the GLEN - by Patrick Properties 3414 Monroe Street, Madison, WI 53711

Civil / Landscape

SAA Design Group

Plan Commission Submittal

General Sheet



Madison, WI 53711 ph 608-709-1250

Structural Engineering:

ECHELON STRUCTURES, LLC

1521 Sunset Ct. Middleton, WI 53562

Civil Engineering/Landscape Architecture:

SAA DESIGN GROUP, INC.

			Badger Road n, WI 53713		onroe Street n, WI 53711
		ph 60	8-255-0800	ph 608	3-709-1250
G001	Title Sheet	C200	Demolition & Erosion	A100	Overall Floor Plans -
V100	Existing Conditions Survey		Control Plan		Lower and Grade
		C300	Site Plan	A101	Overall Floor Plans -
		C400	Site Grading Plan		Second and Third
		C500	Site Utility Plan	A102	Overall Floor Plans -
		C600	Landscape Plan		Fourth and Roof
		C700	Details	A200	Building Elevations
		C701	Details	A201	Building Elevations and
		C702	Details		Window Layout
		C703	Details	11x17	Rendered Building Images
		C800	Fire Access Plan	E001	Exterior Photometrics - Grade and Second
				E002	Exterior Photometrics - Third and Fourth
				8.5x11	Light Fixture Cutsheets

Architectural

CāS₄ Architecture, LLC

The Glen by Patrick Properties

3414 Monroe Street Madison, WI 53711

Project #: 13002.00

Design Development NOT FOR CONSTRUCTION

No. Description 1 Plan Commission Submittal 3-4-2015

Drawn by: CaS4 Architecture Checked by: CaS4 Architecture

CONSTRUCTION Title Sheet

NOT FOR

PROJECT LOCATION MAP

PROJECT

CENERAL NOTE:
ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY UTILITY COMPANIES OR CITY ENGINEERS. THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS, EXCEPT WHERE SNOW AND OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. CONTRACTOR TO FIELD VERIFY.

- 1. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2. ELEVATIONS ARE REFERENCED TO THE CITY OF MADISON DATUM. SITE BENCHMARK IS THE TOP NUT OF HYDRANT LOCATED AT THE NORTH CORNER OF THE INTERSECTION OF MONROE STREET GLENWAY STREET. ELEVATION = 22.94'
- 3. TREES LOCATED ARE 12 INCHES OR LARGER.
- 4. FIELD WORK WAS COLLECTED ON OCTOBER 17,
- 5. WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 6. FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

*SITE SURVEYING PERFORMED BY WILLIAMSON SURVEYING & ASSOCIATES
104A WEST MAIN STREET, WAUNAKEE, W 53597
608-255-5705

ADDITIONAL UTILITY INFORMATION
WAS PROVIDED BY THE CITY OF MADISON

LEGEND

- O = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 1" PIPE
- FOUND 3/4" PIPE
- = FOUND 3/4" REBAR
- (##) = RECORDED AS = SET WOOD LATH ON PROPERTY LINE
- ★ = SPOT GRADE * = GROUND LIGHT
- + = STREET/PARKING SIGN
- = TRAFFIC LIGHTS
- Ø = STORM INLET / GRATE INLET = MANHOLE
- A = FIRE HYDRANT
- = POWERPOLE
- = WATER VALVE ■ UTILITY PEDESTAL
- = UTILITY BOX
- □ = UTILITY BASE VAULT

OCCO = ROCK WALL

= DECIDUOUS TREE (SIZE NOTED)



LINE LEGEND

---SAN --- = SANITARY SEWER

---ST--- = STORM SEWER

- W - WATER MAIN

--- T --- = UNDERGROUND TELEPHONE

--- E --- = UNDERGROUND ELECTRIC --- G --- = UNDERGROUND GAS MAIN

-X-X- = WOOD FENCE

Dial 01 or (800) 242-8511

www.DiggersHotline.com

DIGGERS HOTLINE TICKET # 20134015794 BEFORE CONSTRUCTION CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES.





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No. Description

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1 Plan Commission Submittal 3-4-2015

Date

Issued for:

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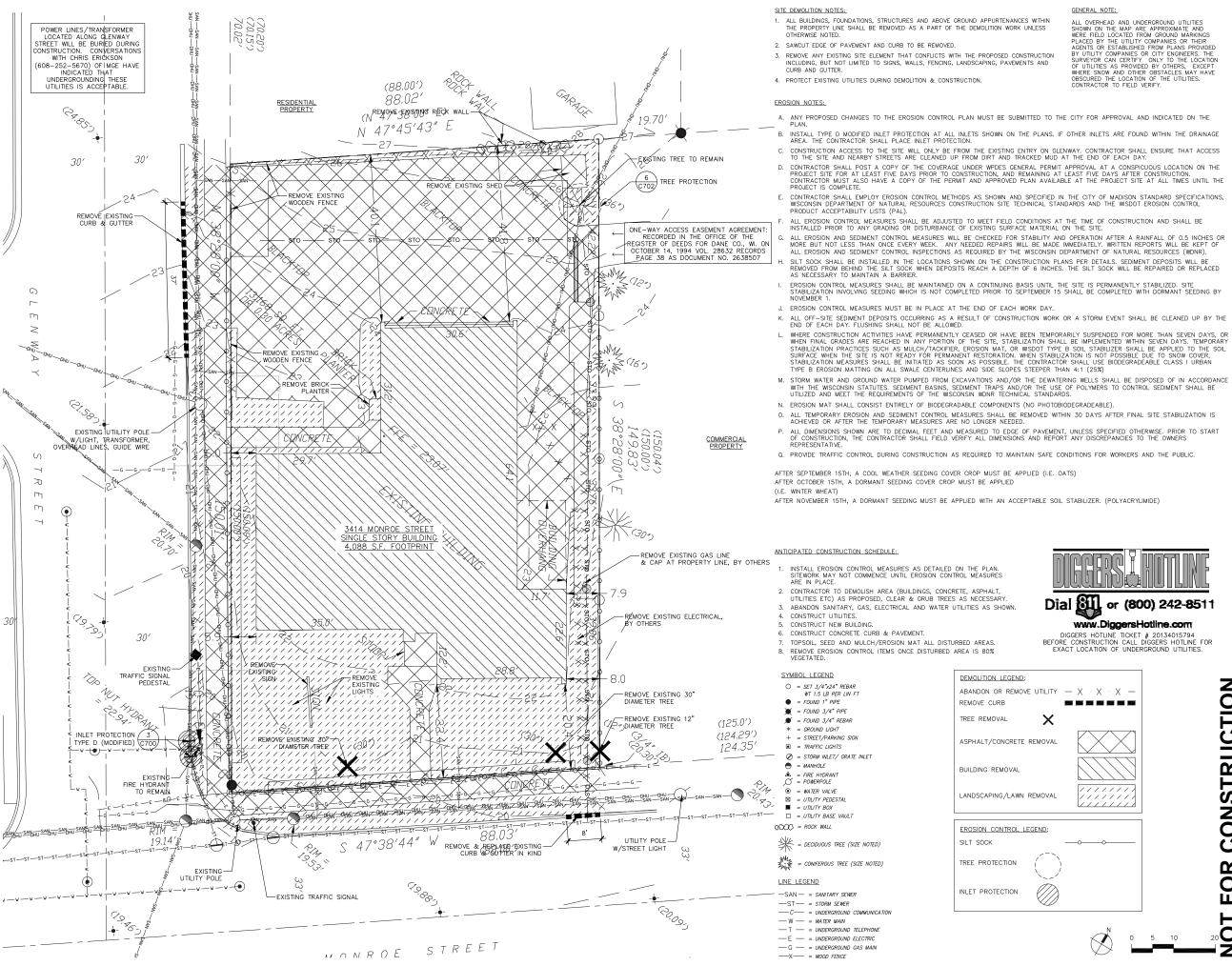
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EXISTING CONDITIONS SURVEY

