

SITE DEVELOPMENT STATISTICS	
LOT AREA	82,816 S.F. / 1.9 ACRES
DWELLING UNITS	22 DU
LOT AREA/ D.U.	3,764 S.F./DU
DENSITY	12 UNITS/ACRE
BUILDING HEIGHT	2 STORIES
LOT COVERAGE	11,047 S.F. - 80% (85% MAX)
USABLE OPEN SPACE	29,378 S.F. - (160 S.F./D.U. = 3,520 S.F. REQ.)

GROSS FLOOR AREA	
RESIDENTIAL AREA	9,950 S.F.

UNIT MIX	
EFFICIENCY	22

VEHICLE PARKING	
SURFACE	44

BIKE PARKING	
SURFACE	24

DRAWING LIST

C-1.1	SITE PLAN
Survey	EXISTING SITE SURVEY
L-1.1	LANDSCAPING/GRADING PLAN
C-1.2	LOT COVERAGE PLAN
C-1.3	USABLE OPEN SPACE PLAN
C-1.4	FIRE DEPARTMENT ACCESS PLAN
C-1.5	UTILITY PLAN
C-1.6	SITE DEMO/REMOVALS PLAN
A-1.1	FIRST FLOOR PLAN - NEW BUILDING
A-1.2	SECOND FLOOR PLAN - NEW BUILDING
A-1.3	FIRST FLOOR PLAN- EXISTING BUILDING
A-2.1	ELEVATIONS - EXISTING BUILDING
A-2.2	ELEVATIONS - NEW BUILDING

ISSUED

Issued for Land Use Application May 13, 2015

PROJECT TITLE

**PORCHLIGHT
LIEN ROAD**

4130 Lien Road,
Madison, WI 53704

SHEET TITLE

Site Plan

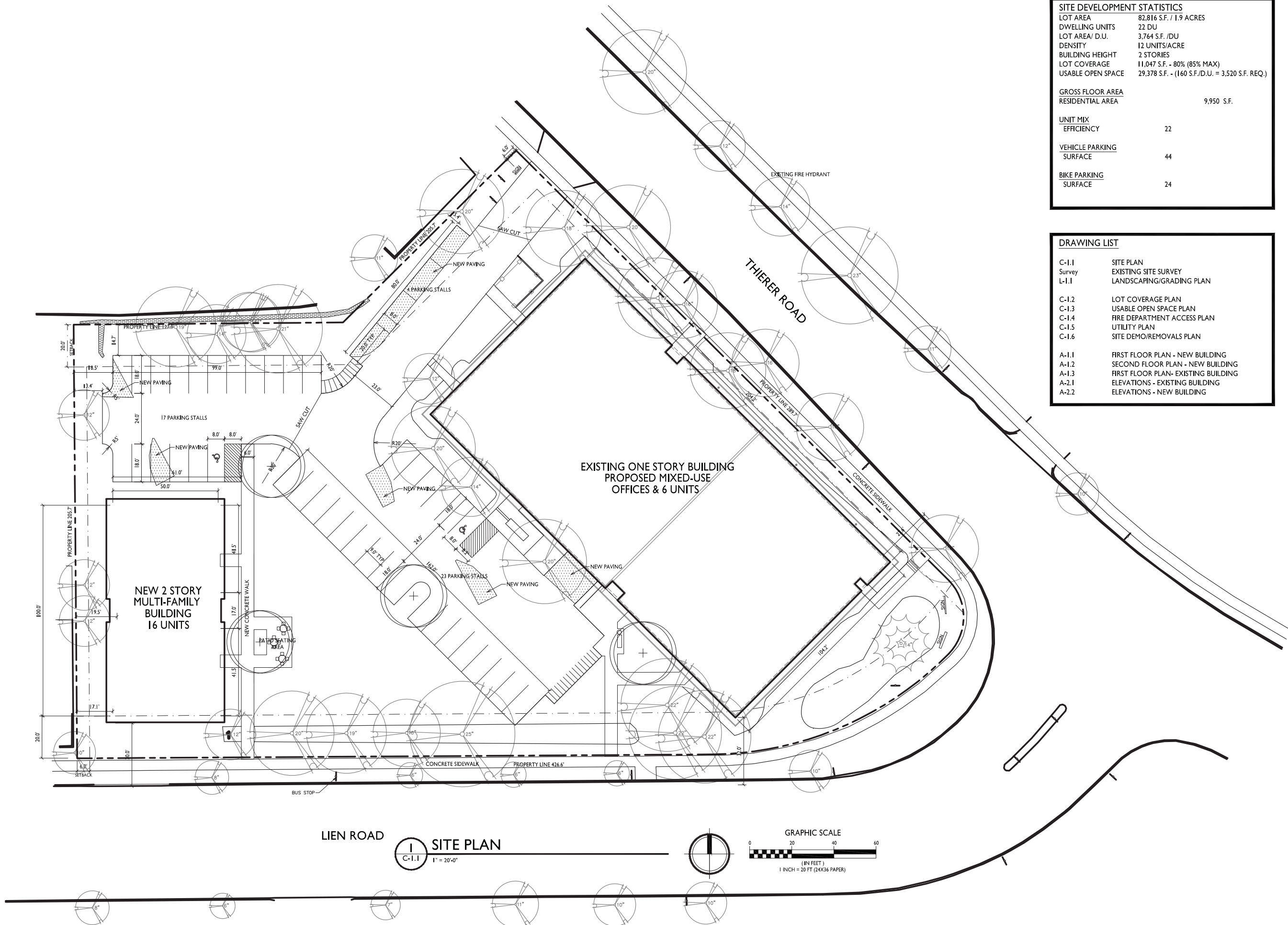
SHEET NUMBER

C-1.1

PROJECT NO.

