

BUILDING INFORMATION:

DESCRIPTION: Two story 4-unit Condominium building

SITE AREA: Lot 41= 13,280 Sq. Ft.

BUILDING AREA: 5,060 Sq. Ft.

OCCUPANCY CLASSIFICATION: Residential, R-2

CLASS OF CONSTRUCTION: Type 5B,

BUILDING HEIGHT: Approx. 31'- 3" to roof peak

FIRE PROTECTION: Building shall have smoke detectors and fire alarms per governing code.

SITE INFORMATION:

TOTAL SITE AREA: 13,280 sf (.304 ACRES)
BUILDING AREA: 5,060 sf (.116 ACRES) = 38% OF SITE
PAVED AREA: 2,723 sf (.063 ACRES) = 21% OF SITE
LANDSCAPED AREA: 5,435 sf (.125 ACRES) = 41% OF SITE

UNIT TYPES AND AREA:
Type : A = 2,287 sf + 479 sf garage
Type : B = 2,286 sf + 479 sf garage
Type : C = 2,286 sf + 479 sf garage
Type : D = 2,287 sf + 479 sf garage

PARKING:
GARAGE STALLS PER UNIT : 2 SPACES
SURFACE PARKING STALLS : 1 SPACE
TOTAL: 9 SPACES

ADA NOTES

GRAB BARS:
MOUNT SIDE GRAB BAR 12" FROM REAR WALL. 42" LONG MIN. MOUNT REAR GRAB BAR 6" FROM SIDE WALL 36" LONG MIN.
GRAB BARS SHALL PROVIDE 1 1/8" CLEARANCE FROM WALL, 1 1/4" - 1 1/2" DIA. AND SHALL BE MOUNTED 33" - 36" A.F.F. TO TOP.

TOILET PAPER DISPENSER:
MOUNT 19" MIN. A.F.F. TO CENTER.

TOWEL DISPENSER:
SLOT @ 40" A.F.F.

TOILET SEAT:
SHALL BE @ 17" - 19" ABOVE FLOOR.

MIRROR:
BOTTOM @ 40" A.F.F.

SINK:
RIM @ 34" MAX A.F.F. CLEAR SPACE OF 29" FLOOR TO APRON.
EXPOSED PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR MOUNTING OF ALL ACCESSORIES.

NOTE:
INSTALL ALL HC GRAB BARS AND ACCESSORIES PER STATE AND LOCAL CODES - G.C. IS RESPONSIBLE FOR VERIFYING COMPLIANCE

PROJECT

Owl's Nest
4226 Owl Creek Drive
Madison, WI 53718

DEVELOPER/OWNER

Kevin & Jeanette Acker
102 N. Holiday Drive
Waunakee, WI 53597
Phone: 608.849.6770
Fax: 608.849.6771

CONTRACTOR

Premier Builders
102 N. Holiday Drive
Waunakee, WI 53597
Phone: 608.849-6770
Fax: 608.849-6771

