

ASSISTED LIVING, CLARE BRIDGE CROSSINGS & CLARE BRIDGE OF MADISON

413 & 429 SOUTH YELLOWSTONE DRIVE
MADISON, WI 53719



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1132 JAMES DRIVE, SUITE 104
MILWAUKEE, WISCONSIN 53219
T. 262-343-7770 F. 262-343-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
8717 W. WASHINGTON ST.
MILWAUKEE, WI 53214



SHEET

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

SHEET TITLE

TITLE SHEET
& INDEX

SHEET NUMBER
copyright © 2012

TS

NOT FOR CONSTRUCTION
DD PROGRESS SET

SITE PLAN APPROVAL SHEET INDEX	
TS	TITLE SHEET
SURVEY	PLAN OF SURVEY & TOPOGRAPHIC SURVEY
C100	EXISTING & DEMOLITION SITE PLAN
C110	SITE DEVELOPMENT PLAN
C111	RED LINED SITE DEVELOPMENT PLAN
C120	SITE DETAILS
C200	CIVIL EXISTING SITE CONDITIONS
C201	CIVIL SITE DEMOLITION PLAN
C202	CIVIL SITE GRADING PLAN
C203	CIVIL SITE UTILITY PLAN
C204	CIVIL CONSTRUCTION DETAILS
C205	CIVIL CONSTRUCTION DETAILS
C206	CIVIL CONSTRUCTION DETAILS
C207	CIVIL CONSTRUCTION DETAILS
L100	PROPOSED LANDSCAPE PLAN
E001	ELECTRICAL SITE LIGHTING CALCULATION PLAN
E002	ELECTRICAL SITE LIGHTING OUT SHEETS
D010	1ST FLOOR EXISTING/DEMOLITION PLAN
D011	2ND FLOOR EXISTING/DEMOLITION PLAN
A110	1ST FLOOR RENOVATED CLARE BRIDGE CROSSINGS FLOOR PLAN
A211	2ND FLOOR RENOVATED CLARE BRIDGE PLAN
A12	1ST FLOOR NEW ASSISTED LIVING FLOOR PLAN
A213	2ND FLOOR NEW ASSISTED LIVING FLOOR PLAN
A214	3RD FLOOR NEW ASSISTED LIVING FLOOR PLAN
A300	CLARE BRIDGE CROSSINGS / CLARE BRIDGE EXTERIOR ELEVATIONS
A301	CLARE BRIDGE CROSSINGS / CLARE BRIDGE EXTERIOR ELEVATIONS
A302	NEW ASSISTED LIVING EXTERIOR ELEVATIONS
A303	NEW ASSISTED LIVING EXTERIOR ELEVATIONS

PARKING LOT PLAN SITE INFORMATION BLOCK	
SITE ADDRESS	413 & 429 SOUTH YELLOWSTONE DRIVE, MADISON, WI 53719
SITE ACREAGE (TOTAL)	4.08 ACRES
NUMBER OF BUILDING STORIES (ABOVE GRADE)	EXISTING - 2 STORIES NEW - 3 STORIES
BUILDING HEIGHT	55' - 10' TOP OF RIDGE
DLR TYPE OF CONSTRUCTION (NEW CONSTRUCTION OR ADDITIONS)	EXISTING - TYPE & WOOD FRAME UNPROTECTED NEW - TYPE IIA, NON- COMBUSTIBLE PROTECTED
TOTAL GROSS SF OF BUILDING	96,340 SF
USE OF PROPERTY	HOME FOR THE AGED
GROSS SF OF OFFICE	NA
GROSS SF OF RETAIL AREA	NA
# EMPLOYEES IN WAREHOUSE	NA
# OF EMPLOYEES IN PRODUCTION AREA	NA
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY	NA
# OF BICYCLE STALLS SHOWN	3
NUMBER OF PARKING STALLS SHOWN	
SMALL CAR	0
LARGE CAR	71
ACCESSIBLE	4
TOTAL	75
NUMBER OF TREES SHOWN	EXISTING - 7 PROPOSED - 16

CONSULTANTS			OWNER	LOCATION MAP	VICINITY MAP
CIVIL/LANDSCAPE: VERBICHER PLANNERS/ENGINEERS 900 FOURIER DRIVE, SUITE 201 MADISON, WI 53717 PHONE: 608-225-0532 FAX NUMBER: TIMOTHY SCHLEPPER/SUZANNE VINCENT MECHANICAL/PLUMBING/FIRE ENGINEER: PSJ ENGINEERING, INC. 6000 GISHOLT DRIVE, SUITE 201 MADISON, WI 53713 PHONE: 608-223-9640 FAX NUMBER: 608-223-9640 JESSE JASPAAL, PE	STRUCTURAL: AMBROSE ENGINEERING, INC. 1600 N125 COMMERCE CT. S-100 CEDARBURG, WI 53012 PHONE: 262-377-7902 FAX NUMBER: 262-377-4508 TOM DECKER ELECTRICAL: DOLAN & DUSTIN, INC. 1211 NORTH MAYFAIR ROAD, SUITE 206 MILWAUKEE, WI 53228 PHONE: 414-774-4543 FAX NUMBER: JAMES KINCIR	ARCHITECT/INTERIORS: PDC MIDWEST, INC. 1130 JAMES DR., SUITE 106 HARTLAND, WI 53032 PHONE: 262-347-7770 FAX: 262-347-7712 CONTACT: ROBERT GUMMER, NCARB, AIA FOOD SERVICE: TBD ADDRESS: ADDRESS: PHONE: FAX: CONTACT:	BROOKDALE SENIOR LIVING, INC. 8737 W WASHINGTON ST SUITE 200 MILWAUKEE, WI 53214  BROOKDALE SENIOR LIVING		



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1110 JAMES DRIVE, SUITE 106
MILWAUKEE, WISCONSIN 53019
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

SITE

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

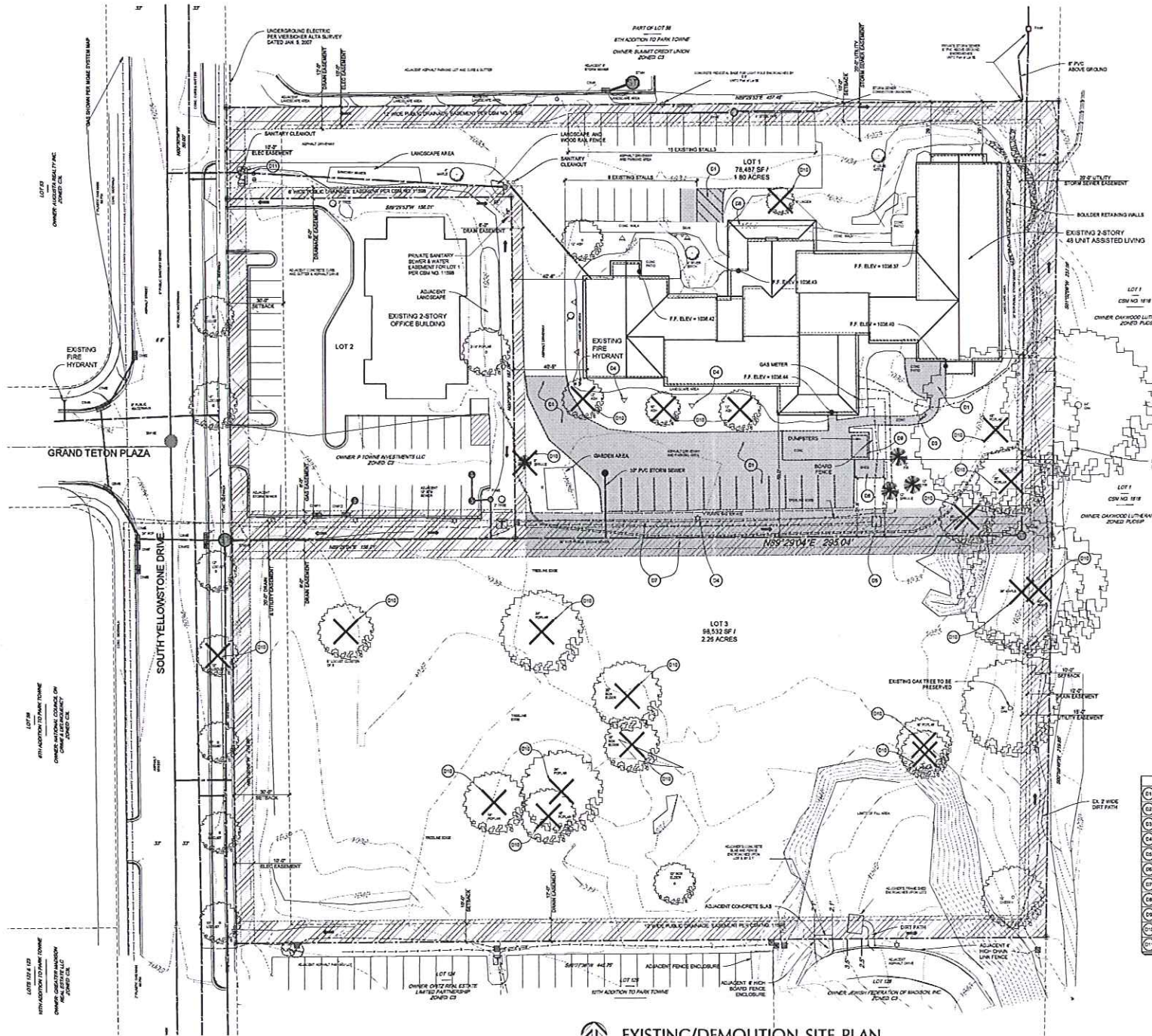
DRAWN BY CHECKED
BMC PDJ

SHEET TITLE

EXISTING/
DEMOLITION
SITE PLAN

SHEET NUMBER
C100

NOT FOR CONSTRUCTION
DD PROGRESS SET



SITE DEMOLITION KEY	
(1)	DEMOLISH EXISTING AND DISPOSE OF ASPHALT/CONCRETE PAVING, SEE CIVIL DRAWINGS
(2)	REMOVE AND DISPOSE OF CONCRETE CURBS
(3)	REMOVE AND DISPOSE OF CONCRETE SIDEWALKS
(4)	REMOVE EXISTING LIGHT FIXTURES & SUPPORT BASES, SEE ELECTRICAL SITE PLAN FOR RELOCATION
(5)	REMOVE & RELOCATE EXISTING ELECTRICAL TRANSFORMER, SEE CIVIL & ELECTRICAL DRAWINGS
(6)	REMOVE AND DISPOSE OF EXISTING SHED BUILDING
(7)	RELOCATE UTILITIES & UTILITY EASEMENT, SEE CIVIL DRAWINGS
(8)	DEMOLITION PORTION OF EXISTING BUILDING SEE DEMOLITION FLOOR PLAN
(9)	REMOVE DUMPSTER ENCLOSURE WALLS/GATE AND DUMPSTER PAD
(10)	REMOVE & DISPOSE OF EXISTING TREES
(11)	REMOVE EXISTING MONUMENT SIGN



EXISTING/DEMOLITION SITE PLAN
1"=20' @ 30X42 FORMAT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1110 JAMES DRIVE, SUITE 100
HARLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7732
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53224

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

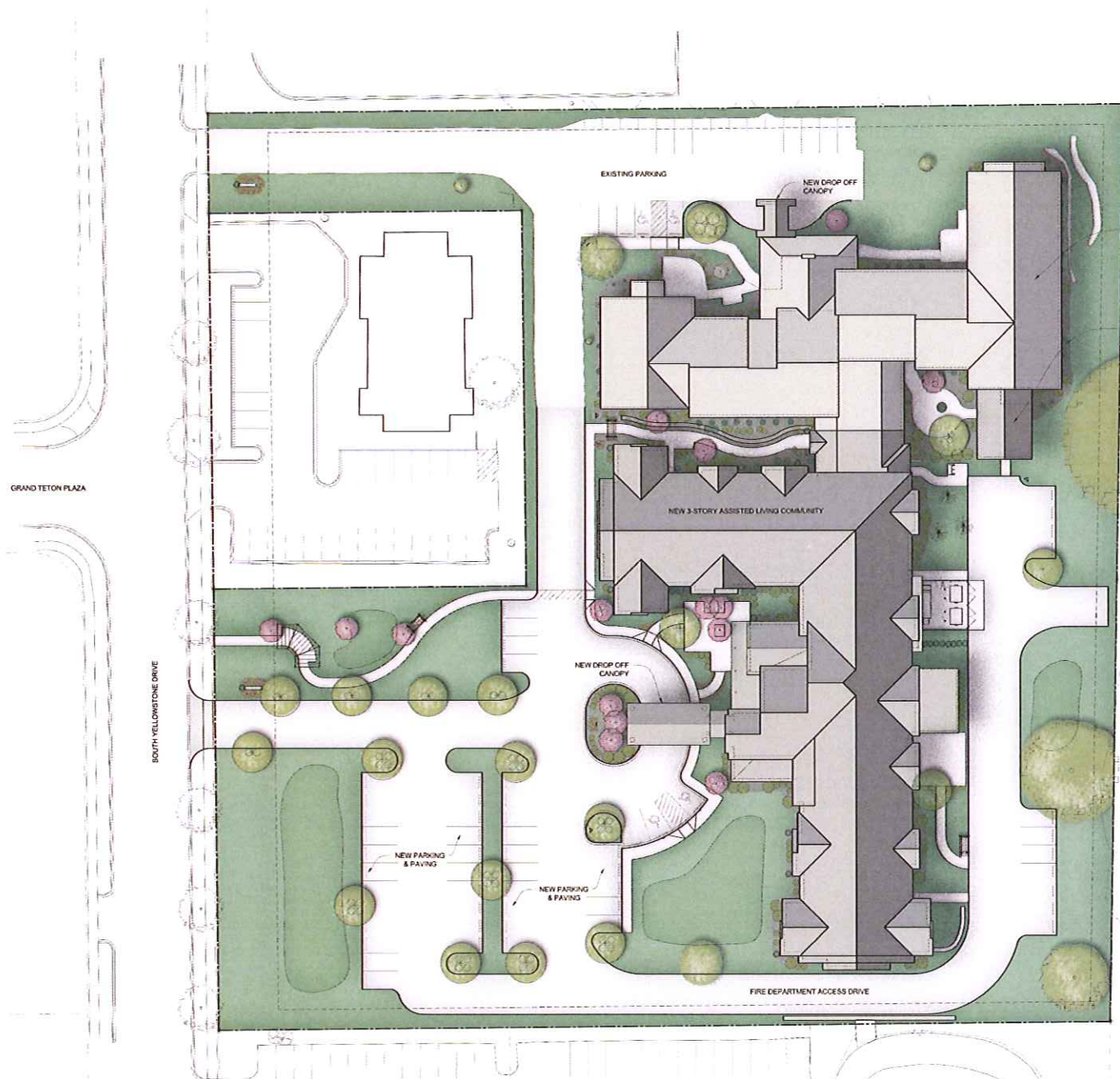
SHEET TITLE

RENDERED
SITE DEVELOPMENT
PLAN

SHEET NUMBER
copyright © 2012

C111

NOT FOR CONSTRUCTION
DD PROCESS SET



RENDERED SITE DEVELOPMENT PLAN

1"=20'0" • 30'X42' FORMAT





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1110 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

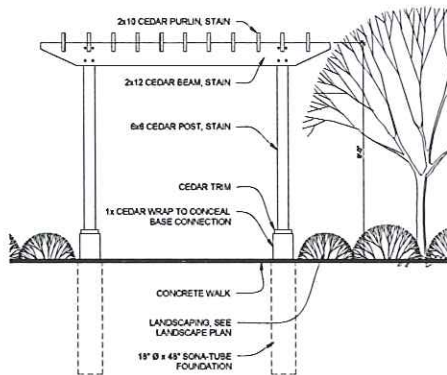
SHEET TITLE

SITE DETAILS

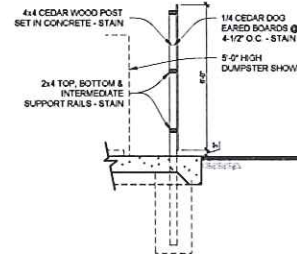
SHEET NUMBER
C120 copyright © 2012

C120

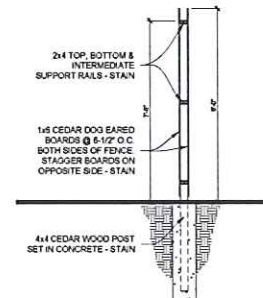
NOT FOR CONSTRUCTION
DD PROGRESS SET



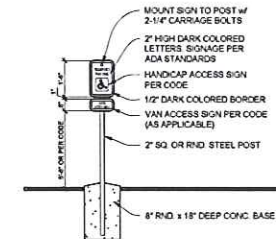
1 TYPICAL PERGOLA ELEVATION
C120 1/2\"/>



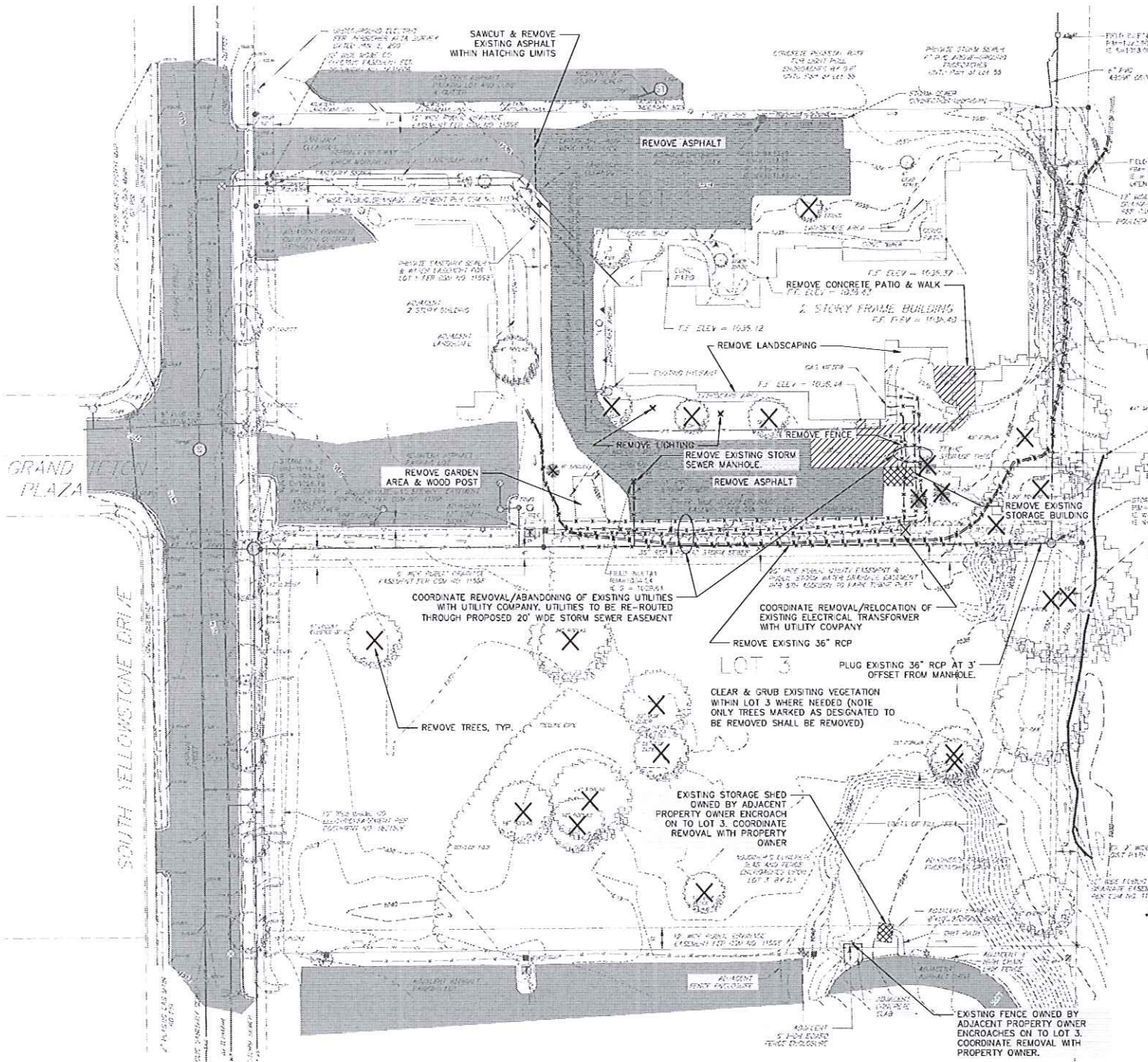
2 DUMPSTER ENCLOSURE FENCE
C120 1/2\"/>



3 TYPICAL COURTYARD FENCE
C120 1/2\"/>



4 ACCESSIBLE PARKING SIGNAGE
C120 1/2\"/>



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 100
MILWAUKEE, WISCONSIN 53208
TEL: 414-387-7770
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT

veribicher | 
ARCHITECTS & ENGINEERS

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
ACAR TSCH

SHEET TITLE

SITE DEMOLITION
PLAN

SHEET NUMBER

copyright © 2012

C201

NOT FOR CONSTRUCTION
DO NOT PROCEED SET

DEMOLITION PLAN LEGEND

-  ASPHALT REMOVAL
-  CONCRETE REMOVAL
-  BUILDING REMOVAL
-  CONIFEROUS TREE REMOVAL
-  DECIDUOUS TREE REMOVAL
-  UTILITY STRUCTURE REMOVAL
-  UTILITY POLE REMOVAL
-  GENERAL LIGHT REMOVAL
-  UNDERGROUND CABLE TV REMOVAL
-  UNDERGROUND TELEPHONE REMOVAL
-  FENCE REMOVAL
-  GAS LINE REMOVAL
-  UNDERGROUND ELECTRIC REMOVAL
-  STORM SEWER REMOVAL