1409

© 2013 Knothe & Bruce Architects, LLC

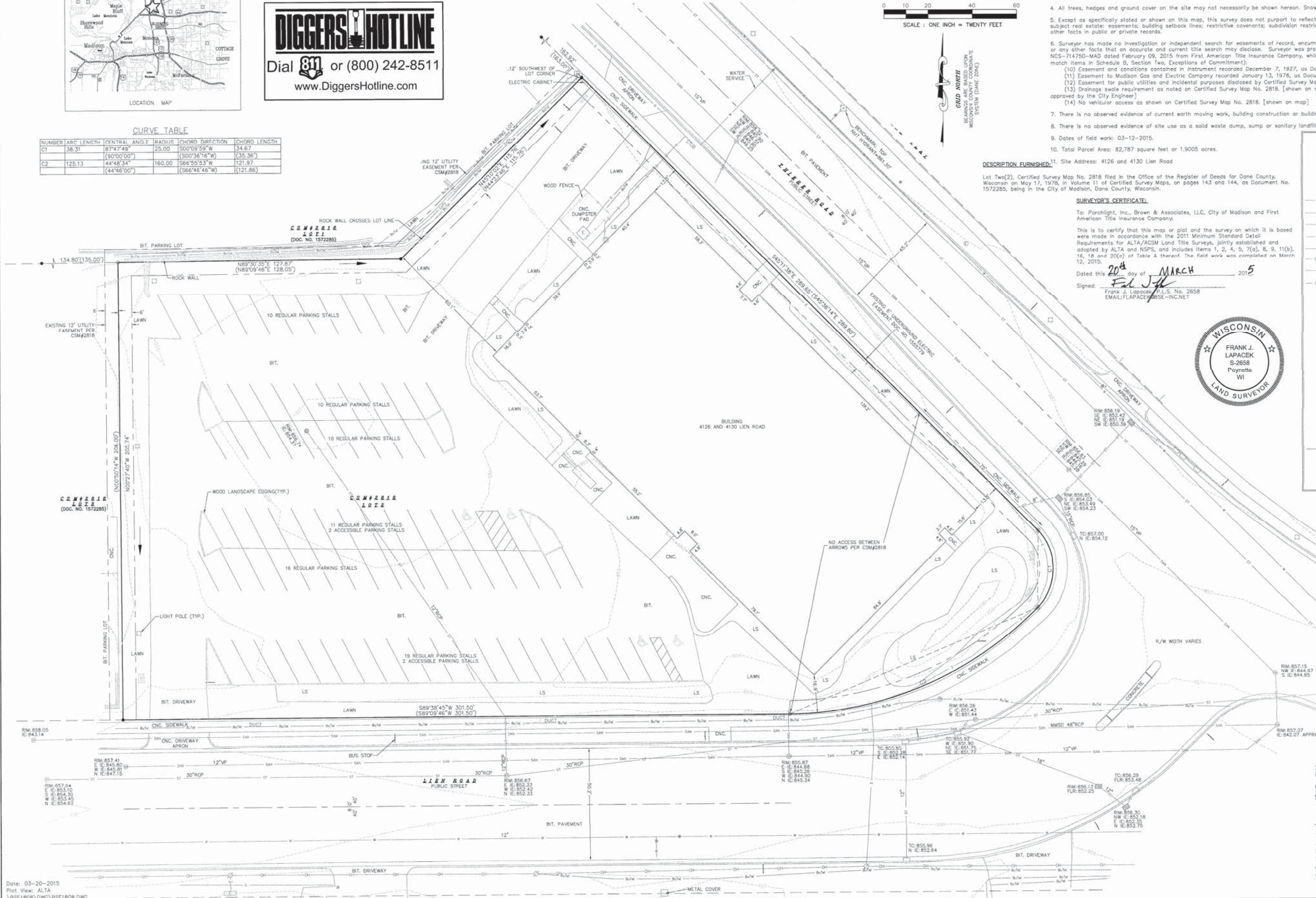


ALTA/ACSM LAND TITLE SURVEY

ALL OF LOT 2, CERTIFIED SURVEY MAP NUMBER 2818, AS RECORDED IN VOLUME 11 OF CERTIFIED SURVEY MAPS, ON PAGES 143-144, AS DOCUMENT NUMBER 1572285, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



CURVE TABLE					
NUMBER	ARC LENGTH	CENTRAL ANGLE	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	38.31	87°47'49"	25.00	S00°09'59"W	34.67
		(90°00'00")		(S00°36'16"W)	(35.36)
C2	125.13	44°48'34"	160.00	S66°55'53"W	121.97
		(44°46'00")		(S66°46'46"W)	(121.86)



NOTES

- Elevations are based upon NAVD83 datum. The Southwest corner of Section 27-08-10 has an elevation of 860.51' based upon Carl Sandnes tiesheet dated March 11, 2004.
- Routing of public utilities is based upon markings provided by Digger's Hotline Ticket Number 20151100048, drawings obtained from City of Madison Engineering Department, and visible aboveground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. BURSE does not warrant the location of underground utilities. Before excavations are performed contact Digger's Hotline.
- No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon. Show
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts in public or private records.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number NCS-714750-MAD dated February 09, 2015 from First American Title Insurance Company, which references the following (numbers in parenthesis match items in Schedule B, Section Two, Exceptions of Commitment):
 - (10) Easement and conditions contained in instrument recorded December 7, 1927, as Document No. 482723a, [not on property]
 - (11) Easement to Madison Gas and Electric Company recorded January 13, 1978, as Document No. 1555779, [shown on map]
 - (12) Easement for public utilities and incidental purposes disclosed by Certified Survey Map No. 2818, [shown on map]
 - (13) Drainage swale requirement as noted on Certified Survey Map No. 2818, [shown on map. Drainage pattern shall not be modified unless approved by the City Engineer]
 - (14) No vehicular access as shown on Certified Survey Map No. 2818, [shown on map]
- There is no observed evidence of current earth moving work, building construction or building additions.
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- Dates of field work: 03-12-2015.
- Total Parcel Area: 82,787 square feet or 1.9005 acres.

DESCRIPTION FURNISHED:

1. Site Address: 4126 and 4130 Lien Road
Lot Two(2), Certified Survey Map No. 2818 filed in the Office of the Register of Deeds for Dane County, Wisconsin on May 17, 1978, in Volume 11 of Certified Survey Maps, on pages 143 and 144, as Document No. 1572285, being in the City of Madison, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE:

To: Porchlight, Inc., Brown & Associates, LLC, City of Madison and First American Title Insurance Company.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 4, 5, 7(a), 8, 9, 11(b), 16, 18 and 20(a) of Table A thereof. The field work was completed on March 12, 2015.

Dated this 20th day of MARCH, 2015

Signed: Frank J. Lapacek, P.L.S. No. 2658
EMAIL: FLAPACEK@BSE-INC.NET



LEGEND

- 3/4" SOLID IRON ROD FOUND
 - 1-1/4" SOLID IRON ROD FOUND
 - 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
 - OVERHEAD UTILITY WIRE
 - BURIED GAS LINE
 - WATER MAIN
 - SANITARY SEWER
 - STORM SEWER
 - BURIED TELEPHONE
 - BURIED ELECTRIC
 - BURIED CABLE ACCESS TELEVISION LINE
 - WATER VALVE
 - GAS VALVE
 - ELECTRIC PEDESTAL
 - UTILITY POLE
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - FIRE HYDRANT
 - SIGN
 - STORM SEWER INLET
 - STORM SEWER MANHOLE
 - ROUND CATCH BASIN
 - RECTANGLE CATCH BASIN
 - SANITARY SEWER MANHOLE
 - DRAINAGE ARROW PER CSM#2818
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDINGS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

SURVEYED FOR :

PORCHLIGHT, INC.
308 N. BROOKS ST.
MADISON, WI 53715

SURVEYED BY :

Burse

surveying & engineering inc.