ARCHITECT

SIEGERARCHITECTS

1501 Monroe Street
Madison, WI 53711
Phone: 608.283.6100
Fax: 608.283.6101

PROJECT #
0519

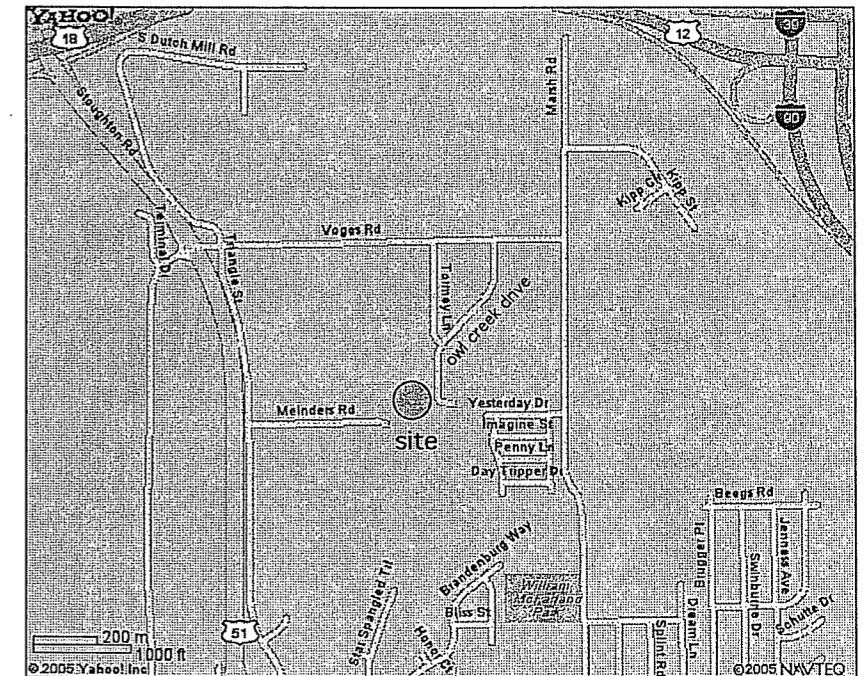
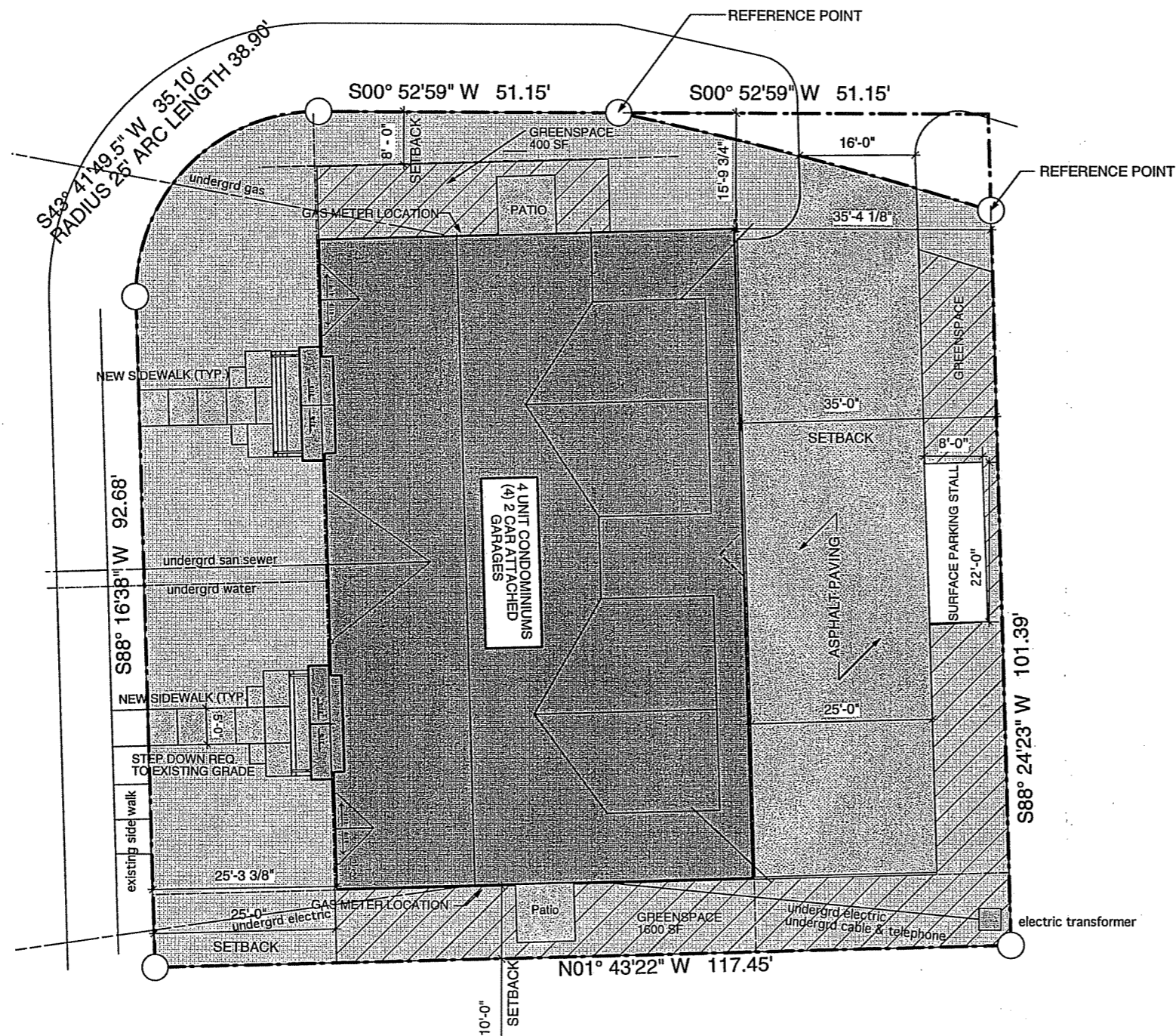
PLAN COMMISSION 2.22.06

SHEET INDEX

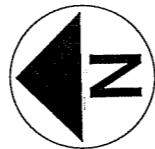
- C1 Site Plan
- C2 Landscape Plan
- A0 Basement/foundation Plan
- A1 1st Floor Plan
- A2 2nd Floor Plan
- A3 Roof Plan
- A4 Front/ Left Side Elevations
- A5 Rear/ Right Side Elevations

OWL CREEK DRIVE

GREAT GREY DRIVE



GENERAL SITE NOTES	
1:	CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2:	ACCESSIBLE ROUTES FROM ACCESSIBLE PARKING AND PASSENGER LOADING ZONES TO ALL BUILDING ENTRANCES ALONG 5' CONCRETE SIDEWALK SHALL COMPLY WITH THE ACCESSIBILITY REQUIREMENTS OF ADAAG 4.3
3:	DRIVE AISLE TO BE FLUSH WITH TOP OF SIDEWALK AT HOTEL CURB SIDE DROP-OFFS FOR ACCESSIBILITY PURPOSES.
4:	ACCESS TO ALL PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. IN THE EVENT THAT ACCESS MUST BE CLOSED FOR SOME PERIOD OF TIME, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE AFFECTED PROPERTY OWNERS, LOCAL POLICE AND FIRE DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO CLOSING ACCESS.
5:	IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL CONDITIONS AND NOTIFY ARCHITECT AND ENGINEER OF ANY CHANGES OR DISCREPANCIES FROM AVAILABLE INFORMATION
6:	IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DAMAGED SIDEWALK AND MAKE SURE THAT IT MEETS CITY STANDARDS. EXISTING SIDEWALK SHALL BE PROTECTED FROM EQUIPMENT FOR THE DURATION OF PROJECT CONSTRUCTION.
7:	ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE ACCORDING TO THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2002, OR LATEST EDITION. PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS BEFORE THE START OF WORK IN THE RIGHT-OF-WAY OR UTILITY CONNECTIONS.
SITE INFORMATION	
SITE AREA:	13,280 sf
BUILDING FOOTPRINT:	5,060 sf
PARKING SPACES:	9 spaces
GREEN SPACE REQ'D:	500sf / UNIT = 2,000sf
GREEN SPACE PROVIDED:	2,012sf