V100



- 1. ALL BUILDINGS, FOUNDATIONS, STRUCTURES AND ABOVE GROUND APPURTENANCES WITHIN THE PROPERTY LINE SHALL BE REMOVED AS A PART OF THE DEMOLITION WORK UNLESS OTHERWISE NOTED.
- 2. SAWCUT EDGE OF PAVEMENT AND CURB TO BE REMOVED.
- REMOVE ANY EXISTING SITE ELEMENT THAT CONFLICTS WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SIGNS, WALLS, FENCING, LANDSCAPING, PAVEMENTS AND CURB AND GUTTER.
- 4. PROTECT EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION

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Design Development

DEMOLITION & EROSION CONTROL PLAN

C200

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DEMOLITION LEGEND

ASPHALT/CONCRETE REMOVAL

LANDSCAPING/LAWN REMOVAL

EROSION CONTROL LEGEND:

REMOVE CURB

TREE REMOVAL

BUILDING REMOVAL

SILT SOCK

TREE PROTECTION

INLET PROTECTION

ABANDON OR REMOVE UTILITY - X · X · X

X

architecture. Ilc ph 608-709-1250

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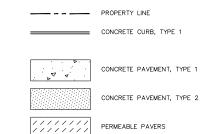
NOT FOR CONSTRUCTION

	No.	Description	Date
	1	Plan Commission Submittal	3-4-201
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NOTES:

- CURRENTLY OVERHEAD POWER LINE ARE LOCATED ALONG THE EAST SIDE OF GLENWAY STREET. CONVERSATIONS WITH CHRIS ERICKSON (608–252–5670) OF MCE HAVE INDICATED THAT RELOCATION (UNDERGROUNDING) OF THESE UTILITIES IS ACCEPTABLE. THIS IS THE LAST STRETCH OF OVERHEAD TO BE DIPPED ALONG THIS SEGMENT. THERE WILL BE NO OVERHEAD POWER LINES ALONG GLENWAY STREET.
- 2. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
- 5. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
- 6. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
- 7. ALL DRIVEWAYS , CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
- 8. BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.11.



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SITE PLAN

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Project Name: the Glen Project #: 13002.00 SAA Project #: 2573

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SPOT ELEVATION ABBREVIATIONS:

= PAVEMENT

Toll Free (800) 242-8511

Milwaukee Area (414) 259-1181 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com

GRADING GENERAL NOTES:

- ALL PROPOSED PAVING, CURBS, HARDSCAPE, AND PLANTING AREAS SHALL TRANSITION SMOOTHLY TO EXISTING ADJACENT FEATURES. ENSURE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.

- EXISTING ADJACENT FEATURES. ENSURE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.

 NO ORGANIC MATERIAL SHALL BE APPROVED FOR FILL UNDER ANY PAVEMENTS OR STRUCTURES. EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF—SITE.

 CONTOUR INTERVAL IS ONE (1) FOOT.

 SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER THE DETAILS.

 REPAIR PAVEMENT, SIDEWALK AND LAWN AREAS DAMAGED BY CONSTRUCTION ACTIVITIES IN KIND.

 CONTRACTOR SHALL MATCH IN TO EXISTING GRASSED SLOPES WITH A MAXIMUM SLOPE OF 4:1. UNLESS SHOWN OTHERWISE ON THE PLANS,

 EXCEPT WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% SLOPES ON ALL PAVED AREAS AND 2% CROSS SLOPES ON SIDEWALKS. THE CONTRACTOR SHALL CHECK ALL SLOPES PRIOR TO ACTUAL CONSTRUCTION AND IF THERE IS AN AREA WHERE SLOPES ARE GREATER THAN DESIGN, THE CONTRACTOR SHALL NOTIFY THE A/E SO THAT IT CAN BE RECTIFIED PRIOR TO INSTALLATION.

 ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
- PRIOR TO INSTALLATION.

 8. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.

 9. CONTRACTOR SHALL INSTALL EXPANSION JOINTS OR ASPHALTIC SEALANT BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS.

 10. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.

 11. CAD FILE TO BE PROVIDED UPON REQUEST.

architecture, llc

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SITE GRADING PLAN

C400

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Hearing Impaired TDD (800) 542-2289

UTILITY NOTES:

FLBOW

2 C703 RIM ELEV 23.50

6" N 18.38 12" S 17.88

68 LF - 12" DIA STM

YD #2 C703 RIM ELEV 21.00

56 LF - 12" DIA STM

RIM ELEV TO MATCH PAVEMENT

E&W MATCH EXISTING PIPE

CONNECT 12" DIA STM SWR TO EXISTING STORM SEWER WITH A STORM MANHOLE PER CITY OF MADISON STANDARD

DETAIL DRAWING 5.7.5

TO PROPOSED STORM

DEPTH PRIOR

CONTRACTOR TO VERIFY

12" N 16 97

a

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

= PAVEMENT

THE CONTRACTOR SHALL VERIFY THE INVERTS OF EXISTING STRUCTURES PRIOR TO EXCAVATION AND SHALL NOTIFY THE ENGINEER IF ELEVATIONS ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN ON THE PLAN.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

-THE CURRENT CITY OF MADISON'S STANDARD SPECIFICATIONS.

-"STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST

-STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WISDOT) LATEST EDITION

INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6"

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

WATER DISTRIBUTION SYSTEM:

-DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED

-POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

-ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

-6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52

-2" & SMALLER - HIGH DENSITY POLYETHYLENE (HDPE) AWWA C-901, SDR 11

-WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

-VALVES & VALVE BOXES SHALL BE PER CITY OF MADISON STANDARD SPECIFICATIONS

SANITARY SEWER

-8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034 SDR-35 (BURY DEPTH 16' OR LESS) -8" & 12"- POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR-26 (BURY DEPTH 22' TO 16')

-WHERE LARGER 10" SANITARY SEWER IS REPLACING EXISTING 6" SEWER, CONTRACTOR SHALL REMOVE THE BENCH OF THE EXISTING

MANHOLE AND OBTAIN THE LOWEST INVERT ELEVATIONS POSSIBLE FOR THE ENTIRE RUN

STORM SEWER:

-STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS

12" DIA - CLASS V RCP 15" DIA - CLASS IV RCP

18+" DIA - CLASS III RCP

-STORM SEWER SPECIFIED AS HOPE SHALL BE CORRUGATED HOPE, SMOOTH INTERIOR

-STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION, JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM D-471. TO ASTM F-477.

-ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

-AT EACH POINT WHERE A STORM SEWER "DAYLIGHTS", A MARKER POST EQUIVALENT TO THOSE SPECIFIED BY WISDOT, SHALL BE INSTALLED AT THE END TO MARK THE LOCATION.

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	Booonpaon	Date
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SITE UTILITY **PLAN**

C500

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SAWCUT & REMOVE-EXISTING PAVEMENT & CURB FOR PROPOSED STORM SEWER CONNECTION REPLACE PAVEMENT & CURB PER CITY OF MADISON

STANDARDS (30 SF)

92 LF - 6" DIA DRAIN TILE FOR PERMEABLE -

PAVEMENT DRAINAGE

1 1 1

RESIDENTI/ LOBBY 103

COMM MECH 105

SHOWER ROOM 106

CORRIDOR 104

C703 EXPOSE AND VERIFY SIZE & CONDITION OF EXISTING SANITARY SEWER SERVICE TO DETERMINE ADEQUACY FOR SERVICE OF PROPOSED BUILDING

MINIMUM 6" DIA SERVICE REQUIRED

WATER LINE TO SUPPLY DOG WATERING SPIGOT FROM BUILDING METER)

