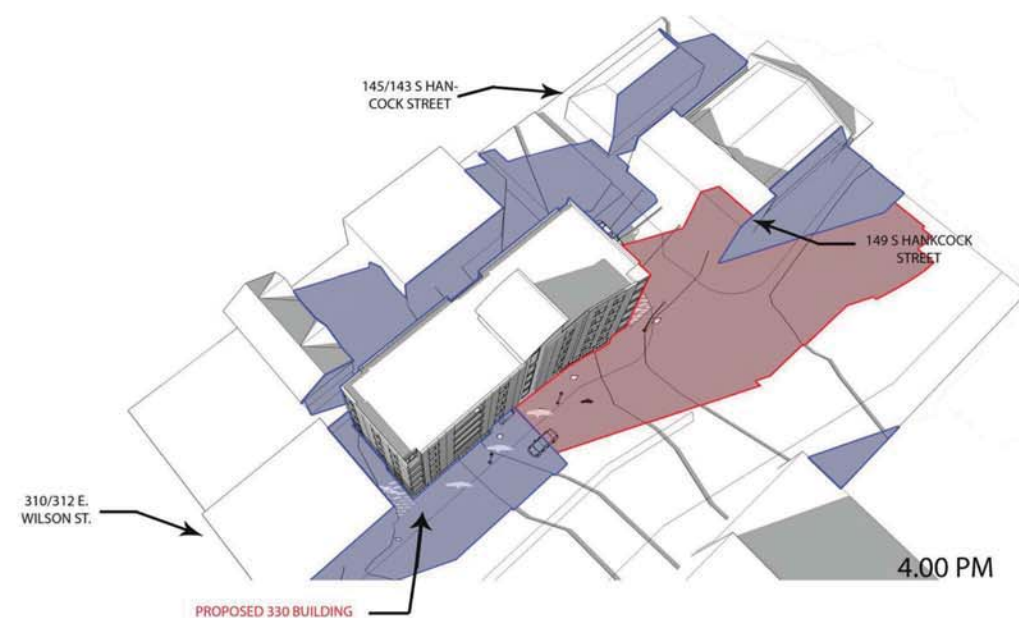
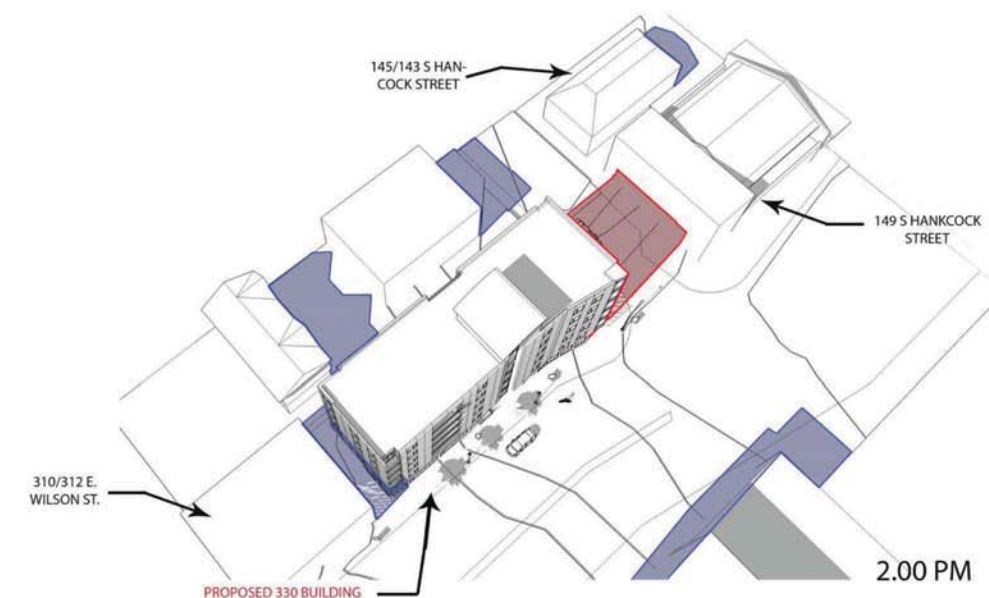
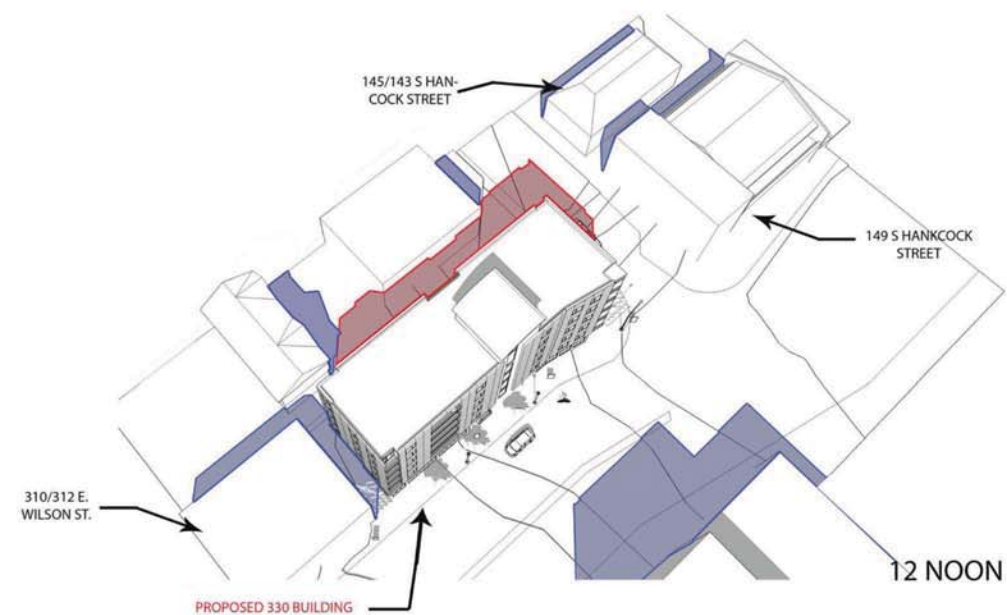
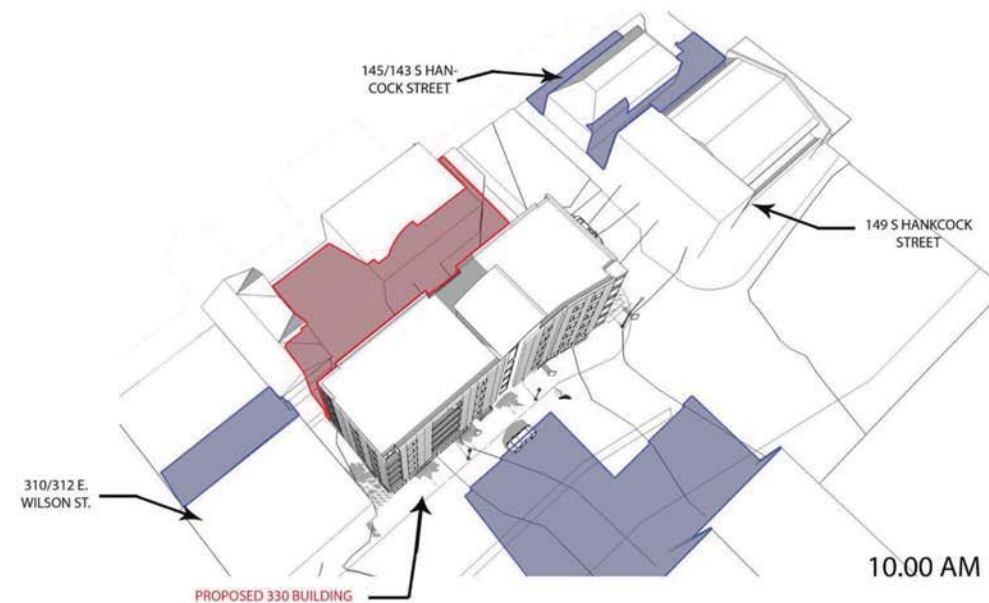
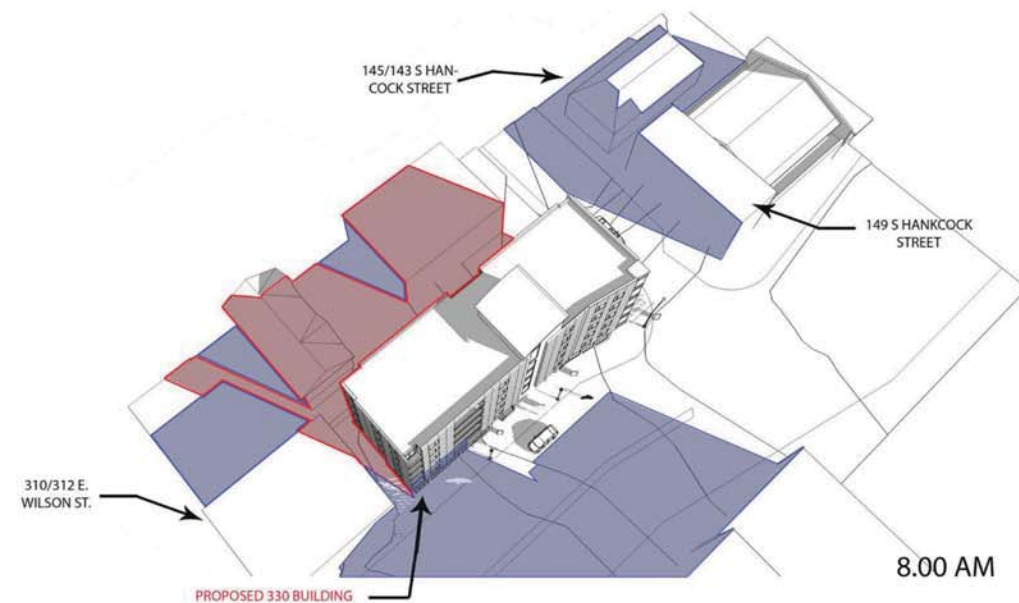
PROJECT: **330 E. WILSON**  
330 E. WILSON STREET  
MADISON, WI 53703  
CLIENT: **KOTHE REAL ESTATE PARTNERS**  
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MADISON, WI 53703