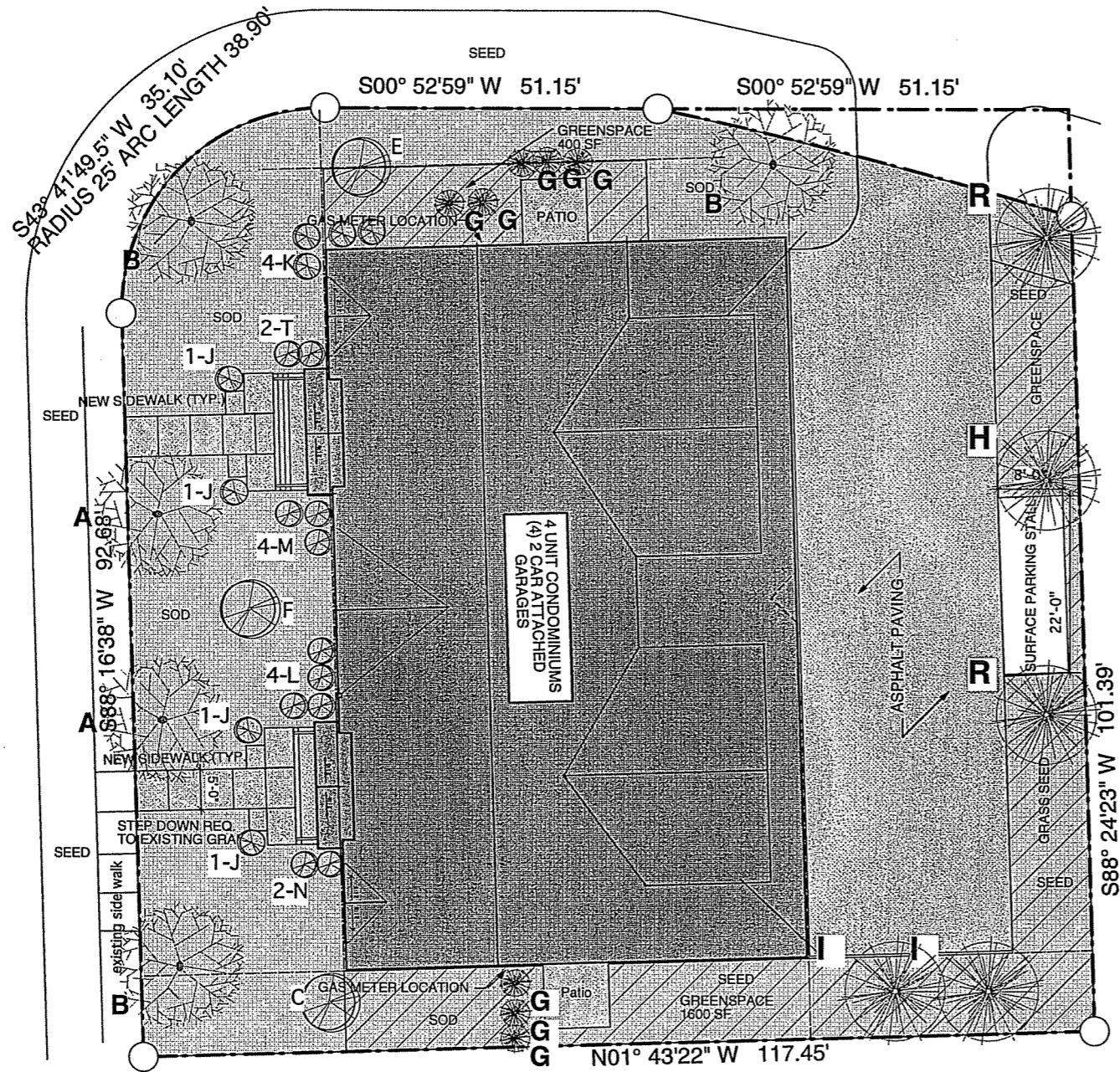
SITE PLAN

SCALE: 1" = 10' For plans enlarged 200%
SCALE: 1" = 20' For plans printed on 11" x 17"

ARCHITECTURAL SITE PLAN		C1
architect	<p>SIEGER LLC ARCHITECTURE</p> <p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>	
project	<p>OWL'S NEST 4226 OWL CREEK DRIVE Madison, WI 53718</p>	2.16.06
owner	<p>KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597</p>	

OWL CREEK DRIVE

GREAT GREY DRIVE



PLANT SCHEDULE			
MK	COMMON NAME	BOTANICAL	SIZE
A	Thornless Honey Locust	Gleditsia triacanthos "Skyline"	2.5" B&B
B	Autumn Purple Ash	Fraxinus Americana	2.5" B&B
C	Norway Maple	Acer platanoides	2.5" B&B
D	Canadian Tree Lilac	Syringa x prestoniae	1" - 6" HT.
E	Royalty flowering Crab	Malus Royalty	1" - 6" HT.
F	Eastam Redbud	Cercis canadensis	4" B&B
G	Pyramidal Arborvitae	Thuja occidentalis Fatigata	6" HT.
H	Colorado Blue Spruce	Picea pungens	6" HT.
I	Norway Spruce	Picea Abies	6" HT.
J	Arrowwood Viburnum	Viburnum dentatrin	5-gal. cont.
K	Goldfinger	Potentilla fruticosa "Goldfinger"	18" pot
L	Froebe Spiraea	"Froebell"	18" pot
M	Wine and Roses	Wiegela florida	1 gal.
N	Hedge Cotoneaster	Cotoneaster lucidus	38" pot
O	Blue Plug Juniper	Juniperus horizontalis	12" pot
P	Hosta-Sageo	Fluctuans "Variegata"	1 gal.
R	Austrian Pine	Pinus Nigra	6" B&B
S	Boston Ivy	Parthenocissus Tricuspldate	1 gal.
T	Rudy Haag	Euonymus alatus	1 gal.
U	Red Sprite	Ilex Verticillata	1 gal.