TOPOGRAPHIC LEGEND

-  EXISTING SANITARY SEWER
-  EXISTING WATER MAIN
-  EXISTING STORM SEWER
-  EXISTING GAS MAIN
-  EXISTING UNDERGROUND ELECTRIC
-  EXISTING UNDERGROUND TELEPHONE
-  EXISTING UNDERGROUND CABLE TV
-  EXISTING SANITARY MANHOLE
-  EXISTING SANITARY CLEANOUT
-  EXISTING WATER MAIN VALVE
-  EXISTING CURB STOP
-  EXISTING FIRE HYDRANT
-  EXISTING CURB INLET
-  EXISTING FIELD INLET
-  EXISTING STORM MANHOLE
-  EXISTING YARD LIGHT
-  EXISTING ELECTRIC PEDESTAL
-  EXISTING TRANSFORMER
-  EXISTING TELEPHONE PEDESTAL
-  EXISTING TV PEDESTAL
-  EXISTING CHAINLINK FENCE
-  EXISTING SIGN (TYPE NOTED)
-  LIMITS OF TREES OR VEGETATION
-  EXISTING SHRUB
-  EXISTING CONIFEROUS TREE
-  EXISTING DECIDUOUS TREE
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
- EXISTING SPOT GRADE
- EXISTING ASPHALT PAVEMENT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 100
MILWAUKEE, WISCONSIN 53201
T: 262-387-7770
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT

vierbicher
architects & engineers, s.c.

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
RKOL TSCH

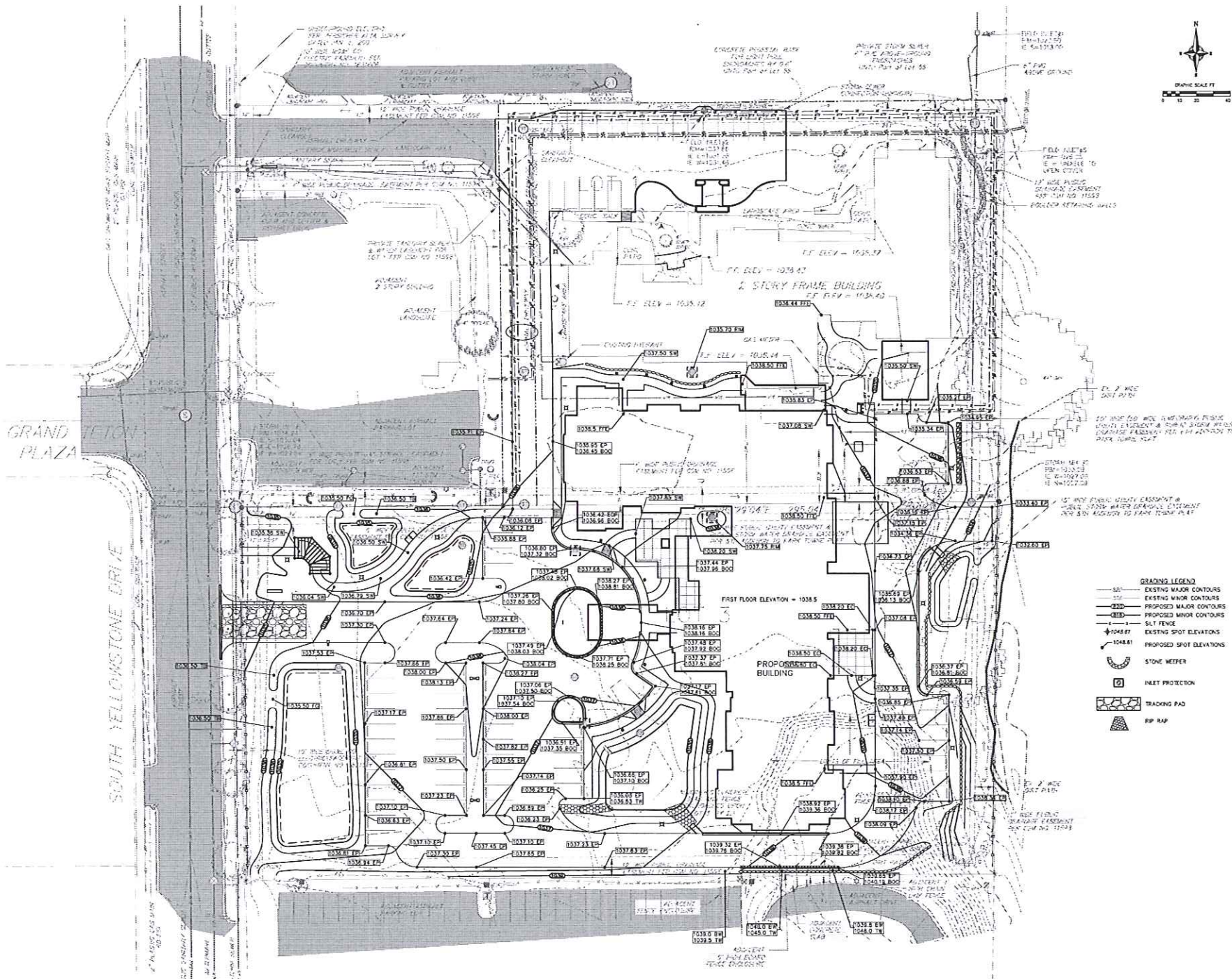
SHEET TITLE

SITE GRADING
PLAN

SHEET NUMBER
copyright © 2012

C202

NOT FOR CONSTRUCTION
DD PROGRESS SET





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 100
MILWAUKEE, WISCONSIN 53015
TEL: 414-381-7770
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT

veribacher
ARCHITECTURAL & ENGINEERING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE

11025 | 12-05-12

DRAWN BY CHECKED

RKOL | TSCH

SHEET TITLE

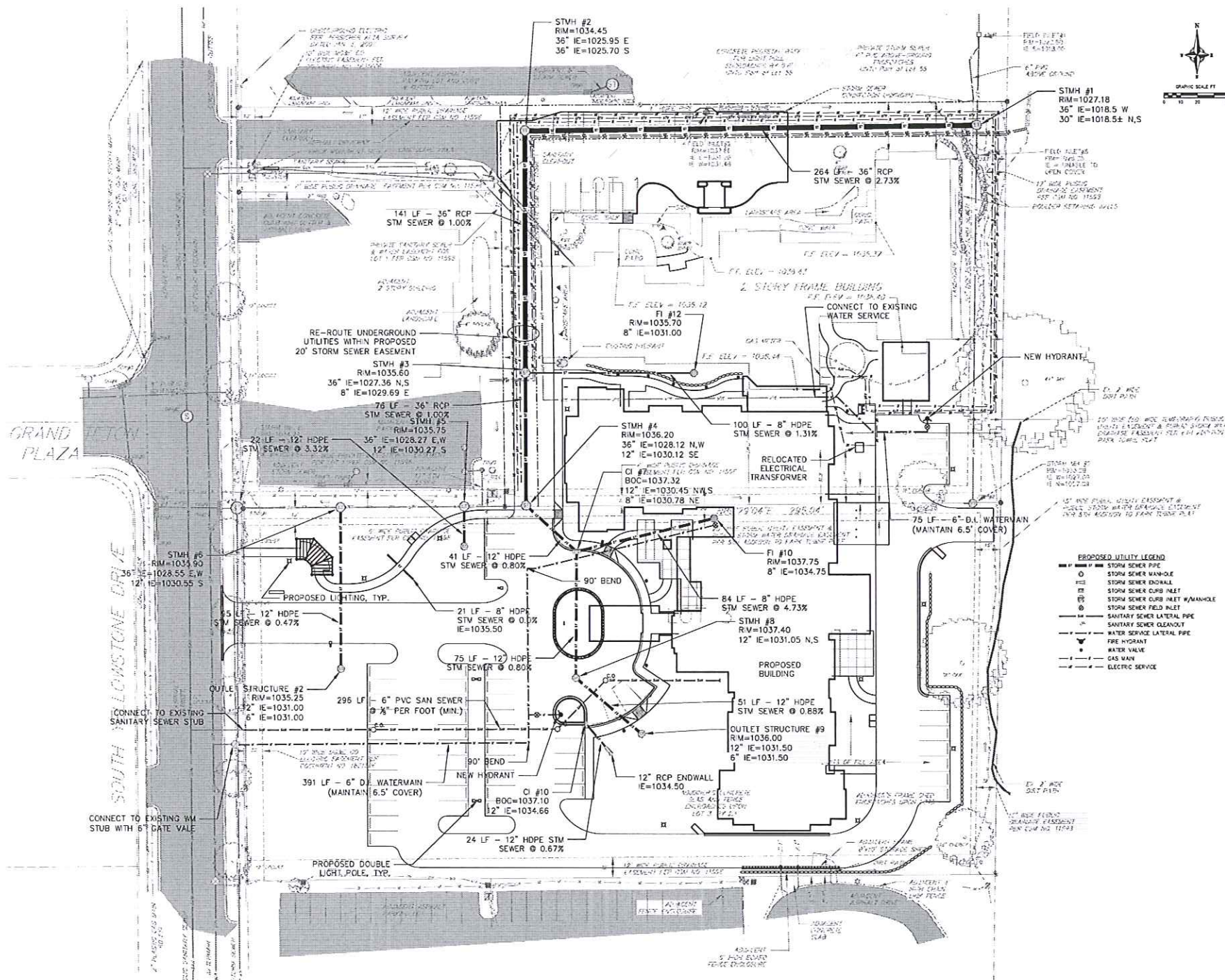
SITE UTILITY
PLAN

SHEET NUMBER

copyright © 2012

C203

NOT FOR CONSTRUCTION
DD PROGRESS SET





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.

1130 JAMES DRIVE, SUITE 100
MILWAUKEE, WISCONSIN 53029
P: 414-347-7170
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT

vierbicher
INCORPORATED

STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

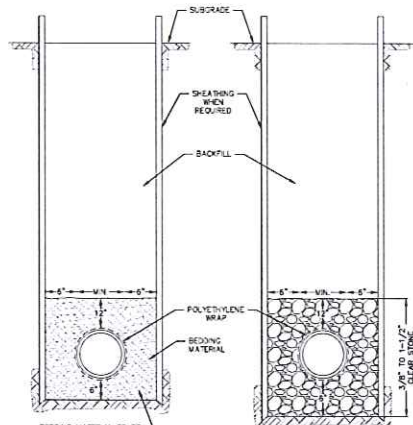
DRAWN BY CHECKED
ACAR TSCH

SHEET TITLE

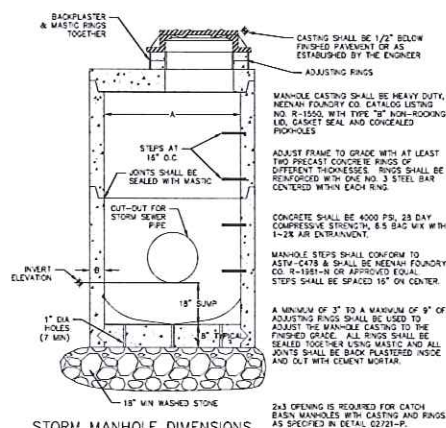
CIVIL
CONSTRUCTION
DETAILS

SHEET NUMBER
C204

NOT FOR CONSTRUCTION
DD PROGRESS SET

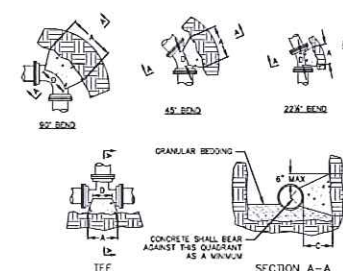


DRY TRENCH CONDITION



STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION A (MIN)	DIMENSION B (MIN)
18"	48"	36"
24"	60"	48"
30"	72"	60"
36"	84"	72"
42"	96"	84"



CONCRETE SHALL BE CLASS "CC", SEE SECTION 03201

PIPE SIZE	BUTTRISS DIMENSIONS					
	A	B	C	D	E	F
18"	12"	12"	12"	12"	12"	12"
24"	18"	18"	18"	18"	18"	18"
30"	24"	24"	24"	24"	24"	24"
36"	30"	30"	30"	30"	30"	30"
42"	36"	36"	36"	36"	36"	36"

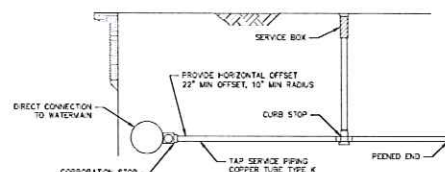
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSF AND SOIL RESISTANCE OF 2000 LBS/SQ FT

* = FOR TEE THIS WILL BE THE BRANCH PIPE

1 STANDARD TRENCH SECTION
C203 NOT TO SCALE

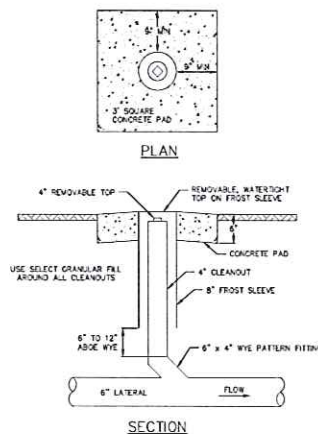
2 STORM SEWER MANHOLE CATCH BASIN
C203 NOT TO SCALE

3 BUTTRESS FOR BENDS
C203 NOT TO SCALE



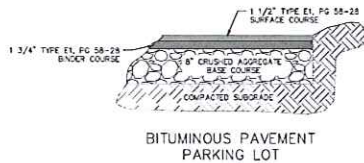
NOTE: UNLESS OTHERWISE STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING BODY, ALL LATERALS SHALL BE INSTALLED TO A POINT TO BEYOND THE BACK OF ANY PROPOSED SIDEWALK OR 5 FEET BEYOND THE LIMITS OF ANY UTILITY EXCAVATIONS IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY, WHICHEVER IS GREATER. CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

4 WATER SERVICE
C203 NOT TO SCALE

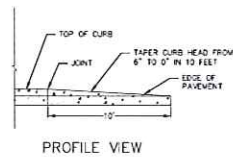


5 6" SANITARY CLEANOUT
C203 NOT TO SCALE

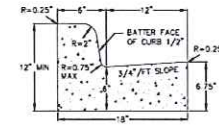
C204



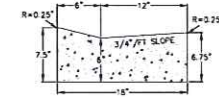
1 SITE PAVEMENT
C202 NOT TO SCALE



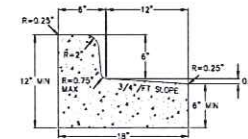
2 CURB & GUTTER TERMINATION
C202 NOT TO SCALE



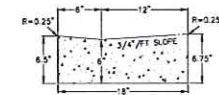
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION

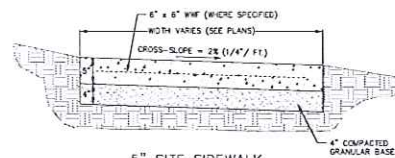


CURB AND GUTTER
REJECT SECTION

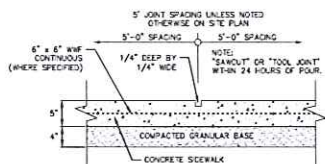


HANDICAP RAMP
GUTTER CROSS SECTION

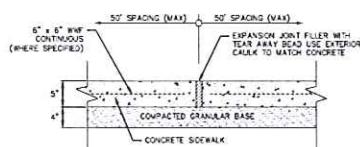
3 18" CONCRETE CURB & GUTTER
C202 NOT TO SCALE



5" SITE SIDEWALK

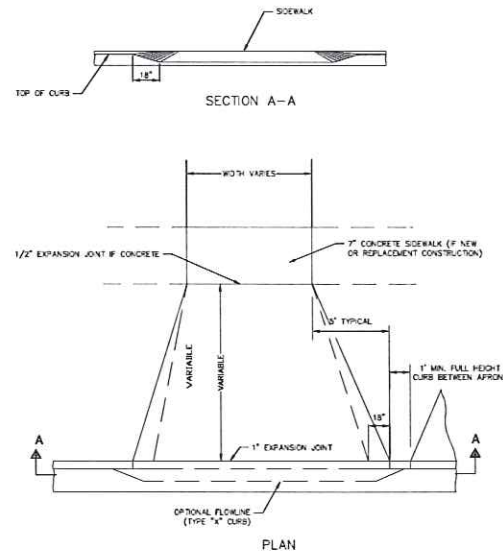


SIDEWALK CONTROL JOINT

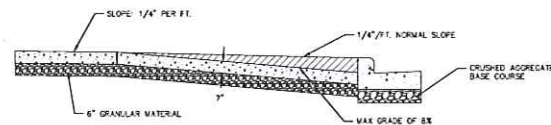


SIDEWALK EXPANSION JOINT

5 5" SIDEWALK
C202 NOT TO SCALE

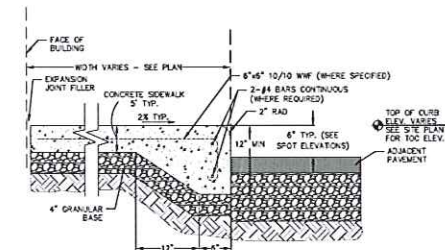


PLAN

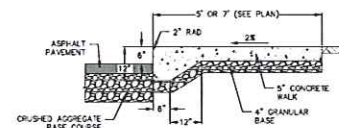


PROFILE

6 COMMERCIAL DRIVE DETAIL
C202 NOT TO SCALE



4 CURBED SIDEWALK DETAIL
C202 NOT TO SCALE



7 CURBED SIDEWALK SITE DETAIL
C202 NOT TO SCALE



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 108
MILWAUKEE, WISCONSIN 53019
TEL: 414-224-7770
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT

vierbicher
ARCHITECTS & ENGINEERS

STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE

11025 12-05-12

DRAWN BY CHECKED

ACAR TSCH

SHEET TITLE

CIVIL
CONSTRUCTION
DETAILS

SHEET NUMBER

copyright © 2012

C205

NOT FOR CONSTRUCTION
DD PROGRESS SET

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (115.111 for non-point source water pollution) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS OR THE DESIGNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT TRACKING PAD REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TAPPING, EROSION MATS, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-REMOVED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTAINMENT BASINS WHICH HAVE A DEPTH OF AT LEAST 3 FEET. BE SURROUNDED BY SUFFICIENTLY EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 100 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DRAINAGE PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE SOIL OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. PUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
9. WASHED STONE WEEDERS OR TEMPORARY EARTH BOWNS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS ARE NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH EROSION MAT, SOIL) OF A DISTURBED AREA, INCLUDE SUFFICIENT WATERING PROVISIONS OF ALL NEWLY SEEDS AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 1:1 AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT AVAILABILITY LIST), OR EQUIVALENT. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
23. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
24. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
25. ANY SIDEWALK AND CURB & GUTTER ADJUTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL GRASS AT 3.0 LB./1,000 SF. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #42 AT 2 LB./1,000 SF.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 SF.