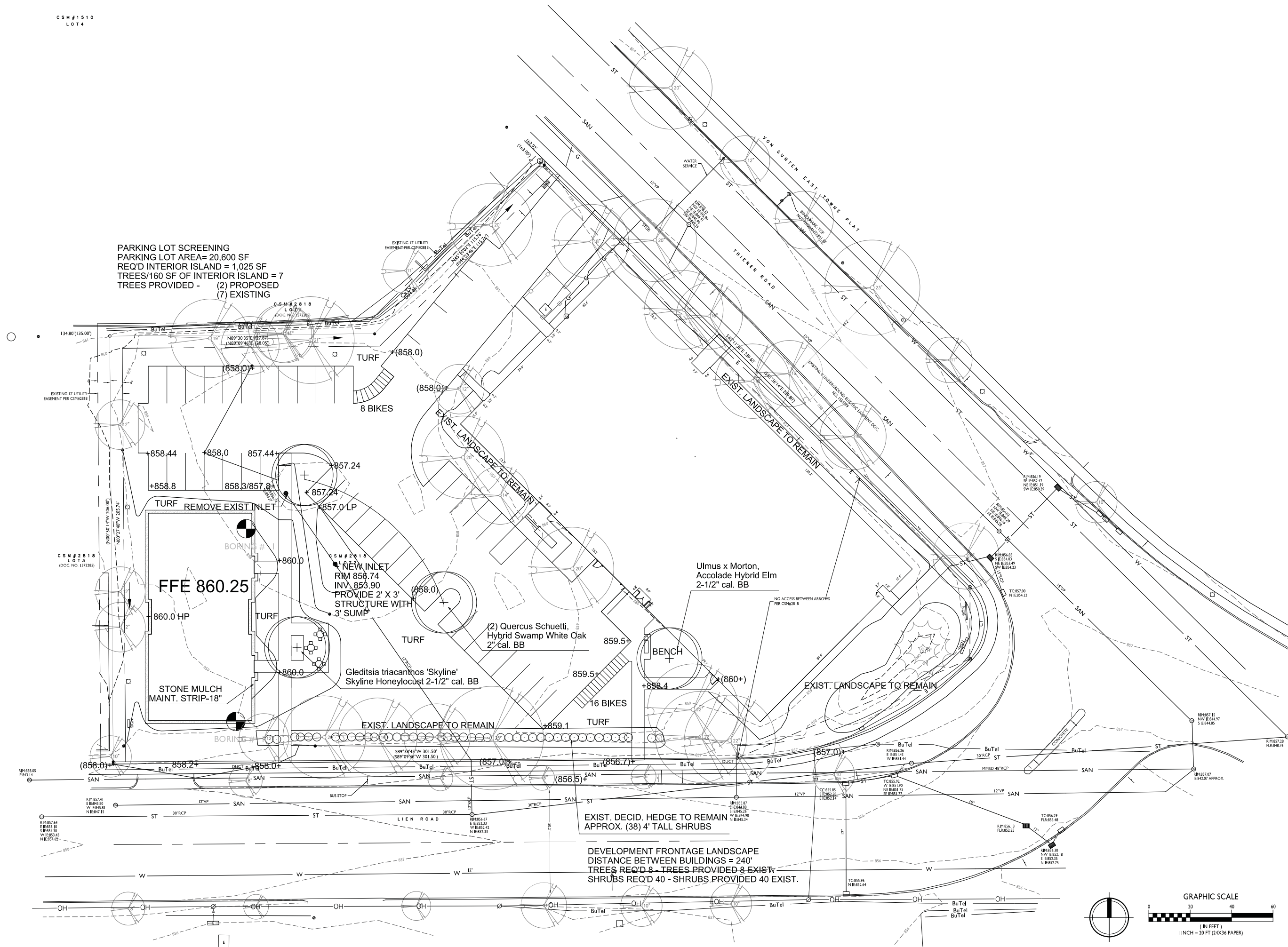
2801 International Lane, Suite 101
Madison, WI 53704 608.250.9263
Fax: 608.250.9266
email: mburse@bse-inc.net
www.bursesurveyengr.com