GENERAL NOTES

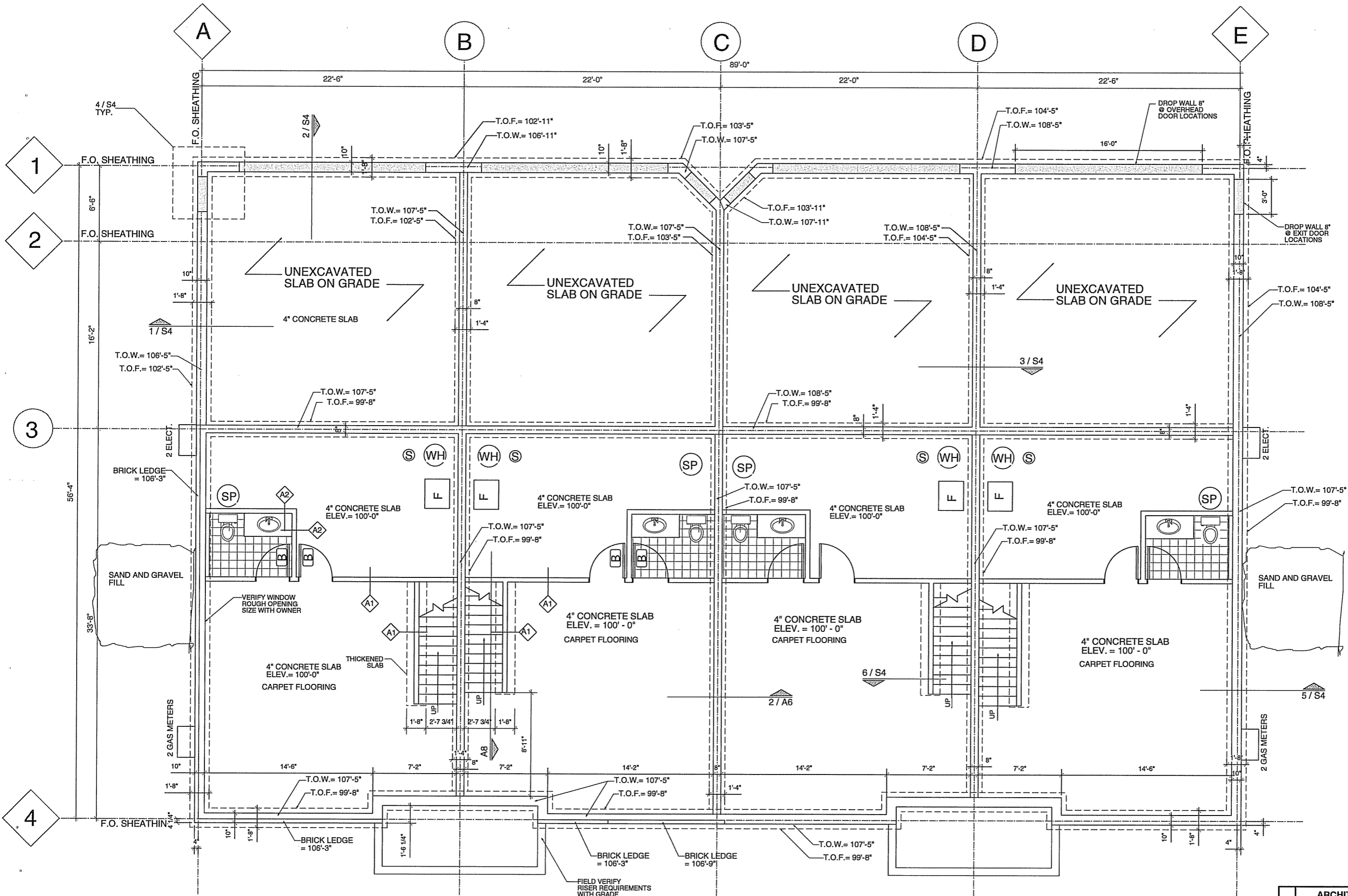
- Mulch beds shall be washed stone mulch, 3" deep, 30" wide, or approved equal.
- Mulch area shall be underlain with Landscape Fabric, equal to DeWitt Firm's, 28 mil. with edges to overlap 6" and 1 inch minimum on edging foundation of building. Provide at mulch bed areas black plastic edging.
- Landscape Contractor shall space shrubs for growth in three years as appropriate.
- Verify planter sizes at site with General Contractor.
- Substitutions shall be verified with Architect and Owner for availability.
- Verify removal of all existing trees with Owner/Architect prior to work.
- Where quantities of one plant variety are called for, space plants evenly within the area shown. The quantity number shown shall be supplied.
- Single trees to be mulched with shredded bark 2" deep. Deciduous trees to have mulch circles 3' diameter. Evergreen trees to have mulch circles 1' beyond drip line.
- Provide seed in area between building, parking, and sidewalks as shown on the plan. Provide seeded areas to disturb areas around building and parking.