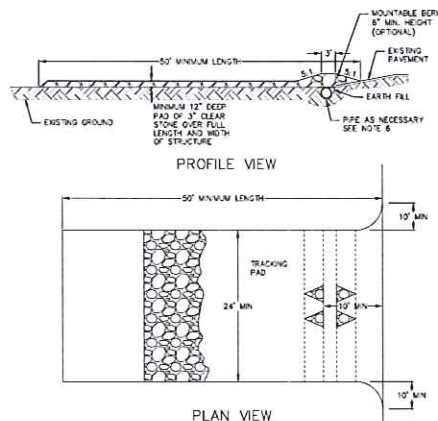
MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1" TO 1.5" STRAW OR HAY MULCH, CHIPPED PER SECTION 607.2.2.3 ON OTHER RATE, AND 4" TO 6" PER SECTION 607.2.2.3. WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

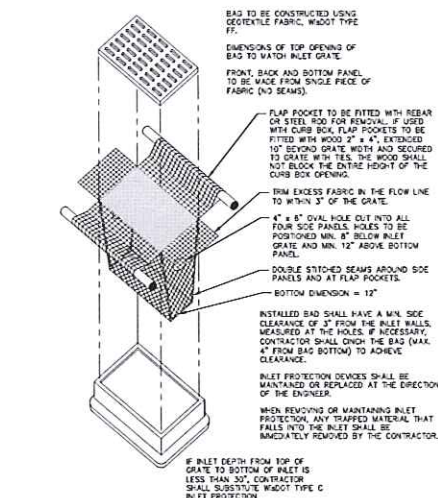
CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
3. PERFORM SITE DEMOLITION AND REMOVE PAVERMENT.
4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
5. ROUGH GRADE FOR BUILDING PADS AND WALKS.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. INSTALL INLET PROTECTION ON NEW INLETS.
8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

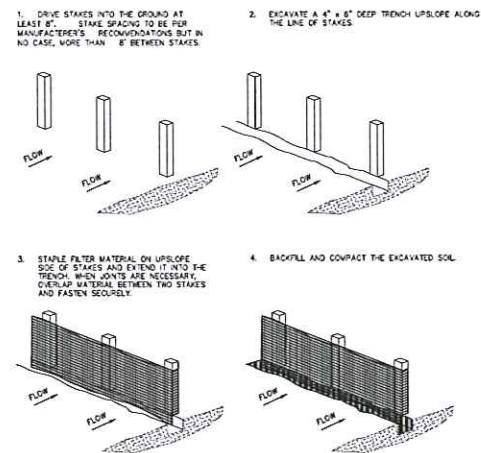


1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-NR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 8" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO CHANCE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF BAD PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

8 TRACKING PAD C202 NOT TO SCALE



9 INLET PROTECTION TYPE D C202 NOT TO SCALE



10 CONSTRUCTION OF A FILTER BARRIER C202 NOT TO SCALE



PLANNING DESIGN CONSTRUCTION

PDC MIDWEST, INC.

1130 JAMES DRIVE, SUITE 108
MARTIN, WISCONSIN 53049
P: 262-387-7775
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE SENIOR LIVING

CONSULTANT

vierbicher | architects
interior | landscape | urban
1000 WEST WASHINGTON AVE
MADISON, WI 53703

STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
ACAR TSCH

SHEET TITLE

CIVIL CONSTRUCTION
DETAILS

SHEET NUMBER
copyright © 2012

C206

NOT FOR CONSTRUCTION
DD PROGRESS SET



PROJECT

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER _____



BROOKDALE
SENIOR LIVING

CONSULTANT

STATUS

PROJECT NO.	DATE
11025	12-05-12

SHEET TITLE

SHEET NUMBER _____ copyright © 2012

NOT FOR CONSTRUCTION
DD PROGRESS SET



5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.



NOTE:
FINAL LENGTH, ANGLE AND SLOPE OF FLUME TO
BE FIELD FIT TO MATCH DITCH. CONTRACTOR TO
COORDINATE WITH ENGINEER.

SHEET NUMBER copyright © 2012

C207



PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING OF MADISON

TBD SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

**BROOKDALE SENIOR
LIVING COMMUNITIES, INC.**
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN
APPROVAL SUBMITTAL

PROJECT NO.	DATE
11025	12-05

DRAWN BY CHECKED

SHEET TITLE

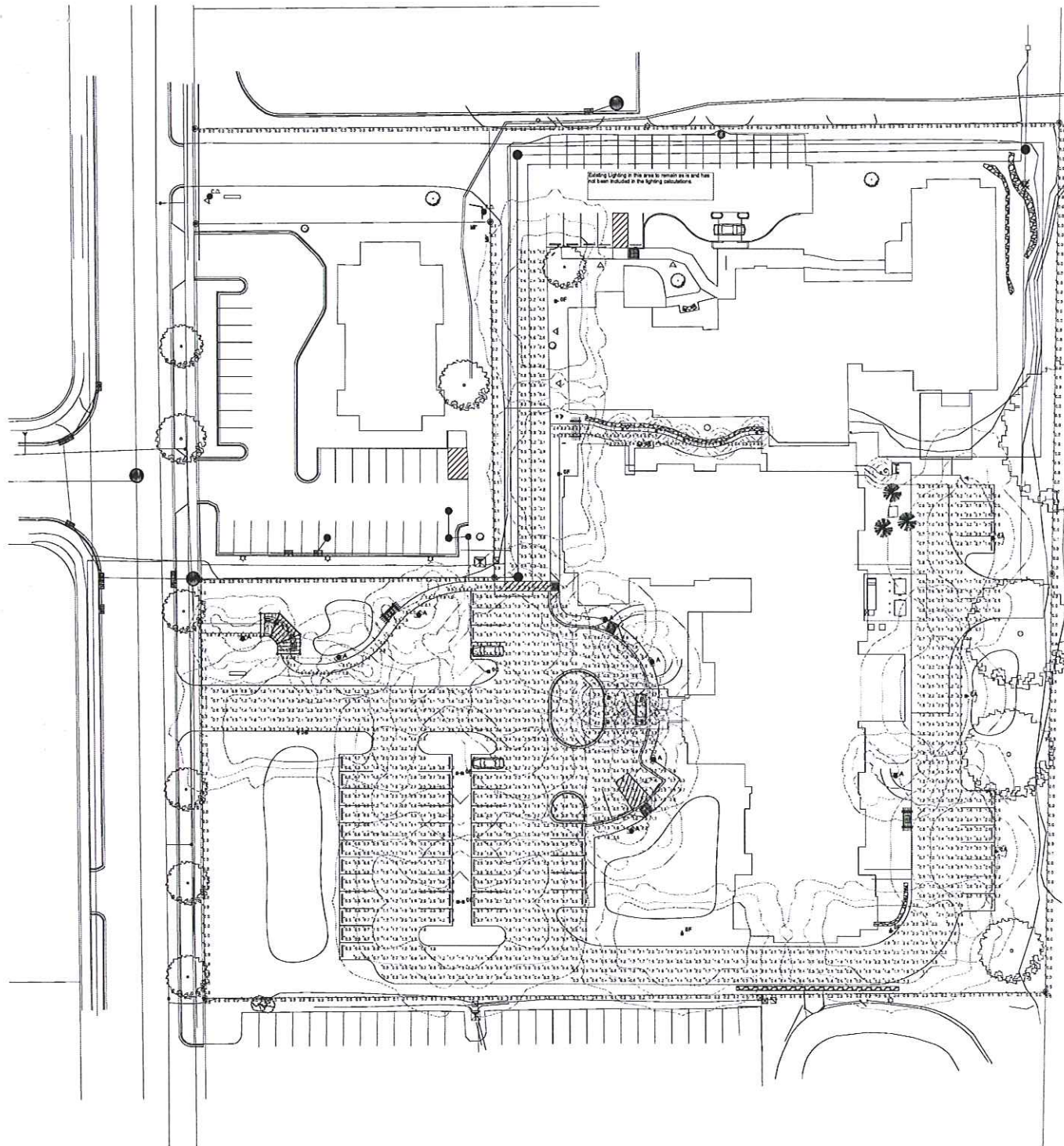
Electrical Site Lighting Calculation Plan

SHEET NUMBER

copyright © 2012

E001

NOT FOR CONSTRUCTION
DD PROGRESS SET



STATISTICS						
Description	Symbol	Ang	Arg	Max	WaxMax	AngWax
Exit Left Lane	→	0.5%	0.1%	0.0%	N/A	N/A
Exit Right Lane	→	0.5%	0.1%	0.0%	N/A	N/A
Exit Flanking	→	1.8%	2.3%	0.3%	11.0%	5.0%
Exit Crossover Only	→	1.8%	0.8%	0.3%	7.7%	4.0%
Exit Right and main passing	→	1.8%	4.2%	0.3%	14.6%	5.0%
Interchange Boreline Crossover	→	1.8%	2.3%	0.3%	14.0%	5.0%
North Left Lane	→	0.5%	0.0%	0.0%	N/A	N/A
Northbound	→	1.5%	0.4%	0.3%	10.0%	3.0%
Northbound - Left Lane	→	0.1%	0.4%	0.1%	4.0%	1.0%
Leftturn	→	2.4%	3.2%	0.4%	6.0%	3.0%
Stop Only	→	1.4%	2.5%	0.3%	9.7%	4.0%
Shoulder Left Lane	→	0.1%	0.0%	0.0%	N/A	N/A
Shoulder Center Left Lane	→	0.1%	0.0%	0.0%	N/A	N/A
Shoulder Right Lane	→	0.1%	0.0%	0.0%	N/A	N/A

Listing Calculation Notes

- Lighting Calculation Notes:**
1. Calculations are prepared showing maintained light levels in accordance with IESNA standards.
 2. Calculations of property line show calculated values at 4'-0" above grade as required by Madison Outdoor Lighting Ordinance Section 10.085.
 3. Proposed lighting design utilizes 0.04 foot-candle per square foot which is less than the 0.06 foot-candle per square foot allowed for Open Parking Facilities of Low Level of Activity.
 4. Light levels for the "East Entry Canopy" slightly exceed the "Maximum Uniformity Ratio" because of a desired under the drive canopy.

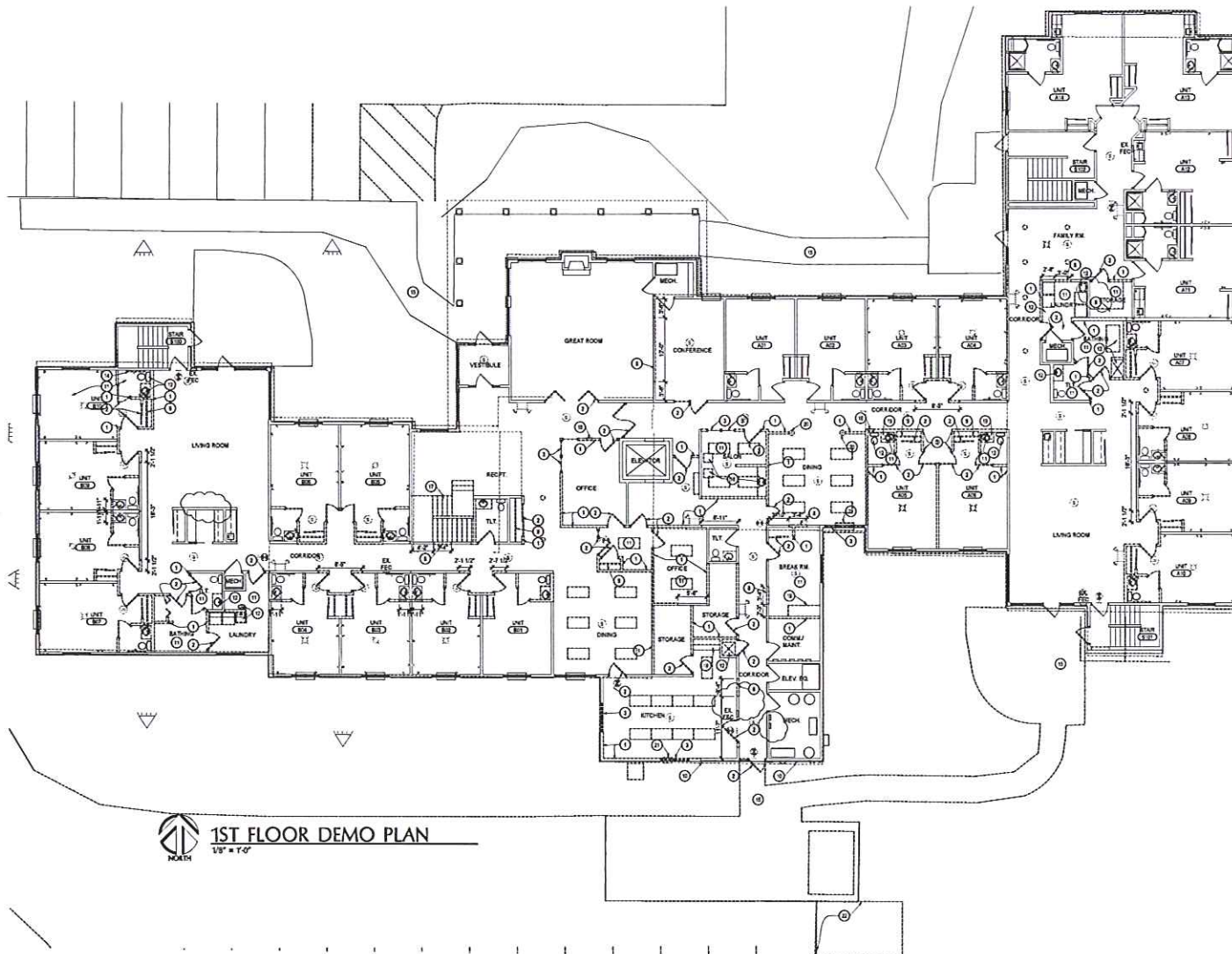
Lighting Calculations Prepared by:
James S. Kneet, P.E.
Dolan & Dustin, Inc.
Consulting Electrical Engineers & Planners
1011 North Mayfair Road, Suite 206
Winnetka, IL 60093
Ph (414) 774-4543
em at: james@dolananddustin.com

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Cutting Number	Description	Lamp	Fits	Lumens	LLF	Watt
SA	3	GPU-3 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-3 250-FPM-F	2200	0.75	20	
SB	1	GPU-2 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-2 250-FPM-F	2300	0.75	20	
SC	1	GPU-3 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-3 250-FPM-F	2200	0.75	20	
SD	2	GPU-2 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-2 250-FPM-F	2200	0.75	20	
SE	4	GPU-3 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-3 250-FPM-F	2200	0.75	20	
AF	4	GPU-3 250-FPM-F	GREENHAWK	1-20W PFM CLEAR BU	GPU-3 250-FPM-F	2200	0.75	20	
A	ACROG 950MM-CAAT ALUMINUM ALUM	ONE	12MM-1017	ACROG 950MM-CAAT ALUMINUM ALUM	ONE	12MM-1017	ACROG 950MM-CAAT ALUMINUM ALUM	6000	75
B	250-AT75F	DESIGNER CANOPY	42W TROUSSE ALICE	250-AT75F	42W TROUSSE ALICE	250-AT75F	3000	75	48
C	15-5-32 CPL	ARCHITECTURAL BOLLARD	1-32W CPL	15-5-32 CPL	1-32W CPL	2200	0.75	20	

LUMINAIRE LOCATIONS							
No.	Label	X Location	Y Location	Z MM	Orientation	Tilt	Age
1	DB	297.1	413.0	22.5	22.5	0.0	20P7 1
2	HC	336.7	445.4	22.5	90.0	0.0	20B 1
3	HC	333.1	323.6	22.5	90.0	0.0	
4	DB	302.1	302.1	22.5	0.0	0.0	20P7 2
5	DA	667.6	346.3	22.5	275.0	0.0	80P2 3
6	DA	666.9	514.1	22.5	275.0	0.0	66P 9
7	DA	652.0	421.3	22.5	275.0	0.0	60P 6
8	DF	502.0	297.0	18.0	18.0	0.0	20P2 3
9	DF	512.0	297.0	18.0	18.0	0.0	20P2 3
10	DF	436.8	547.0	18.0	18.0	0.0	43P 2
11	DF	436.8	547.0	18.0	18.0	0.0	43P 2
12	A	436.8	302.1	12.0	12.0	0.0	47P 1
13	A	402.0	307.0	12.0	45.0	0.0	40P 2
14	A	404.0	307.0	12.0	45.0	0.0	40P 2
15	A	402.0	471.0	12.0	205.1	0.0	45P 7
16	A	401.3	473.0	11.0	11.0	-27.8	40P 3
17	A	267.0	402.0	12.0	0.0	-2.0	26P 3
18	B	439.0	429.0	12.0	12.0	0.0	43P 5
19	B	476.0	476.0	12.0	12.0	0.0	47P 4
20	B	476.0	476.0	12.0	12.0	0.0	47P 6
21	B	476.0	476.0	12.0	12.0	0.0	47P 8
22	C	408.0	471.0	12.0	0.0	0.0	40P 8
23	C	408.0	471.0	12.0	0.0	0.0	40P 10
24	C	408.0	471.0	12.0	0.0	0.0	40P 12
25	C	408.0	471.0	12.0	0.0	0.0	40P 14
26	C	408.0	471.0	12.0	0.0	0.0	40P 16
27	C	408.0	471.0	12.0	0.0	0.0	40P 18
28	C	408.0	471.0	12.0	0.0	0.0	40P 20
29	C	408.0	471.0	12.0	0.0	0.0	40P 22
30	C	408.0	471.0	12.0	0.0	0.0	40P 24
31	C	408.0	471.0	12.0	0.0	0.0	40P 26
32	C	408.0	471.0	12.0	0.0	0.0	40P 28
33	C	408.0	471.0	12.0	0.0	0.0	40P 30
34	C	408.0	471.0	12.0	0.0	0.0	40P 32
35	C	408.0	471.0	12.0	0.0	0.0	40P 34
36	C	408.0	471.0	12.0	0.0	0.0	40P 36
37	C	408.0	471.0	12.0	0.0	0.0	40P 38
38	C	408.0	471.0	12.0	0.0	0.0	40P 40
39	C	408.0	471.0	12.0	0.0	0.0	40P 42
40	C	408.0	471.0	12.0	0.0	0.0	40P 44
41	C	408.0	471.0	12.0	0.0	0.0	40P 46
42	C	408.0	471.0	12.0	0.0	0.0	40P 48
43	C	408.0	471.0	12.0	0.0	0.0	40P 50
44	C	408.0	471.0	12.0	0.0	0.0	40P 52
45	C	408.0	471.0	12.0	0.0	0.0	40P 54
46	C	408.0	471.0	12.0	0.0	0.0	40P 56
47	C	408.0	471.0	12.0	0.0	0.0	40P 58
48	C	408.0	471.0	12.0	0.0	0.0	40P 60
49	C	408.0	471.0	12.0	0.0	0.0	40P 62
50	C	408.0	471.0	12.0	0.0	0.0	40P 64
51	C	408.0	471.0	12.0	0.0	0.0	40P 66
52	C	408.0	471.0	12.0	0.0	0.0	40P 68
53	C	408.0	471.0	12.0	0.0	0.0	40P 70
54	C	408.0	471.0	12.0	0.0	0.0	40P 72
55	C	408.0	471.0	12.0	0.0	0.0	40P 74
56	C	408.0	471.0	12.0	0.0	0.0	40P 76
57	C	408.0	471.0	12.0	0.0	0.0	40P 78
58	C	408.0	471.0	12.0	0.0	0.0	40P 80
59	C	408.0	471.0	12.0	0.0	0.0	40P 82
60	C	408.0	471.0	12.0	0.0	0.0	40P 84
61	C	408.0	471.0	12.0	0.0	0.0	40P 86
62	C	408.0	471.0	12.0	0.0	0.0	40P 88
63	C	408.0	471.0	12.0	0.0	0.0	40P 90
64	C	408.0	471.0	12.0	0.0	0.0	40P 92
65	C	408.0	471.0	12.0	0.0	0.0	40P 94
66	C	408.0	471.0	12.0	0.0	0.0	40P 96
67	C	408.0	471.0	12.0	0.0	0.0	40P 98
68	C	408.0	471.0	12.0	0.0	0.0	40P 100
69	C	408.0	471.0	12.0	0.0	0.0	40P 102
70	C	408.0	471.0	12.0	0.0	0.0	40P 104
71	C	408.0	471.0	12.0	0.0	0.0	40P 106
72	C	408.0	471.0	12.0	0.0	0.0	40P 108
73	C	408.0	471.0	12.0	0.0	0.0	40P 110
74	C	408.0	471.0	12.0	0.0	0.0	40P 112
75	C	408.0	471.0	12.0	0.0	0.0	40P 114
76	C	408.0	471.0	12.0	0.0	0.0	40P 116
77	C	408.0	471.0	12.0	0.0	0.0	40P 118
78	C	408.0	471.0	12.0	0.0	0.0	40P 120
79	C	408.0	471.0	12.0	0.0	0.0	40P 122
80	C	408.0	471.0	12.0	0.0	0.0	40P 124
81	C	408.0	471.0	12.0	0.0	0.0	40P 126
82	C	408.0	471.0	12.0	0.0	0.0	40P 128
83	C	408.0	471.0	12.0	0.0	0.0	40P 130
84	C	408.0	471.0	12.0	0.0	0.0	40P 132
85	C	408.0	471.0	12.0	0.0	0.0	40P 134
86	C	408.0	471.0	12.0	0.0	0.0	40P 136
87	C	408.0	471.0	12.0	0.0	0.0	40P 138
88	C	408.0	471.0	12.0	0.0	0.0	40P 140
89	C	408.0	471.0	12.0	0.0	0.0	40P 142
90	C	408.0	471.0	12.0	0.0	0.0	40P 144
91	C	408.0	471.0	12.0	0.0	0.0	40P 146
92	C	408.0	471.0	12.0	0.0	0.0	40P 148
93	C	408.0	471.0	12.0	0.0	0.0	40P 150
94	C	408.0	471.0	12.0	0.0	0.0	40P 152
95	C	408.0	471.0	12.0	0.0	0.0	40P 154
96	C	408.0	471.0	12.0	0.0	0.0	40P 156
97	C	408.0	471.0	12.0	0.0	0.0	40P 158
98	C	408.0	471.0	12.0	0.0	0.0	40P 160
99	C	408.0	471.0	12.0	0.0	0.0	40P 162
100	C	408.0	471.0	12.0	0.0	0.0	40P 164