PROJECT TITLE
PORCHLIGHT
LIEN ROAD

SHEET TITLE
Grading Landscape Pl

PROJECT NO. 1409

© 2013 Knothe & Bruce Architects, LLC



ISSUED
Issued for Land Use Application May 13, 2015

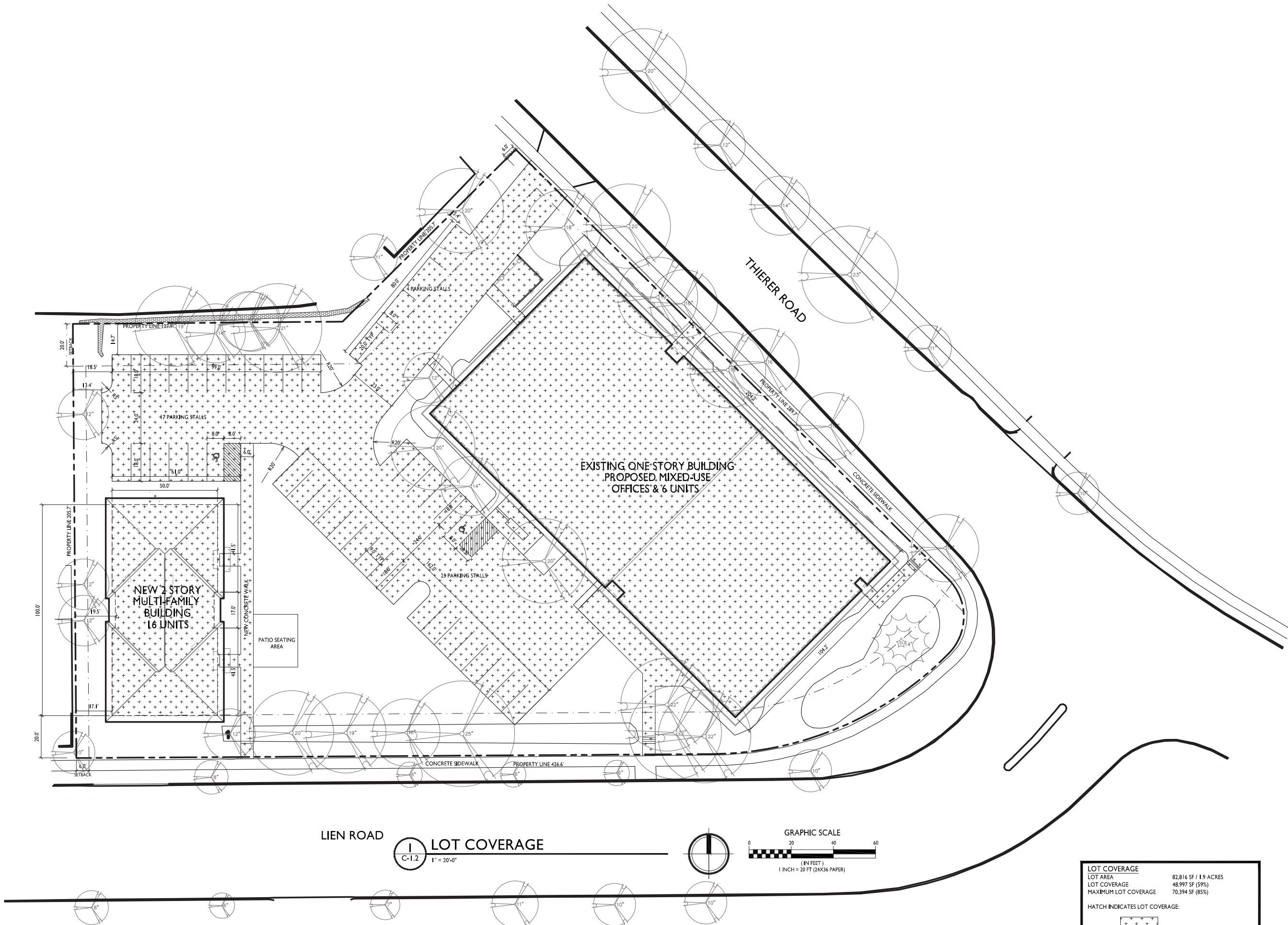
PROJECT TITLE
**PORCHLIGHT
LIEN ROAD**

4130 Lien Road,
Madison, WI 53704
SHEET TITLE
Lot Coverage

SHEET NUMBER

C-I.2

PROJECT NO. **1409**
© 2013 Knothe & Bruce Architects, LLC



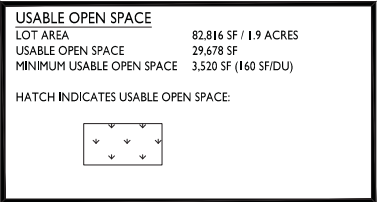
LIEN ROAD

LOT COVERAGE
C-I.2 1" = 20'-0"



GRAPHIC SCALE
0 20 40 60
(IN FEET)
1 INCH = 20 FT (24X36 PAPER)

LOT COVERAGE	
LOT AREA	82,816 SF / 1.9 ACRES
LOT COVERAGE	48,997 SF (59%)
MAXIMUM LOT COVERAGE	70,394 SF (85%)
HATCH INDICATES LOT COVERAGE:	