LANDSCAPE PLAN

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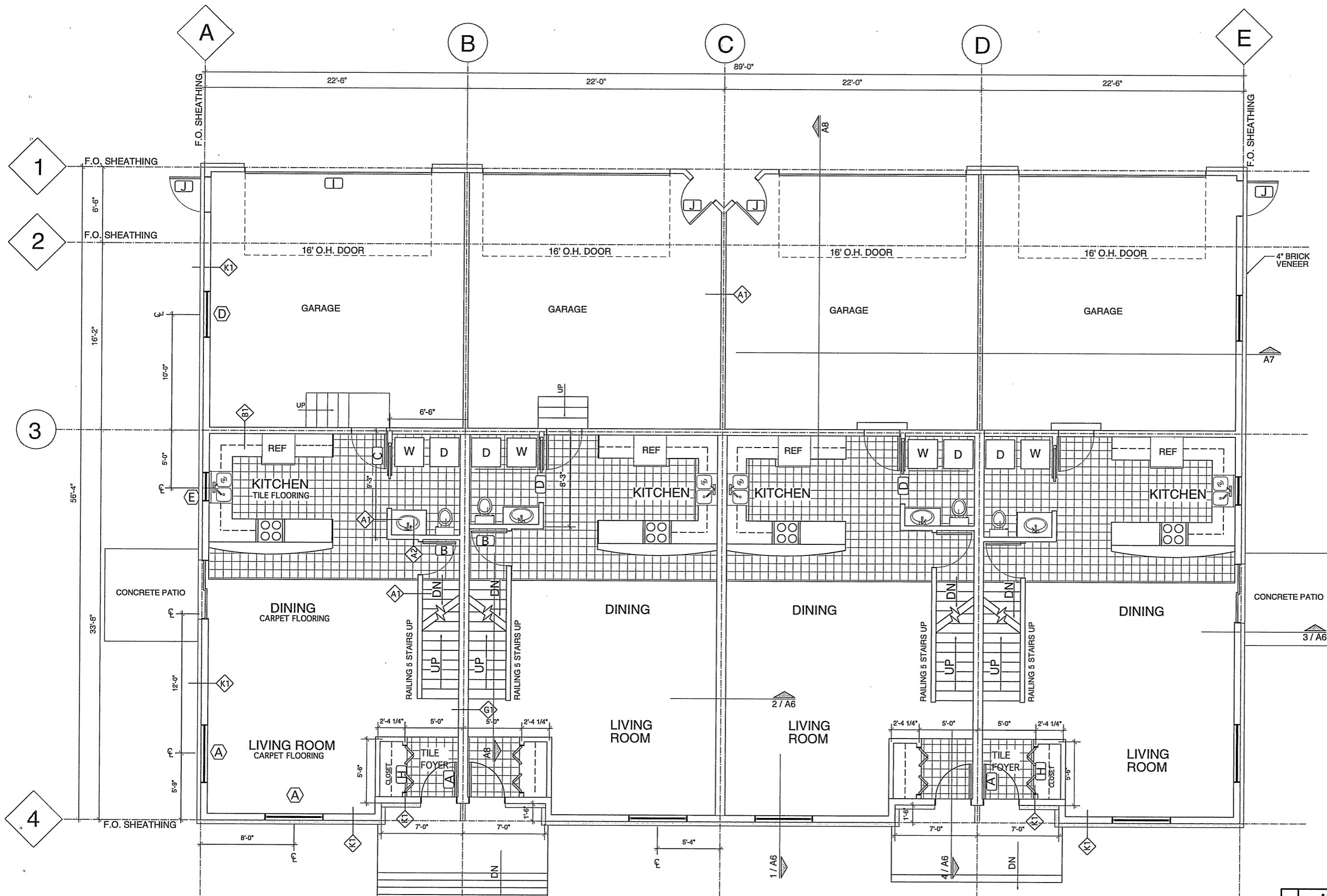
ARCHITECTURAL SITE PLAN		C2
project	OWL'S NEST 4226 OWL CREEK DRIVE MADISON, WI 53718	
owner	KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597	2.16.05
architect	 SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	



BASEMENT / FOUNDATION PLAN

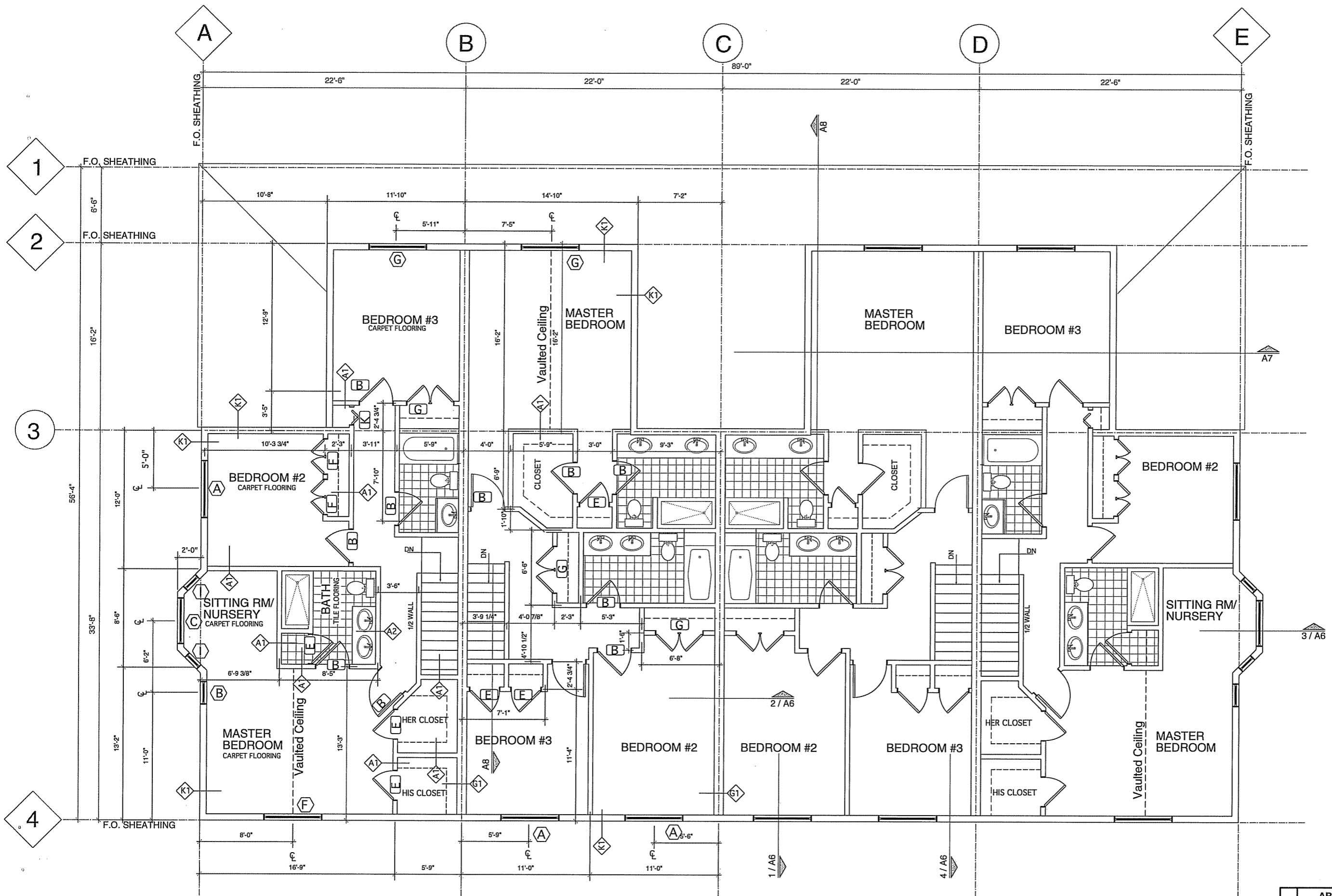
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 SCALE: 1/4" = 1' - 0" For plans enlarged 200%

