

Parking Lot Plan Site Information Block

Site Address: 4101 & 4109 Maple Grove Drive
 Site acreage (total): 72,376 s.f.

Number of building stories (above grade): 2 story
 Building height: 32'-11 1/4"
 DILHR type of construction: VB
 Total Square Footage of buildings:
 Bldg. A
 10,524 s.f. Footprint
 1st Floor & 2nd Floor
 2,160 s.f. Lots
 Bldg. B
 10,524 s.f. Footprint
 1st Floor & 2nd Floor
 2,160 s.f. Lots

Use of property: R-4
 Gross square feet of office: N/A
 Gross square feet of retail area: N/A
 Number of employees in warehouse: N/A
 Number of employees in production area: N/A
 Capacity of restaurant/place of assembly: N/A

garage stalls Total
 Number of bicycle stalls shown: 36 6 42
 Number of parking stalls:

Small car	4
Large car	53
Accessible	4
Total	61

Number of trees shown: SEE LANDSCAPE PLAN

Site Development Data

Dwelling Units - 36 Units
 Lot Area / D.U. - 2010 Sq.Ft. /D.U.
 Density - 2168 Units/Acre

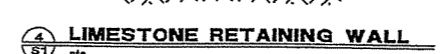
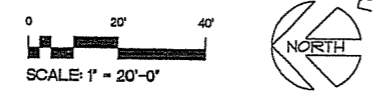
Dwelling Unit Mix
 1 Bedroom Units 10
 2 Bedroom Units 26

Parking Provided
 Garage - 51 (includes 2 Accessible)
 Surface - 10 (includes 2 Accessible)
 Total Parking - 61 (includes 4 Accessible)
 Parking Required - 60.5

Bike Parking Stalls = (6) Surface / (36) Garage
 Useable Open Space Provided - 20,012 Sq. Ft.
 Useable Open Space Required - 18,000 Sq. Ft.
 (36 units x 500 s.f./unit)

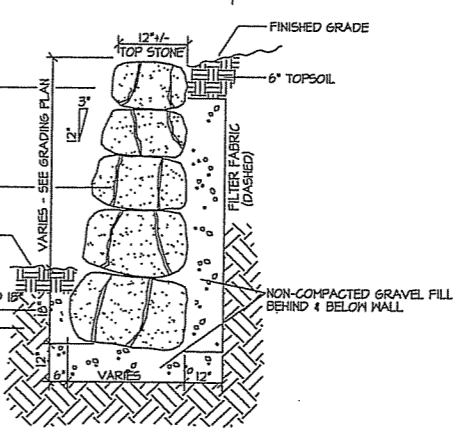
1 SITE PLAN: 72,376 SQ. FT.

- MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMPS 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
- ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
- ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.08(4)
- ALL TRASH TO BE COLLECTED IN COVERED DUMPSTER AREAS. RECYCLING AREAS TO BE PROVIDED IN DUMPSTER ROOM.
- SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL SITE INFORMATION.
- COMM 62.0500(11)-REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF CONCRETE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTINGS AND FOUNDATION.



NOTE:
 CONSTRUCT BASE EQUAL TO 40%
 OF TOTAL WALL HEIGHT (SEE
 GRADING PLAN)

BATTER FACE OF WALL @ 3" PER
 VERTICAL FOOT. PLACE STONES
 @ RIGHT ANGLES TO BATTER LINE



100% REVIEW

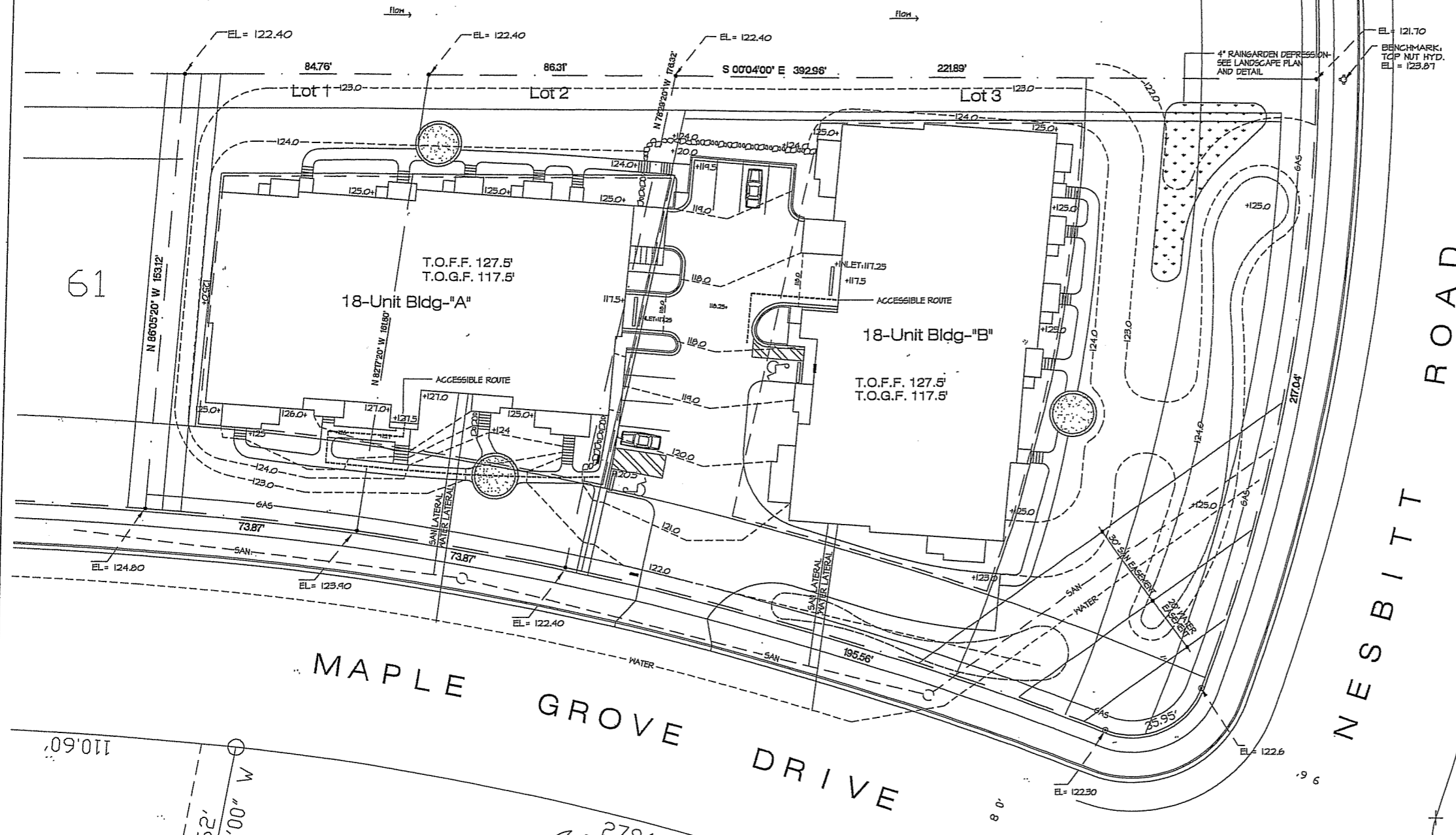
LOUTHER & ASSOCIATES DESIGNS LLC
 4101 & 4109 MAPLE GROVE DRIVE
 MADISON, WISCONSIN 53718
 (608) 261-5271

DATE: 08/20/2018
 TIME: 10:00 AM
 PROJECT: 4101 & 4109 MAPLE GROVE DRIVE
 SHEET: 1 OF 1
 DRAWN BY: J. LOUTHER
 CHECKED BY: J. LOUTHER
 APPROVED BY: J. LOUTHER

OVERALL SITE PLAN

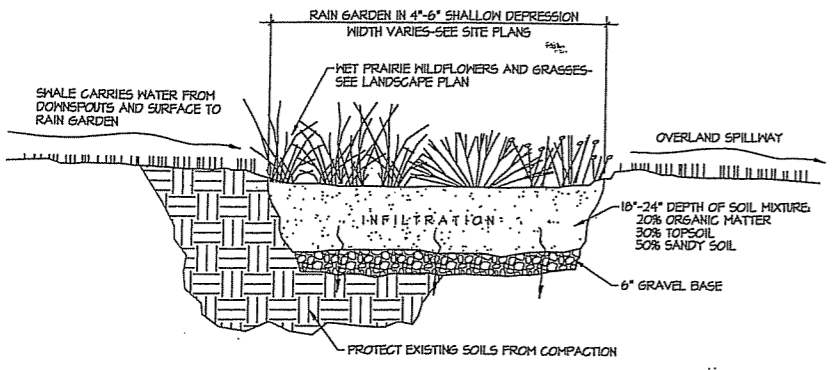
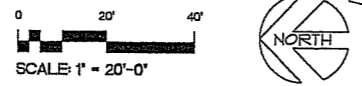
S1

EXISTING STORMWATER MANAGEMENT



- GENERAL UTILITY NOTES:**
1. UTILITY CONTRACTOR SHALL OBTAIN CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING THE STORM SEWER CONSTRUCTION.
 2. ALL SUBSURFACE GARAGE CATCH BASINS, SHALL BE DRAINED TO SANITARY SEWER AND INSTALLED PER DEPT. OF COMMERCE REQUIREMENTS.
 3. THE DEVELOPERS UTILITY CONTRACTOR SHALL OBTAIN CONNECTION PERMITS AND EXCAVATION PERMITS FROM THE CITY FOR ALL PROPOSED CONNECTION WITH THE PUBLIC RIGHT-OF-WAY.
 4. GENERAL CONTRACTOR AND/OR PLUMBING CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS FOR SITE AND BUILDING PLUMBING, INCLUDING SEWER, AND WATER LATERALS.
 5. CONTRACTORS SHALL VERIFY IN THE FIELD SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 6. ALL SANITARY LATERALS, WASTE SERVICES, STORM SEWER AND STORM STRUCTURES SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS OF PUBLIC WORKS CONSTRUCTION.
- GENERAL GRADING NOTES:**
1. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMPS 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES AND LANDINGS PER ADA REQUIREMENTS.
 2. ALL STAIRS OF MORE THAN (3) RISERS TO HAVE HANDRAILS ON BOTH SIDES PER I.B.C. SECT. 1009.3.3.1, AND GUARDRAILS PER I.B.C. SECT. 1009.2.12

