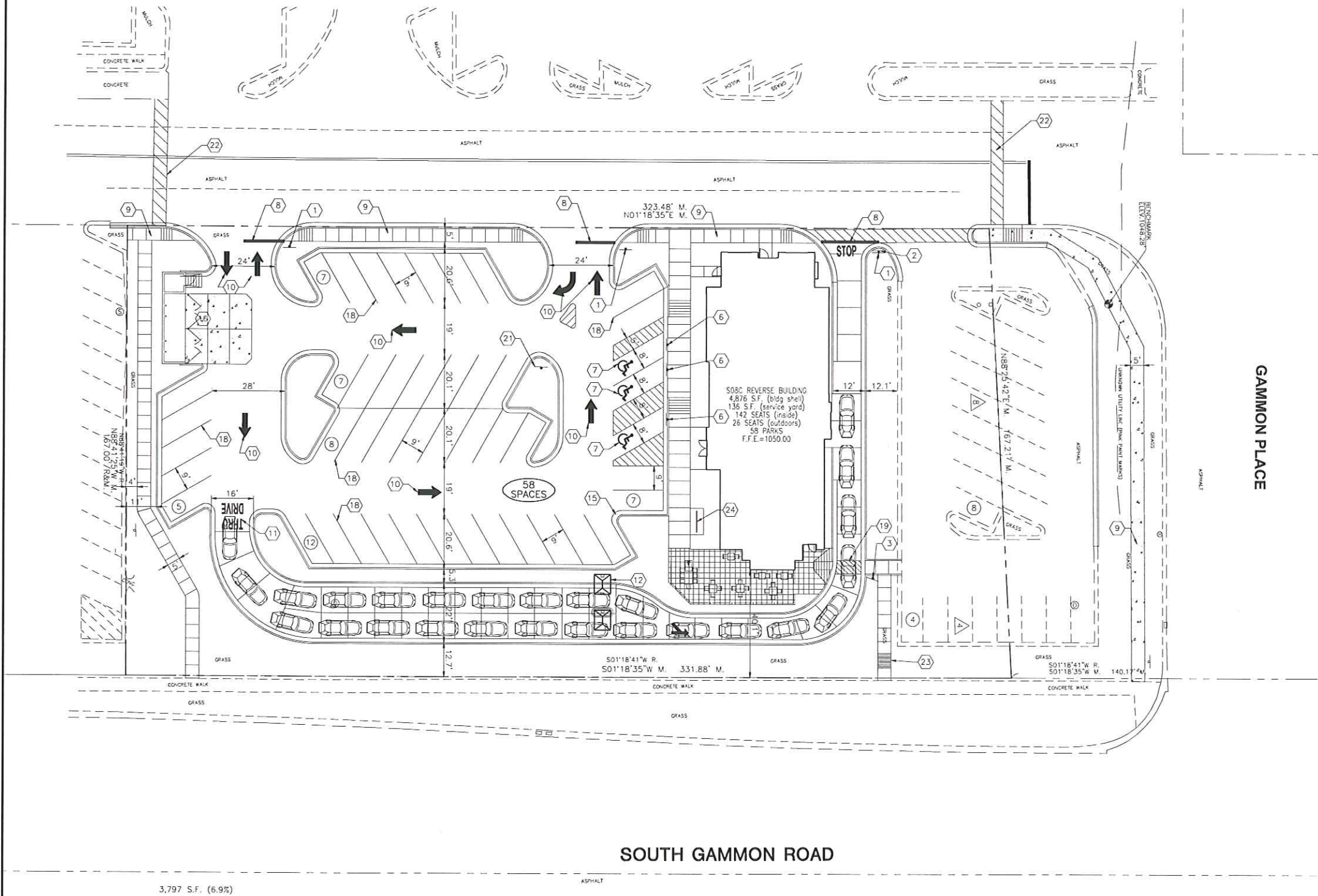


Layout Tab Name: C-2.0, Images: buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg; 01-3352-TBLK.dwg; 01-3352-X.dwg
Last Saved By: Graywa, 2/28/2014 2:04:31 PM
C:\DE\Clients\Chick-fil-A\073820 - Madison, WI\Civil\Road\01-3352-C-2.0-SIT.dwg Plotted By: Graywa, Jan Plotter/February 28, 2014, 3:26:12 PM