[illegible][illegible]

NOT FOR CONSTRUCTION
DD PROGRESS SET



1ST FLOOR DEMO PLAN

1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. ALL EXISTING ROOMS, WALLS, DOORS, WINDOWS, ETC. SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
2. REFER TO CIVIL, PLUMBING, HVAC AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES.
3. THE EXISTING BUILDING FLOOR PLAN IS PROVIDED AS A REFERENCE DRAWING INDICATING AREAS OF DEMOLITION AND REMOVALS AND SHOULD BE USED FOR GENERAL REFERENCE ONLY. EACH SUB-CONTRACTOR MUST DETERMINE THE EXACT EXTENT OF THE DEMOLITION AND REMODELING WORK FROM THE ACTUAL JOBSITE CONDITIONS.
4. EACH SUB-CONTRACTOR SHALL INCLUDE THE COST TO REMOVE, REPAIR AND IF NECESSARY RELOCATE ANY EXISTING CONSTRUCTION WHICH WOULD COMPLICATE OR PREHIBIT THE INSTALLATION OF THEIR PORTION OF THE NEW WORK AT HEIGHTS AND LOCATIONS AS SHOWN AND/OR IMPLIED ON ALL PROJECT DRAWINGS AND/OR SPECIFICATIONS.
5. SUB-CONTRACTOR SHALL REMOVE AND IF INTENDED TO REMAIN IN SERVICE SHALL RELOCATE EXISTING ELECTRICAL, TELEPHONE, PLUMBING, HVAC, CABLE, LIFE SAFETY, ETC. SYSTEM ITEMS PRESENT WITHIN EXISTING CONSTRUCTION OR SURFACE MOUNTED ON EXISTING CONSTRUCTION WHICH IS SCHEDULED FOR DEMOLITION OR REMODELING. REMOVAL, TERMINATION AND RELOCATION SHALL BE PERFORMED BY TRADESMEN SKILLED IN THAT TYPE OF WORK. INCLUDE ALL ASSOCIATED COSTS IN B.E.
6. SUB-CONTRACTOR WHOSE WORK MAY AFFECT THE WATER TIGHT CONDITION OF THE BUILDING SHALL MAKE TEMPORARY PROVISIONS DURING PROJECT PERIOD AS REQUIRED TO ENSURE THAT BUILDING BE KEPT WATER TIGHT.
7. REFER TO EXTERIOR FINISH DRAWINGS FOR NOTES AND DETAILS ON EXISTING WALLS AND FLOOR FINISHES THAT ARE TO BE REMOVED AND REPLACED.
8. REFER TO DEMOLITION PHASE PLAN FOR ADDITIONAL DEMOLITION WORK.
9. SEE STRUCTURAL DRAWINGS FOR REQUIRED STRUCTURAL DEMOLITION.
10. SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING DEMOLITION.
11. SEE HVAC DRAWINGS FOR REQUIRED HVAC DEMOLITION.
12. SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL & FIRE DETECTION DEMOLITION.
13. ALL FURNITURE, APPLIANCES AND EQUIPMENT TO BE SALVAGED & TO BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
14. PROTECT EXISTING FINISHES IN CORRIDOR AND SURROUNDING PUBLIC SPACES.
15. FLOOR, WALL AND CEILING SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON INTERIOR FINISH DRAWINGS. SURFACES SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AND PREPARED TO RECEIVE NEW FINISHES AS APPLICABLE.

DEMOLITION KEY

1. REMOVE & DISPOSE OF WALL.
2. REMOVE & DISPOSE OF DOOR, FRAME AND SILL/JOIST IF APPLICABLE.
3. REMOVE & DISPOSE OF WINDOW.
4. REMOVE & DISPOSE OF SKIN.
5. REMOVE EXTERIOR SIDING & SALVAGE FOR REUSE.
6. REMOVE & DISPOSE OF CABINETS & COUNTERTOPS.
7. REMOVE EXISTING HANDRAIL, BASE AND CASING (TYP.).
8. DEMO PORTION OF WALL FOR NEW OPENING. REFER TO FLOOR PLANS. PROVIDE NEW HANDRAIL AS REQUIRED.
9. REMOVE & DISPOSE OF SHELVING AND BRACKETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
10. REMOVE & DISPOSE OVERHANGS AS REQUIRED TO INSTALL NEW ROOF.
11. REMOVE & DISPOSE OF EXISTING FLOORING. PREPARE FOR NEW.
12. REMOVE & DISPOSE OF EXISTING PLUMBING FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
13. REMOVE & DISPOSE OF EXISTING LIGHT FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
14. REMOVE EXISTING GRAB BAR. REPAIR DRYWALL & PREP FOR NEW GRAB BAR.
15. SEE CIVIL DEMOLITION PLAN FOR SITE DEMOLITION.
16. REMOVE & DISPOSE OF EXISTING SALON EQUIPMENT. VERIFY WITH OWNER.
17. REMOVE & DISPOSE OF STAIRS AND HANDRAILS. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
18. REMOVE & STORE FIRE EXTINGUISHER CABINET. SEE NEW FLOOR PLANS FOR NEW LOCATION.
19. REMOVE & DISPOSE OF CABINETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
20. REMOVE & DISPOSE OF EXISTING DECORATIVE COLUMN COVER, STRUCTURAL COLUMN TO REMAIN.
21. REMOVE & DISPOSE OF HVAC UNIT. VERIFY WITH OWNER.
22. REMOVE & DISPOSE OF EXISTING STORAGE SHED.



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-347-7770 F. 262-347-7710
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

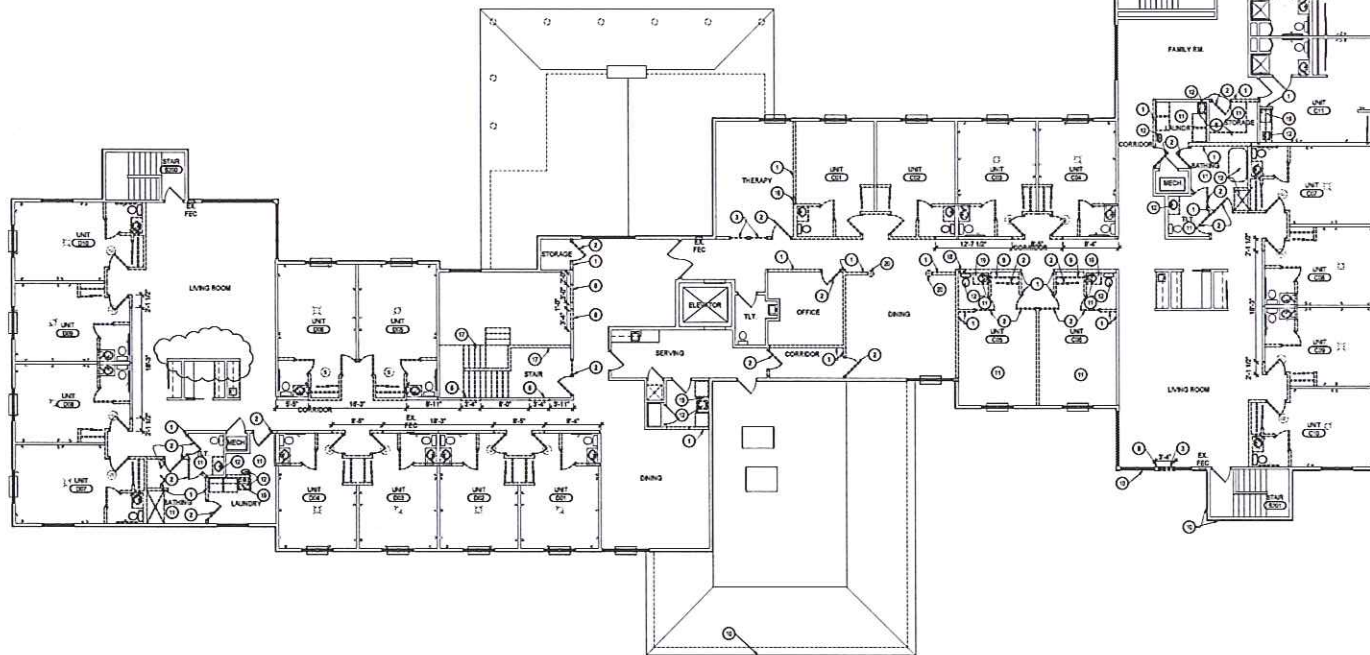
DRAWN BY CHECKED
JDS PJD

SHEET TITLE

1ST FLOOR
DEMO PLAN

SHEET NUMBER
D210

NOT FOR CONSTRUCTION
DD PROGRESS SET



2ND FLOOR DEMO PLAN
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. ALL EXISTING ROOMS, WALLS, DOORS, WINDOWS, ETC. SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
2. REFER TO CIVIL, PLUMBING, HVAC, AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES.
3. THE EXISTING BUILDING FLOOR PLAN IS PROVIDED AS A REFERENCE DRAWING INDICATING AREAS OF DEMOLITION AND REMOVAL. EACH SUB-CONTRACTOR MUST DETERMINE THE EXACT EXTENT OF THE DEMOLITION AND REMOVAL WORK FROM THE ACTUAL, AS-BUILT CONDITIONS.
4. EACH SUB-CONTRACTOR SHALL INCLUDE THE COST TO REMOVE, RELOCATE, AND IF NECESSARY RELOCATE ANY EXISTING CONSTRUCTION WHICH WOULD COMPLICATE OR PROHIBIT THE INSTALLATION OF THEIR PORTION OF THE NEW WORK AT HEIGHTS AND LOCATIONS AS SHOWN. RELOCATE ALL PROJECT DEMOLITION AND REMOVAL WORK FROM THE ACTUAL, AS-BUILT CONDITIONS.
5. SUB-CONTRACTOR SHALL REMOVE AND IF INTENDED TO REMAIN IN SERVICE SHALL RELOCATE EXISTING ELECTRICAL, TELEPHONE, PLUMBING, HVAC, CABLE, LIFE SAFETY, ETC. SYSTEMS PRESENT WITHIN EXISTING CONSTRUCTION OF SURFACE MOUNTED OR EXISTING CONSTRUCTION WHICH IS SCHEDULED FOR DEMOLITION OR REMOVAL. REPAIR, REPAIR, REPAIR AND RELOCATION SHALL BE PERFORMED BY TRADESMEN SKILLED IN THAT TYPE OF WORK. INCLUDE ALL ASSOCIATED COSTS IN BID.
6. SUB-CONTRACTOR WHOSE WORK MAY AFFECT THE WATER TIGHT CONDITION OF THE BUILDING SHALL MAKE TEMPORARY PROVISIONS DURING PROJECT PERIOD AS REQUIRED TO ENSURE THAT BUILDING BE KEPT WATER TIGHT.
7. REFER TO INTERIOR FINISH DRAWINGS FOR NOTES AND DETAILS ON EXISTING WALL AND FLOOR FINISHES THAT ARE TO BE REMOVED AND REPLACED.
8. REFER TO CONSTRUCTION PHASING PLAN FOR ADDITIONAL DEMOLITION WORK.
9. SEE STRUCTURAL DRAWINGS FOR REQUIRED STRUCTURAL DEMOLITION.
10. SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING DEMOLITION.
11. SEE HVAC DRAWINGS FOR REQUIRED HVAC DEMOLITION.
12. SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL & FIRE DETECTION DEMOLITION.
13. ALL PLUMBING, ELECTRICAL, AND EQUIPMENT TO BE SALVAGED IS TO BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
14. PROTECT EXISTING FINISHES IN CORRIDOR AND SURROUNDING PUBLIC SPACES.
15. FLOOR WALLS AND CEILING SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON INTERIOR FINISH DRAWINGS. SURFACES SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AND PREPARED TO RECEIVE NEW FINISHES AS APPLICABLE.

DEMOLITION KEY

1. REMOVE & DISPOSE OF WALL, FRAME, AND SLOUGHT IF APPLICABLE.
2. REMOVE & DISPOSE OF WINDOW.
3. REMOVE & DISPOSE OF SKIN.
4. REMOVE EXTERIOR SIDING & SALVAGE FOR REUSE.
5. REMOVE & DISPOSE OF CABINETS & COUNTERTOPS.
6. REMOVE EXISTING HANDRAIL, BASE AND CASING (TYP).
7. DEMO PORTION OF WALL FOR NEW OPENING. REFER TO FLOOR PLANS. PROVIDE NEW-HEADER AS REQUIRED.
8. REMOVE & DISPOSE OF BUILDING AND BRACKET. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
9. REMOVE & DISPOSE OVERHANGS AS REQUIRED TO INSTALL NEW ROOF.
10. REMOVE & DISPOSE OF EXISTING FLOORING. PREPARE FOR NEW.
11. REMOVE & DISPOSE OF EXISTING PLUMBING FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
12. REMOVE & DISPOSE OF EXISTING LIGHT FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
13. REMOVE EXISTING GRAB BAR. REPAIR DETAIL WALL & PREP FOR NEW GRAB BAR.
14. SEE CIVIL DEMOLITION PLAN FOR SITE DEMOLITION.
15. REMOVE & DISPOSE OF EXISTING SALON EQUIPMENT. VERIFY WITH OWNER.
16. REMOVE & DISPOSE OF STAIRS AND HANDRAILS. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
17. REMOVE & DISPOSE OF FIRE EXTINGUISHER CABINET. SEE NEW FLOOR PLANS FOR NEW LOCATION.
18. REMOVE & DISPOSE OF CABINETS. PATCH WALLS AS REQUIRED TO RECEIVE NEW FINISHES.
19. REMOVE & DISPOSE OF EXISTING DECORATIVE COLUMN COVER, STRUCTURAL COLUMN TO REMAIN.
20. REMOVE & DISPOSE OF HVAC UNIT. VERIFY WITH OWNER.
21. REMOVE & DISPOSE OF EXISTING STORAGE BINS.



**PLANNING
DESIGN
CONSTRUCTION**

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

**ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON**

**413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719**

OWNER

**BROOKDALE SENIOR
LIVING COMMUNITIES, INC.**
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

**SITE PLAN APPROVAL
SUBMITTAL**

PROJECT NO. 11025 **DATE** 12-05-12

DRAWN BY JDS **CHECKED** PJD

SHEET TITLE

**2ND FLOOR
DEMO PLAN**

SHEET NUMBER
D211

D211

NOT FOR CONSTRUCTION
DD PROGRESS SET

PROJECT
**ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON**

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
**BROOKDALE SENIOR
LIVING COMMUNITIES, INC.**
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

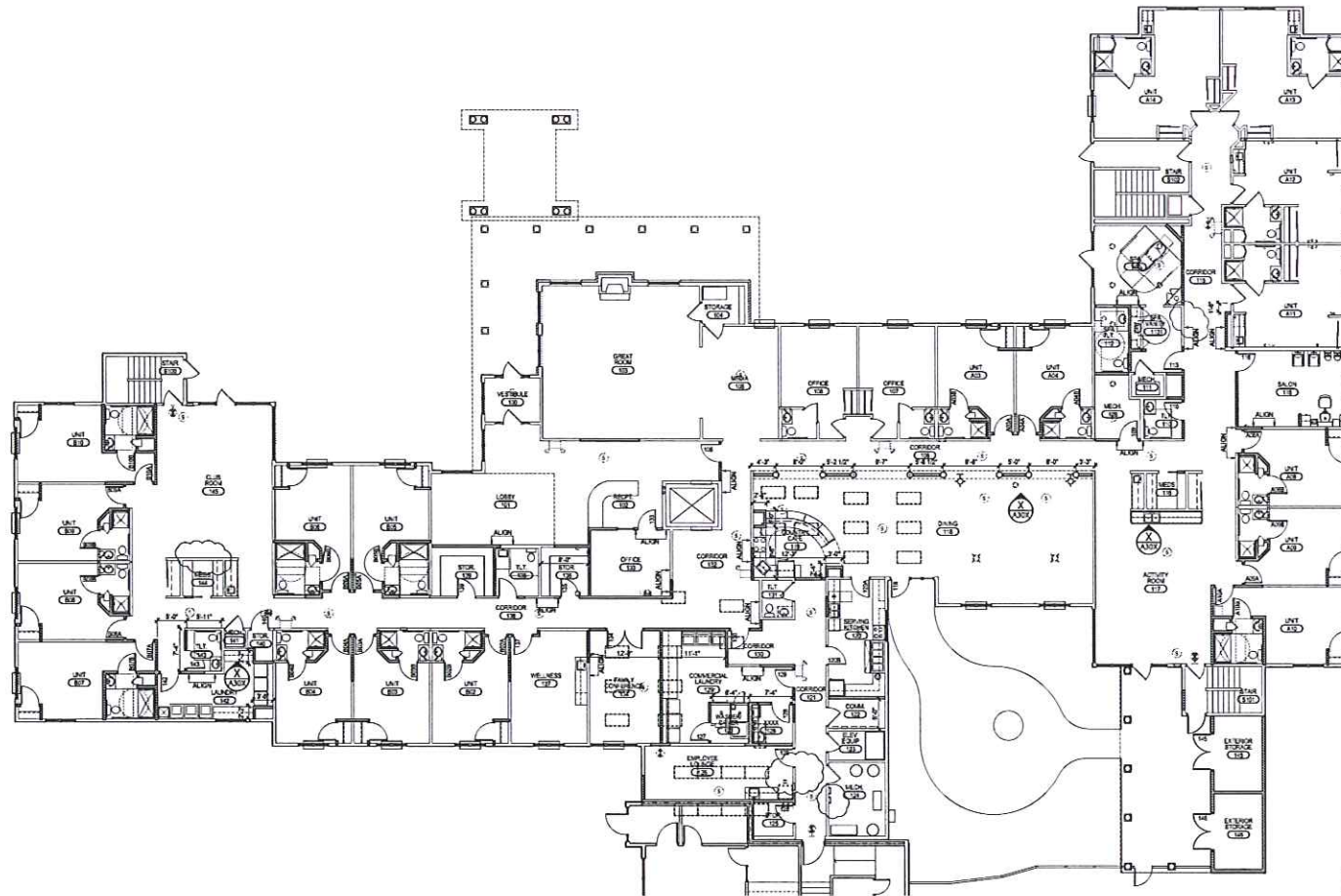


BROOKDALE
SENIOR LIVING

STATUS _____
SITE PLAN APPROVAL
SUBMITTAL



1ST FLOOR PLAN



ASSISTED LIVING COMMON AREA DATA	
COMMON AREA REQUIRES PER APT ELEVATOR	
SALON/LOBBY/RECREATION HALL/NON-RESIDENTIAL	
NO NECESSITARY REQUIRES PER RESIDENT x #B RESIDENTS	4,210
# OF COMMON AREAS UNITS w/ 100% OF UNITABLE FLOOR SPACE	1,280
270 S + 63 N + 70 SW WALL PER 63.0 S (+) 63.0 S	
FLOOR SPACE REQUIRED W/ 77% OF UNITABLE FLOOR SPACE	95 SF
270 S + 63 N + 70 SW WALL PER 63.0 S (+) 63.0 S	
TOTAL COMMON AREA REQUIRED	4,628
COMMON AREA PROVIDED	
RECEIVING	
DINING ROOM	3,014
CLOO RUM (2ND FLOOR)	887 SF
SHOWER ROOM (2ND FLOOR)	679 SF
PULCHASE	679 SF
Lounge/Dining	1,014 SF
Hall & CRAFTS ROOM (2ND FLOOR)	679 SF
Lounge AND FLOOR	363 SF
PRIVATE DINING	765 SF
FITNESS ROOM	280 SF
CONVERSATION HALL AND FLOOR	1,014 SF
CONVERSATION AREA	679 SF
TOTAL COMMON AREA PROVIDED	12,448