1 GRADING AND UTILITY PLAN
1"=20'-0"



2 SECTION-RAIN GARDEN
1/2"=1'-0"

100% REVIEW

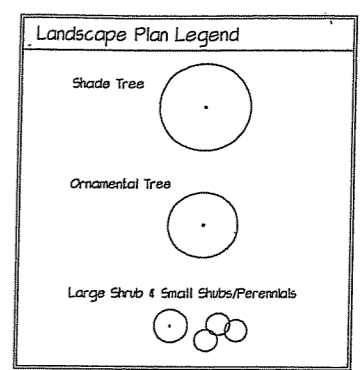
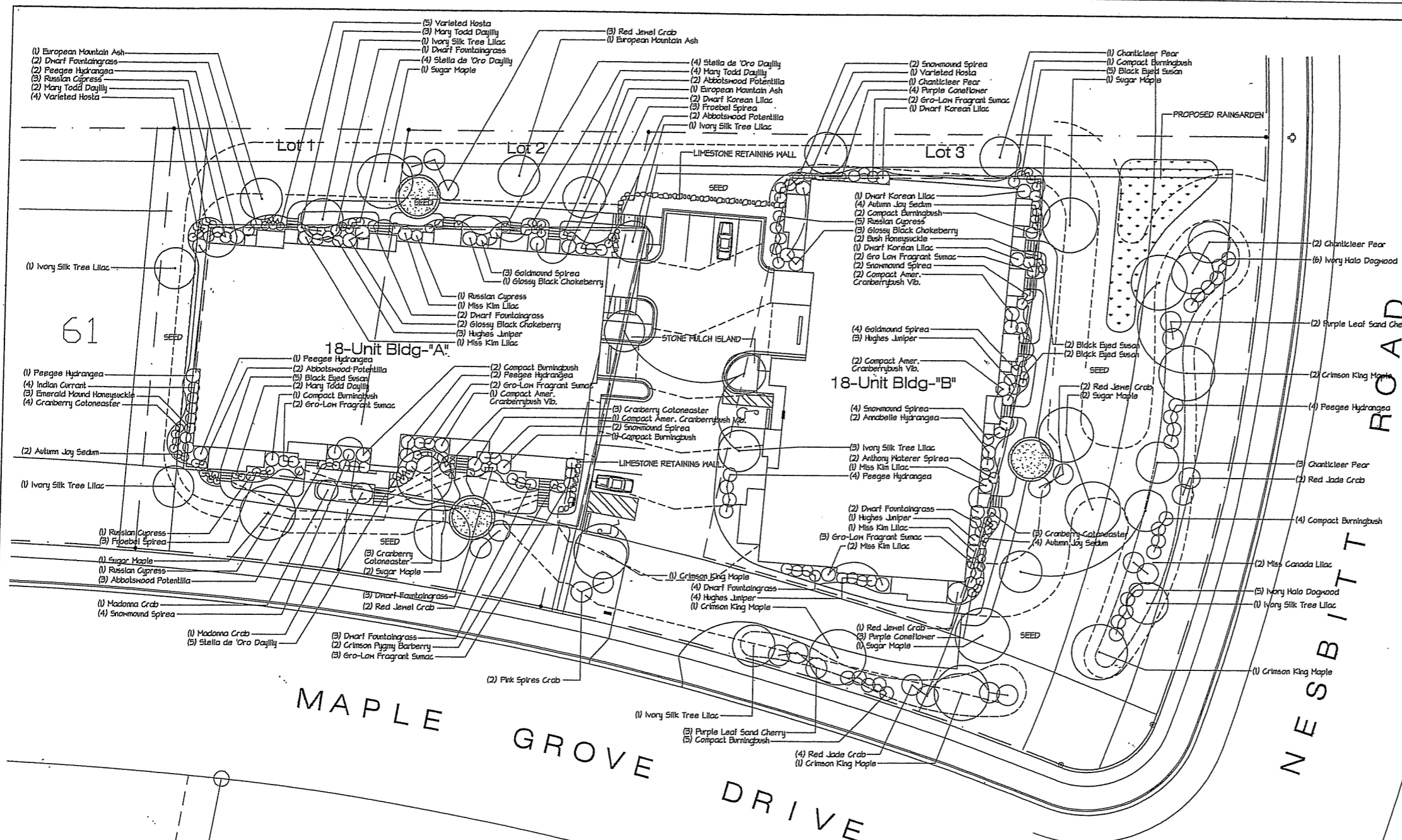
LOUTHER & ASSOCIATES
4101 & 4109 Maple Grove Drive
Madison, WI 53718 • 608.848.5771

ALTA CONSTRUCTION
14435 Old Hwy. 10
Madison, WI 53719
608.848.7419

GRADING PLAN

DATE	DESCRIPTION
12-15-20	ISSUED FOR PERMIT
12-15-20	ISSUED FOR CONSTRUCTION
12-15-20	ISSUED FOR RECORD

S2



- GENERAL LANDSCAPE NOTES:**
- SHADE TREES TO BE 2" CAL. MIN.; ORNAMENTALS 6FT. B4B MIN.
 - ALL PERENNIALS TO BE 1" GAL. UNLESS OTHERWISE APPROVED
 - ALL SHRUBS TO BE 10" MIN. CONTAINER GROWN
 - PLANTING BEDS AS NOTED ARE TO RECEIVE A MIXTURE OF 1 1/2" WASHED STONE SPREAD TO MIN. DEPTH OF 3"
 - INDIVIDUAL TREES AND SHRUBS WITHIN THE LAWN AREAS RECEIVE HOOD MULCH RINGS SPREAD TO A DEPTH OF 3" MIN.
 - ALL PLASTIC EDGINGS TO BE "VALLEY VIEW BLACK DIAMOND" OR EQUAL.

LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
The number of trees required for a parking lot is based on the number of parking stalls.

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls.

NUMBER OF PARKING STALLS	10
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA DIVIDED BY THREE HUNDRED (300) SQUARE FEET	1
NUMBER OF CANOPY SHADE TREES REQUIRED (2"-2 1/2" CALIPER)	0
Manufacturing / Industrial (60% of requirement above)	0

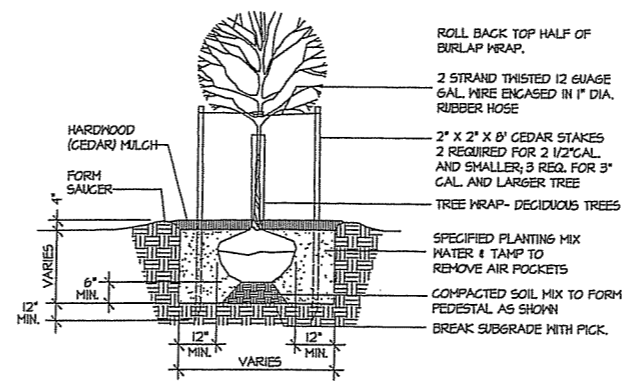
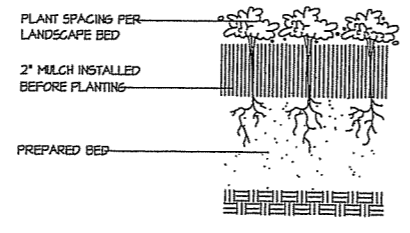
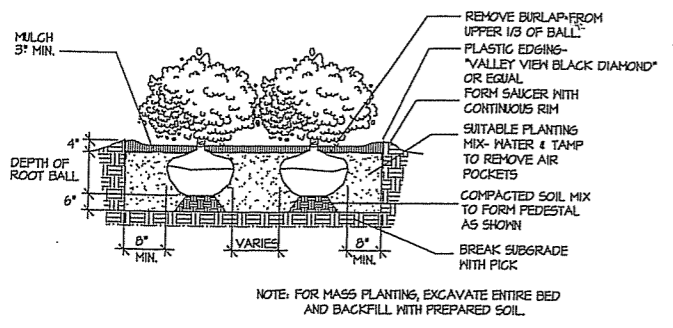
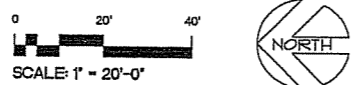
II. NUMBER OF TREES REQUIRED:
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the worksheet, determine the number of points required. (Example: 415 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. The number of points required for loading areas is (15) points for each loading berth.