<p>SIEGER LLC ARCHITECTURE</p> <p>1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101</p>	<p>ARCHITECTURAL FLOOR PLANS</p>		<p>A0</p>
	<p>project</p> <p>OWLS NEST 4226 OWL CREEK DRIVE MADISON, WI 53718</p>	<p>owner</p> <p>KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597</p>	



FIRST FLOOR PLAN
 SCALE: 1/8" = 1' - 0" For plans on 11" x 17"
 SCALE: 1/4" = 1' - 0" For plans enlarged 200%

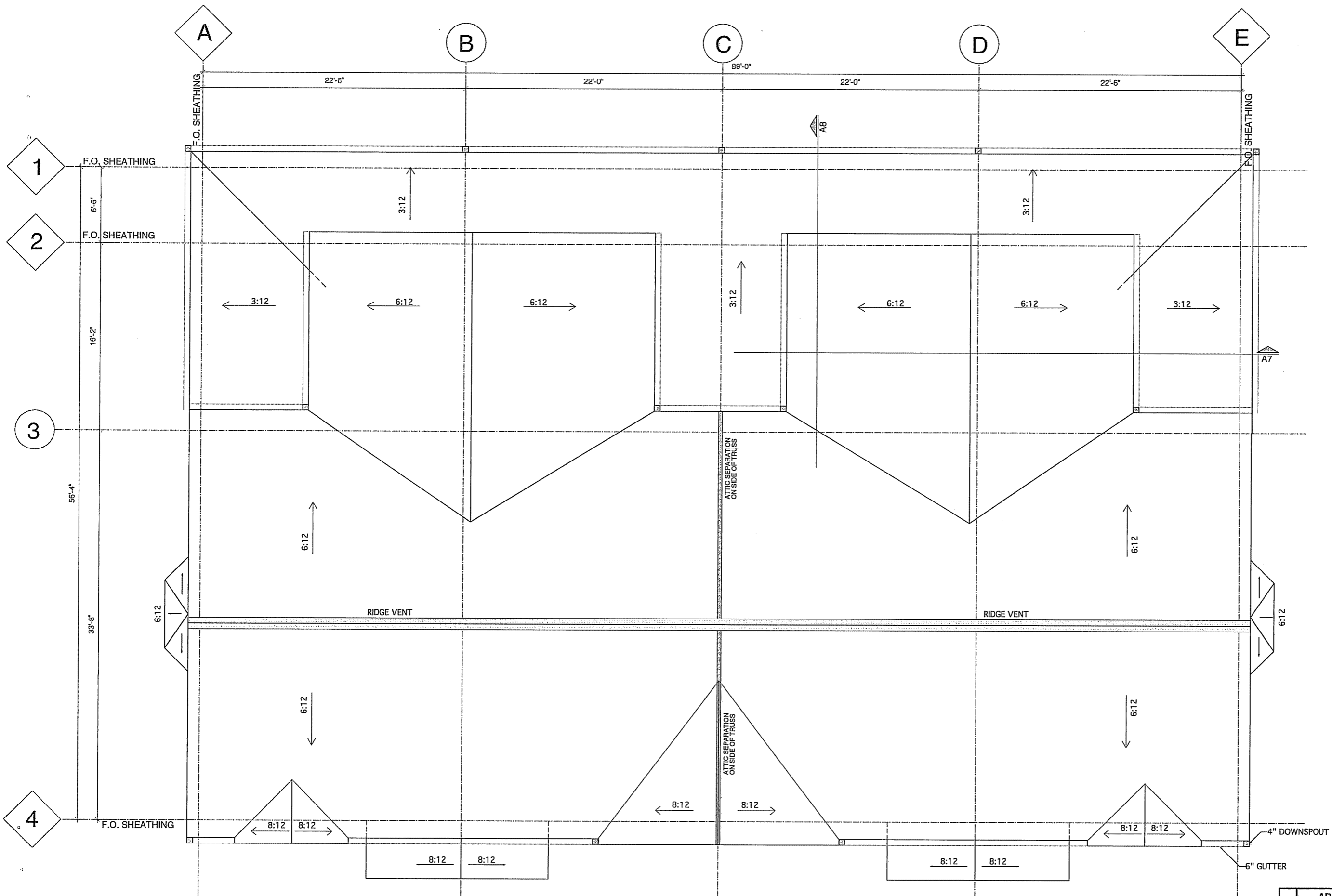
architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	project OWL'S NEST 4226 OWL CREEK DRIVE Madison, WI 53718	A1 2.16.06
	owner KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597	



SECOND FLOOR PLAN

SCALE: 1/8" = 1' - 0" For plans on 11" x 17"
 SCALE: 1/4" = 1' - 0" For plans enlarged 200%

ARCHITECTURAL FLOOR PLANS 		A2 <small>2.16.06</small>
<small>architect</small> 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101	<small>project</small> OWL'S NEST 4226 OWL CREEK DRIVE Madison, WI 53718	
<small>owner</small> KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597		