-FINAL LOCATION OF ELECTRIC SERVICE TO BE DETERMINED BY WE ENERGIES

DUTY TRENCH DRAIN

INSTALL TO MATCH
SLOPE OF CONCRETE DRIVE

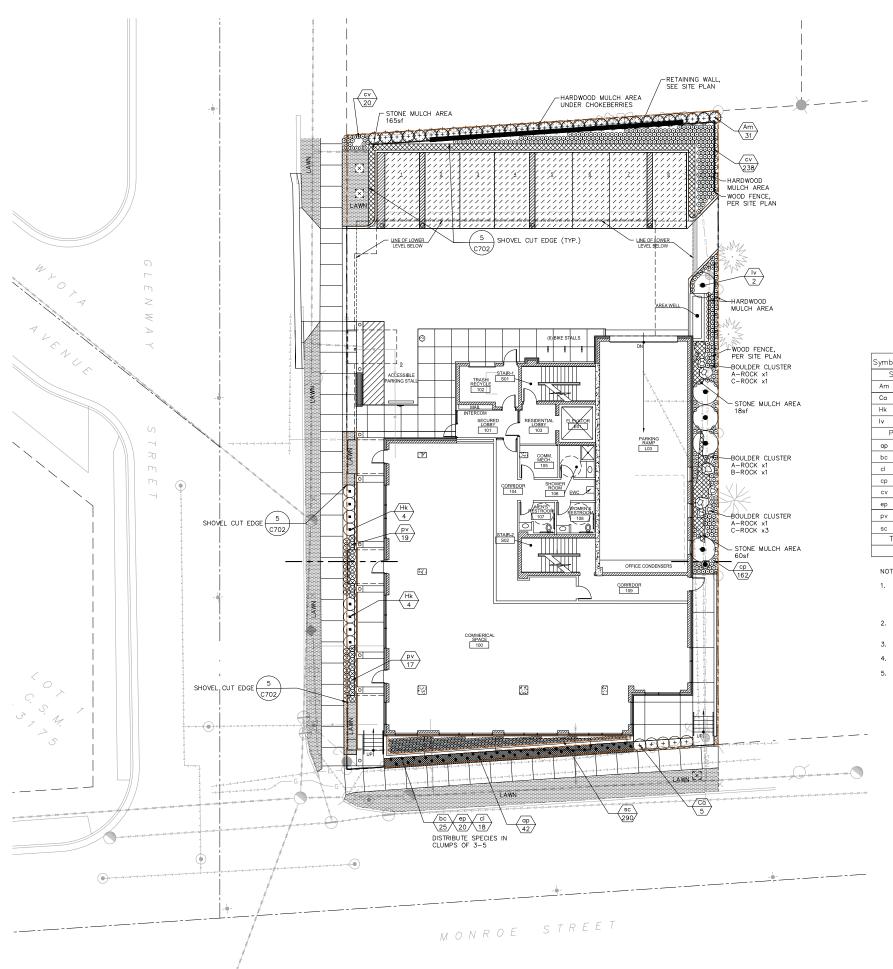
3 LF - 4" DIA-PVC TO CONNECT TRENCH DRAIN TO YD #3

109

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FINAL LOCATION OF-GAS SERVICE TO BE DETERMINED BY WE ENERGIES

EXPOSE AND VERIFY SIZE & (703)
CONDITION OF EXISTING WATER SERVICE
FOR SERVICE OF PROPOSED BUILDING
MINIMUM 6" DIA SERVICE REQUIRED



LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:

DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT) DEVELOPED AREA POINTS REQUIRED (8,321/300)x5

DEVELOPMENT FRONTAGE LANDSCAPING: NOT REQUIRED: BUILDING ABUTS SIDEWALK

INTERIOR PARKING LOT LANDSCAPING:

NOT REQUIRED: ALL PARKING IS COVERED

FOUNDATION PLANTING LANDSCAPING:

NOT REQUIRED: BUILDING ABUTS HARDSCAPE

TOTAL LANDSCAPE POINTS REQUIRED TOTAL LANDSCAPE POINTS PROVIDED

SITE STATISTICS SITE AREA

13,168sf

3,594sf 12,452sf 0.94 EXISTING PERVIOUS SURFACES
EXISTING IMPERVIOUS SURFACE
EXISTING ISR

PROPOSED PERVIOUS SURFACES: GREEN ROOF PERVIOUS PAVEMENT LANDSCAPE TOTAL 2,170sf 1,317sf 1,520sf 5,007sf 8,260sf 0.63 PROPOSED IMPERVIOUS SURFACES
PROPOSED ISR

USABLE OPEN SPACE NOT REQUIRED

Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
SHR	UB					
Am	Aronia melanocarpa	Black Chokeberry	5 Gal.	Cont.	31	3'
Ca	Ceoanthus americanus	New Jersey Tea	5 Gal.	Cont.	5	3'
Hk	Hypericum kalmianum	St. John's Wort	5 Gal.	Cont.	8	3'
lv	llex verticillata	Winterberry	5 Gal.	Cont.	5	6,
PER	ENNIAL					
ар	Anemone patens	Pasque flower	2"	Plug	42	As Shown
bc	Bouteloua curtipendula	Side Oats Grama	Quart	Cont.	25	12"
cl	Coreopsis lanceolata	Lance-leaf Coreopsis	Quart	Cont.	18	12"
ср	Carex pensylvanica	Pennsylvania Sedge	2"	Plug	162	12"
cv	Carex vulpinoidea	Fox Sedge	2"	Plug	258	12"
ер	Echinacea purpurea	Purple coneflower	Quart	Cont.	20	12"
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	36	18"
sc	Sisyrinchium campestre	Blue-eyed grass	Quart	Cont.	290	8"
TUR	F					
	WI DOT Seed Mix No. 40		lb	Seed	4.5	

NOTES:

1. BOULDER CLUSTER SCHEDULE

JOULDER CLUSIER SCHEUDUL A-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 36"x36"x36" (WxHxL.) B-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 18"x18"x30" (WxHxL.) C-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 24"x30"x24" (WxHxL.)

- 2. STONE MULCH AREA SHALL BE COMPRISED OF EAU CLAIRE RIVER STONE IN TWO DIFFERENT SIZES, REFER TO THE DETAIL FOR LAYING PATTERN.
- 3. COMPOSED LEAF MULCH SHALL BE USED IN ALL BIOSWALE AREAS.
- 4. DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED IN ALL AREAS OTHER THAN THE BIOSWALE AREA.
- 5. LAWN MIX SHALL BE IN ACCORDANCE WITH WI DOT MIX NO. 40; APPLIED AT 4LB/1,000 SF.

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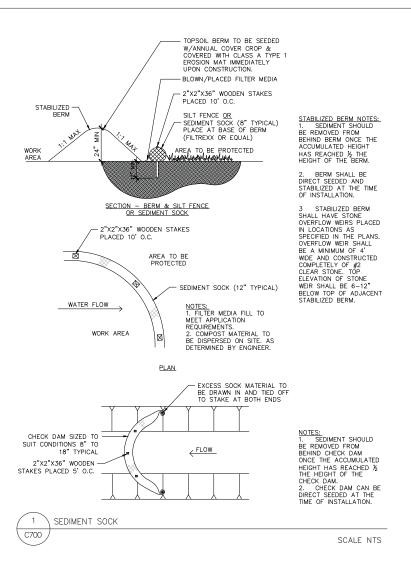
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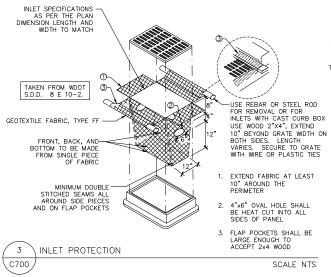
C LANDSCAPE **PLAN** <u>0</u>

C600

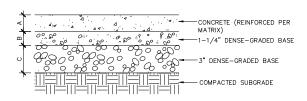
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	PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)	SUBBASE THICKNESS (C)
TYPE 1	CONCR. PAVEMENT-PEDESTRIAN LOAD	5"	6"	COMPACTED
TYPE 2	CONCR. PAVEMENT-VEHICULAR LOAD	6" FIBER REINFORCED	4"	8"



NOTES:

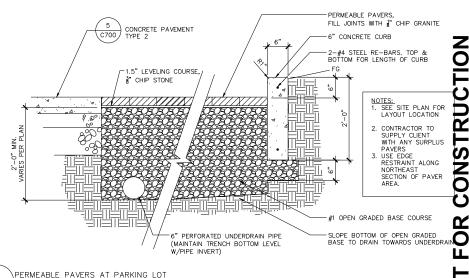
1. MEDIUM BROOM FINISH,
PERPENDICULAR TO DIRECTION
OF TRAVEL, UNLESS OTHERWISE
STATED

- PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM OR AS NOTED ON PLANS
- STANDARD COLOR CONCRETE.
- VEHICULAR LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
- VEHICULAR LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 ½" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.