NUMBER OF POINTS REQUIRED	415
Manufacturing / Industrial (60% of requirement above)	0

TABULATION OF POINTS AND CREDITS
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	CREDITS	QUANT.	POINTS
Canopy Tree - 2" - 2 1/2"	35					
Deciduous Shrub	2	11	22			
Evergreen Shrub	3					
Decorative wall or Fence (per 10 L.F.)	5					
Earth Berm (per 10 L.F.)	5					
Ave. Height 30"	1					
Ave. Height 15"	1					
Evergreen Trees 3" - 1 1/2" height min.	15					
Canopy Tree or Small Tree 1 1/2" - 2" Cal.	15	4	60			
TOTAL			82			

1 LANDSCAPE PLAN
1/4" = 20'-0"

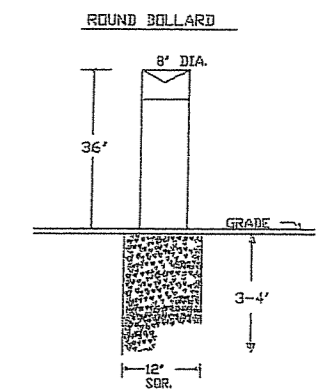
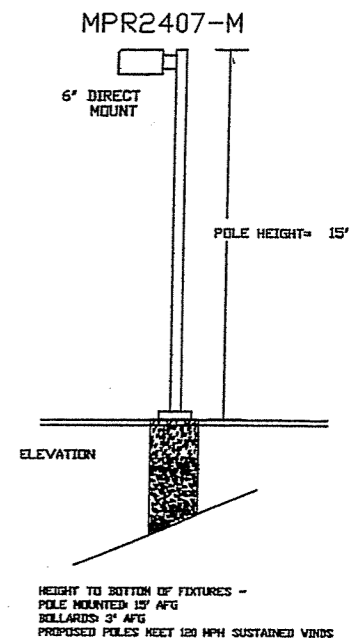
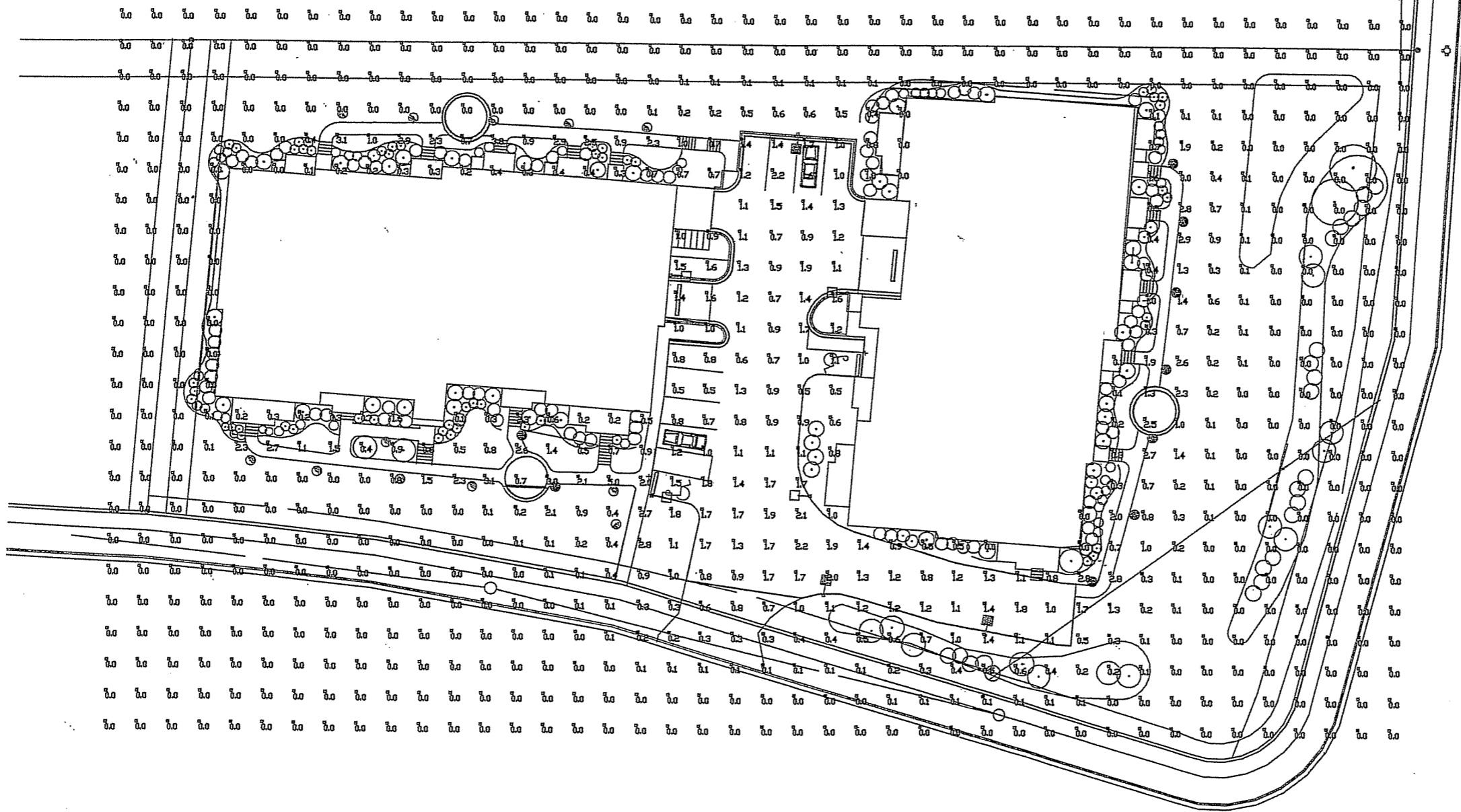


100% REVIEW

LOUTHER & ASSOCIATES ASSOCIATES DESIGNS LLC
4101 & 4109 Maple Grove Drive
Nesbitt Road, Madison, WI 53718
TEL: 608.261.5771

LANDSCAPE PLAN

53



ADDITIONAL REQUIRED EQUIPMENT:
C7 - P33513C12 12" X 3" SQUARE STEEL POLES
C8 - SBL-12 BACKLIGHT SHIELDS

LOT
Illuminance Values(Fc)
Average =1.25
Maximum =2.2
Minimum =0.5
Avg/Min Ratio=2.50
Max/Min Ratio=4.40

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
+	4	MPR407	SINGLE	5000	0.650	MPR2407-D (70W MH)
+	3	MPR407SBL	SINGLE	5000	0.650	MPR407-D (70W MH, W/BLS)
⊙	12	HC405A	SINGLE	3100	0.650	HC405-DA (50W MH, W/ 180° LENS)
⊙	9	HC405	SINGLE	3100	0.650	HC405-D (50W MH)

RUUD LIGHTING
800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN

Date: 6/21/2005
Project Name: MAPLE GROVE
Layout by: MARK JANAKY
Filename: 50615LA1MD.Ja32
FOOTCANDLES CALCULATED AT GRADE USING MEAN LUMENS

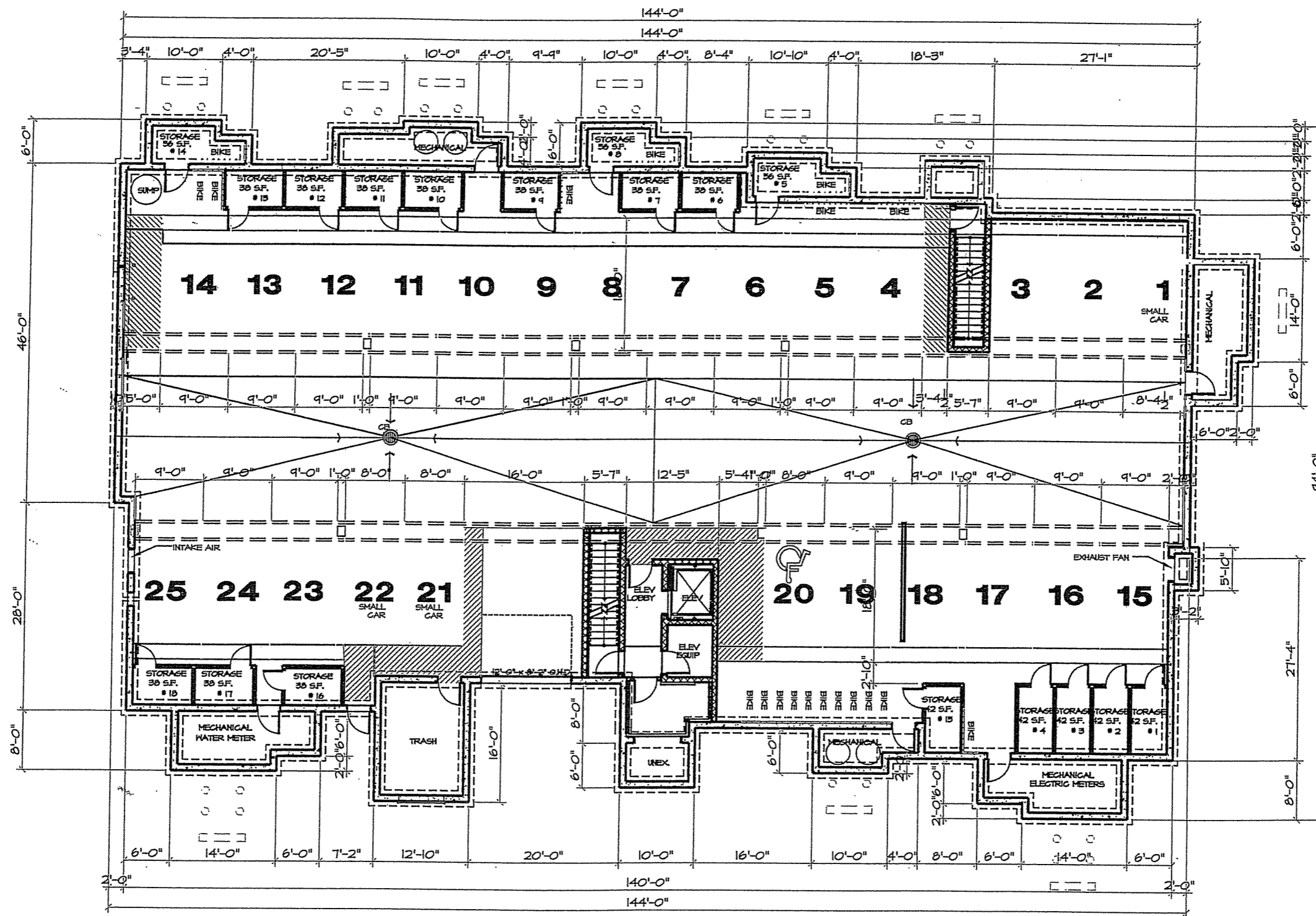
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.37	5.0	0.0	0.00	0.00