CLARE BRIDGE CROSSINGS COMMON AREA DATA	
COMMON AREA REQUIRED PER HPF \$2.12/HPF	
CALCULATED COMMON AREA REQUIRED 100% NON-AVAILABILITY	
NON-AVAILABILITY REQUIREMENTS PER RESIDENT 1.25 RESIDENTS	1.400
COMMON AREA PER UNIT IN 100% OF UNIT IN FLOOR SPACE	0.50
1.25 x 2.5 x 200 sq ft PER 100 \$2.12/HPF \$2.12	1.888
TOTAL COMMON AREA REQUIRED	
COMMON AREA PROVIDED	
HOLDING	
DINING ROOM	1.058
GREAT ROOM	888.34
ACTIVITY ROOM	474.34
CLUB ROOM	418.34
LOBBY	254.34
MEDIA ROOM	274.34
TOTAL COMMON AREA PROVIDED	

CLARE BRIDGE COMMON AREA DATA	
COMMON AREA REQUIRED PER HFB 83.2(1)(A) CALCULATIONS ASSUMING 100% NON-AMPLIFICATION	
NON-AMPLIFYING REQUIRES 10% RESIDENT X 21 PERCENTS	1.860
6 ONE BEDROOM UNITS IN 34 OF 40-140' FLOOR PLAN	0.5F
1/2 20' x 10' 30' MAX. FOR 83.2(1)(A) X 6	
TOTAL COMMON AREA REQUIRED	1.696
COMMON AREA PROVIDED	
INCLUDING	
DINING ROOM	1.049
ACTIVITY ROOM	466.56
CLUBS ROOM	474.56
LYING ROOM	474.56
QUIET ROOM	2.86
TOTAL COMMON AREA PROVIDED	2162.54

PROJECT BUILDING DATA				
PROJECT LIVING UNIT ANALYSIS				
	EXISTING	REMOVE	NEW	TOTAL
EXISTING W/OUTS	UNITS	40	-40	0
NEW	UNITS	0	40	40
CLASSED OFF	UNITS	0	0	0
CLASSED OFF	UNITS	0	0	30
NEW	UNITS	0	0	18
NEW	UNITS	0	0	21
NEW	UNITS	0	0	89
CAMPUS	UNITS	40	-40	114
CAMPUS	UNITS	0	0	110
11 UNITS REMOVED IN COMBINATION OF W/OUTS TO CLASS PROJECT / CLASSE SQUARE CIRCUMSTANCES				
CLASSE SQUARE FOOT ANALYSIS				
	EXISTING SQ. FT.	GF / UNIT	REMOVE SQ. FT.	GF / UNIT
EXISTING 1ST FLOOR	18,415.50		18,415.50	
EXISTING 2ND FLOOR			14,015.50	
TOTAL EXISTING	32,431.00		32,431.00	
EXISTING 1ST FLOOR	30%		9,729.30	
EXISTING 2ND FLOOR	30%		4,204.50	
TOTAL EXISTING	11.51		13.93	
PROPOSED 1ST FLOOR	GF / UNIT			
CLASSE PROJECT	11.51		18,415.50	
CLASSE PROJECT	11.51		14,015.50	
CLASSE PROJECT	11.51		18,415.50	
CLASSE PROJECT	11.51		21,564.50	
CLASSE PROJECT	11.51		20,838.50	
TOTAL PROPOSED 1ST FLOOR	59.51		84,348.50	
TOTAL PROPOSED 2ND FLOOR	59.51		84,348.50	
TOTAL PROPOSED	119.02		168,697.00	
CLASSE PROJECT	11.51		18,415.50	
CLASSE PROJECT	11.51		14,015.50	
CLASSE PROJECT	11.51		18,415.50	
CLASSE PROJECT	11.51		21,564.50	
CLASSE PROJECT	11.51		20,838.50	
TOTAL PROPOSED	59.51		84,348.50	
TOTAL PROPOSED	119.02		168,697.00	

PROJECT NO.	DATE
11025	12-05-12

DRAWN BY	CHECKED
JDS	PJD

SHEET TITLE _____

1ST FLOOR PLAN

SHEET NUMBER copyright © 2012

A210

NOT FOR CONSTRUCTION
DD PROGRESS SET



PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING, CLARE BRIDGE CROSSINGS & CLARE BRIDGE OF MADISON

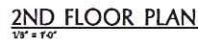
413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



BROOKDALE
SENIOR LIVING

STATUS _____
SITE PLAN APPROVAL
SUBMITTAL



CLARE BRIDGE CROSSINGS COMMON AREA DATA	
COMMON AREA REQUIRED PER HP5 ELECTRIC CALCULATED ASSUMING 10% NON-INSULATED CROSSING	
NON-INSULATORY REQUIREMENT PER RESIDENT & 20 RESIDENTS	
1.000 SQ. FT.	1.000 SQ. FT.
2.000 SQ. FT.	2.000 SQ. FT.
3.000 SQ. FT.	3.000 SQ. FT.
4.000 SQ. FT.	4.000 SQ. FT.
5.000 SQ. FT.	5.000 SQ. FT.
6.000 SQ. FT.	6.000 SQ. FT.
7.000 SQ. FT.	7.000 SQ. FT.
8.000 SQ. FT.	8.000 SQ. FT.
9.000 SQ. FT.	9.000 SQ. FT.
10.000 SQ. FT.	10.000 SQ. FT.
11.000 SQ. FT.	11.000 SQ. FT.
12.000 SQ. FT.	12.000 SQ. FT.
13.000 SQ. FT.	13.000 SQ. FT.
14.000 SQ. FT.	14.000 SQ. FT.
15.000 SQ. FT.	15.000 SQ. FT.
16.000 SQ. FT.	16.000 SQ. FT.
17.000 SQ. FT.	17.000 SQ. FT.
18.000 SQ. FT.	18.000 SQ. FT.
19.000 SQ. FT.	19.000 SQ. FT.
20.000 SQ. FT.	20.000 SQ. FT.
21.000 SQ. FT.	21.000 SQ. FT.
22.000 SQ. FT.	22.000 SQ. FT.
23.000 SQ. FT.	23.000 SQ. FT.
24.000 SQ. FT.	24.000 SQ. FT.
25.000 SQ. FT.	25.000 SQ. FT.
26.000 SQ. FT.	26.000 SQ. FT.
27.000 SQ. FT.	27.000 SQ. FT.
28.000 SQ. FT.	28.000 SQ. FT.
29.000 SQ. FT.	29.000 SQ. FT.
30.000 SQ. FT.	30.000 SQ. FT.
31.000 SQ. FT.	31.000 SQ. FT.
32.000 SQ. FT.	32.000 SQ. FT.
33.000 SQ. FT.	33.000 SQ. FT.
34.000 SQ. FT.	34.000 SQ. FT.
35.000 SQ. FT.	35.000 SQ. FT.
36.000 SQ. FT.	36.000 SQ. FT.
37.000 SQ. FT.	37.000 SQ. FT.
38.000 SQ. FT.	38.000 SQ. FT.
39.000 SQ. FT.	39.000 SQ. FT.
40.000 SQ. FT.	40.000 SQ. FT.
41.000 SQ. FT.	41.000 SQ. FT.
42.000 SQ. FT.	42.000 SQ. FT.
43.000 SQ. FT.	43.000 SQ. FT.
44.000 SQ. FT.	44.000 SQ. FT.
45.000 SQ. FT.	45.000 SQ. FT.
46.000 SQ. FT.	46.000 SQ. FT.
47.000 SQ. FT.	47.000 SQ. FT.
48.000 SQ. FT.	48.000 SQ. FT.
49.000 SQ. FT.	49.000 SQ. FT.
50.000 SQ. FT.	50.000 SQ. FT.
51.000 SQ. FT.	51.000 SQ. FT.
52.000 SQ. FT.	52.000 SQ. FT.
53.000 SQ. FT.	53.000 SQ. FT.
54.000 SQ. FT.	54.000 SQ. FT.
55.000 SQ. FT.	55.000 SQ. FT.
56.000 SQ. FT.	56.000 SQ. FT.
57.000 SQ. FT.	57.000 SQ. FT.
58.000 SQ. FT.	58.000 SQ. FT.
59.000 SQ. FT.	59.000 SQ. FT.
60.000 SQ. FT.	60.000 SQ. FT.
61.000 SQ. FT.	61.000 SQ. FT.
62.000 SQ. FT.	62.000 SQ. FT.
63.000 SQ. FT.	63.000 SQ. FT.
64.000 SQ. FT.	64.000 SQ. FT.
65.000 SQ. FT.	65.000 SQ. FT.
66.000 SQ. FT.	66.000 SQ. FT.
67.000 SQ. FT.	67.000 SQ. FT.
68.000 SQ. FT.	68.000 SQ. FT.
69.000 SQ. FT.	69.000 SQ. FT.
70.000 SQ. FT.	70.000 SQ. FT.
71.000 SQ. FT.	71.000 SQ. FT.
72.000 SQ. FT.	72.000 SQ. FT.
73.000 SQ. FT.	73.000 SQ. FT.
74.000 SQ. FT.	74.000 SQ. FT.
75.000 SQ. FT.	75.000 SQ. FT.
76.000 SQ. FT.	76.000 SQ. FT.
77.000 SQ. FT.	77.000 SQ. FT.
78.000 SQ. FT.	78.000 SQ. FT.
79.000 SQ. FT.	79.000 SQ. FT.
80.000 SQ. FT.	80.000 SQ. FT.
81.000 SQ. FT.	81.000 SQ. FT.
82.000 SQ. FT.	82.000 SQ. FT.
83.000 SQ. FT.	83.000 SQ. FT.
84.000 SQ. FT.	84.000 SQ. FT.
85.000 SQ. FT.	85.000 SQ. FT.
86.000 SQ. FT.	86.000 SQ. FT.
87.000 SQ. FT.	87.000 SQ. FT.
88.000 SQ. FT.	88.000 SQ. FT.
89.000 SQ. FT.	89.000 SQ. FT.
90.000 SQ. FT.	90.000 SQ. FT.
91.000 SQ. FT.	91.000 SQ. FT.
92.000 SQ. FT.	92.000 SQ. FT.
93.000 SQ. FT.	93.000 SQ. FT.
94.000 SQ. FT.	94.000 SQ. FT.
95.000 SQ. FT.	95.000 SQ. FT.
96.000 SQ. FT.	96.000 SQ. FT.
97.000 SQ. FT.	97.000 SQ. FT.
98.000 SQ. FT.	98.000 SQ. FT.
99.000 SQ. FT.	99.000 SQ. FT.
100.000 SQ. FT.	100.000 SQ. FT.
101.000 SQ. FT.	101.000 SQ. FT.
102.000 SQ. FT.	102.000 SQ. FT.
103.000 SQ. FT.	103.000 SQ. FT.
104.000 SQ. FT.	104.000 SQ. FT.
105.000 SQ. FT.	105.000 SQ. FT.
106.000 SQ. FT.	106.000 SQ. FT.
107.000 SQ. FT.	107.000 SQ. FT.
108.000 SQ. FT.	108.000 SQ. FT.
109.000 SQ. FT.	109.000 SQ. FT.
110.000 SQ. FT.	110.000 SQ. FT.
111.000 SQ. FT.	111.000 SQ. FT.
112.000 SQ. FT.	112.000 SQ. FT.
113.000 SQ. FT.	113.000 SQ. FT.
114.000 SQ. FT.	114.000 SQ. FT.
115.000 SQ. FT.	115.000 SQ. FT.
116.000 SQ. FT.	116.000 SQ. FT.
117.000 SQ. FT.	117.000 SQ. FT.
118.000 SQ. FT.	118.000 SQ. FT.
119.000 SQ. FT.	119.000 SQ. FT.
120.000 SQ. FT.	120.000 SQ. FT.
121.000 SQ. FT.	121.000 SQ. FT.
122.000 SQ. FT.	122.000 SQ. FT.
123.000 SQ. FT.	123.000 SQ. FT.
124.000 SQ. FT.	124.000 SQ. FT.
125.000 SQ. FT.	125.000 SQ. FT.
126.000 SQ. FT.	126.000 SQ. FT.
127.000 SQ. FT.	127.000 SQ. FT.
128.000 SQ. FT.	128.000 SQ. FT.
129.000 SQ. FT.	129.000 SQ. FT.
130.000 SQ. FT.	130.000 SQ. FT.
131.000 SQ. FT.	131.000 SQ. FT.
132.000 SQ. FT.	132.000 SQ. FT.
133.000 SQ. FT.	133.000 SQ. FT.
134.000 SQ. FT.	134.000 SQ. FT.
135.000 SQ. FT.	135.000 SQ. FT.
136.000 SQ. FT.	136.000 SQ. FT.
137.000 SQ. FT.	137.000 SQ. FT.
138.000 SQ. FT.	138.000 SQ. FT.
139.000 SQ. FT.	139.000 SQ. FT.
140.000 SQ. FT.	140.000 SQ. FT.
141.000 SQ. FT.	141.000 SQ. FT.
142.000 SQ. FT.	142.000 SQ. FT.
143.000 SQ. FT.	143.000 SQ. FT.
144.000 SQ. FT.	144.000 SQ. FT.
145.000 SQ. FT.	145.000 SQ. FT.
146.000 SQ. FT.	146.000 SQ. FT.
147.000 SQ. FT.	147.000 SQ. FT.
148.000 SQ. FT.	148.000 SQ. FT.
149.000 SQ. FT.	149.000 SQ. FT.
150.000 SQ. FT.	150.000 SQ. FT.
151.000 SQ. FT.	151.000 SQ. FT.
152.000 SQ. FT.	152.000 SQ. FT.
153.000 SQ. FT.	153.000 SQ. FT.
154.000 SQ. FT.	154.000 SQ. FT.
155.000 SQ. FT.	155.000 SQ. FT.
156.000 SQ. FT.	156.000 SQ. FT.
157.000 SQ. FT.	157.000 SQ. FT.
158.000 SQ. FT.	158.000 SQ. FT.
159.000 SQ. FT.	159.000 SQ. FT.
160.000 SQ. FT.	160.000 SQ. FT.
161.000 SQ. FT.	161.000 SQ. FT.
162.000 SQ. FT.	162.000 SQ. FT.
163.000 SQ. FT.	163.000 SQ. FT.
164.000 SQ. FT.	164.000 SQ. FT.
165.000 SQ. FT.	165.000 SQ. FT.
166.000 SQ. FT.	166.000 SQ. FT.
167.000 SQ. FT.	167.000 SQ. FT.
168.000 SQ. FT.	168.000 SQ. FT.
169.000 SQ. FT.	169.000 SQ. FT.
170.000 SQ. FT.	170.000 SQ. FT.
171.000 SQ. FT.	171.000 SQ. FT.
172.000 SQ. FT.	172.000 SQ. FT.
173.000 SQ. FT.	173.000 SQ. FT.
174.000 SQ. FT.	174.000 SQ. FT.
175.000 SQ. FT.	175.000 SQ. FT.
176.000 SQ. FT.	176.000 SQ. FT.
177.000 SQ. FT.	177.000 SQ. FT.
178.000 SQ. FT.	178.000 SQ. FT.
179.000 SQ. FT.	179.000 SQ. FT.
180.000 SQ. FT.	180.000 SQ. FT.
181.000 SQ. FT.	181.000 SQ. FT.
182.000 SQ. FT.	182.000 SQ. FT.
183.000 SQ. FT.	183.000 SQ. FT.
184.000 SQ. FT.	184.000 SQ. FT.
185.000 SQ. FT.	185.000 SQ. FT.
186.000 SQ. FT.	186.000 SQ. FT.
187.000 SQ. FT.	187.000 SQ. FT.
188.000 SQ. FT.	188.000 SQ. FT.
189.000 SQ. FT.	189.000 SQ. FT.
190.000 SQ. FT.	190.000 SQ. FT.
191.000 SQ. FT.	191.000 SQ. FT.
192.000 SQ. FT.	192.000 SQ. FT.
193.000 SQ. FT.	193.000 SQ. FT.
194.000 SQ. FT.	194.000 SQ. FT.
195.000 SQ. FT.	195.000 SQ. FT.
196.000 SQ. FT.	196.000 SQ. FT.
197.000 SQ. FT.	197.000 SQ. FT.
198.000 SQ. FT.	198.000 SQ. FT.
199.000 SQ. FT.	199.000 SQ. FT.
200.000 SQ. FT.	200.000 SQ. FT.
201.000 SQ. FT.	201.000 SQ. FT.
202.000 SQ. FT.	202.000 SQ. FT.
203.000 SQ. FT.	203.000 SQ. FT.
204.000 SQ. FT.	204.000 SQ. FT.
205.000 SQ. FT.	205.000 SQ. FT.
206.000 SQ. FT.	206.000 SQ. FT.
207.000 SQ. FT.	207.000 SQ. FT.
208.000 SQ. FT.	208.000 SQ. FT.
209.000 SQ. FT.	209.000 SQ. FT.
210.000 SQ. FT.	210.000 SQ. FT.
211.000 SQ. FT.	211.000 SQ. FT.
212.000 SQ. FT.	212.000 SQ. FT.
213.000 SQ. FT.	213.000 SQ. FT.
214.000 SQ. FT.	214.000 SQ. FT.
215.000 SQ. FT.	215.000 SQ. FT.
216.000 SQ. FT.	216.000 SQ. FT.
217.000 SQ. FT.	217.000 SQ. FT.
218.000 SQ. FT.	218.000 SQ. FT.
219.000 SQ. FT.	219.000 SQ. FT.
220.000 SQ. FT.	220.000 SQ. FT.
221.000 SQ. FT.	221.000 SQ. FT.
222.000 SQ. FT.	222.000 SQ. FT.
223.000 SQ. FT.	223.000 SQ. FT.
224.000 SQ. FT.	224.000 SQ. FT.
225.000 SQ. FT.	225.000 SQ. FT.
226.000 SQ. FT.	226.000 SQ. FT.
227.000 SQ. FT.	227.000 SQ. FT.
228.000 SQ. FT.	228.000 SQ. FT.
229.000 SQ. FT.	229.000 SQ. FT.
230.000 SQ. FT.	230.000 SQ. FT.
231.000 SQ. FT.	231.000 SQ. FT.
232.000 SQ. FT.	232.000 SQ. FT.
233.000 SQ. FT.	233.000 SQ. FT.
234.000 SQ. FT.	234.000 SQ. FT.
235.000 SQ. FT.	235.000 SQ. FT.
236.000 SQ. FT.	236.000 SQ. FT.
237.000 SQ. FT.	237.000 SQ. FT.
238.000 SQ. FT.	238.000 SQ. FT.
239.000 SQ. FT.	239.000 SQ. FT.
240.000 SQ. FT.	240.000 SQ. FT.
241.000 SQ. FT.	241.000 SQ. FT.
242.000 SQ. FT.	242.000 SQ. FT.
243.000 SQ. FT.	243.000 SQ. FT.
244.000 SQ. FT.	244.000 SQ. FT.
245.000 SQ. FT.	245.000 SQ. FT.
246.000 SQ. FT.	246.000 SQ. FT.
247.000 SQ. FT.	247.000 SQ. FT.
248.000 SQ. FT.	248.000 SQ. FT.
249.000 SQ. FT.	249.000 SQ. FT.
250.000 SQ. FT.	250.000 SQ. FT.
251.000 SQ. FT.	251.000 SQ. FT.
252.000 SQ. FT.	252.000 SQ. FT.
253.000 SQ. FT.	253.000 SQ. FT.
254.000 SQ. FT.	254.000 SQ. FT.
255.000 SQ. FT.	255.000 SQ. FT.
256.000 SQ. FT.	256.000 SQ. FT.
257.000 SQ. FT.	257.000 SQ. FT.
258.000 SQ. FT.	258.000 SQ. FT.
259.000 SQ. FT.	259.000 SQ. FT.
260.000 SQ. FT.	260.000 SQ. FT.
261.000 SQ. FT.	261.000 SQ. FT.
262.000 SQ. FT.	262.000 SQ. FT.
263.000 SQ. FT.	263.000 SQ. FT.
264.000 SQ. FT.	264.000 SQ. FT.
265.000 SQ. FT.	265.000 SQ. FT.
266.000 SQ. FT.	266.000 SQ. FT.
267.000 SQ. FT.	267.000 SQ. FT.
268.000 SQ. FT.	268.000 SQ. FT.
269.000 SQ. FT.	269.000 SQ. FT.
270.000 SQ. FT.	270.000 SQ. FT.
271.000 SQ. FT.	271.000 SQ. FT.
272.000 SQ. FT.	272.000 SQ. FT.
273.000 SQ. FT.	273.000 SQ. FT.
274.000 SQ. FT.	274.000 SQ. FT.
275.000 SQ. FT.	275.000 SQ. FT.
276.000 SQ. FT.	276.000 SQ. FT.
277.000 SQ. FT.	277.000 SQ. FT.
278.000 SQ. FT.	278.000 SQ. FT.
279.000 SQ. FT.	279.000 SQ. FT.
280.000 SQ. FT.	280.000 SQ. FT.
281.000 SQ. FT.	281.000 SQ. FT.
282.000 SQ. FT.	282.000 SQ. FT.
283.000 SQ. FT.	283.000 SQ. FT.
284.000 SQ. FT.	284.000 SQ. FT.
285.000 SQ. FT.	285.000 SQ. FT.
286.000 SQ. FT.	286.000 SQ. FT.
287.000 SQ. FT.	287.000 SQ. FT.
288.000 SQ. FT.	288.000 SQ. FT.
289.000 SQ. FT.	289.000 SQ. FT.
290.000 SQ. FT.	290.000 SQ. FT.
291.000 SQ. FT.	291.000 SQ. FT.
292.000 SQ. FT.	292.000 SQ. FT.
293.000 SQ. FT.	293.000 SQ. FT.
294.000 SQ. FT.	294.000 SQ. FT.
295.000 SQ. FT.	295.000 SQ. FT.
296.000 SQ. FT.	296.000 SQ. FT.
297.000 SQ. FT.	297.000 SQ. FT.
298.000 SQ. FT.	298.000 SQ. FT.
299.000 SQ. FT.	299.000 SQ. FT.
300.000 SQ. FT.	300.000 SQ. FT.
301.000 SQ. FT.	301.000 SQ. FT.
302.000 SQ. FT.	302.000 SQ. FT.
303.000 SQ. FT.	303.000 SQ. FT.
304.000 SQ. FT.	304.000 SQ. FT.
305.000 SQ. FT.	305.000 SQ. FT.
306.000 SQ. FT.	306.000 SQ. FT.
307.000 SQ. FT.	307.000 SQ. FT.
308.000 SQ. FT.	308.000 SQ. FT.
309.000 SQ. FT.	309.000 SQ. FT.
310.000 SQ. FT.	310.000 SQ. FT.
311.000 SQ. FT.	311.000 SQ. FT.
312.000 SQ. FT.	312.000 SQ. FT.
313.000 SQ. FT.	313.000 SQ. FT.
314.000 SQ. FT.	314.000 SQ. FT.
315.000 SQ. FT.	315.000 SQ. FT.
316.000 SQ. FT.	316.000 SQ. FT.
317.000 SQ. FT.	317.000 SQ. FT.
318.000 SQ. FT.	318.000 SQ. FT.
319.000 SQ. FT.	319.000 SQ. FT.
320.000 SQ. FT.	320.000 SQ. FT.
321.000 SQ. FT.	321.000 SQ. FT.
322.000 SQ. FT.	322.000 SQ. FT.
323.000 SQ. FT.	323.000 SQ. FT.
324.000 SQ. FT.	324.000 SQ. FT.
325.000 SQ. FT.	325.000 SQ. FT.
326.000 SQ. FT.	326.000 SQ. FT.
327.000 SQ. FT.	327.000 SQ. FT.
328.000 SQ. FT.	328.000 SQ. FT.
329.000 SQ. FT.	329.000 SQ. FT.
330.000 SQ. FT.	330.000 SQ. FT.
331.000 SQ. FT.	331.000 SQ. FT.
332.000 SQ. FT.	332.000 SQ. FT.
333.000 SQ. FT.	333.000 SQ. FT.
334.000 SQ. FT.	334.000 SQ. FT.
335.000 SQ. FT.	335.000 SQ. FT.
336.000 SQ. FT.	336.000 SQ. FT.
337.000 SQ. FT.	337.000 SQ. FT.
338.000 SQ. FT.	338.000 SQ. FT.
339.000 SQ. FT.	339.000 SQ. FT.
340.000 SQ. FT.	340.000 SQ. FT.
341.000 SQ. FT.	341.000 SQ. FT.
342.000 SQ. FT.	342.000 SQ. FT.
343.000 SQ. FT.	343.000 SQ. FT.
344.000 SQ. FT.	344.000 SQ. FT.
345.000 SQ. FT.	345.000 SQ. FT.
346.000 SQ. FT.	346.000 SQ. FT.
347.000 SQ. FT.	347.000 SQ. FT.
348.000 SQ. FT.	348.000 SQ. FT.
349.000 SQ. FT.	349.000 SQ. FT.
350.000 SQ. FT.	350.000 SQ. FT.
351.000 SQ. FT.	351.000 SQ. FT.
352.000 SQ. FT.	352.000 SQ. FT.
353.000 SQ. FT.	353.000 SQ. FT.
354.000 SQ. FT.	354.000 SQ. FT.
355.000 SQ. FT.	355.000 SQ. FT.
356.000 SQ. FT.	356.000 SQ. FT.
357.000 SQ. FT.	357.000 SQ. FT.
358.000 SQ. FT.	358.000 SQ. FT.
359.000 SQ. FT.	359.000 SQ. FT.
360.000 SQ. FT.	360.000 SQ. FT.
361.000 SQ. FT.	361.000 SQ. FT.
362.000 SQ. FT.	362.000 SQ. FT.
363.000 SQ. FT.	363.000 SQ. FT.
364.000 SQ. FT.	364.000 SQ. FT.
365.000 SQ. FT.	365.000 SQ. FT.
366.000 SQ. FT.	366.000 SQ. FT.
367.000 SQ. FT.	367.000 SQ. FT.
368.000 SQ. FT.	36