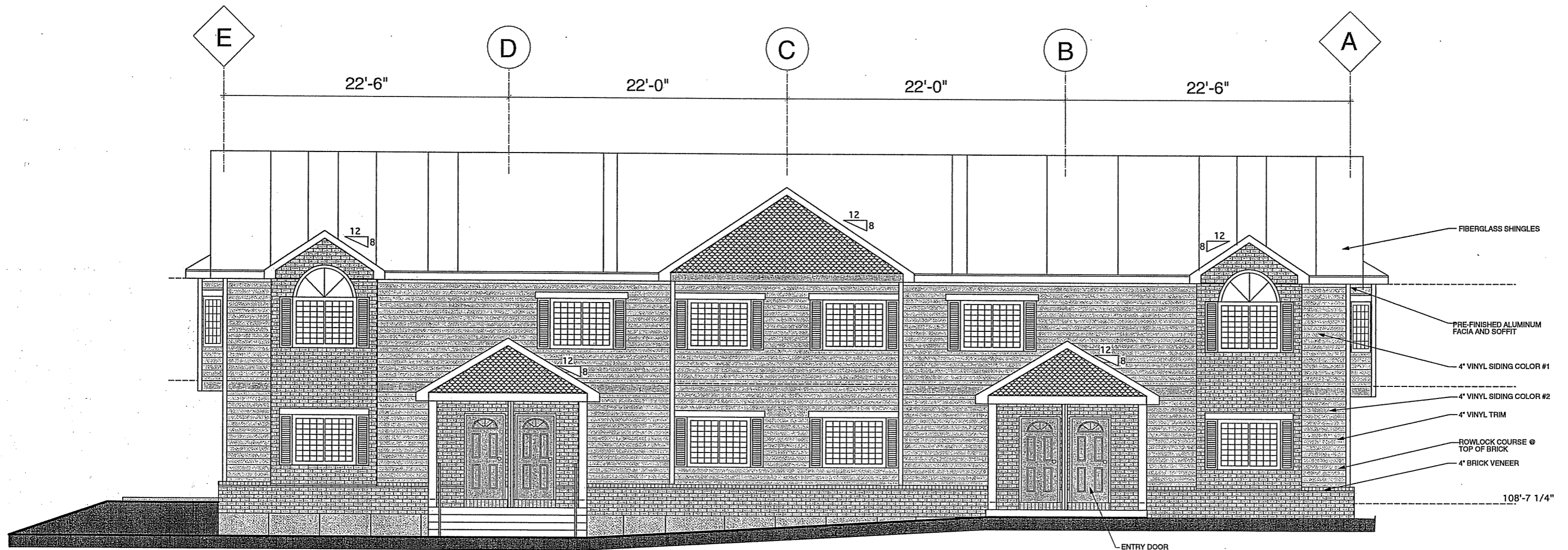


ROOF PLAN

SCALE: 1/8" = 1' - 0" For plans on 11" x 17"
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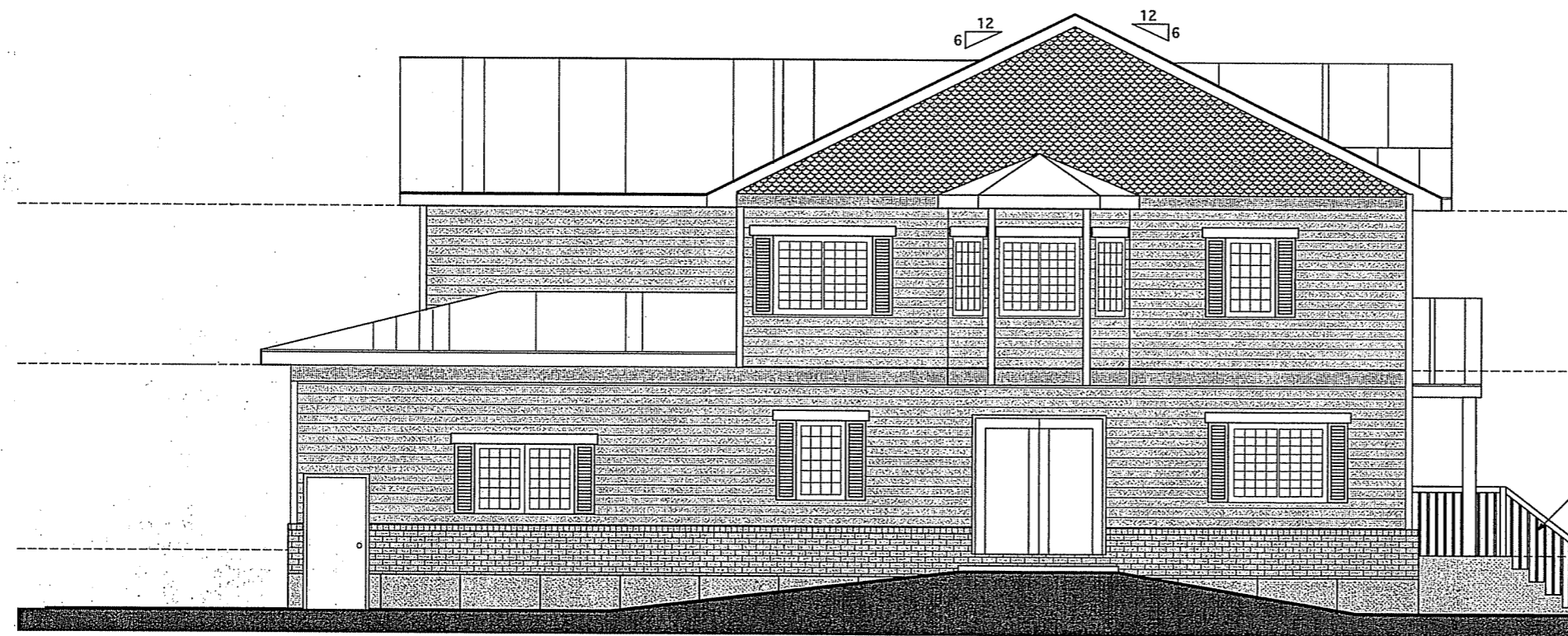
- #### ROOF PLAN NOTES
- MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL ROOF OPENINGS, ROOF DRAINS AND ROOF MOUNTED EQUIPMENT.
 - PROVIDE FLASHING AND SEALANT AS REQUIRED TO WATERPROOF AROUND OPENINGS AND SUPPORTS ON ROOF.
 - ALL EXPOSED FLASHING SHALL HAVE FINISH TO MATCH EXTERIOR FINISH SYSTEM
 - DRAFT STOPS TO BE PROVIDED IN ACCORDANCE W/ SECTION 708.3.1.2 IN LINE W/ UNIT DEMISING WALLS.
 - COMPARTMENTALIZE THE ATTIC SPACE FROM THE UNIT CEILING TO THE UNDERSIDE OF THE ROOF DECK, WHERE DRAFT STOP IS INDICATED ON DRAWINGS. DRAFT STOP SHALL EXTEND INTO THE EAVE AND SOFFIT AREAS TO PROVIDE COMPLETE SEPARATION OF COMPARTMENTS. BRACKETS SHALL CONSIST OF 23/32" PLYWOOD ON TRUSSES AND 23/32" PLYWOOD WITH 2x2x2 PLUGS ON ALL PANEL EDGES NOT ALREADY SUPPORTED CONTINUOUSLY BY TRUSS MEMBERS.
 - PROVIDE ATTIC ACCESS: MINIMUM SIZE 22" X 30" INTO EACH ATTIC AREA.
 - PROVIDE ICE & WATER SHIELD 6" FROM EAVE