LOUTHER & ASSOCIATES DESIGNS LLC
104 WILDERESSY DRIVE • MONROE, MISSISSIPPI 39110 • 601.845.5771

4101 & 4109 MAPLE GROVE DRIVE
ALTA CONSTRUCTION
PHOTOMETRICS

S4



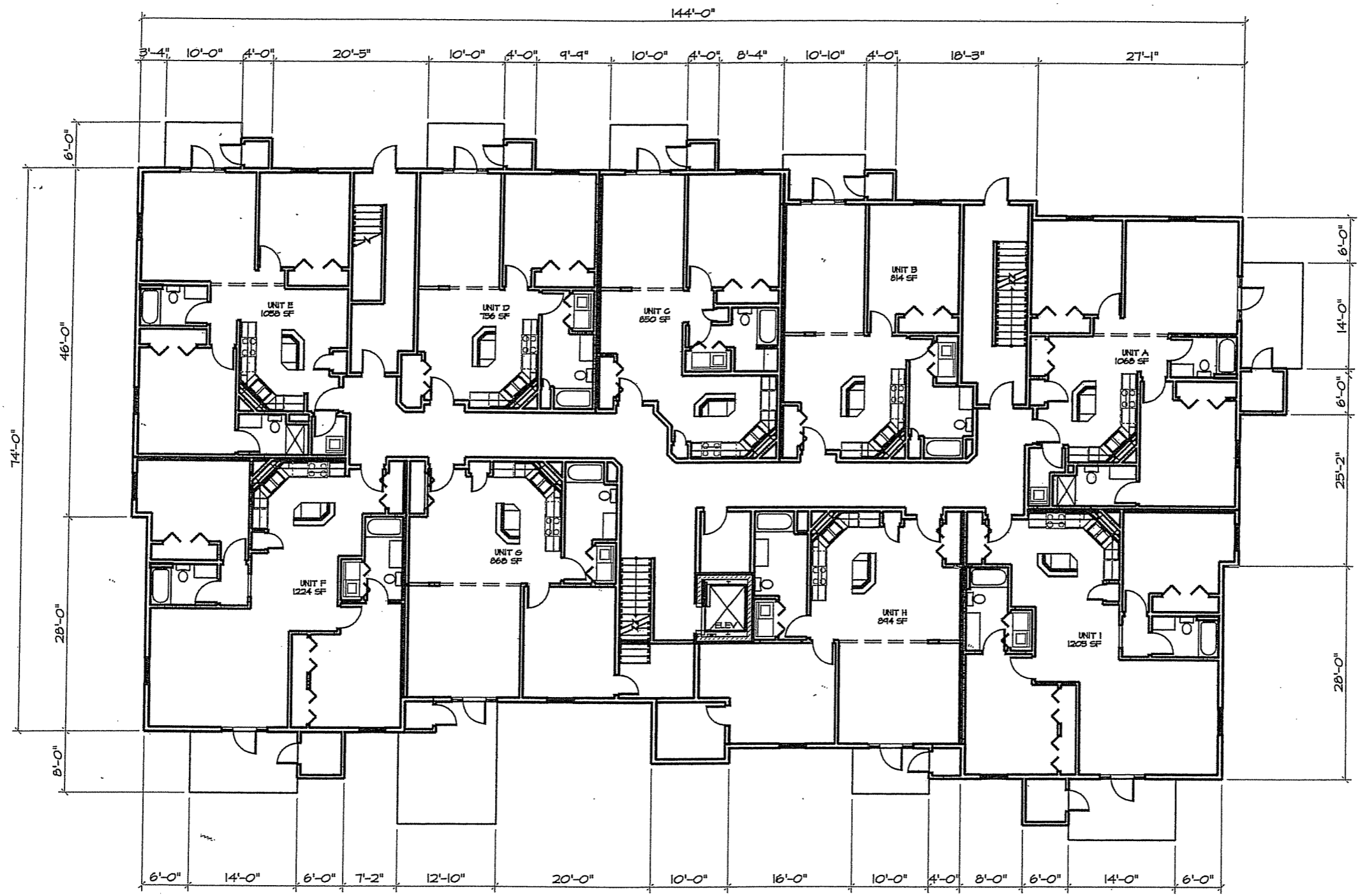
1 UNDERGROUND PARKING BUILDING 'B'
 1/8" = 1'-0" 11,619 SQ. FT. BASEMENT FOOTPRINT

LOUTHER & ASSOCIATES DESIGNS LLC
 4109 MAPLE GROVE DRIVE • WILKINSON, MASSACHUSETTS 01897 • 978.683.5771

ALFA CONSTRUCTION
 1000 STATE ST. #200
 WILKINSON, MASSACHUSETTS 01897

U.G. PARKING BLD. 'B'

A2



1 FIRST FLOOR PLAN- BLDG. 'B'
A3 1/16"=1'-0" 10,605 SQ. FT.

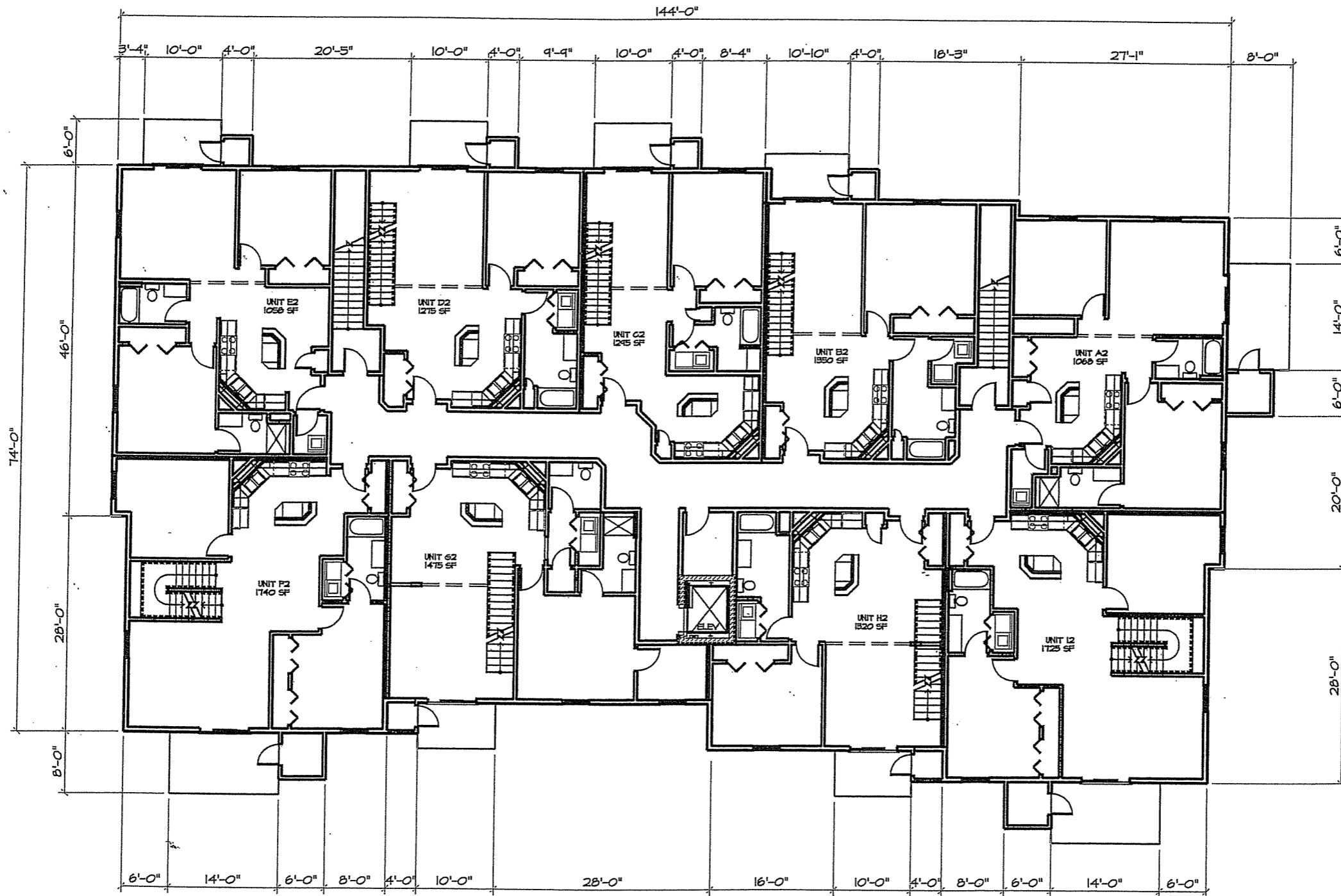
LOUTHER & ASSOCIATES DESIGNS LLC
 104 WILDERY DR. MADISON, WISCONSIN 53719 * 608.262.0771

4109 MAPLE GROVE DRIVE
 MULTA CONSTRUCTION
 MADISON, WISCONSIN

FIRST FLOOR PLAN 'B'