CLARE BRIDGE COMMON AREA DATA	
COMMON AREA REQUIRED PER HPF 6.02(1)(A) CALCULATIONS ASSUMING DATA NOT AVAILABLE	
NON-AMBULATORY REQUIRES HPF NECESSITY 7.21 RESIDENTS	1.890 SQ. FT.
2-DIE BEDROOM UNITS IN SF OF INSTANT FLOOR SPACE 5 x 21 = 105 SQ. FT. FOR 52 (10.2) UNITS	2 SF
TOTAL COMMON AREA REQUIRED	1.890 SQ. FT.
COMMON AREA PROVIDED	
INCLUDING:	
DINING ROOM	1.3+0 SQ. FT.
ACTIVITY ROOM	454 SF
OFFICE	492 SF
LIVING ROOM	454 SF
QUIET ROOM	206 SF
TOTAL COMMON AREA PROVIDED	2,842 SF

[illegible]

PROJECT NO.	DATE
11025	12-05-12

DRAWN BY	CHECKED
JDS	PJD

SHEET TITLE _____

2ND FLOOR PLAN

SHEET NUMBER _____ copyright © 2012

A211

NOT FOR CONSTRUCTION
DD PROGRESS SET



PROJECT

**ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON**

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



BROOKDALE
SENIOR LIVING

STATUS _____
SITE PLAN APPROVAL
SUBMITTAL

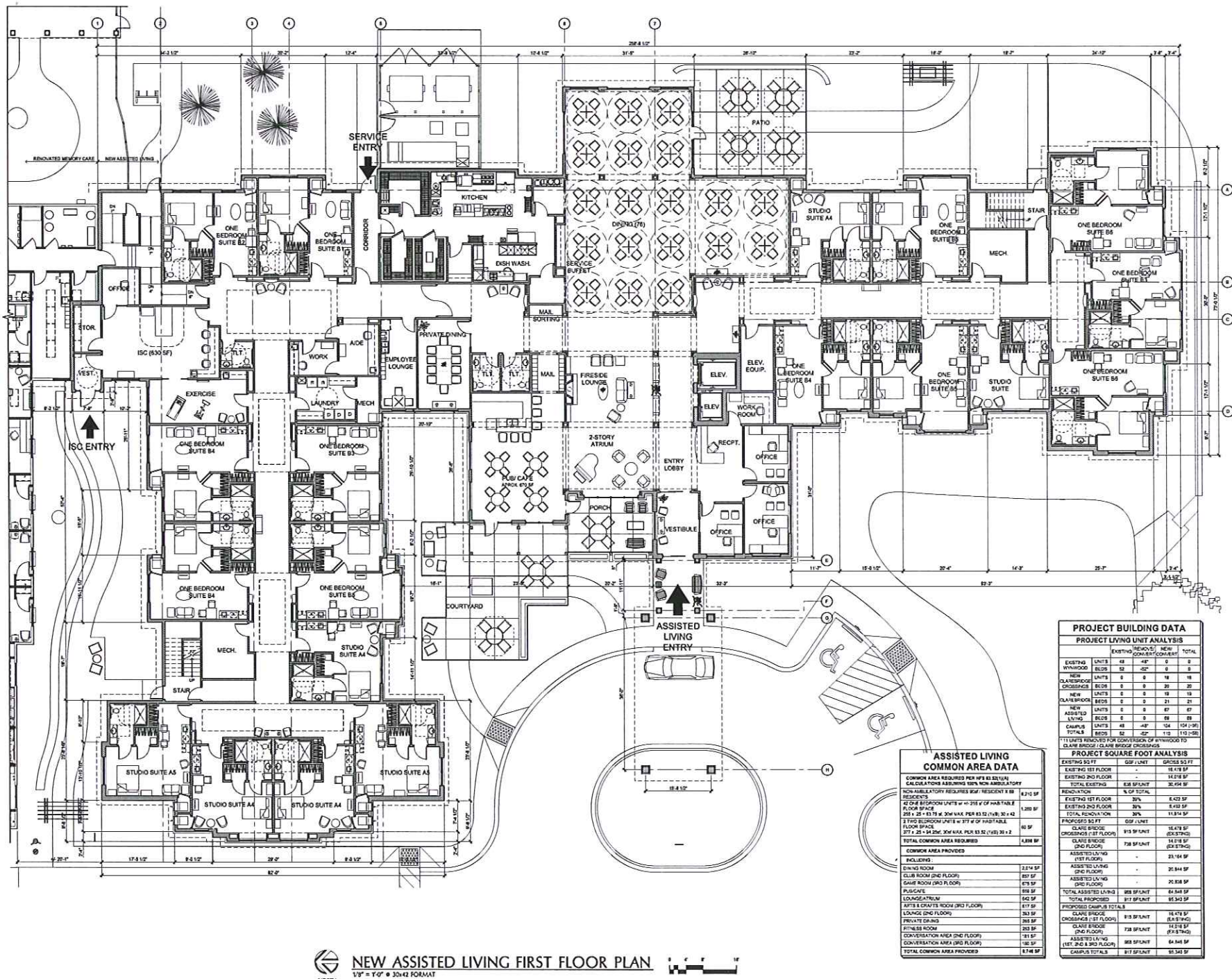
DRAWN BY	CHECKED
JRM	PDJ

SHEET TITLE
**NEW ASSISTED-
LIVING FIRST
FLOOR PLAN**

SHEET NUMBER _____ copyright © 2012

A212

NOT FOR CONSTRUCTION
DD PROGRESS SET





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
MILWAUKEE, WISCONSIN 53208
T. 414-367-7770 F. 414-367-7732
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

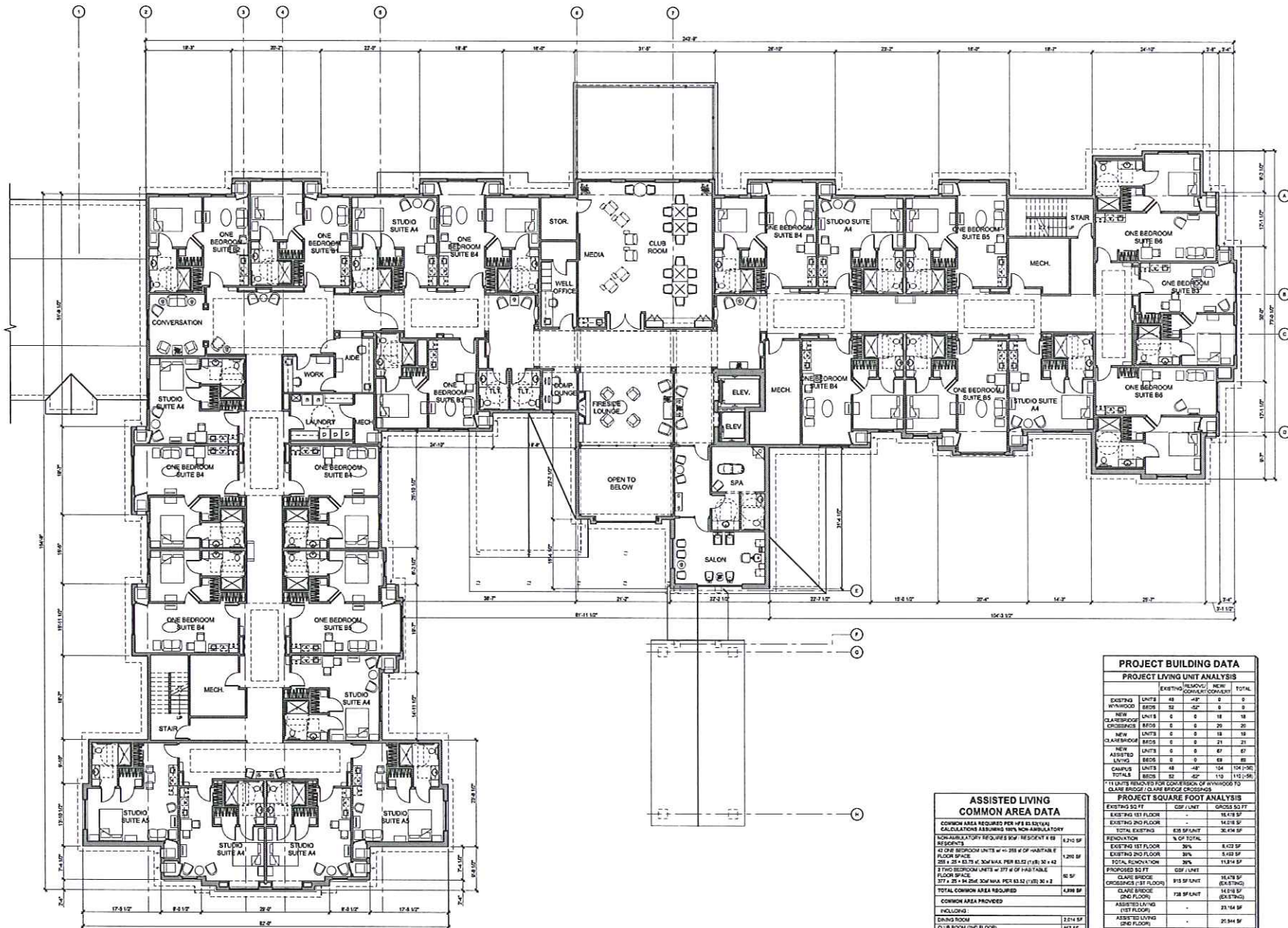
OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL



ASSISTED LIVING COMMON AREA DATA	
COMMON AREA REQUIRED PER #18 AS BAYLOR CALCULATIONS ASSUMING NON-AMBILATORY	
NON-AMBILATORY REQUIRES 300' RESIDENT X 18	5,400 SF
42 ONE BEDROOM UNITS W/ 11.358' W/ OF HABITABLE	1,200 SF
255 X 25' 6.375' W/ 30.625' PER 11.358' (11.358' X 25' X 2)	15,000 SF
2 TWO BEDROOM UNITS W/ 17.7' W/ OF HABITABLE	60 SF
377 X 25' 14.562' W/ 30.625' PER 11.358' (11.358' X 30' X 2)	1,398 SF
TOTAL COMMON AREA REQUIRED	16,998 SF
COMMON AREA PROVIDED	
INCLUDING:	
DINING ROOM	3,014 SF
CLUB ROOM (2ND FLOOR)	857 SF
CLUB ROOM (3RD FLOOR)	875 SF
PUBLIC AREA	638 SF
LOUNGE (2ND FLOOR)	642 SF
LOUNGE (3RD FLOOR)	642 SF
LOUNGE (2ND FLOOR)	383 SF
PRIVATE DINING	288 SF
FITNESS ROOM	263 SF
CONVERSATION AREA (2ND FLOOR)	181 SF
CONVERSATION AREA (3RD FLOOR)	182 SF
TOTAL COMMON AREA PROVIDED	8,748 SF