ARCHITECTURAL FLOOR PLANS OWL'S NEST 4226 OWL CREEK DRIVE Madison, WI 53718		A3 2.16.06
architect SIEGER LLC ARCHITECTURE 1501 Monroe St. Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101	project owner KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597	



FRONT ELEVATION

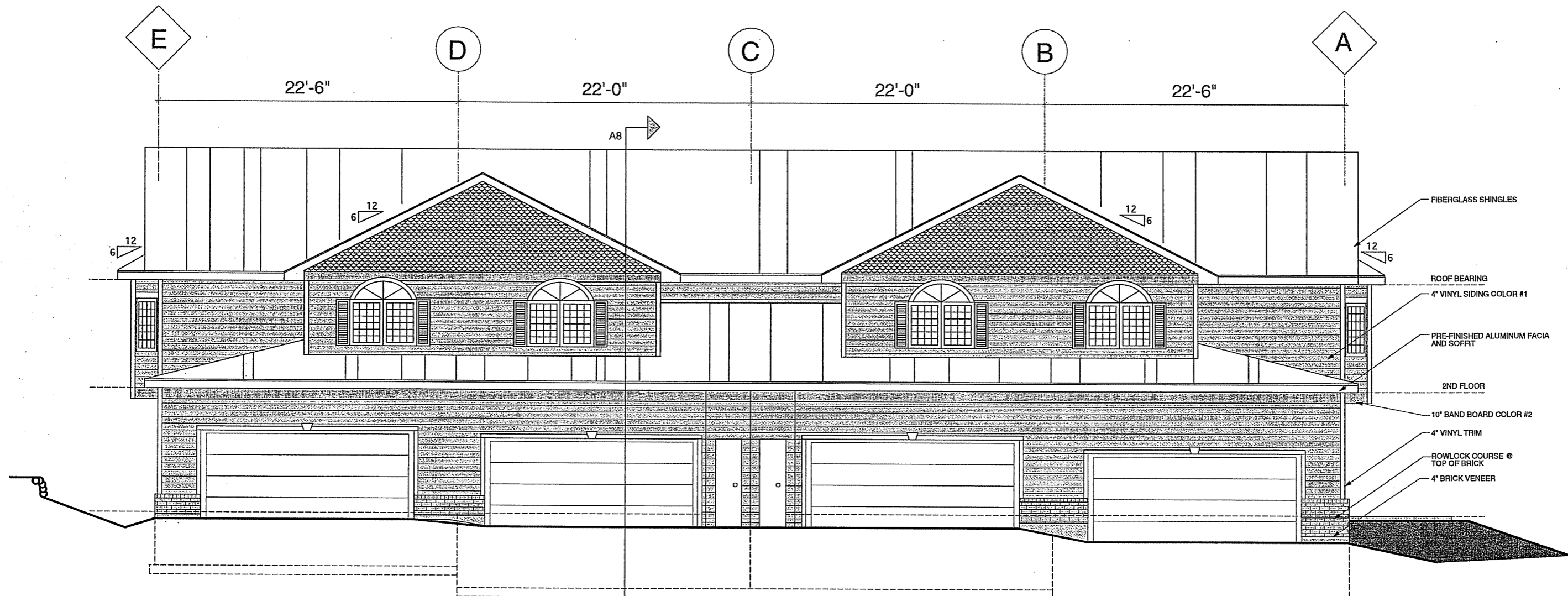
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LEFT SIDE ELEVATION

SCALE: 1/8" = 1' - 0" For plans on 11" x 17"
 SCALE: 1/4" = 1' - 0" For plans enlarged 200%

		ELEVATIONS		A4
		project OWL'S NEST 4226 OWL CREEK DRIVE MADISON, WI 53718	owner KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597	
				2.16.06



BACK ELEVATION

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


RIGHT SIDE ELEVATION

SCALE: 1/8" = 1' - 0" For plans on 11" x 17"
 SCALE: 1/4" = 1' - 0" For plans enlarged 200%

- FIBERGLASS SHINGLES
- ROOF BEARING
- 4" VINYL SIDING COLOR #1
- PRE-FINISHED ALUMINUM FACIA AND SOFFIT
- 2ND FLOOR
- 10" BAND BOARD COLOR #2
- 4" VINYL TRIM
- ROWLOCK COURSE @ TOP OF BRICK
- 4" BRICK VENEER

- FIBERGLASS SHINGLES
- 4" VINYL SIDING COLOR #1
- FIBERGLASS SHINGLES
- PRE-FINISHED ALUMINUM FACIA AND SOFFIT
- 10" BAND BOARD COLOR #2
- 4" VINYL TRIM
- ROWLOCK COURSE @ TOP OF BRICK
- 4" BRICK VENEER

architect  **SIEGER LLC**
 ARCHITECTURE
 1501 Monroe St. Madison, WI 53711
 Phone: 608.283.6100 Fax: 608.283.6101

ELEVATIONS	
project	OWL'S NEST 4226 OWL CREEK DRIVE MADISON, WI 53718
owner	KEVIN & JEANETTE ACKER 102 N. HOLIDAY DRIVE WAUNAKEE, WI 53597

A5