CONCRETE PAVEMENT C700

SCALE 1"=1'-0"

PLAN VIEW AXONOMETRIC BIKE RACK, SURFACE MOUNT PER MANUFACTURER RECOMMENDATIONS CONCRETE PAVEMENT, TYPE 1 4 A 3'-0" VARIES - SEE PLAN



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DETAILS

C700

EROSION CONTROL MAT C700

VARIES

OVERLAP EDGES 4"

AND STAPLE 12" O.C.

UNROLL MATTING DOWN—SLOPE FROM THE TOP STAPLE DOWN CENTER OF ALL ROWS 3' O.C.

BURY UPHILL END IN -TRENCH 6" DEEP AND STAPLE 12" O.C.

NOTES

SCALE NTS

CLASS I URBAN TYPE A EROSION CONTROL BLANKET ON SLOPES

STAPLE CLASS I BLANKET AT 20 FT. INTERVALS; AND AT ALL OVERLAP JOINTS 24" O.C.

PREPARE SOIL BEFORE INSTALLING BLANKET INCLUDING ALL SOIL PREPARATION AND SEEDING AS SPECIFIED
 ANCHOR BLANKET IN 6" TRENCH PRIOR TO ROLLING DOWN SLOPE
 THE BOTTOM SECTION OF BLANKET SHOULD BE ON THE DOWNSTREAM SIDE OF ALL OVERLAPS

C700

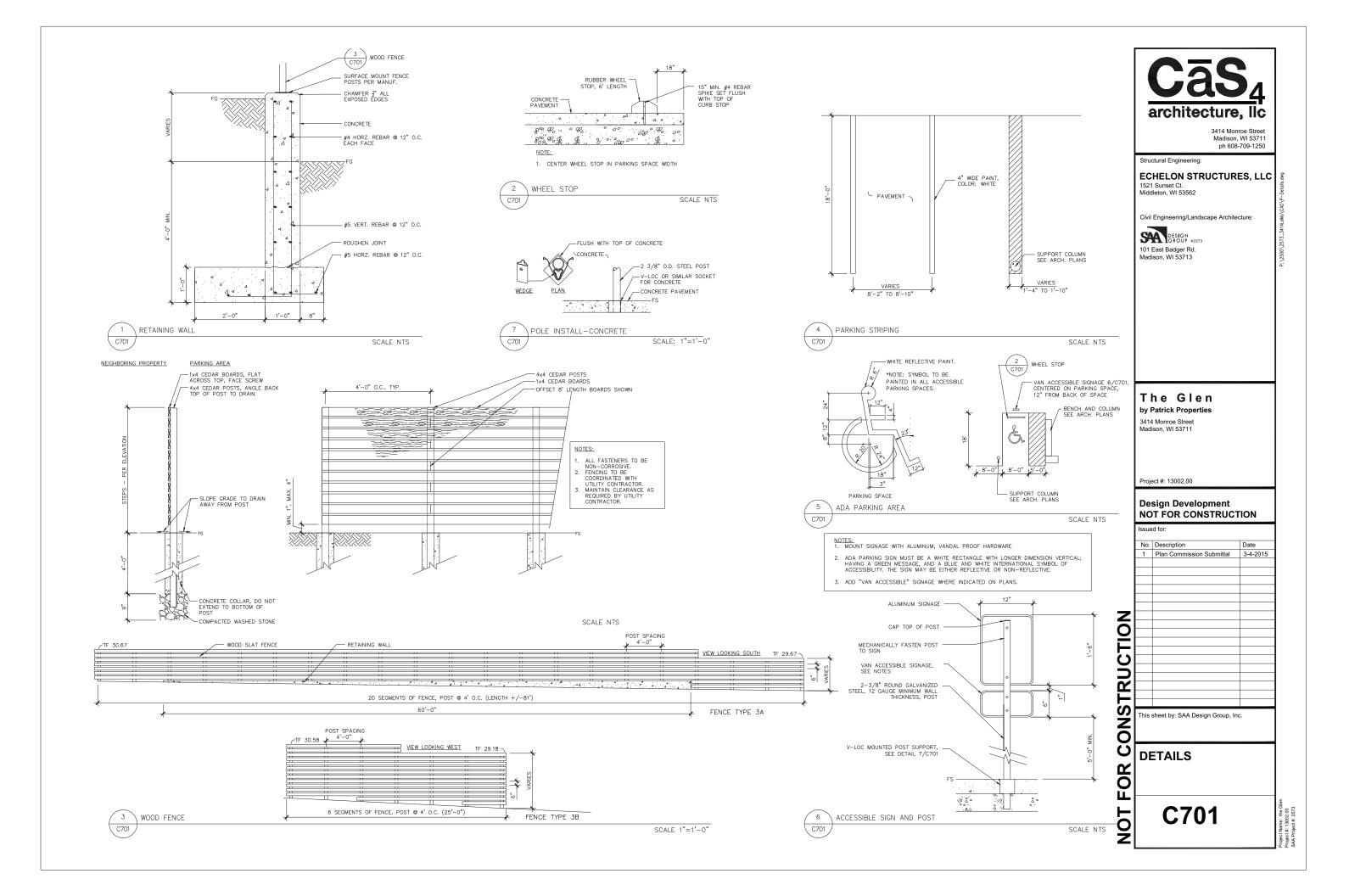
BIKE PARKING

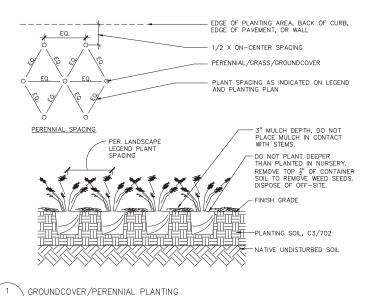
SCALE 1"=1'-0"

C700

SCALE 1"=1'-0

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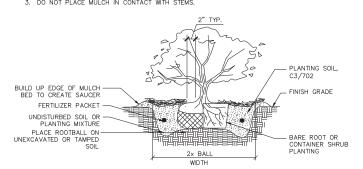
NOTES:

C702

- PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

 IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOTBALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN HALF THE ROOTBALL DISTANCE. REMOVE TWINE, ROPE, AND REMOVE TOP 1/3 OF BURLAP FROM ROOTBALL.

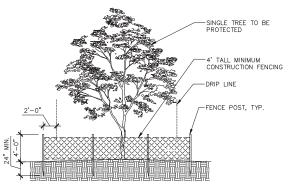
 3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.



SHRUB PLANTING DETAIL C702

SCALE 1"=1'-0"

SCALE NTS



C702

NOTES:
1. CONSTRUCTION FENCING AT LEAST 4' HIGH AND SUPPORTED AT A MAXIMUM 10' INTERVALS BY APPROVED
METHODS SUFFICIENT ENOUGH
TO KEEP FENCE UPRIGHT AND
IN PLACE. FENCING SHALL
BE OF A HIGHLY VISIBLE

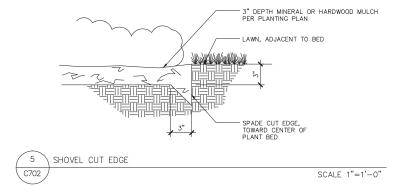
- BE OF A HIGHLY VISIBLE MATERIAL.