PROJECT BUILDING DATA			
PROJECT LIVING UNIT ANALYSIS			
EXISTING	REMOVED	NEW	TOTAL
UNITS	UNITS	UNITS	UNITS
EXISTING 1ST FLOOR	48	48	96
EXISTING 2ND FLOOR	52	52	104
EXISTING 3RD FLOOR	0	0	0
EXISTING 4TH FLOOR	0	0	0
EXISTING 5TH FLOOR	0	0	0
EXISTING 6TH FLOOR	0	0	0
EXISTING 7TH FLOOR	0	0	0
EXISTING 8TH FLOOR	0	0	0
EXISTING 9TH FLOOR	0	0	0
EXISTING 10TH FLOOR	0	0	0
EXISTING 11TH FLOOR	0	0	0
EXISTING 12TH FLOOR	0	0	0
EXISTING 13TH FLOOR	0	0	0
EXISTING 14TH FLOOR	0	0	0
EXISTING 15TH FLOOR	0	0	0
EXISTING 16TH FLOOR	0	0	0
EXISTING 17TH FLOOR	0	0	0
EXISTING 18TH FLOOR	0	0	0
EXISTING 19TH FLOOR	0	0	0
EXISTING 20TH FLOOR	0	0	0
EXISTING 21ST FLOOR	0	0	0
EXISTING 22ND FLOOR	0	0	0
EXISTING 23RD FLOOR	0	0	0
EXISTING 24TH FLOOR	0	0	0
EXISTING 25TH FLOOR	0	0	0
EXISTING 26TH FLOOR	0	0	0
EXISTING 27TH FLOOR	0	0	0
EXISTING 28TH FLOOR	0	0	0
EXISTING 29TH FLOOR	0	0	0
EXISTING 30TH FLOOR	0	0	0
EXISTING 31ST FLOOR	0	0	0
EXISTING 32ND FLOOR	0	0	0
EXISTING 33RD FLOOR	0	0	0
EXISTING 34TH FLOOR	0	0	0
EXISTING 35TH FLOOR	0	0	0
EXISTING 36TH FLOOR	0	0	0
EXISTING 37TH FLOOR	0	0	0
EXISTING 38TH FLOOR	0	0	0
EXISTING 39TH FLOOR	0	0	0
EXISTING 40TH FLOOR	0	0	0
EXISTING 41ST FLOOR	0	0	0
EXISTING 42ND FLOOR	0	0	0
EXISTING 43RD FLOOR	0	0	0
EXISTING 44TH FLOOR	0	0	0
EXISTING 45TH FLOOR	0	0	0
EXISTING 46TH FLOOR	0	0	0
EXISTING 47TH FLOOR	0	0	0
EXISTING 48TH FLOOR	0	0	0
EXISTING 49TH FLOOR	0	0	0
EXISTING 50TH FLOOR	0	0	0
EXISTING 51ST FLOOR	0	0	0
EXISTING 52ND FLOOR	0	0	0
EXISTING 53RD FLOOR	0	0	0
EXISTING 54TH FLOOR	0	0	0
EXISTING 55TH FLOOR	0	0	0
EXISTING 56TH FLOOR	0	0	0
EXISTING 57TH FLOOR	0	0	0
EXISTING 58TH FLOOR	0	0	0
EXISTING 59TH FLOOR	0	0	0
EXISTING 60TH FLOOR	0	0	0
EXISTING 61ST FLOOR	0	0	0
EXISTING 62ND FLOOR	0	0	0
EXISTING 63RD FLOOR	0	0	0
EXISTING 64TH FLOOR	0	0	0
EXISTING 65TH FLOOR	0	0	0
EXISTING 66TH FLOOR	0	0	0
EXISTING 67TH FLOOR	0	0	0
EXISTING 68TH FLOOR	0	0	0
EXISTING 69TH FLOOR	0	0	0
EXISTING 70TH FLOOR	0	0	0
EXISTING 71ST FLOOR	0	0	0
EXISTING 72ND FLOOR	0	0	0
EXISTING 73RD FLOOR	0	0	0
EXISTING 74TH FLOOR	0	0	0
EXISTING 75TH FLOOR	0	0	0
EXISTING 76TH FLOOR	0	0	0
EXISTING 77TH FLOOR	0	0	0
EXISTING 78TH FLOOR	0	0	0
EXISTING 79TH FLOOR	0	0	0
EXISTING 80TH FLOOR	0	0	0
EXISTING 81ST FLOOR	0	0	0
EXISTING 82ND FLOOR	0	0	0
EXISTING 83RD FLOOR	0	0	0
EXISTING 84TH FLOOR	0	0	0
EXISTING 85TH FLOOR	0	0	0
EXISTING 86TH FLOOR	0	0	0
EXISTING 87TH FLOOR	0	0	0
EXISTING 88TH FLOOR	0	0	0
EXISTING 89TH FLOOR	0	0	0
EXISTING 90TH FLOOR	0	0	0
EXISTING 91ST FLOOR	0	0	0
EXISTING 92ND FLOOR	0	0	0
EXISTING 93RD FLOOR	0	0	0
EXISTING 94TH FLOOR	0	0	0
EXISTING 95TH FLOOR	0	0	0
EXISTING 96TH FLOOR	0	0	0
EXISTING 97TH FLOOR	0	0	0
EXISTING 98TH FLOOR	0	0	0
EXISTING 99TH FLOOR	0	0	0
EXISTING 100TH FLOOR	0	0	0
EXISTING 101ST FLOOR	0	0	0
EXISTING 102ND FLOOR	0	0	0
EXISTING 103RD FLOOR	0	0	0
EXISTING 104TH FLOOR	0	0	0
EXISTING 105TH FLOOR	0	0	0
EXISTING 106TH FLOOR	0	0	0
EXISTING 107TH FLOOR	0	0	0
EXISTING 108TH FLOOR	0	0	0
EXISTING 109TH FLOOR	0	0	0
EXISTING 110TH FLOOR	0	0	0
EXISTING 111ST FLOOR	0	0	0
EXISTING 112ND FLOOR	0	0	0
EXISTING 113RD FLOOR	0	0	0
EXISTING 114TH FLOOR	0	0	0
EXISTING 115TH FLOOR	0	0	0
EXISTING 116TH FLOOR	0	0	0
EXISTING 117TH FLOOR	0	0	0
EXISTING 118TH FLOOR	0	0	0
EXISTING 119TH FLOOR	0	0	0
EXISTING 120TH FLOOR	0	0	0
EXISTING 121ST FLOOR	0	0	0
EXISTING 122ND FLOOR	0	0	0
EXISTING 123RD FLOOR	0	0	0
EXISTING 124TH FLOOR	0	0	0
EXISTING 125TH FLOOR	0	0	0
EXISTING 126TH FLOOR	0	0	0
EXISTING 127TH FLOOR	0	0	0
EXISTING 128TH FLOOR	0	0	0
EXISTING 129TH FLOOR	0	0	0
EXISTING 130TH FLOOR	0	0	0
EXISTING 131ST FLOOR	0	0	0
EXISTING 132ND FLOOR	0	0	0
EXISTING 133RD FLOOR	0	0	0
EXISTING 134TH FLOOR	0	0	0
EXISTING 135TH FLOOR	0	0	0
EXISTING 136TH FLOOR	0	0	0
EXISTING 137TH FLOOR	0	0	0
EXISTING 138TH FLOOR	0	0	0
EXISTING 139TH FLOOR	0	0	0
EXISTING 140TH FLOOR	0	0	0
EXISTING 141ST FLOOR	0	0	0
EXISTING 142ND FLOOR	0	0	0
EXISTING 143RD FLOOR	0	0	0
EXISTING 144TH FLOOR	0	0	0
EXISTING 145TH FLOOR	0	0	0
EXISTING 146TH FLOOR	0	0	0
EXISTING 147TH FLOOR	0	0	0
EXISTING 148TH FLOOR	0	0	0
EXISTING 149TH FLOOR	0	0	0
EXISTING 150TH FLOOR	0	0	0
EXISTING 151ST FLOOR	0	0	0
EXISTING 152ND FLOOR	0	0	0
EXISTING 153RD FLOOR	0	0	0
EXISTING 154TH FLOOR	0	0	0
EXISTING 155TH FLOOR	0	0	0
EXISTING 156TH FLOOR	0	0	0
EXISTING 157TH FLOOR	0	0	0
EXISTING 158TH FLOOR	0	0	0
EXISTING 159TH FLOOR	0	0	0
EXISTING 160TH FLOOR	0	0	0
EXISTING 161ST FLOOR	0	0	0
EXISTING 162ND FLOOR	0	0	0
EXISTING 163RD FLOOR	0	0	0
EXISTING 164TH FLOOR	0	0	0
EXISTING 165TH FLOOR	0	0	0
EXISTING 166TH FLOOR	0	0	0
EXISTING 167TH FLOOR	0	0	0
EXISTING 168TH FLOOR	0	0	0
EXISTING 169TH FLOOR	0	0	0
EXISTING 170TH FLOOR	0	0	0
EXISTING 171ST FLOOR	0	0	0
EXISTING 172ND FLOOR	0	0	0
EXISTING 173RD FLOOR	0	0	0
EXISTING 174TH FLOOR	0	0	0
EXISTING 175TH FLOOR	0	0	0
EXISTING 176TH FLOOR	0	0	0
EXISTING 177TH FLOOR	0	0	0
EXISTING 178TH FLOOR	0	0	0
EXISTING 179TH FLOOR	0	0	0
EXISTING 180TH FLOOR	0	0	0
EXISTING 181ST FLOOR	0	0	0
EXISTING 182ND FLOOR	0	0	0
EXISTING 183RD FLOOR	0	0	0
EXISTING 184TH FLOOR	0	0	0
EXISTING 185TH FLOOR	0	0	0
EXISTING 186TH FLOOR	0	0	0
EXISTING 187TH FLOOR	0	0	0
EXISTING 188TH FLOOR	0	0	0
EXISTING 189TH FLOOR	0	0	0
EXISTING 190TH FLOOR	0	0	0
EXISTING 191ST FLOOR	0	0	0
EXISTING 192ND FLOOR	0	0	0
EXISTING 193RD FLOOR	0	0	0
EXISTING 194TH FLOOR	0	0	0
EXISTING 195TH FLOOR	0	0	0
EXISTING 196TH FLOOR	0	0	0
EXISTING 197TH FLOOR	0	0	0
EXISTING 198TH FLOOR	0	0	0
EXISTING 199TH FLOOR	0	0	0
EXISTING 200TH FLOOR	0	0	0
EXISTING 201ST FLOOR	0	0	0
EXISTING 202ND FLOOR	0	0	0
EXISTING 203RD FLOOR	0	0	0
EXISTING 204TH FLOOR	0	0	0
EXISTING 205TH FLOOR	0	0	0
EXISTING 206TH FLOOR	0	0	0
EXISTING 207TH FLOOR	0	0	0
EXISTING 208TH FLOOR	0	0	0
EXISTING 209TH FLOOR	0	0	0
EXISTING 210TH FLOOR	0	0	0
EXISTING 211ST FLOOR	0	0	0
EXISTING 212ND FLOOR	0	0	0
EXISTING 213RD FLOOR	0	0	0
EXISTING 214TH FLOOR	0	0	0
EXISTING 215TH FLOOR	0	0	0
EXISTING 216TH FLOOR	0	0	0
EXISTING 217TH FLOOR	0	0	0
EXISTING 218TH FLOOR	0	0	0
EXISTING 219TH FLOOR	0	0	0
EXISTING 220TH FLOOR	0	0	0
EXISTING 221ST FLOOR	0	0	0
EXISTING 222ND FLOOR	0	0	0
EXISTING 223RD FLOOR	0	0	0
EXISTING 224TH FLOOR	0	0	0
EXISTING 225TH FLOOR	0	0	0
EXISTING 226TH FLOOR	0	0	0
EXISTING 227TH FLOOR	0	0	0
EXISTING 228TH FLOOR	0	0	0
EXISTING 229TH FLOOR	0	0	0
EXISTING 230TH FLOOR	0	0	0
EXISTING 231ST FLOOR	0	0	0
EXISTING 232ND FLOOR	0	0	0
EXISTING 233RD FLOOR	0	0	0
EXISTING 234TH FLOOR	0	0	0
EXISTING 235TH FLOOR	0	0	0
EXISTING 236TH FLOOR	0	0	0
EXISTING 237TH FLOOR	0	0	0
EXISTING 238TH FLOOR	0	0	0
EXISTING 239TH FLOOR	0	0	0
EXISTING 240TH FLOOR	0	0	0
EXISTING 241ST FLOOR	0	0	0
EXISTING 242ND FLOOR	0	0	0
EXISTING 243RD FLOOR	0	0	0
EXISTING 244TH FLOOR	0	0	0
EXISTING 245TH FLOOR	0	0	0
EXISTING 246TH FLOOR	0	0	0
EXISTING 247TH FLOOR	0	0	0
EXISTING 248TH FLOOR	0	0	0
EXISTING 249TH FLOOR	0	0	0
EXISTING 250TH FLOOR	0	0	0
EXISTING 251ST FLOOR	0	0	0
EXISTING 252ND FLOOR	0	0	0
EXISTING 253RD FLOOR	0	0	0
EXISTING 254TH FLOOR	0	0	0
EXISTING 255TH FLOOR	0	0	0
EXISTING 256TH FLOOR	0	0	0
EXISTING 257TH FLOOR	0	0	0
EXISTING 258TH FLOOR	0	0	0
EXISTING 259TH FLOOR	0	0	0
EXISTING 260TH FLOOR	0	0	0
EXISTING 261ST FLOOR	0	0	0
EXISTING 262ND FLOOR	0	0	0
EXISTING 263RD FLOOR	0	0	0
EXISTING 264TH FLOOR	0	0	0
EXISTING 265TH FLOOR	0	0	0
EXISTING 266TH FLOOR	0	0	0
EXISTING 267TH FLOOR	0	0	0
EXISTING 268TH FLOOR	0	0	0
EXISTING 269TH FLOOR	0	0	0
EXISTING 270TH FLOOR	0	0	0
EXISTING 271ST FLOOR	0	0	0
EXISTING 272ND FLOOR	0	0	0
EXISTING 273RD FLOOR	0	0	0
EXISTING 274TH FLOOR	0	0	0
EXISTING 275TH FLOOR	0	0	0
EXISTING 276TH FLOOR	0	0	0
EXISTING 277TH FLOOR	0	0	0
EXISTING 278TH FLOOR	0	0	0
EXISTING 279TH FLOOR	0	0	0
EXISTING 280TH FLOOR	0	0	0
EXISTING 281ST FLOOR	0	0	0
EXISTING 282ND FLOOR	0	0	0
EXISTING 283RD FLOOR	0	0	0
EXISTING 284TH FLOOR	0	0	0
EXISTING 285TH FLOOR	0	0	0
EXISTING 286TH FLOOR	0	0	0
EXISTING 287TH FLOOR	0	0	0
EXISTING 288TH FLOOR	0	0	0
EXISTING 289TH FLOOR	0	0	0
EXISTING 290TH FLOOR	0	0	0
EXISTING 291ST FLOOR	0	0	0
EXISTING 292ND FLOOR	0	0	0
EXISTING 293RD FLOOR	0	0	0
EXISTING 294TH FLOOR	0	0	0
EXISTING 295TH FLOOR	0	0	0
EXISTING 296TH FLOOR	0	0	0
EXISTING 297TH FLOOR	0	0	0
EXISTING 298TH FLOOR	0	0	0
EXISTING 299TH FLOOR	0	0	0
EXISTING 300TH FLOOR	0	0	0
EXISTING 301ST FLOOR	0	0	0
EXISTING 302ND FLOOR	0	0	0</



PROJECT

**ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON**

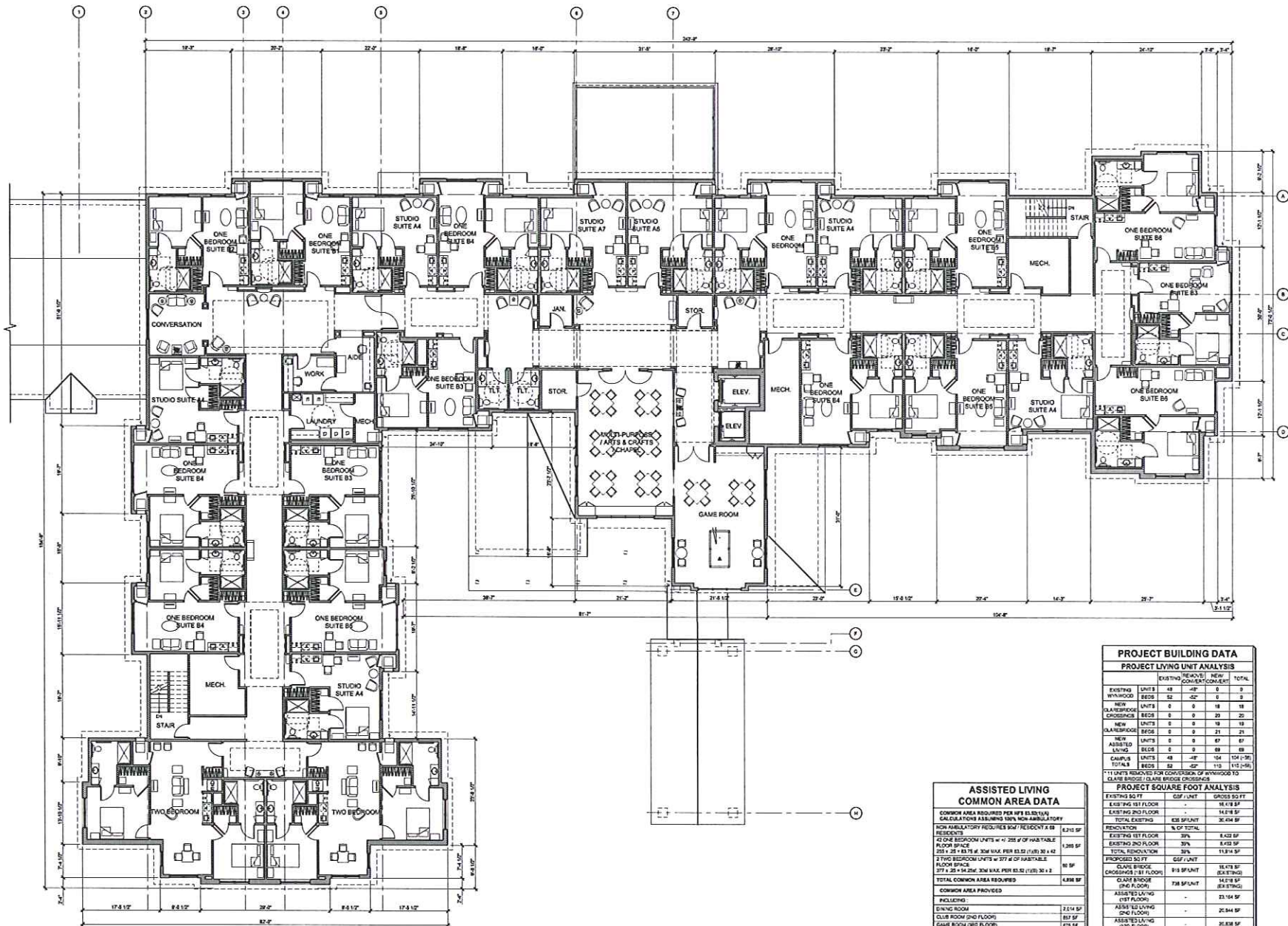
OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

STATUS
SITE PLAN APPROVAL
SUBMITTAL

SHEET TITLE
**NEW ASSISTED-
LIVING THIRD
FLOOR PLAN**

A214

NOT FOR CONSTRUCTION
DD PROGRESS SET



ASSISTED LIVING COMMON AREA DATA	
COMMON AREA REQUIRED PER VRS (SINGLE) CALCULATORS ASSUMING 70% NON-AMBILATORY	
NON-AMBILATORY REQUIRES 80% RESIDENT A FEW OF THE FOLLOWING:	6,210 SF
40 ADL BEDROOM UNITS @ 152 SF OF HABITABLE SPACE EACH = 6,080 SF	
20 TV @ 27.5 X 39.0 COMMON ROOM @ 52 (VRS) @ 142 SF	
TOTAL COMMON AREA REQUIRED FOR 60 VRS @ 104 SF PER VRS	10,560 SF
TOTAL COMMON AREA PROVIDED	4,898 SF
COMMON AREA PROVIDED	
(INCLUDING)	
DINING ROOM	2,514 SF
CLUB ROOM (AND FLOORS)	837 SF
BREAK ROOM (AND FLOORS)	175 SF
PAN-CAFE	150 SF
LOUNGE/ATRIUM	842 SF
LOBBY & ENTRY ROOM (AND FLOORS)	617 SF
LOUNGE (AND FLOORS)	700 SF
PRIVATE DINING	203 SF
FINELINE ROOM	265 SF
CONVERSION AREA (AND FLOORS)	111 SF
CONVERSION AREA (DPO FLOOR)	10 SF
TOTAL COMMON AREA PROVIDED	5,748 SF

[illegible]

 **NEW ASSISTED LIVING THIRD FLOOR PLAN**
1/8" = 1'-0" • 30x42 FORMAT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262.367.7770 F. 262.367.7713
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