SITE PLAN LEGEND

- PROPOSED CURB AND GUTTER
- ACCESSIBLE RAMP
- DETECTABLE WARNING

SITE KEY NOTES

- NO. DESCRIPTION
- "STOP" SIGN
 - "DO NOT ENTER" SIGN
 - "PEDESTRIAN CROSSING" SIGN
 - "LEFT TURN ONLY" SIGN
 - "YIELD" SIGN
 - ACCESSIBLE PARKING SIGN
 - PAINTED ACCESSIBLE PARKING SYMBOL
 - STOP BAR
 - CONCRETE SIDEWALK
 - DIRECTIONAL ARROW
 - DRIVE-THRU GRAPHICS
 - MENU BOARD & CANOPY ORDERING STATION
 - THREE-SIDED PYLON SIGN (30' HEIGHT)
 - DIRECTIONAL SIGN
 - ALUMINUM HANDRAIL, DARK BRONZE
 - REFUSE ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
 - 4" STRIPE, TRAFFIC YELLOW PAINT
 - 4" STRIPE, TRAFFIC WHITE PAINT
 - PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC WHITE PAINT
 - PAINT 4" WIDE STRIPES @ 4' O.C. AT 45° ANGLE, TRAFFIC YELLOW PAINT
 - "DO NOT ENTER" SIGN
 - EXISTING STRIPING TO REMAIN
 - PROPOSED STAIRS
 - PROPOSED BIKE RACK

SITE DATA

SITE AREA:	±1.26 ACRES (54,722 S.F.)
CURRENT ZONING:	CC
EXISTING BUILDING AREA:	3,797 S.F. (6.9%)
EXISTING PAVEMENT AREA:	30,524 S.F. (55.6%)
EXISTING LANDSCAPE AREA:	20,401 S.F. (37.3%)
PARKING DATA:	
ON-SITE PARKING:	
55 REGULAR SPACES PROVIDED	
3 ACCESSIBLE SPACES PROVIDED	
58 PARKING SPACES PROVIDED	
REQUIRED PARKING:	
PARKING SPACES REQUIRED: 1/100 SF GROSS FLOOR AREA	
GROSS FLOOR AREA = 5,012 SF	
50 PARKING SPACES REQUIRED	
PROPOSED BUILDING AREA:	5,012 S.F. (9.2%)
FLOOR AREA RATIO = 0.092	
PROPOSED PAVEMENT AREA:	37,083 S.F. (67.6%)
PROPOSED LANDSCAPE AREA:	12,627 S.F. (23.0%)