 2. NO ENTRY, NO STORAGE AND NO TRENCHING IN TREE PROTECTION ZONE DURING ENTRE SITE CONSTRUCTION.

 3. FENCING TO BE LOCATED
- 2'-0" MIN. BEYOND DRIP LINE OF TREE WHERE POSSIBLE. OF IREE WHERE POSSIBLE.

 ALL FENCING SHALL BE IN
 PLACE PRIOR TO
 COMMENCEMENT OF ANY SITE
 WORK AND REMAIN IN PLACE
 UNTIL ALL EXTERIOR WORK
 HAS BEEN COMPLETED.

TREE PROTECTION DETAIL SCALE 1"=1'-0"



- 1. ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
- CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 75% ASTM C33 SAND AND 25% CERTIFIED COMPOST (S-100). FILL BIO-SWALE AREA 2-3" ABOVE SURROUNDING FINISH GRADE TO ACCOMMODATE SETTLING OF BIO-SWALE MATERIAL.
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH
 IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
- FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
- ANNUAL RYE GRASS SHALL BE SEEDED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
- RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
- 8. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
- OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

BIO-SWALE AREAS SHALL BE HAND OR BACK HOE LAID. EQUIPMENT SHALL NOT BE DRIVEN ON SOIL DURING OR AFTER INSTALLATION.

INFILITRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE INFLITRATION DEVCES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFLITRATION AREAS (e.g. RAIN GARDENS, INFLITRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VECETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFLITRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

Structural Engineering

1521 Sunset Ct. Middleton, WI 53562

DESIGN GROUP #2573

101 East Badger Rd

Madison, WI 53713

architecture, llc

ECHELON STRUCTURES, LLC

Civil Engineering/Landscape Architecture:

3414 Monroe Street Madison, WI 53711

ph 608-709-1250

3414 Monroe Street Madison WI 53711

The Glen by Patrick Properties

Design Development NOT FOR CONSTRUCTION

	No.	Description	Date
	1	Plan Commission Submittal	3-4-201
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This sheet by: SAA Design Group, Inc

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CONTRACTOR TO INSTALL 6" DIA.
"DRAINAGE COLUMNS" AT THE END OF THE
DRAIN TILE AND SPACE EVERY 50 FEET.
DRAINAGE COLUMNS SHALL CONSIST OF 6"
VERTICAL PERFORATED DRAIN TILE FILLED WITH #1 OPEN GRADED STONE (PEA GRAVEL) DO NOT CUT INTO HORIZONTAL DRAIN TILE MULCH, 3" MAX DEPTH - 24" THICK ENGINEERED SOIL LAYER -8-12" THICK PEA GRAVEL - TYPE B FILTER FABRIC 36" MIN DEPTH GRAVEL OR SAND BED OVER-EXCAVATE TO EXISTING SANDY LAYER BOTTOM WIDTH VARIES SEE PLAN BIOSWALE

NOTE: HOLD PLANTING SOIL 1" BELOW FINISH SURFACE ELEVATIONS, TYPICAL 3" SHREDDED HARDWOOD MULCH. -PLANTS PER LANDSCAPE PLAN UNDISTURBED SOIL

S1 LAYER: ENRICHED SOIL, A LAYER OF SAND TO LOAMY SAND AMENDED WITH ORGANIC MATTER. 1. NO COARSE FRAGMENTS OVER 2.5cm 2. AT LEAST 4%, ORGANIC MATTER, NO MORE THAN 8% BY DRY WEIGHT. THE pH RANGE SHALL BE 5.5-6.5

S2 LAYER: HORTICULTURAL SUBSOIL, A LAYER OF SAND TO LOAMY SAND. 1. NO COARSE FRAGMENTS OVER 2.5cm 2. AT LEAST 1% ORGANIC MATTER, NO MORE THAN 4% BY DRY WEIGHT. THE PH RANGE SHALL BE 5.5–6.5

\$3 LAYER: DRAINAGE LAYER, A LAYER OF COARSE SAND.

1. ph BETWEEN 4.5—7.0

2. COEFFICIENT OF UNIFORMITY (Cu) = 3.5 OR LARGER

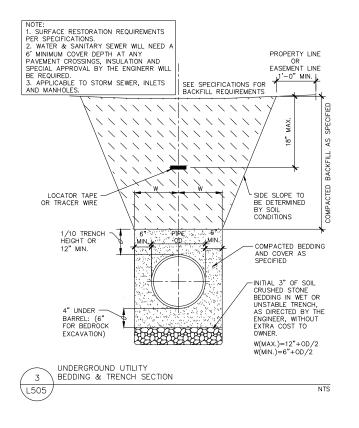
PLANTING SOIL

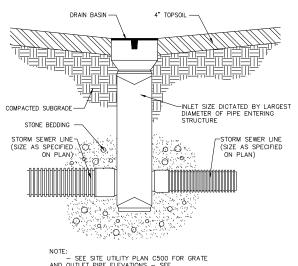
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SCALE NTS

SCALE NTS

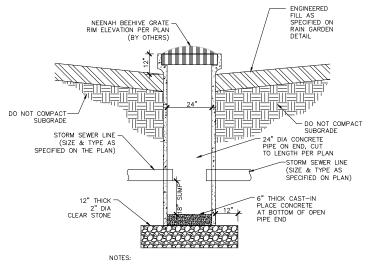




NOTE:

— SEE SITE UTILITY PLAN C500 FOR GRATE
AND OUTLET PIPE ELEVATIONS — SEE
MANUFACTURER'S SPECIFICATIONS FOR PROPER
BASIN INSTALLATION

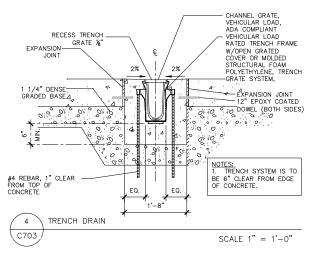
2 PVC FIELD INLET SCALE NTS C703



- SEE STORM SEWER PLANS (SHEETS LP210-211, LP220-222 & LP231-232) FOR GRATE AND OUTLET PIPE ELEVATIONS

- SEE DETAIL 10/LP-620 FOR BIO-SWALE CONSTRUCTION

3 BIO-SWALE OUTLET STRUCTURE C703 SCALE NTS



architecture, Ilc

3414 Monroe Street Madison, WI 53711 ph 608-709-1250

Structural Engineering

ECHELON STRUCTURES, LLC

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Civil Engineering/Landscape Architecture:

DESIGN GROUP #2573 101 East Badger Rd. Madison, WI 53713

The Glen by Patrick Properties

3414 Monroe Street Madison, WI 53711

Project #: 13002.00

sued for:

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No. Description Date 1 Plan Commission Submittal 3-4-2015 CONSTRUCTION This sheet by: SAA Design Group, Inc.