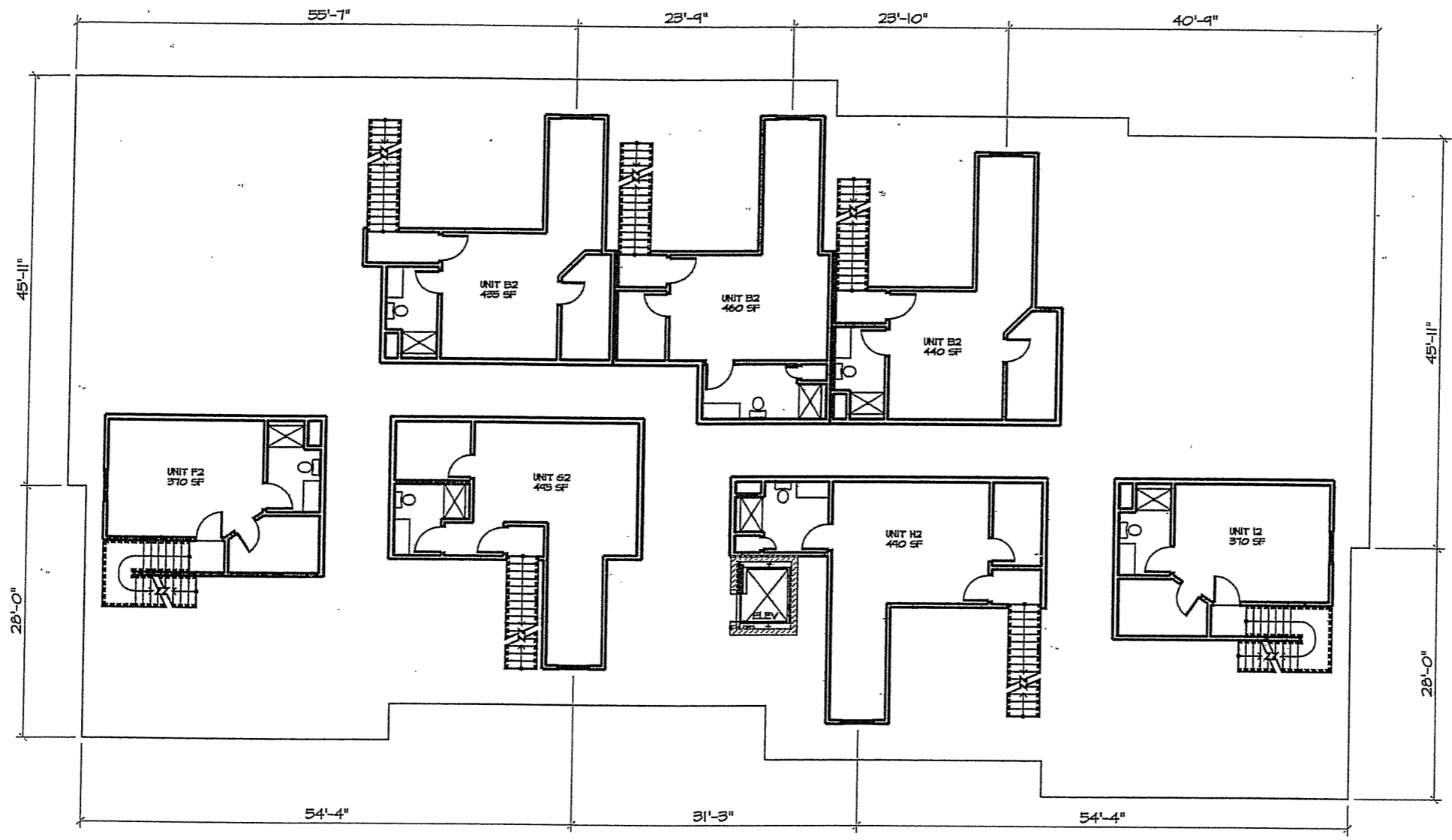
DATE	DESCRIPTION
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08/24/2011	ISSUED FOR CONSTRUCTION
08/24/2011	ISSUED FOR RECORDS
08/24/2011	ISSUED FOR ARCHIVE

A3



1 SECOND FLOOR PLAN- BLDG. 'B'
 1/8"=1'-0" 10,528 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS LLC
 704 WILLOUGHBY DRIVE • WADSWORTH, MA 01895 • 508-844-5771
ALTA CONSTRUCTION
 4109 MAPLE GROVE DRIVE
 WADSWORTH, MA 01895
 508-844-5771
SECOND FLOOR PLAN 'B'
 DATE: 08/20/2014
 DRAWN BY: J. LOUTHER
 CHECKED BY: J. LOUTHER
 APPROVED BY: J. LOUTHER
 SCALE: AS SHOWN
 SHEET NO. 14



LOFT FLOOR PLAN- BLDG. 'B'
 1/8"=1'-0" 3,080 SQ. FT.

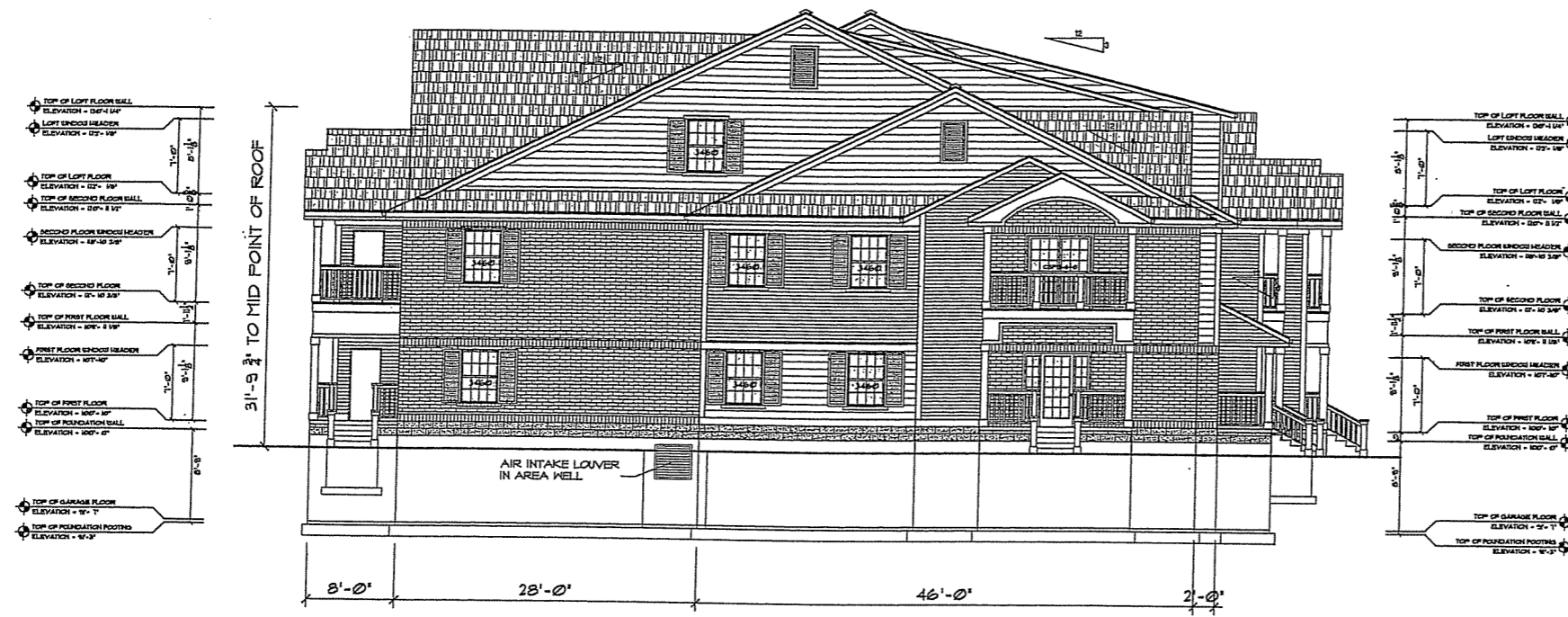
LOUTHER & ASSOCIATES DESIGNS LLC
 704 W. DESSY DRIVE • MADISON, WISCONSIN • 53717 • 608.835.7111