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731



STORE #3352
MADISON
SOBC

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
SITE PLAN

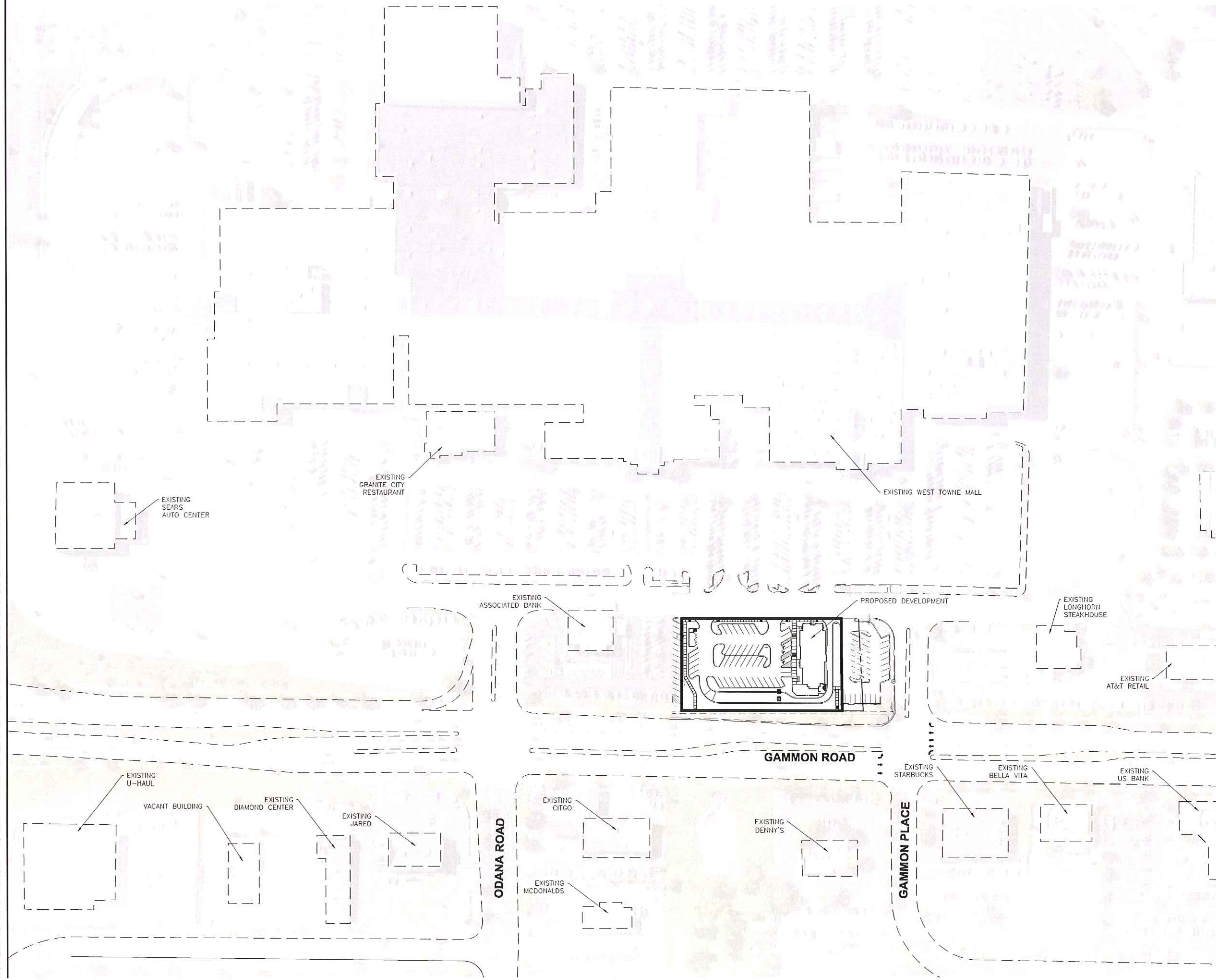
DWG EDITION 07.1
REVISION 1

Job No. : 073820
Store : 3352
Date : 12/20/13
Drawn By : DLH
Checked By: EJU

Sheet

C-2.0

Layout Tab Name: C-2.1, Images: Aerial.jpg, buildable area CFA.jpg, MAPS.jpg, Xrefs: 01-3352-P.dwg, 01-3352-TBLK.dwg, 01-3352-X.dwg
Last Saved By: ceculski, 2/11/2014 11:09:25 AM
G:\DE\Clients\Chick-fil-A\073820 - Madison, WI\Civil\Good\01-3352-C-2.1-SIT.dwg Plotted By: ceculski, Jason Plotted: February 11, 2014, 11:38:26 AM



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731



STORE #3352
MADISON
508C

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
OVERALL
SITE PLAN

DWG EDITION 07.1
REVISION 1

Job No. : 073820

Store : 3352

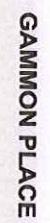
Date : 12/20/13

Drawn By : JAC

Checked By: JLG

Sheet

C-2.1



DEVELOPMENT FRONTAGE 22.142(5)
 REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF

REQUIRED: NORTH (148.2 LF): 4.9 TREES & 24.7 SHRUBS
 EAST (376.7 LF): 12.6 TREES & 62.8 SHRUBS

PROVIDED:
 NORTH: 5 SHADE TREES
 15 EVERGREEN SHRUBS
 13 DECIDUOUS SHRUBS

EAST: 9 SHADE TREES
 4 ORNAMENTAL TREES
 18 EVERGREEN SHRUBS
 46 DECIDUOUS SHRUBS

INTERIOR PARKING LOT 23.142(6)
 REQUIREMENT: 1 OVERSTORY TREE PER 160 SF OF LANDSCAPE AREA

REQUIRED: 2071 SF OF REQUIRED LANDSCAPE AREA
 12.95 OVERSTORY TREES

PROVIDED: 1 EXISTING SHADE TREE
 8 SHADE TREES
 8 ORNAMENTAL TREES
 41 EVERGREEN SHRUBS
 60 DECIDUOUS TREES
 20 ORNAMENTAL GRASSES