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NOTES:

- CURRENTLY OVERHEAD POWER LINE ARE LOCATED ALONG THE EAST SIDE OF GLENWAY STREET. CONVERSATIONS WITH CHRIS ERICKSON (608–252–5670) OF MCE HAVE INDICATED THAT RELOCATION (UNDERGROUNDING) OF THESE UTILITIES IS ACCEPTABLE. THIS IS THE LAST STRETCH OF OVERHEAD TO BE DIPPED ALONG THIS SEGMENT. THERE WILL BE NO OVERHEAD POWER LINES ALONG GLENWAY STREET.
- 2. ALL VEGETATION BETWEEN THE BUILDING AND FIRE LANE IS BELOW 36" IN HEIGHT.
- REFER TO THE SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
- 4. THE FIRE LANE/APPARATUS LANE IS SLOPED AT 5% (GLENWAY STREET SLOPE)

DISTANCE TO NEAREST HYDRANTS HOSE LAY DISTANCE PROPERTY LINE FIRE ACCESS LANE (20' WIDTH-GLENWAY STREET)

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VEHICULAR LOAD CONCRETE PAVEMENT

FIRE APPARTUS LANE (26' WIDTH)

VEHICULAR LOAD PERMEABLE TERRACE PAVERS



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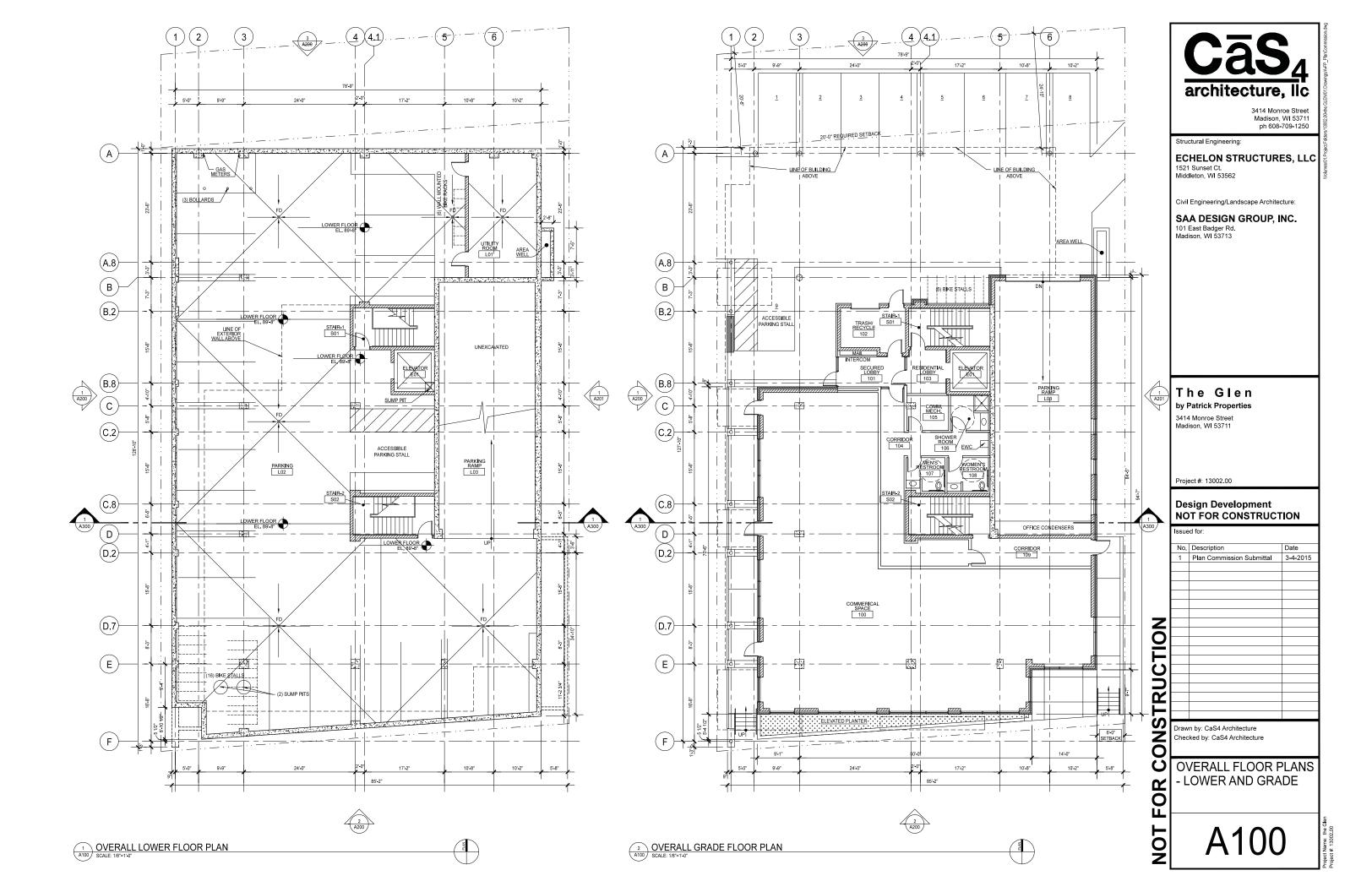
FIRE ACCESS PLAN