OWNER NAME	PROJECT	DATE
PROJECT	DATE	
DESIGNER	DATE	
ARCHITECT	DATE	
CONTRACTOR	DATE	
GENERAL CONTRACTOR	DATE	

ALTA CONSTRUCTION
 4109 MAPLE GROVE DRIVE
 MADISON, WI 53717

LOFT FLOOR PLAN- 'B'
 DATE: 08/20/15
 SCALE: AS SHOWN

A5



1 WEST ELEVATION BLD. "B"
 1/8"=1'-0" 4109 MAPLE GROVE DRIVE



2 NORTH ELEVATION BLD. "B"
 1/16"=1'-0" 4109 MAPLE GROVE DRIVE

LOUTHER & ASSOCIATES DESIGNS LLC
 701 W. DELAWARE DRIVE • MADISON, WISCONSIN • 608.261.5771

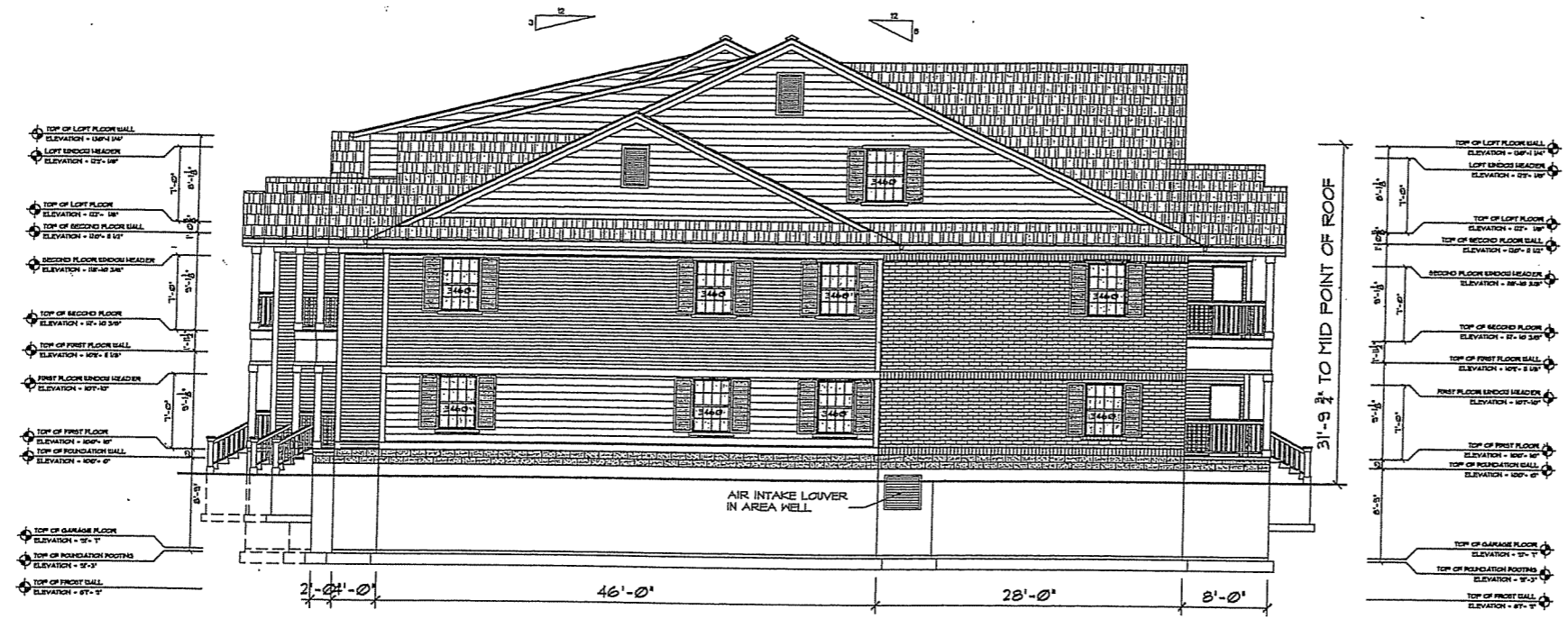
4109 MAPLE GROVE DRIVE
 MADISON, WISCONSIN 53716

ALTA CONSTRUCTION
 8025 BRIDGEWAY DRIVE
 MADISON, WISCONSIN 53716

ELEVATIONS BLD. "B"

DATE: 08/25/20
 CHECKED BY: J. LOUTHER
 DESIGNED BY: J. LOUTHER
 SCALE: AS SHOWN
 PROJECT NO: 2008-001

A6



1 EAST ELEVATION BLD. "B"
 1/8"=1'-0" 4109 MAPLE GROVE DRIVE



2 SOUTH ELEVATION BLD. "B"
 1/16"=1'-0" 4109 MAPLE GROVE DRIVE

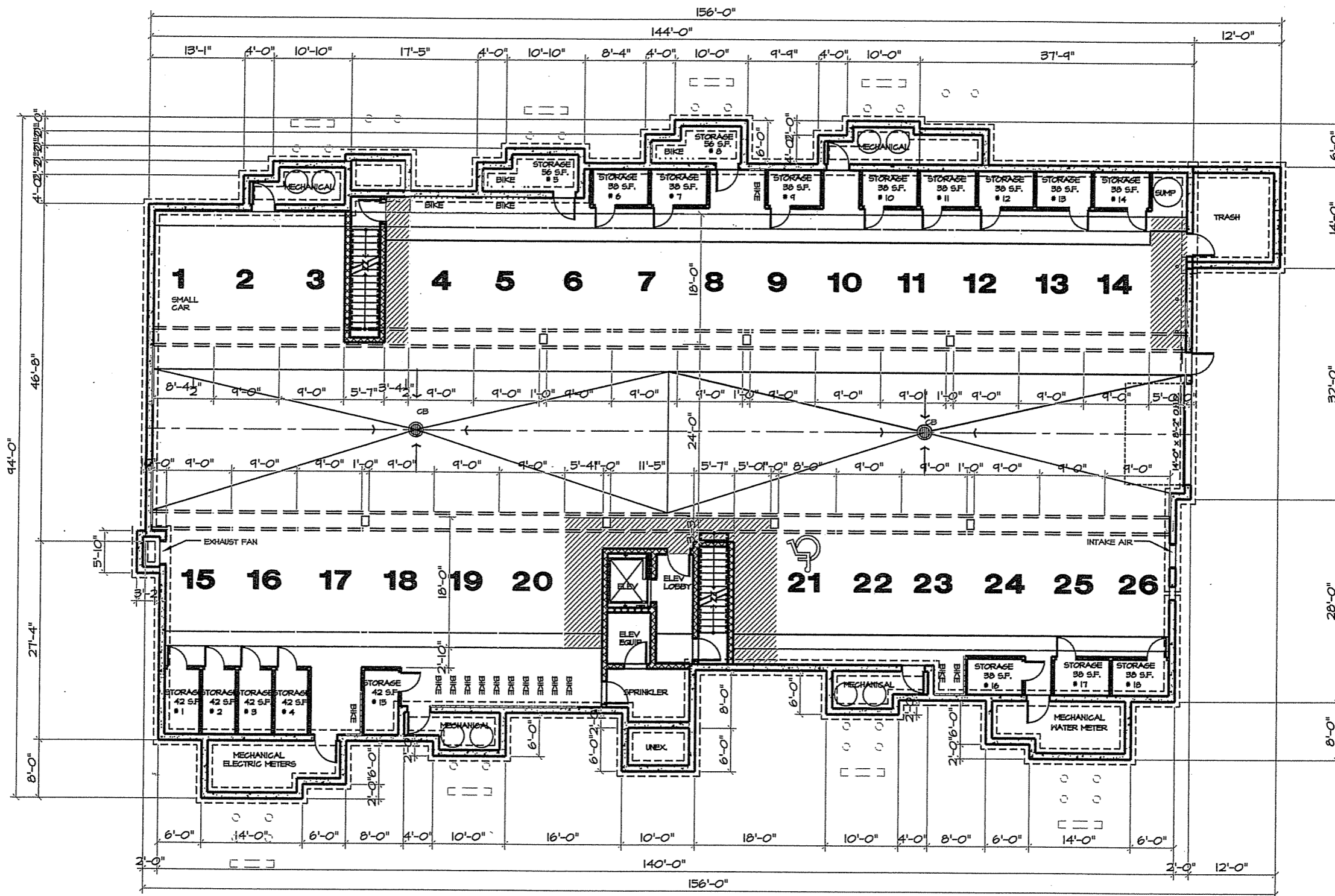
LOUTHER & ASSOCIATES DESIGNS LLC
 4109 MAPLE GROVE DRIVE
 WILDERY DRIVE & MADISON • MADISON, WISCONSIN • 53719 • 508.448.5771

ALTA CONSTRUCTION
 2405 CEDAR BLVD. #100
 MADISON, WI 53716
 608.261.0102

ELEVATIONS BLD. "B"

DATE: 08/25/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: [Number]
 SHEET NUMBER: [Number]

A7



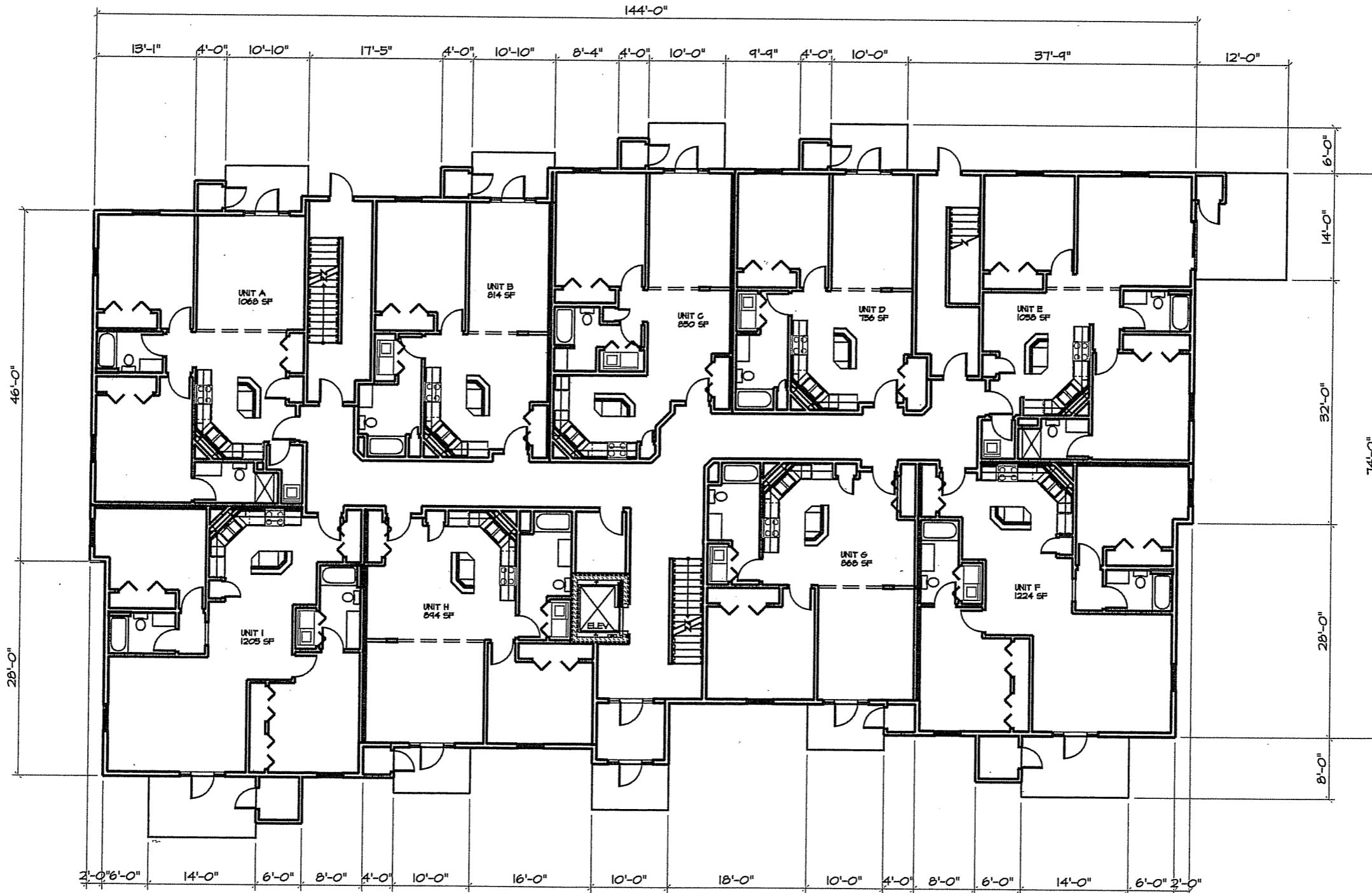
1 UNDERGROUND PARKING BUILDING 'A'
 1/8"=1'-0" 11,428 SQ. FT. BASEMENT FOOTPRINT