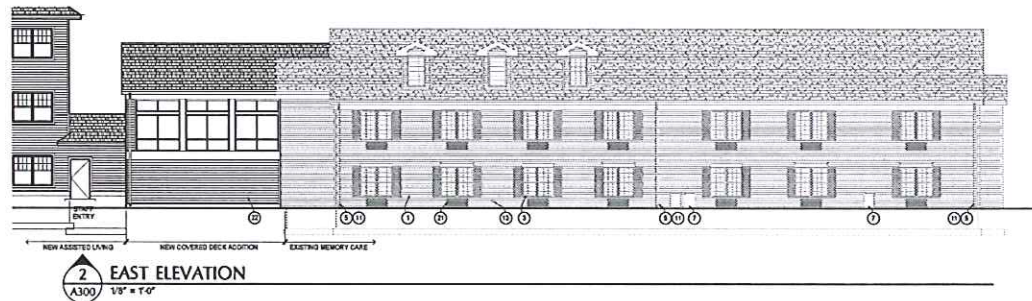
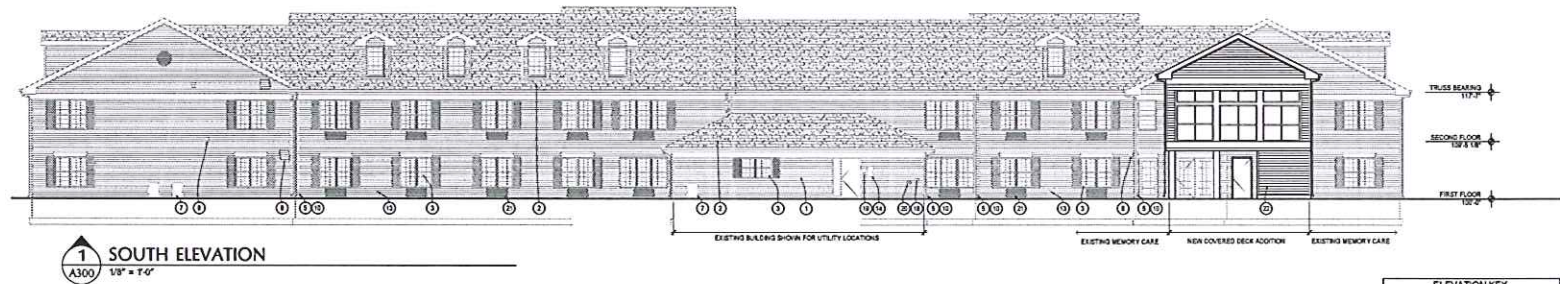
PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
JMH PDJ

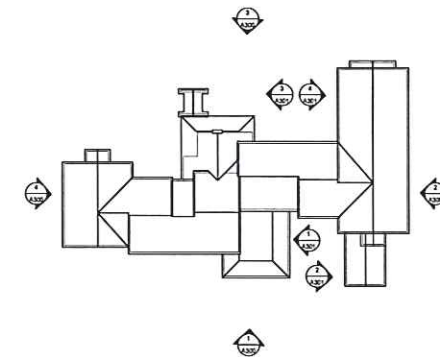
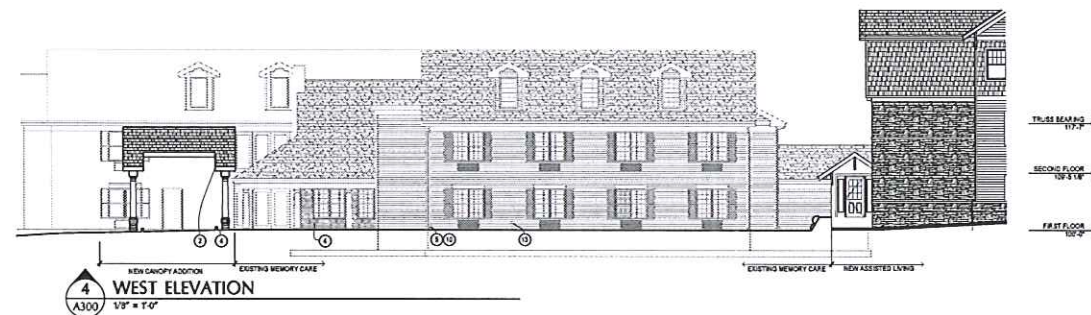
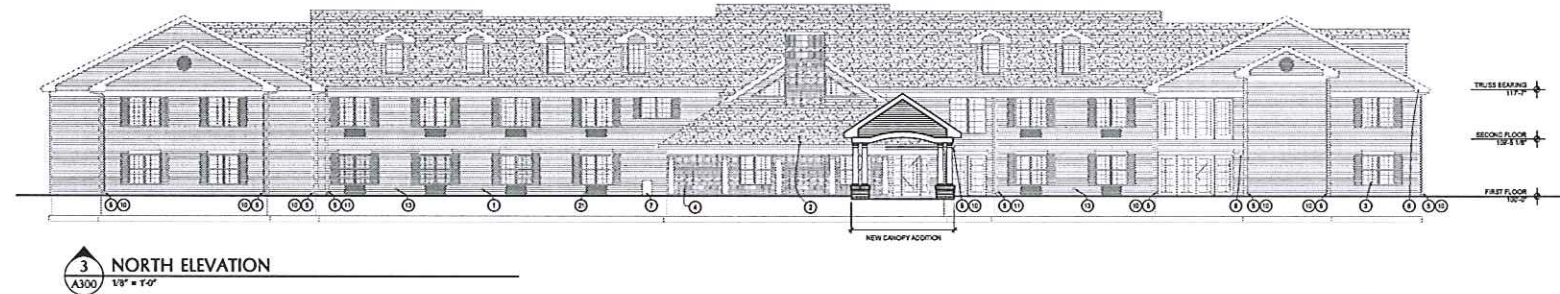
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER
A300

NOT FOR CONSTRUCTION
DD PROGRESS SET



ELEVATION KEY	
1	4\"/>





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262.367.7770 F. 262.367.7713
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS

SITE PLAN APPROVAL
SUBMITTAL

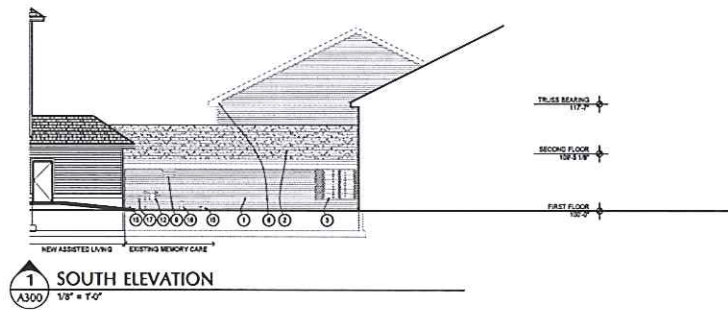
PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
JMH PDJ

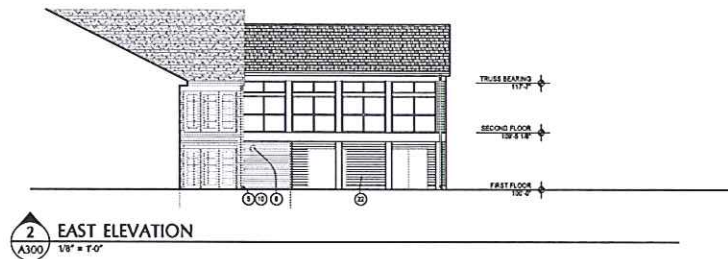
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER
A301

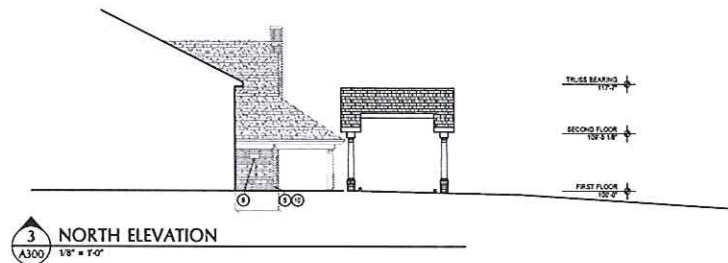
NOT FOR CONSTRUCTION
DD PROGRESS SET



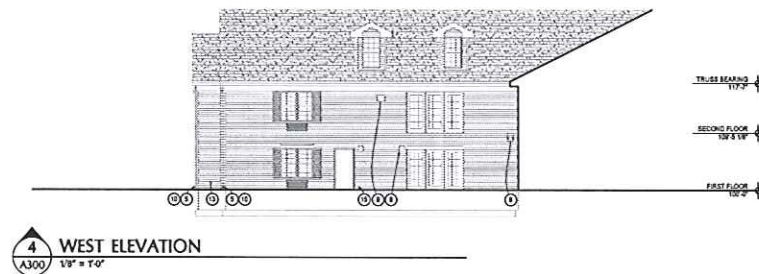
1 SOUTH ELEVATION
A300 1/8" = 1'-0"



2 EAST ELEVATION
A300 1/8" = 1'-0"

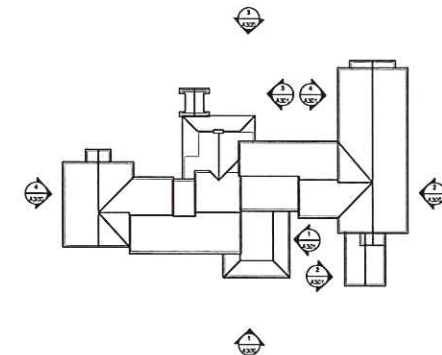


3 NORTH ELEVATION
A300 1/8" = 1'-0"



4 WEST ELEVATION
A300 1/8" = 1'-0"

ELEVATION KEY	
1	4" HORIZONTAL VINYL SIDING
2	ASPHALT SHINGLES
3	VINYL WINDOW UNIT
4	BRICK VENEER
5	PREFINISHED ALUMINUM DOOR/SLOTT & GLASS
6	PREFINISHED ALUMINUM FASCIA AND SOFFIT
7	CONDENSING UNIT
8	EXTERIOR LIGHT FIXTURE
9	EXTERIOR VENT
10	DRAIN BELOW GRADE
11	DRAIN AT GRADE
12	GAS METER
13	HOSE BIB
14	ELECTRIC METER
15	ELECTRICAL CONNECTION
16	TELEPHONE PEDISTAL
17	SPRINKLER DRAIN
18	WATER METER
19	KEY PAD
20	FIRE CONNECTION
21	PTAC UNIT
22	FIRE CEMENT ROAD



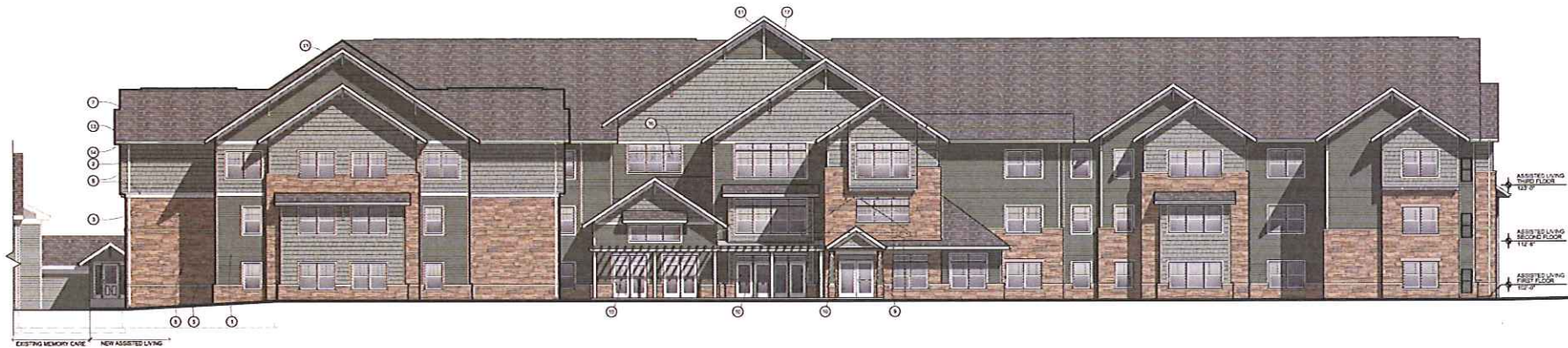


PLANNING
DESIGN
CONSTRUCTION

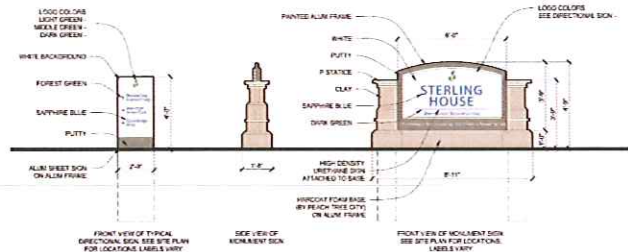
PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 100
MARTLAND, WISCONSIN 53029
P. 262.367.7770 F. 262.367.7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

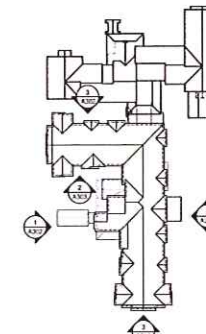
413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719



1 WEST ELEVATION
A302 1/8" = 1'-0"



2 TYPICAL SIGNAGE ELEVATIONS
A302 3/8" = 1'-0"



ELEVATION KEY
NORTH

ELEVATION KEY	
1	HORIZONTAL FIRE EXIST. SIGN 1
2	CLARE GREEN
3	RED CLAY BRICK SIGN
4	WATERFALL FAÇADE
5	WOOD TRUSS
6	WOOD LANTERN
7	STONE WALL
8	RED CLAY BRICK
9	ARCTIC WHITE
10	OPTICAL SPRINGLES
11	RED WINDOW - ARTISANAL GRIDS
12	WOODEN WOODWORK & WOOD COLUMN
13	EXTERIOR DOOR
14	WOODEN BRACKET
15	PRE-FINISHED W. NO. DRILL
16	PRE-FINISHED W. NO. DRILL
17	PRE-FINISHED W. NO. DRILL
18	PRE-FINISHED W. NO. DRILL
19	PRE-FINISHED W. NO. DRILL
20	PRE-FINISHED W. NO. DRILL
21	PRE-FINISHED W. NO. DRILL
22	PRE-FINISHED W. NO. DRILL
23	PRE-FINISHED W. NO. DRILL
24	PRE-FINISHED W. NO. DRILL
25	PRE-FINISHED W. NO. DRILL
26	PRE-FINISHED W. NO. DRILL
27	PRE-FINISHED W. NO. DRILL
28	PRE-FINISHED W. NO. DRILL
29	PRE-FINISHED W. NO. DRILL
30	PRE-FINISHED W. NO. DRILL
31	PRE-FINISHED W. NO. DRILL
32	PRE-FINISHED W. NO. DRILL
33	PRE-FINISHED W. NO. DRILL
34	PRE-FINISHED W. NO. DRILL
35	PRE-FINISHED W. NO. DRILL
36	PRE-FINISHED W. NO. DRILL
37	PRE-FINISHED W. NO. DRILL
38	PRE-FINISHED W. NO. DRILL
39	PRE-FINISHED W. NO. DRILL
40	PRE-FINISHED W. NO. DRILL
41	PRE-FINISHED W. NO. DRILL
42	PRE-FINISHED W. NO. DRILL
43	PRE-FINISHED W. NO. DRILL
44	PRE-FINISHED W. NO. DRILL
45	PRE-FINISHED W. NO. DRILL
46	PRE-FINISHED W. NO. DRILL
47	PRE-FINISHED W. NO. DRILL
48	PRE-FINISHED W. NO. DRILL
49	PRE-FINISHED W. NO. DRILL
50	PRE-FINISHED W. NO. DRILL
51	PRE-FINISHED W. NO. DRILL
52	PRE-FINISHED W. NO. DRILL
53	PRE-FINISHED W. NO. DRILL
54	PRE-FINISHED W. NO. DRILL
55	PRE-FINISHED W. NO. DRILL
56	PRE-FINISHED W. NO. DRILL
57	PRE-FINISHED W. NO. DRILL
58	PRE-FINISHED W. NO. DRILL
59	PRE-FINISHED W. NO. DRILL
60	PRE-FINISHED W. NO. DRILL
61	PRE-FINISHED W. NO. DRILL
62	PRE-FINISHED W. NO. DRILL
63	PRE-FINISHED W. NO. DRILL
64	PRE-FINISHED W. NO. DRILL
65	PRE-FINISHED W. NO. DRILL
66	PRE-FINISHED W. NO. DRILL
67	PRE-FINISHED W. NO. DRILL
68	PRE-FINISHED W. NO. DRILL
69	PRE-FINISHED W. NO. DRILL
70	PRE-FINISHED W. NO. DRILL
71	PRE-FINISHED W. NO. DRILL
72	PRE-FINISHED W. NO. DRILL
73	PRE-FINISHED W. NO. DRILL
74	PRE-FINISHED W. NO. DRILL
75	PRE-FINISHED W. NO. DRILL
76	PRE-FINISHED W. NO. DRILL
77	PRE-FINISHED W. NO. DRILL
78	PRE-FINISHED W. NO. DRILL
79	PRE-FINISHED W. NO. DRILL
80	PRE-FINISHED W. NO. DRILL
81	PRE-FINISHED W. NO. DRILL
82	PRE-FINISHED W. NO. DRILL
83	PRE-FINISHED W. NO. DRILL
84	PRE-FINISHED W. NO. DRILL
85	PRE-FINISHED W. NO. DRILL
86	PRE-FINISHED W. NO. DRILL
87	PRE-FINISHED W. NO. DRILL
88	PRE-FINISHED W. NO. DRILL
89	PRE-FINISHED W. NO. DRILL
90	PRE-FINISHED W. NO. DRILL
91	PRE-FINISHED W. NO. DRILL
92	PRE-FINISHED W. NO. DRILL
93	PRE-FINISHED W. NO. DRILL
94	PRE-FINISHED W. NO. DRILL
95	PRE-FINISHED W. NO. DRILL
96	PRE-FINISHED W. NO. DRILL
97	PRE-FINISHED W. NO. DRILL
98	PRE-FINISHED W. NO. DRILL
99	PRE-FINISHED W. NO. DRILL
100	PRE-FINISHED W. NO. DRILL

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

SHEET TITLE
NEW ASSISTED-
LIVING EXTERIOR
ELEVATIONS

SHEET NUMBER
A302

NOT FOR CONSTRUCTION
DD PROCESS SET



3 NORTH ELEVATION
A302 1/8" = 1'-0"



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1119 JAMES DRIVE, SUITE 108
MARTLAND, WISCONSIN 53574
T 262-367-7770 F 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

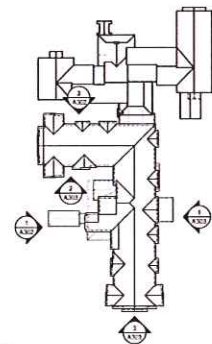
SHEET TITLE
NEW ASSISTED-
LIVING EXTERIOR
ELEVATIONS

SHEET NUMBER
A303

NOT FOR CONSTRUCTION
DD PROGRESS SET



1 EAST ELEVATION
A303 1/8" = 1'-0"



ELEVATION KEY	
1	HORIZONTAL FIBER CEMENT SIDING 1
2	CLAY GREEN
3	FIBER CEMENT SHAVE SIDING
4	MONTEREY TAUPÉ
5	STONE VENEER
6	STONE LINTEL
7	STONE SILL
8	FIBER CEMENT TRIM
9	ARCTIC WHITE
10	ASPEN F BRICKIES
11	VINYL WINDOW W/ INTEGRAL DRESS
12	DECO-PAVE MASONRY & WOOD COLUMN
13	EXTERIOR DOOR
14	DECO-PAVE BRACKET
15	PINE FINISHED VINYL GRILLE
16	PINE FINISHED AL. MOUNTED PORCHA
17	PINE FINISHED AL. OUTDOOR & DOWNPOUR
18	STAINED WOOD QUALIFIER & MECHANICAL EQUIPMENT ENCLOSURE
19	VINYL WINDOW W/ STAINLESS GLASS
20	PINE FINISHED CROWN MOULD
21	STAINED WOOD PERGOLA
22	PINE FINISHED VINYL RAILING SYSTEM
23	HORIZONTAL FIBER CEMENT SIDING 2
24	T&B

ELEVATION KEY
N/S



2 PARTIAL SOUTH ELEVATION A
A303 1/8" = 1'-0"



3 PARTIAL SOUTH ELEVATION B
A303 1/8" = 1'-0"