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SHADOWS TAKEN AT DESIGNATED TIMES ON THE EQUINOX (MARCH 20, SPET. 23)

PROJECT: 330 E. WILSON  
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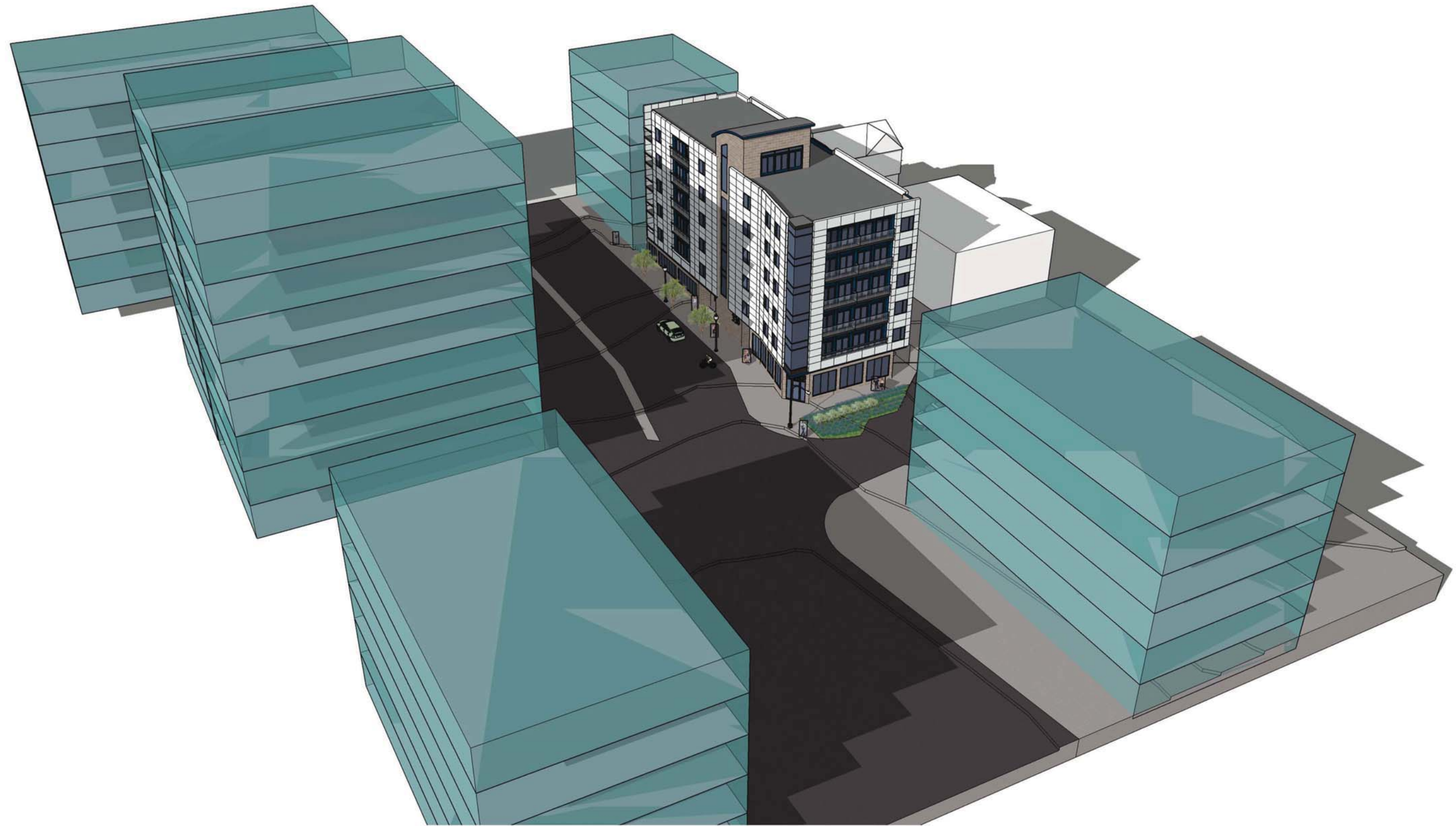
PROJECT: 201249  
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DATE:  
SCALE: AS NOTED

SITE MODEL  
SHADOW  
STUDY

EX.07



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FULLY  
DEVELOPED  
SITE CONTEXT  
**EX.08**