LOUTHER & ASSOCIATES DESIGNS LLC
 7014 WILDERBY DRIVE • MADISON, WISCONSIN • 53719 • 608.248.5771

4101 MAPLE GROVE DRIVE
 CONSTRUCTION
 1000 W. WISCONSIN
 MADISON, WI 53704
 608.248.5771

U.G. PARKING BLD. 'A'
 PROJECT NUMBER
 1000 WISCONSIN
 608.248.5771

A2



FIRST FLOOR PLAN- BLDG. 'A'
 AS 1/16"=1'-0" 10,608 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS LLC
 701A WILDBERRY DRIVE • MADISON • WISCONSIN • 53719 • 608.248.5771

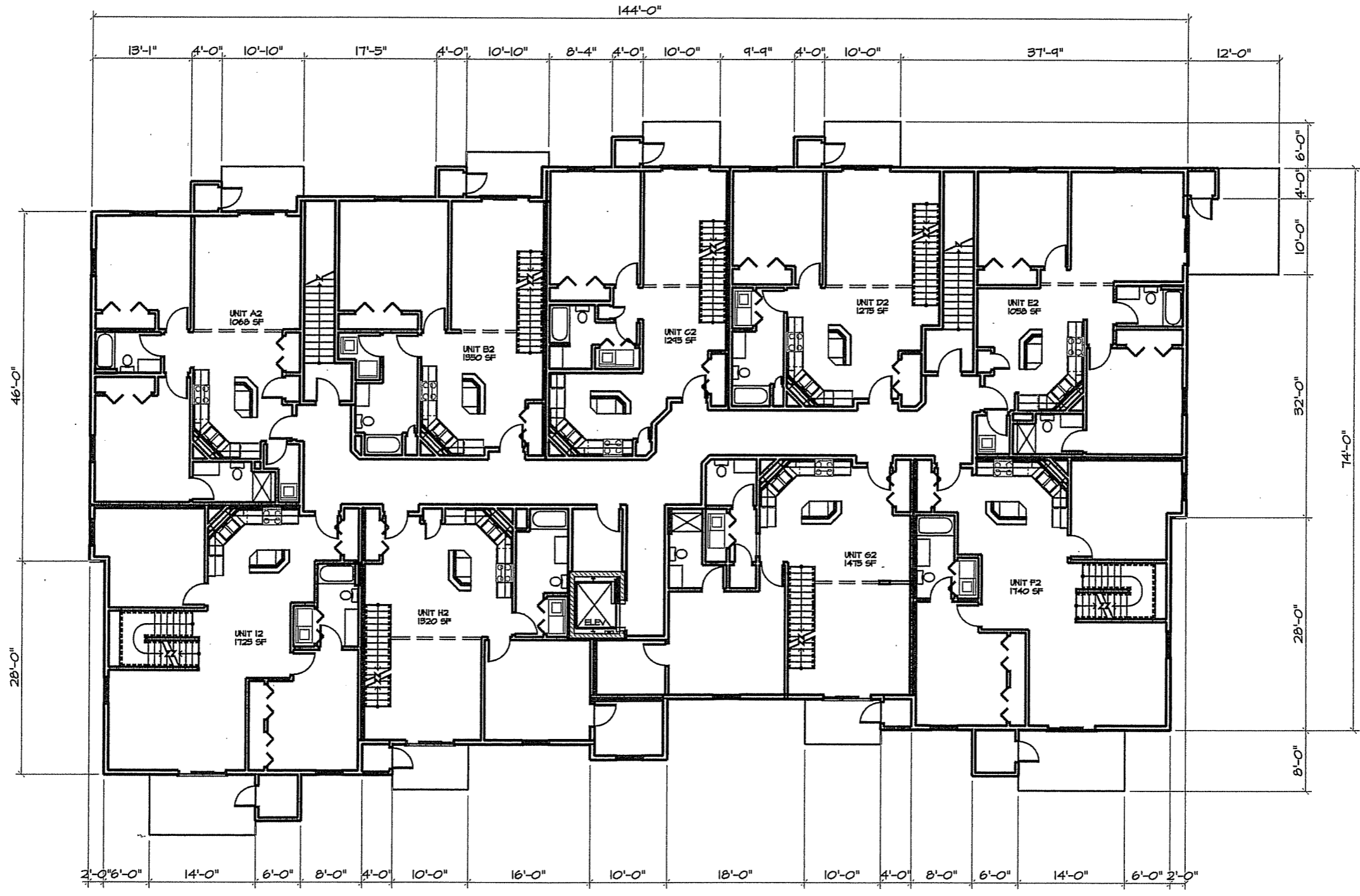
4101 MAPLE GROVE DRIVE
 GREENWICH, CT 06030

ALTA CONSTRUCTION
 1000 W. MAIN ST. SUITE 100
 GREENWICH, CT 06030

FIRST FLOOR PLAN 'A'

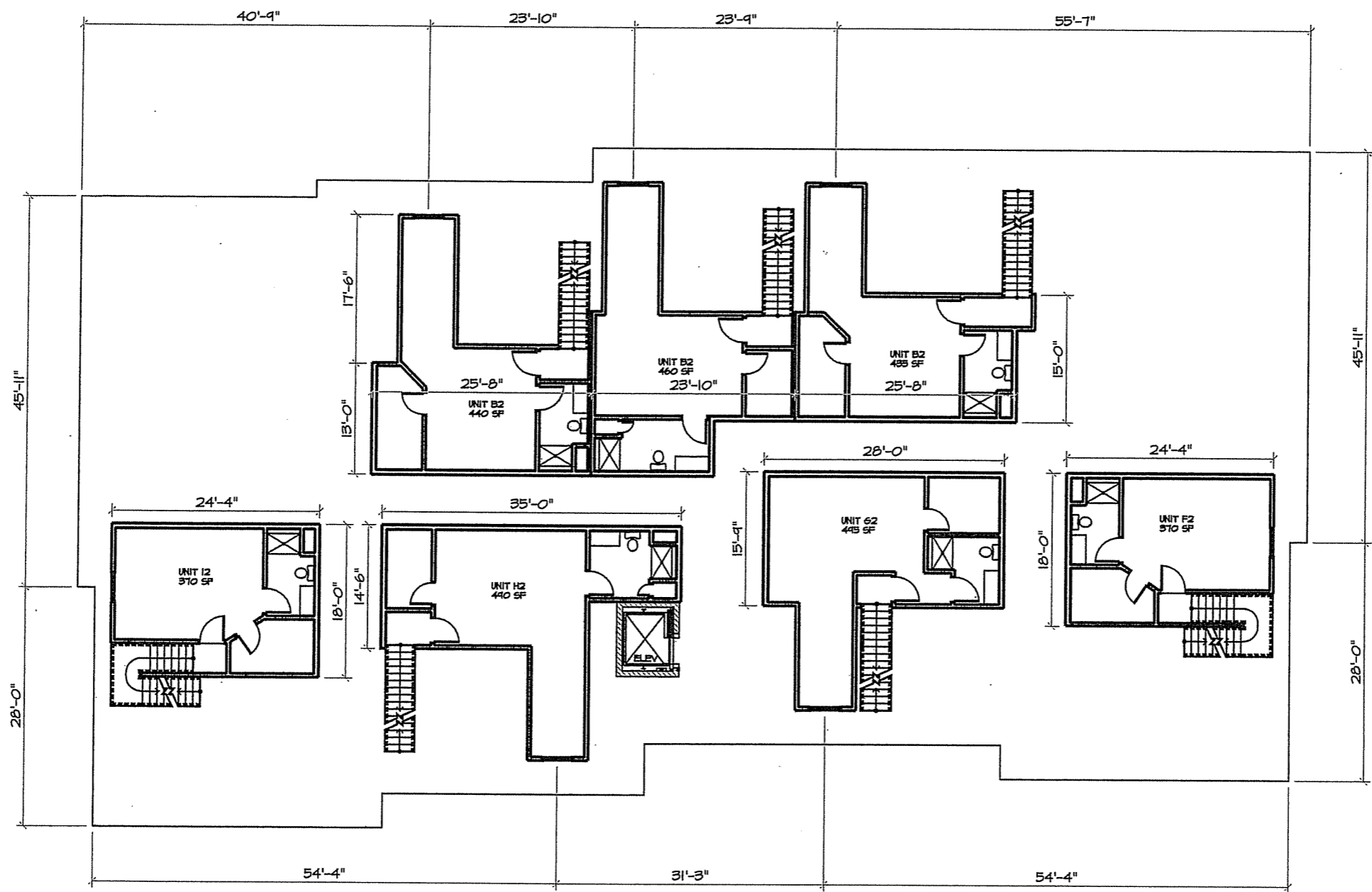
DATE	ISSUED FOR
DATE	REVISION
DATE	PROJECT NAME
DATE	PROJECT NUMBER
DATE	PROJECT LOCATION
DATE	PROJECT OWNER
DATE	PROJECT ARCHITECT
DATE	PROJECT ENGINEER
DATE	PROJECT CONTRACTOR