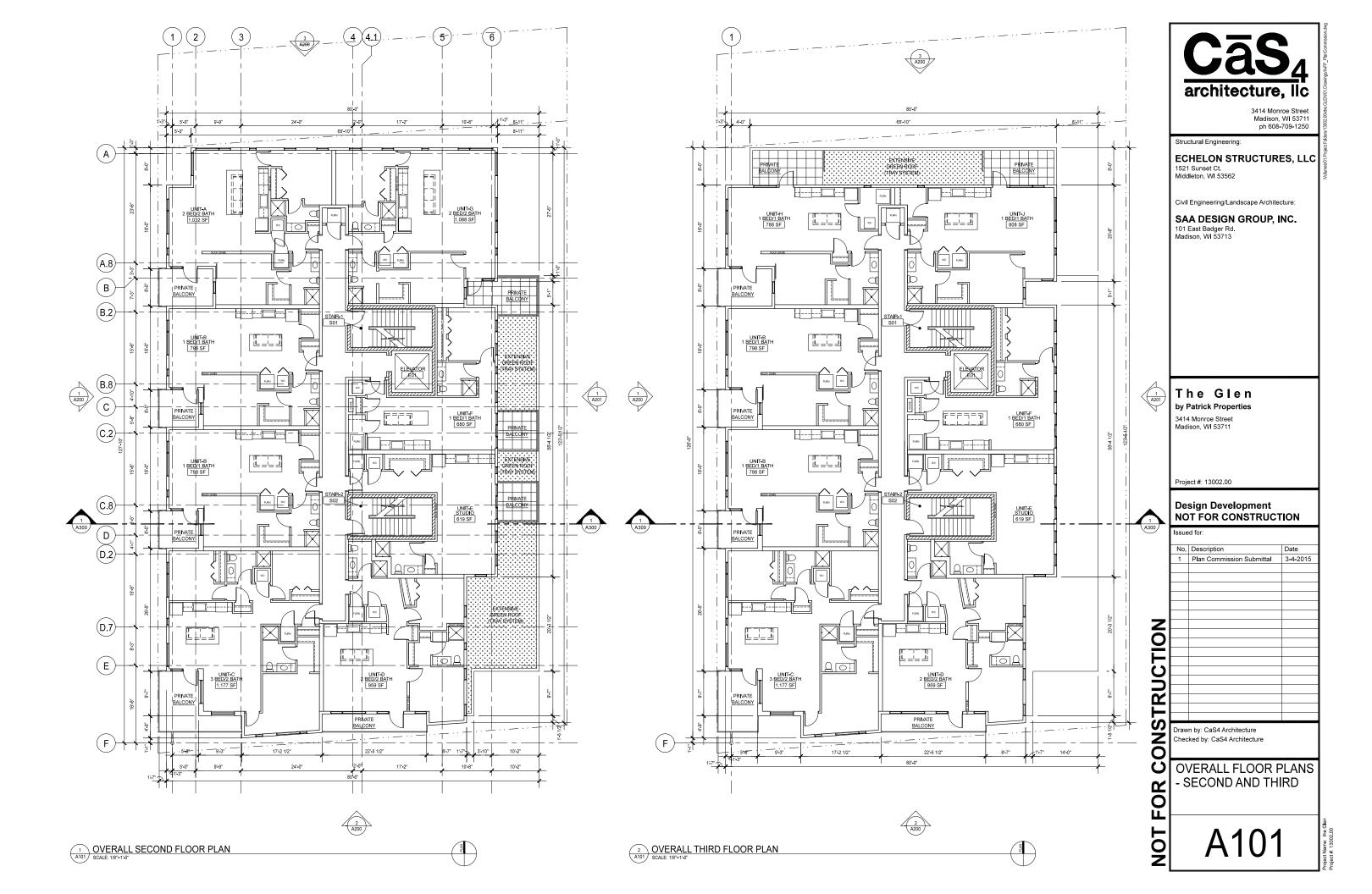
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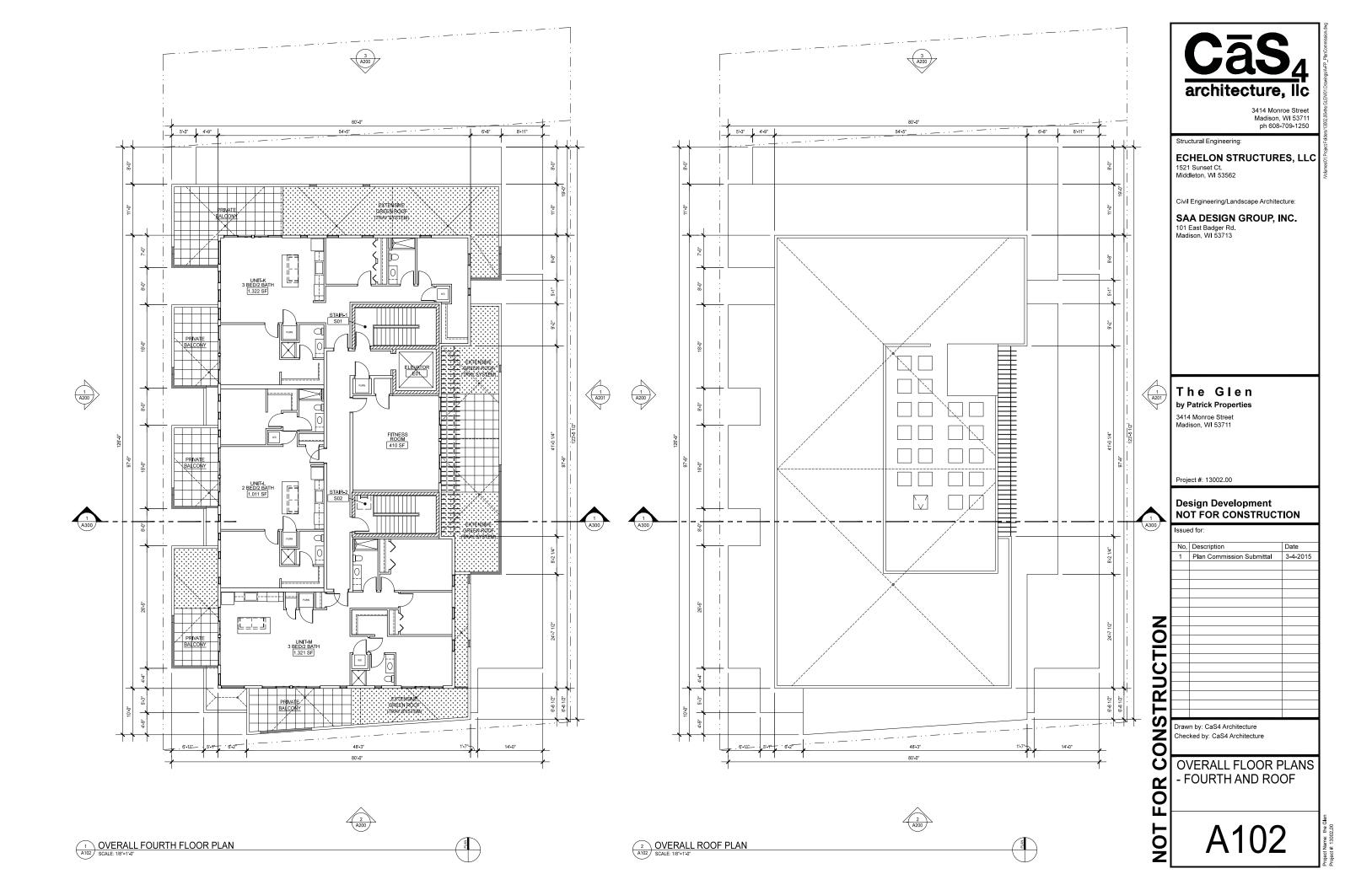
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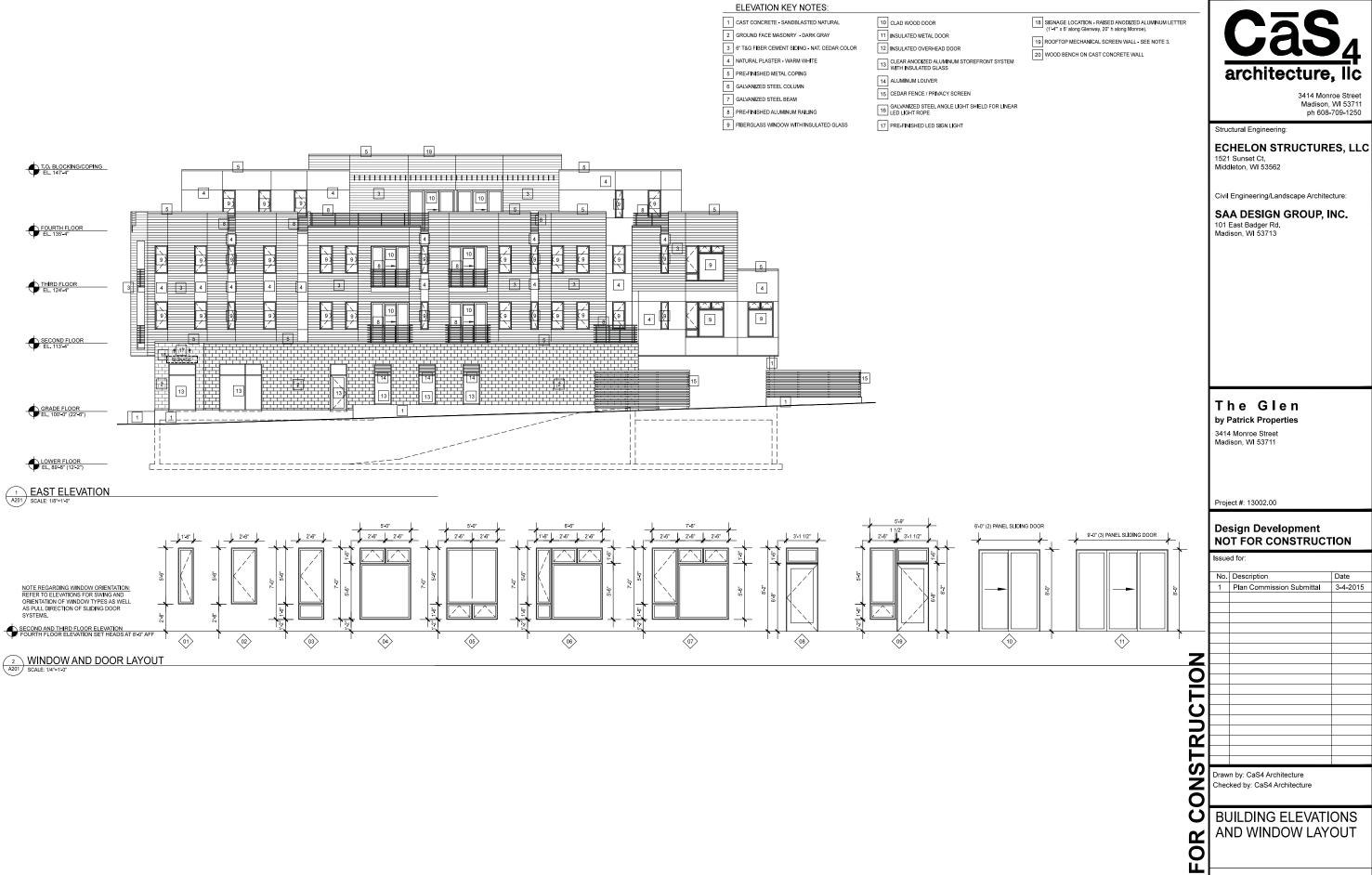