ISSUED
Issued for Land Use Application May 13, 2015

PROJECT TITLE
PORCHLIGHT
LIEN ROAD

4130 Lien Road,
Madison, WI 53704

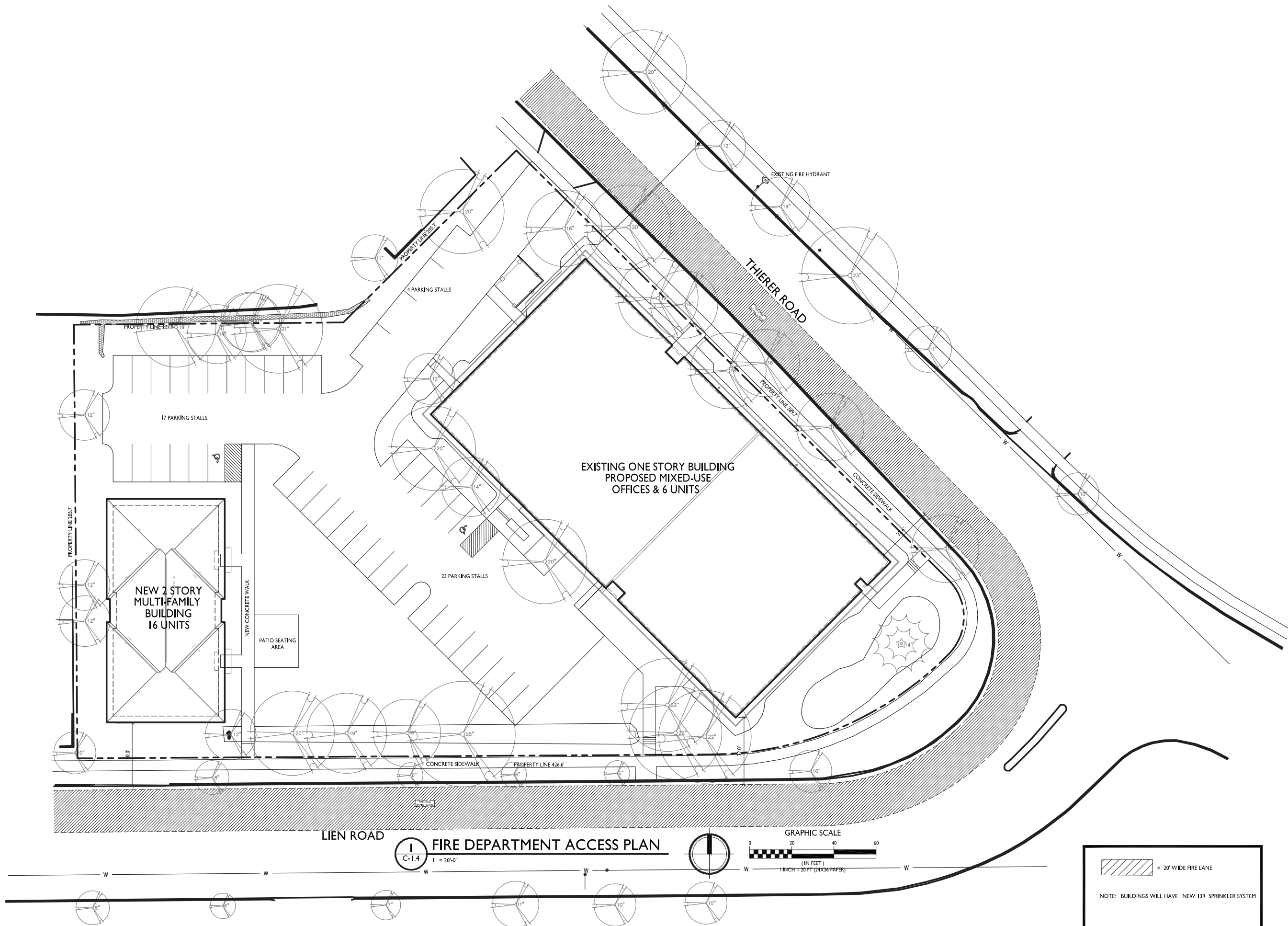
SHEET TITLE
Fire Department
Access Plan

SHEET NUMBER

C-I.4

PROJECT NO. 1409

© 2013 Knothe & Bruce Architects, LLC



Issued for Land Use Application May 13, 2015

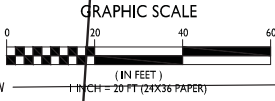