A3



1
A4
SECOND FLOOR PLAN- BLDG. 'A'
 1/16"=1'-0" 10,828 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS LLC
 7074 WILDERY DRIVE • MADISON • WISCONSIN • 53719 • (608) 248-5771
 ARCHITECT
ALTA CONSTRUCTION
 4101 MAPLE GROVE DRIVE
 MADISON, WI 53718
 (608) 248-5771
 PROJECT NO. 18125
 DATE 02/20/25
SECOND FLOOR PLAN 'A'
A4



1 LOFT FLOOR PLAN- BLDG. 'A'
 AB 1/16"=1'-0" 3,080 SQ. FT.

LOUTHER & ASSOCIATES DESIGNS LLC
 704 WILBERRY DRIVE • MADISON • WISCONSIN • 53719 • 608.848.5771

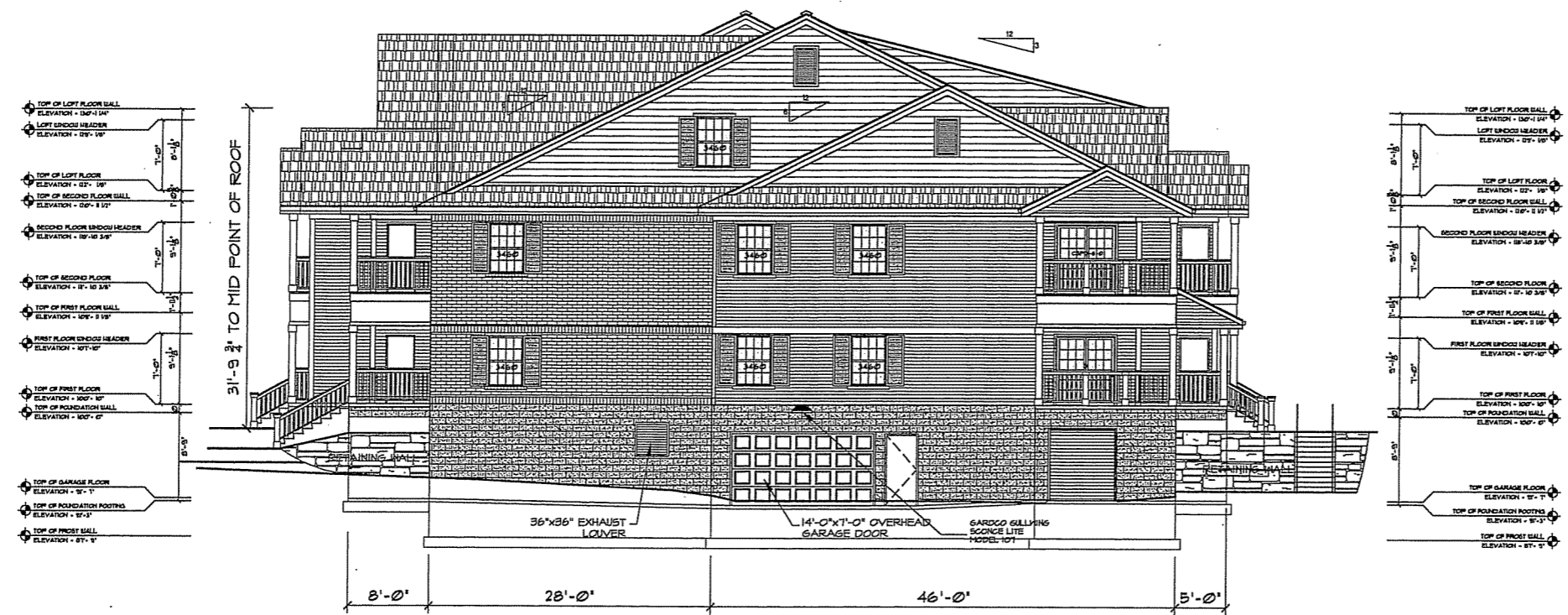
4101 MAPLE GROVE DRIVE
 WAUWATONA, WI 53095

ALTA CONSTRUCTION
 1000 W. WISCONSIN AVE. SUITE 200
 WAUWATONA, WI 53095

LOFT FLOOR PLAN 'A'

DATE	08/25/2011
BY	ALTA CONSTRUCTION
CHECKED BY	ALTA CONSTRUCTION
PROJECT NO.	2011020
DATE	08/25/2011
BY	ALTA CONSTRUCTION
CHECKED BY	ALTA CONSTRUCTION
PROJECT NO.	2011020
DATE	08/25/2011
BY	ALTA CONSTRUCTION
CHECKED BY	ALTA CONSTRUCTION
PROJECT NO.	2011020

A5



1 SOUTH ELEVATION BLD. "A"
 1/8"=1'-0" 4101 MAPLE GROVE DRIVE



2 WEST ELEVATION BLD. "A"
 1/8"=1'-0" 4101 MAPLE GROVE DRIVE

LOUTHER & ASSOCIATES DESIGNS LLC
 7024 WALBERRY DRIVE • MADISON • WISCONSIN 53719 • 608.848.5771

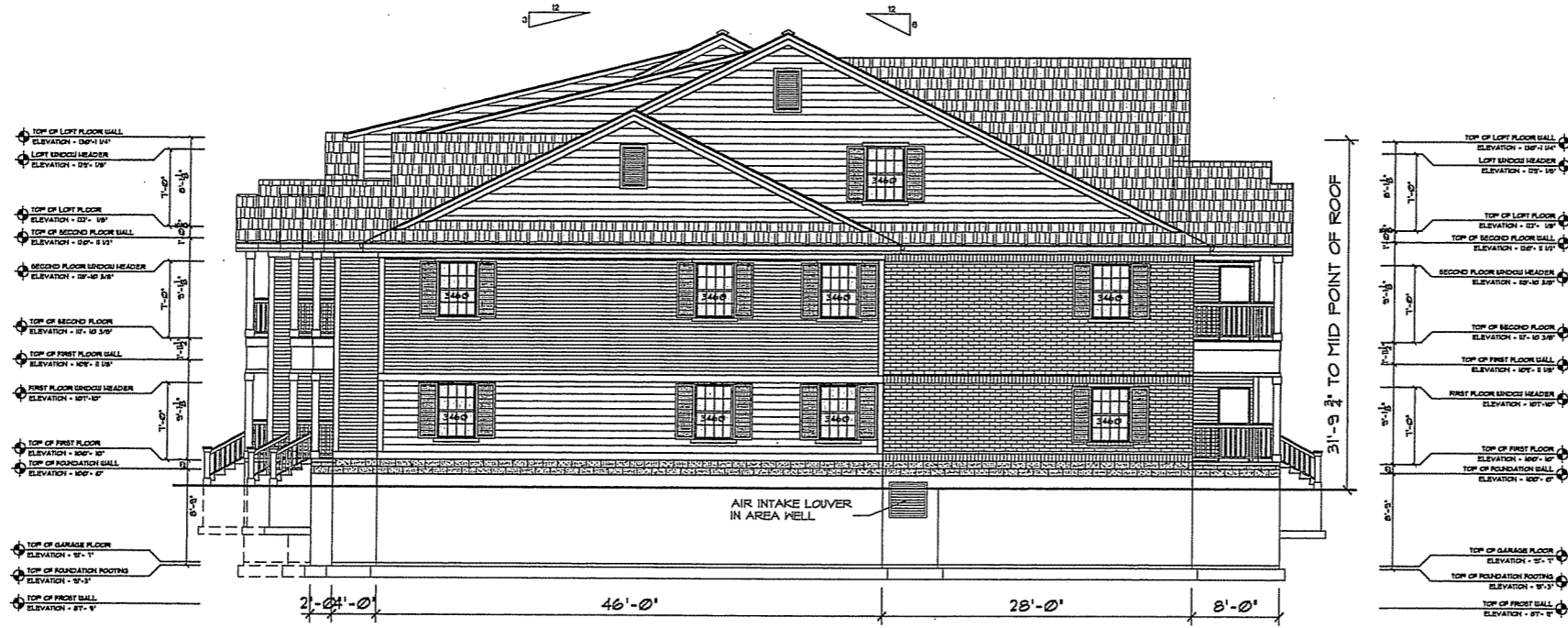
4101 MAPLE GROVE DRIVE
 CONSTRUCTION PROJECT
 PROJECT NO. 145762
 DATE: 02/27/15

ALTA CONSTRUCTION
 145762
 4101 MAPLE GROVE DRIVE
 MADISON, WI 53719
 608.278.1576

ELEVATIONS BLD. "A"

DATE: 02/27/15
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 145762

A6



1 NORTH ELEVATION BLD. 'A'
 A7 1/8"=1'-0" 4101 MAPLE GROVE DRIVE



2 EAST ELEVATION BLD. 'A'
 A7 1/8"=1'-0" 4101 MAPLE GROVE DRIVE

LOUTHER & ASSOCIATES DESIGNS LLC
 704 W. DEWEY DRIVE • MASON, MO 64055 • 816.848.5771
 PROJECT NO. 15-001
 PREPARED BY: [blank]
 CHECKED BY: [blank]
 DATE: [blank]
 SCALE: [blank]

ALTA CONSTRUCTION
 2425 OAKHURST RD.
 MADISON, WI 53719
 PROJECT NO. 15-001
 DATE: [blank]

ELEVATIONS BLD. 'A'
 A7