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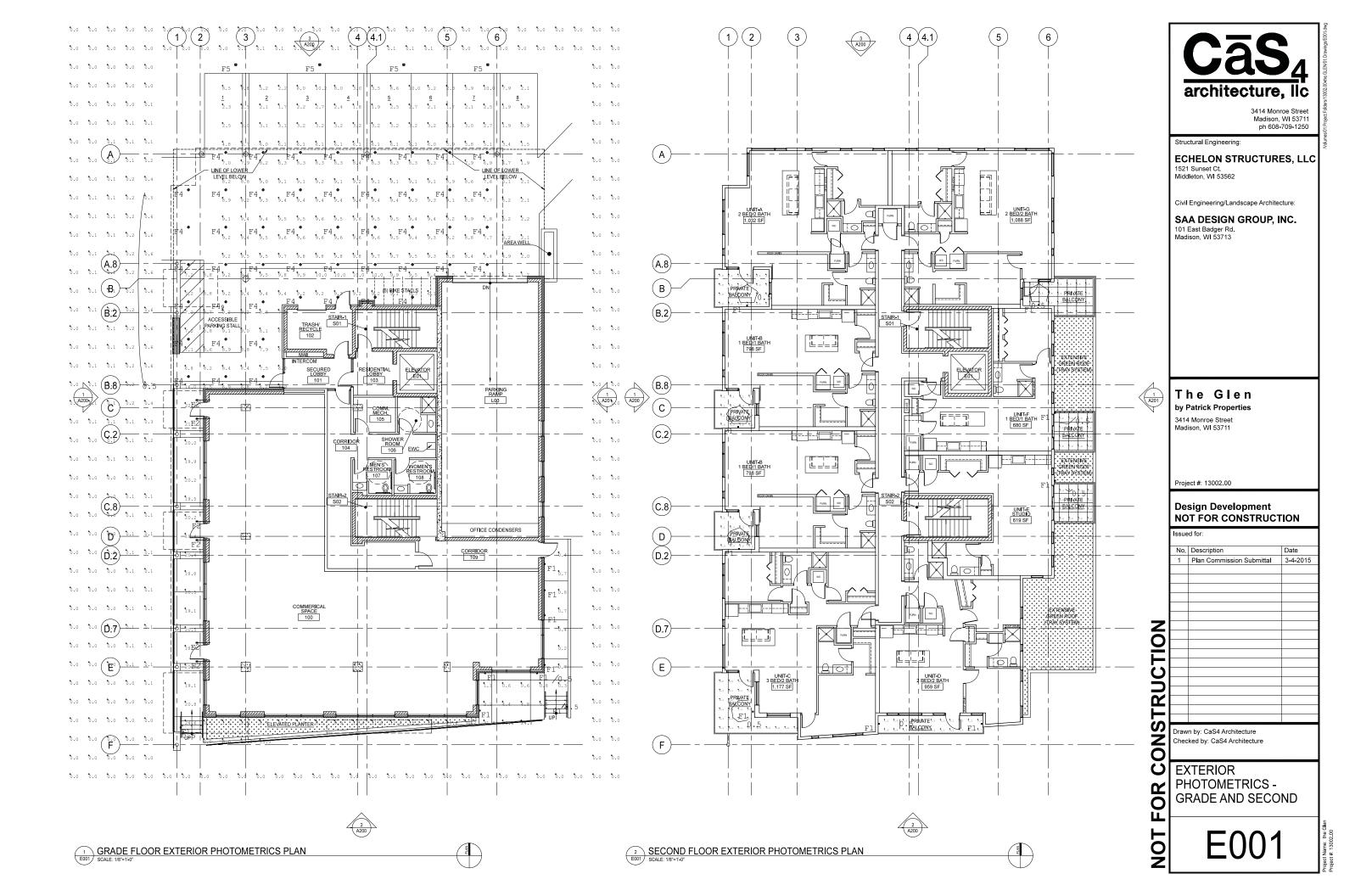
Building along Monroe Street

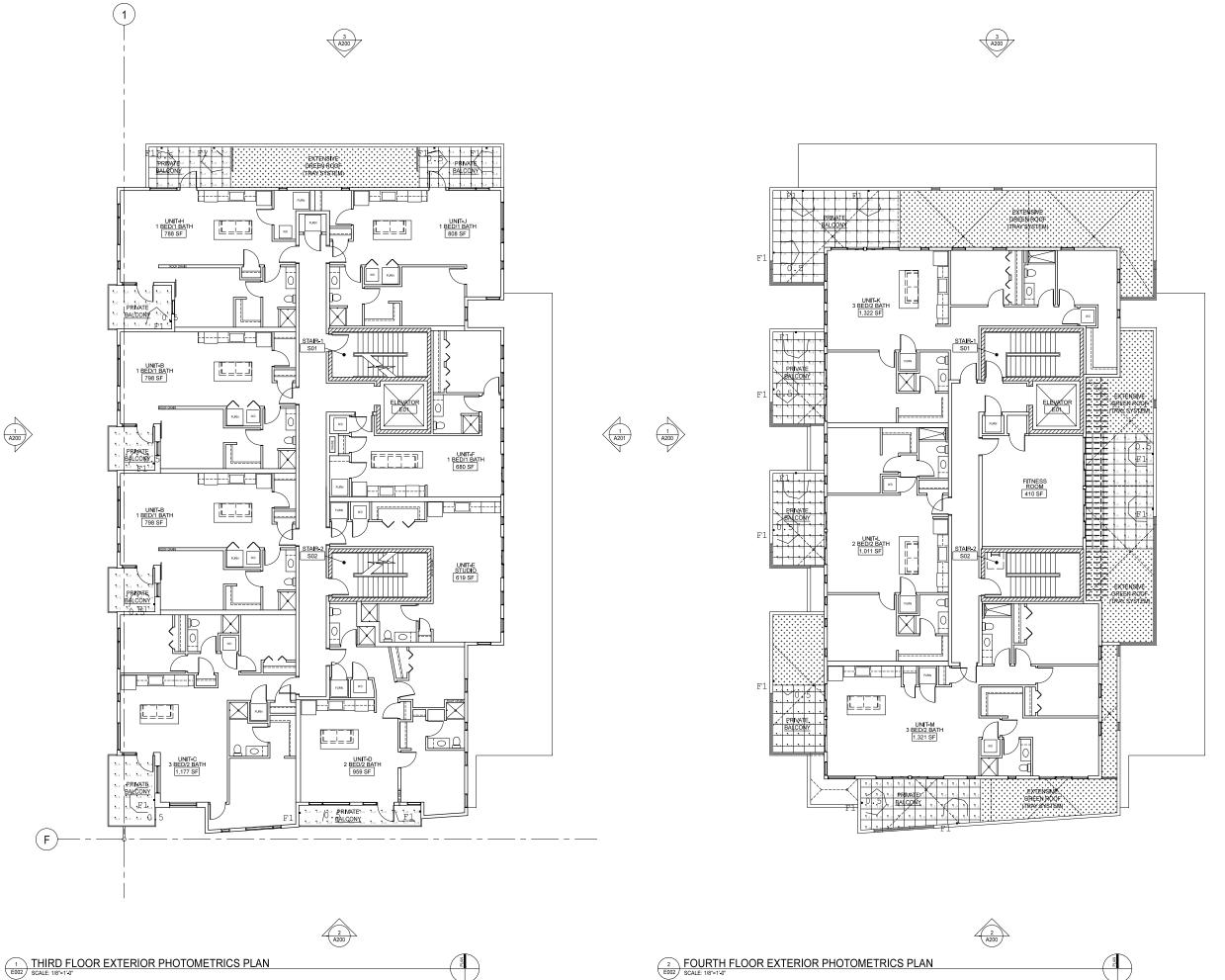




Building along Monroe Street









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Drawn by: CaS4 Architecture Checked by: CaS4 Architecture

EXTERIOR PHOTOMETRICS -THIRD AND FOURTH

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