PORCHLIGHT
LIEN ROAD

Utility Plan

SHEET NUMBER

C-1.5

© 2013 Knothe & Bruce Architects, LLC



ISSUED
Issued for Land Use Application May 13, 2015

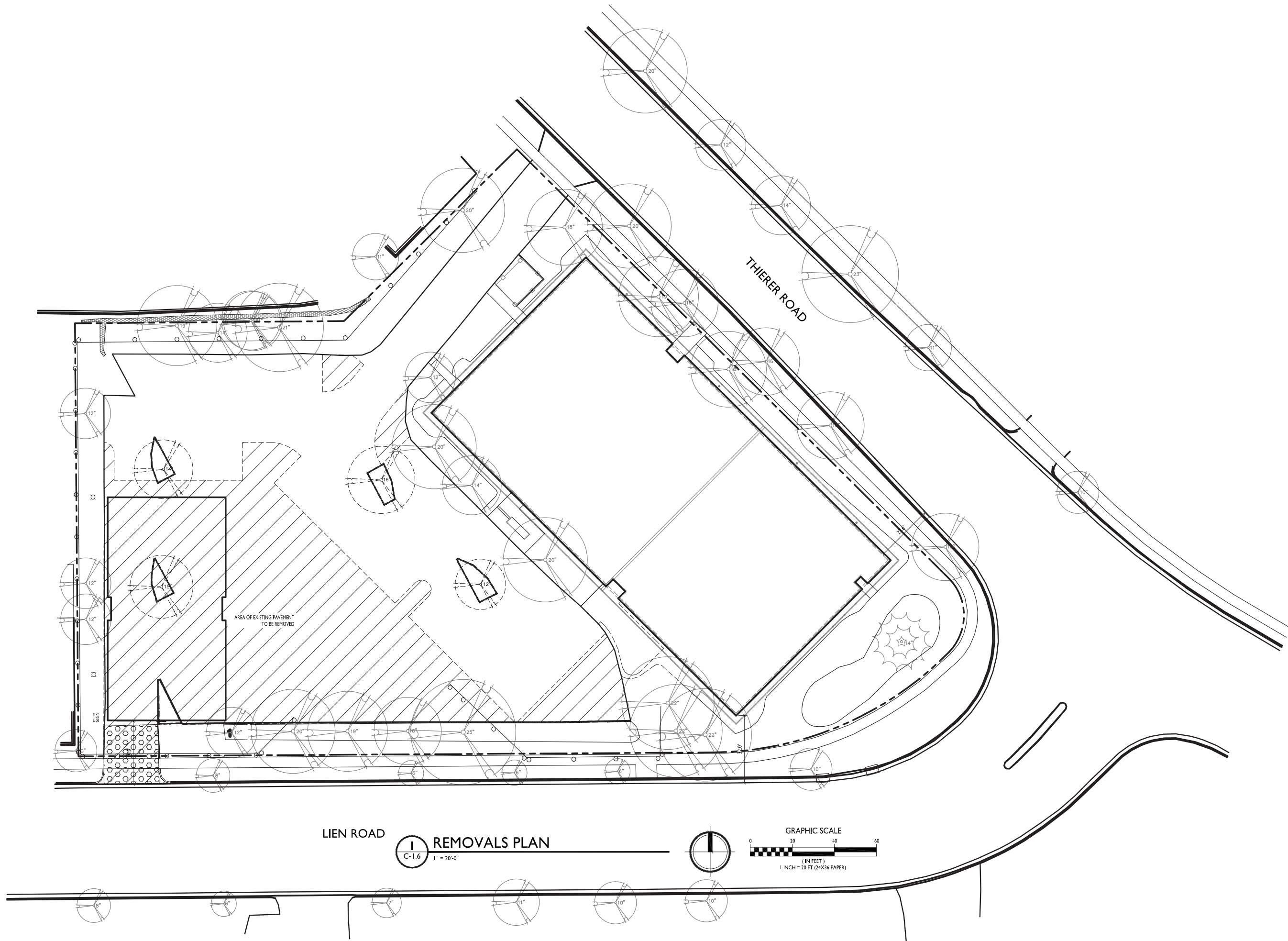
PROJECT TITLE
**PORCHLIGHT
LIEN ROAD**

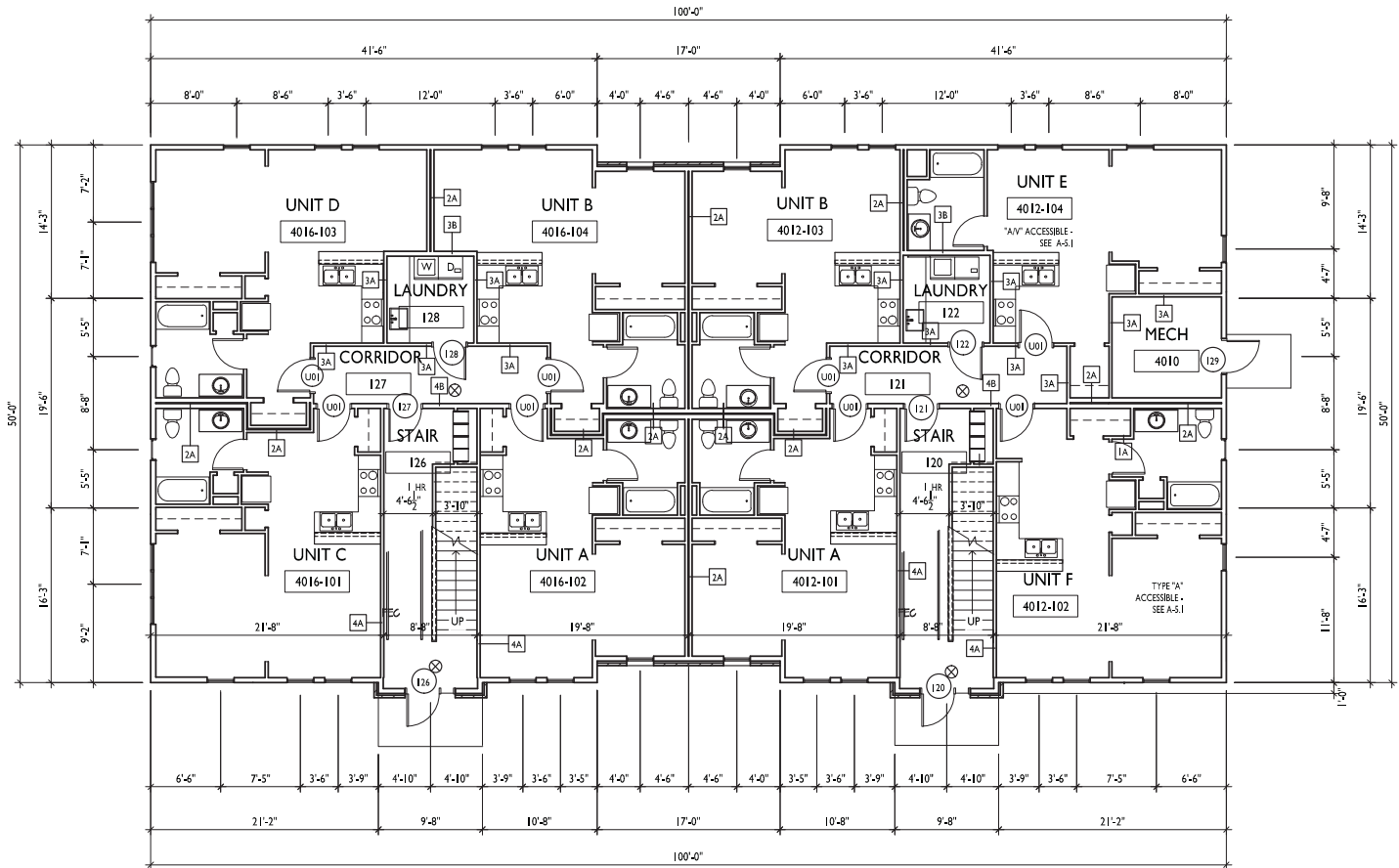
4130 Lien Road,
Madison, WI 53704
SHEET TITLE
Removals Plan

SHEET NUMBER

C-I.6

PROJECT NO. **1409**
© 2013 Knothe & Bruce Architects, LLC





1
A-1.1
1/8"=1'-0"

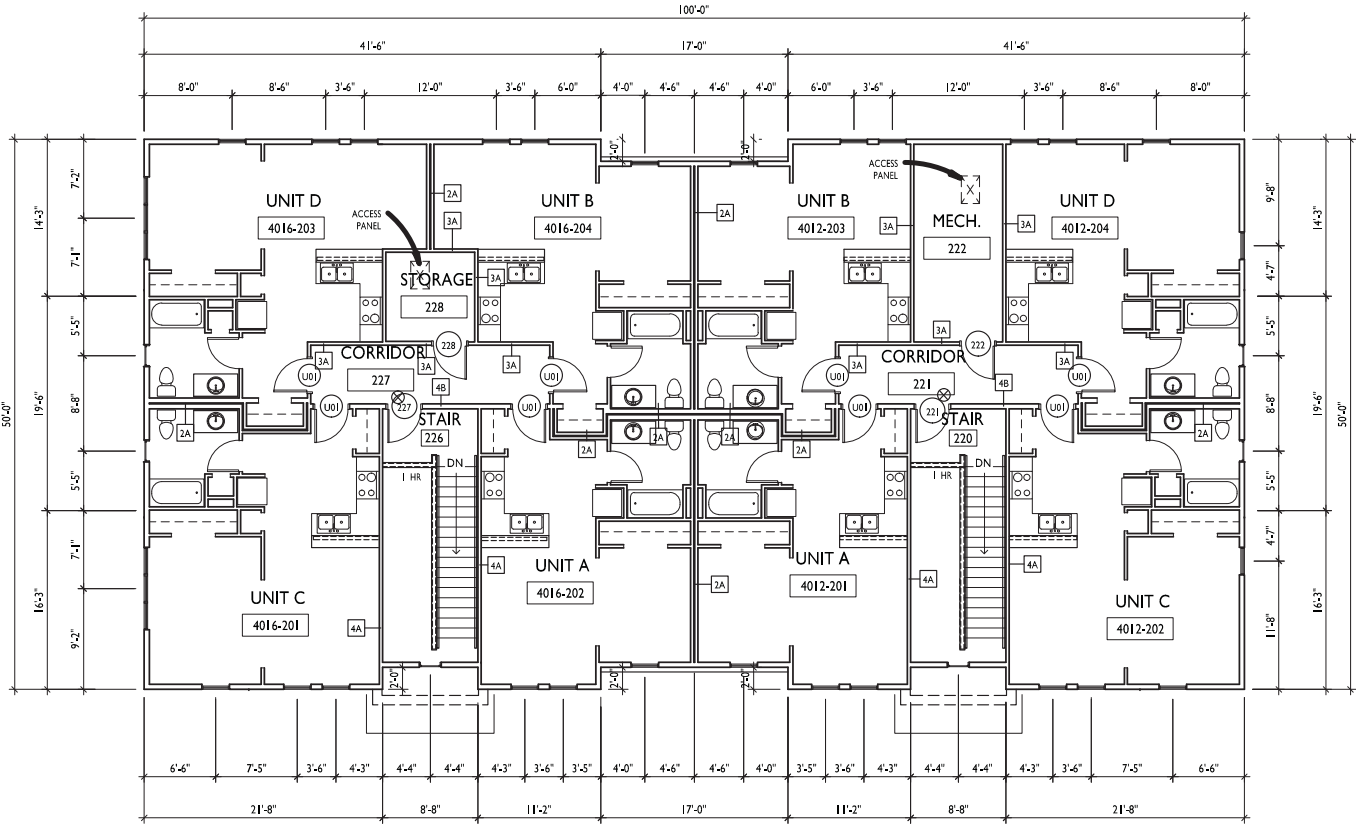
FIRST FLOOR PLAN

ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
PORCHLIGHT
LIEN ROAD

4130 Lien Road,
Madison, WI 53704
SHEET TITLE
First Floor Plan

SHEET NUMBER



ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
PORCHLIGHT
LIEN ROAD

4130 Lien Road,
Madison, WI 53704
SHEET TITLE
Second Floor Plan

SHEET NUMBER

A-I.2

PROJECT NO. 1409
© 2013 Knothe & Bruce Architects, LLC

ISSUED
Issued for Land Use Application - May 13, 2015

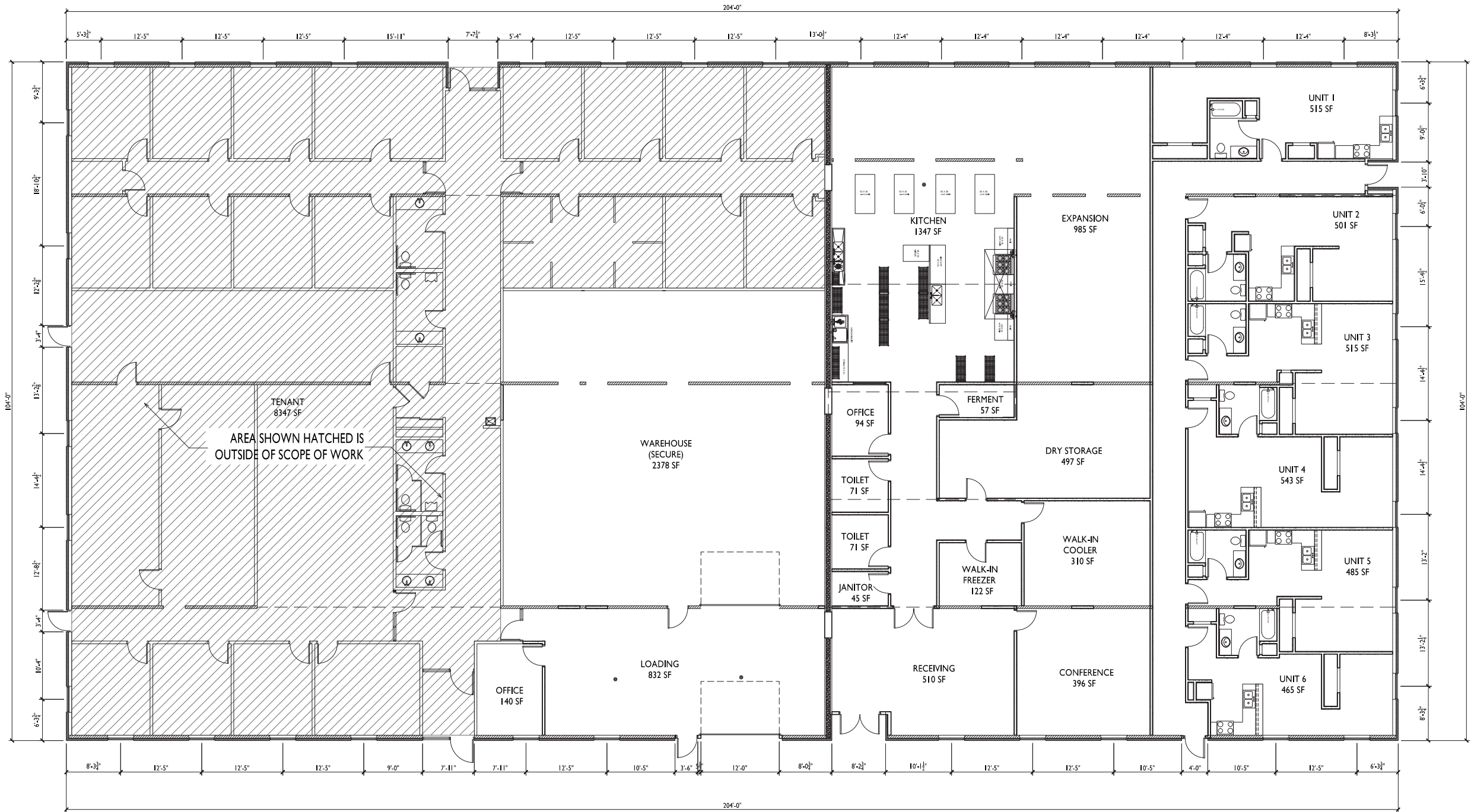
PROJECT TITLE
**PORCHLIGHT
LIEN ROAD**

4130 Lien Road,
Madison, WI 53704
SHEET TITLE
First Floor Plan

SHEET NUMBER

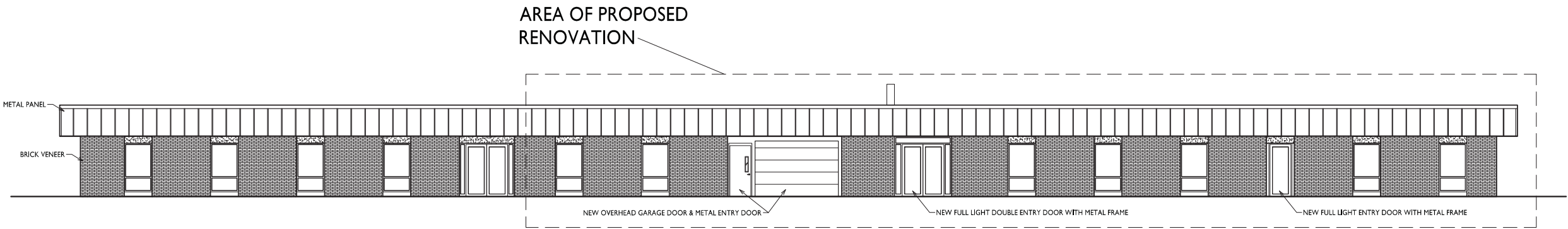
A-I.3

PROJECT NO. **1409**
© 2013 Knothe & Bruce Architects, LLC

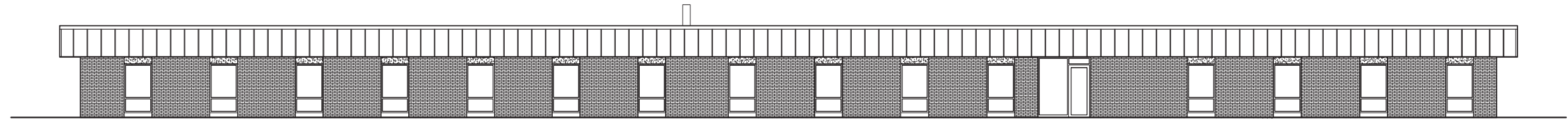


1
A-I.3
1/8"=1'-0"

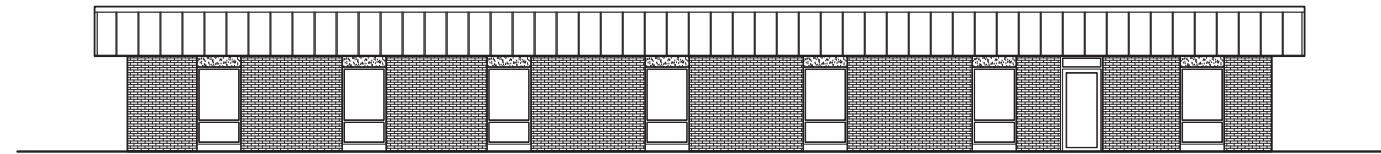




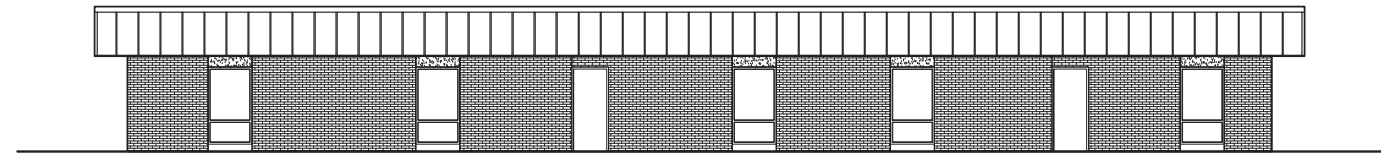
4 SOUTH WEST ELEVATION
A-2.1 1/8"=1'-0"



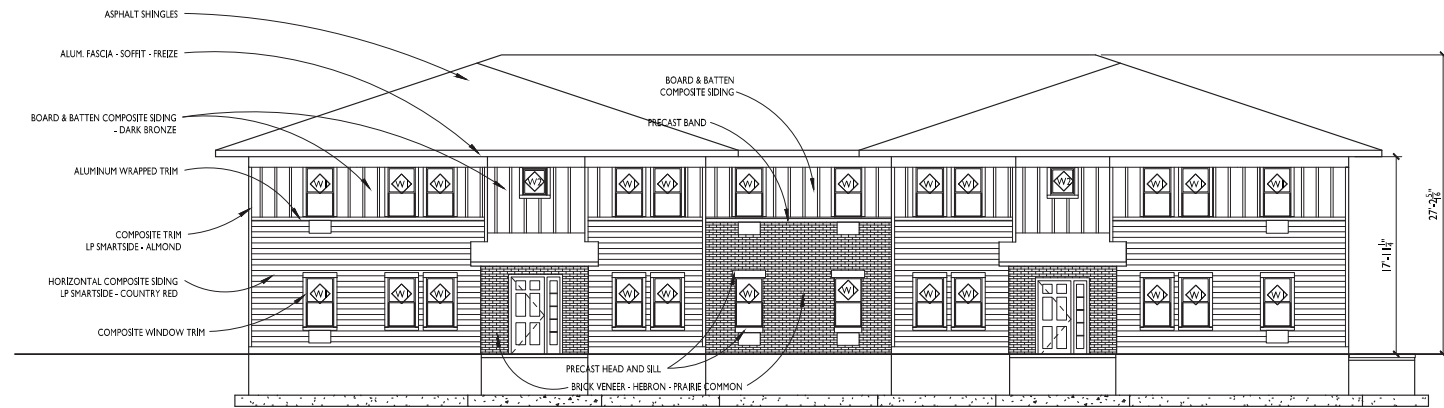
3 NORTH EAST ELEVATION
A-2.1 1/8"=1'-0"



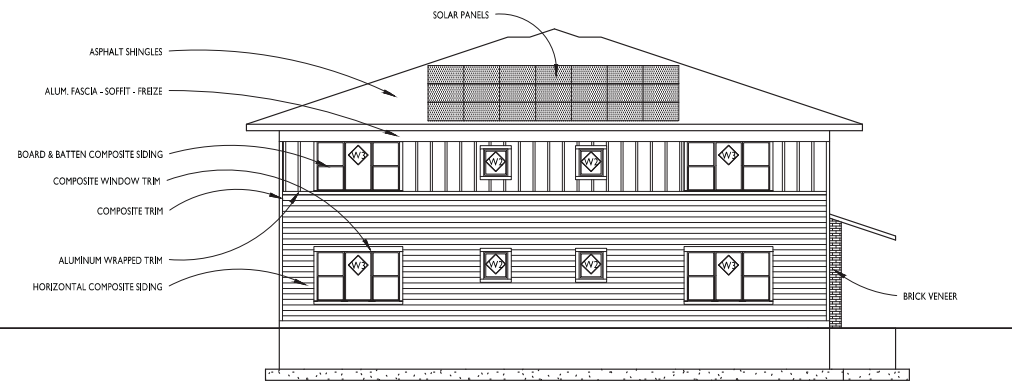
2 SOUTH EAST ELEVATION
A-2.1 1/8"=1'-0"



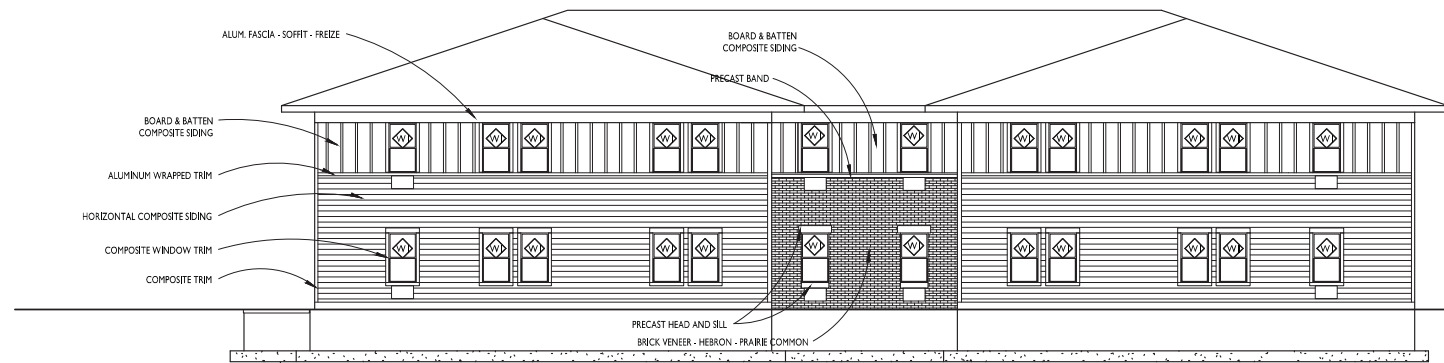
1 NORTH WEST ELEVATION
A-2.1 1/8"=1'-0"



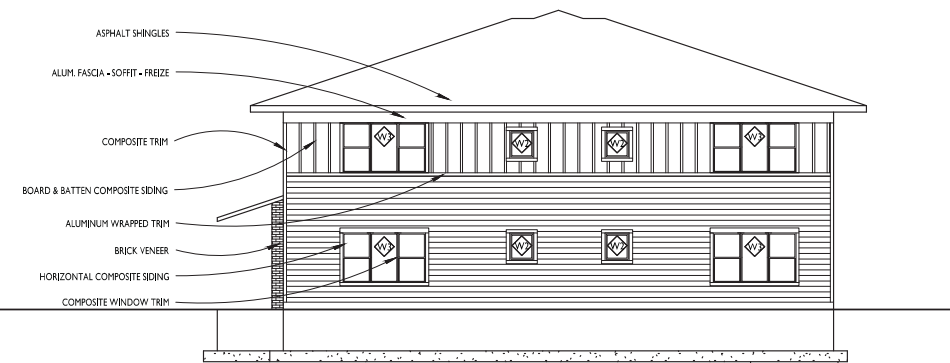
1 EAST ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTH ELEVATION
A-2.2 1/8"=1'-0"



3 WEST ELEVATION
A-2.2 1/8"=1'-0"



4 NORTH ELEVATION
A-2.2 1/8"=1'-0"