FOUNDATION PLANTINGS 23.142(7)
 PROVIDED: 4 EVERGREEN SHRUBS
 19 DECIDUOUS SHRUBS
 16 ORNAMENTAL GRASSES
 230 GROUNDCOVER/ANNUALS
 9 PERENNIALS

LANDSCAPE POINT CALCULATION
 REQUIREMENT: TOTAL DEVELOPED AREA SF DIVIDED BY 300 TIMES 5

REQUIRED: $54,722 / 300 = 182$
 $182 \times 5 = 910$ PLANT POINTS REQUIRED

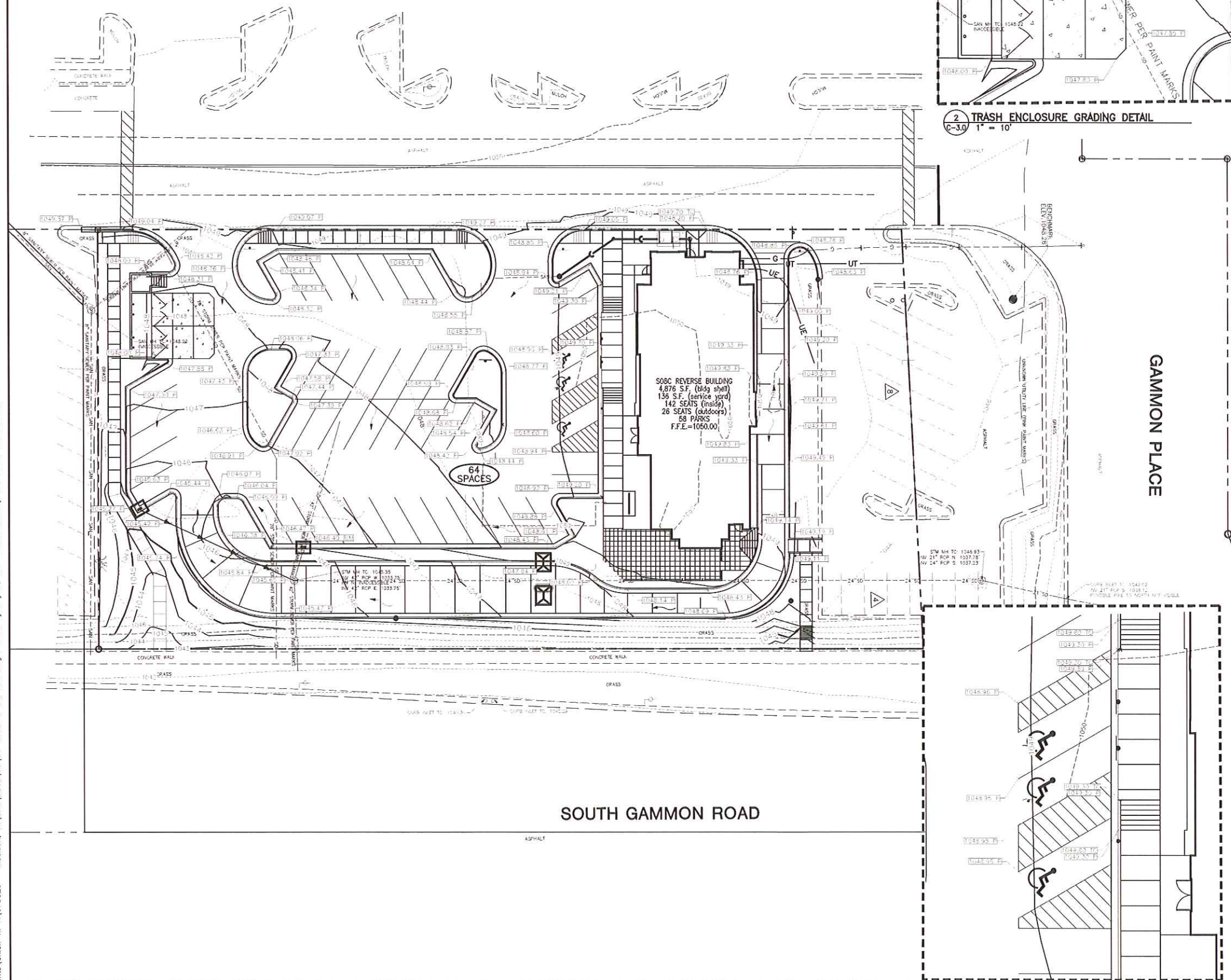
PROVIDED: 1,784 LANDSCAPE POINTS

0 20 40 60

GRAPHIC SCALE IN FEET



Layout Tab Name: C-3.0, Images: buildable area CFA.jpg; MAPS.jpg; Xrefs: 01-3352-P.dwg; 01-3352-X.dwg; 01-3352-TBLK.dwg
Last Saved By: cebulski, 2/11/2014 10:04:37 AM
G:\DE\Clients\Chick-fil-A\073820 - Madison, WI\Civil\Cadd\Cd\01-3352-C-3.0-GR.dwg Plotted By: Grzywa, Jon Plotted: February 11, 2014, 10:57:00 AM



1 ADA GRADING DETAIL
C-3.0 1" = 10'

GRADING LEGEND

---	EXISTING BOUNDARY
---	PROPOSED BOUNDARY
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED STORM SEWER
---	PROPOSED UNDERDRAIN
---	PROPOSED RETAINING WALL
---	SPILLING CURB & GUTTER
---	CATCHING CURB & GUTTER
---	DIRECTION OF FLOW
---	OVERLAND FLOW ROUTE
---	ELEVATION AT TOP OF CURB
---	ELEVATION AT TOP OF PAVEMENT
---	ELEVATION AT TOP OF SLAB
---	ELEVATION AT TOP OF WALK
---	ELEVATION AT STRUCTURE RIM
---	EXISTING ELEVATION
---	PROPOSED CATCH BASIN
---	PROPOSED CURB INLET
---	PROPOSED STORM MANHOLE
---	PROPOSED FLARED END SECTION

GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
3. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
4. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
5. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
6. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
7. FOR ALL CURB ISLANDS, CENTER OF ISLANDS SHALL BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
8. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS.
9. ALL STORM SEWER SHALL BE CLASS IV REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 UNLESS INDICATED OTHERWISE. TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-6.
10. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
11. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
12. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
13. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
14. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
15. ALL DISTURBED AREAS ON-SITE SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL DISTURBED AREAS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED WITH SOD.
16. CONTRACTOR TO ENSURE THAT ACCESSIBLE PARKING SPACES AND ACCESS AISLES ARE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS IN ACCORDANCE WITH ADAAG 4.6.3.

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
IRON ROD SET - SEE DRAWING FOR LOCATION.

ELEVATION = 1048.28'

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (600) 542-2289
www.DiggersHotline.com



Chick-fil-A

5200 Buffington Rd
Atlanta, Georgia
30349-2996

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

WOOLPERT
REGISTERED PROFESSIONAL ENGINEER

STORE #3352
MADISON
S08C

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
**GRADING
PLAN**

DWG EDITION 07.1
REVISION

Job No. : 073820

Store : 3352

Date : 2/04/14

Drawn By : JAC

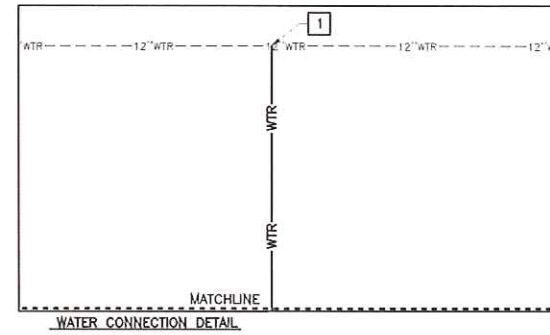
Checked By: JLG

Sheet

C-3.0

SANITARY STRUCTURE TABLE			
STRUCTURE ID	DESCRIPTION	RIM	INVERT
1.0	External Drop Manhole	1049.47	6" EX = 1040.65 (S) 6" = 1044.43 (NW)
1.1	Clean Out	1049.39	6" = 1044.70 (N) 6" = 1044.70 (SE)
1.2	Clean Out	1049.26	6" = 1044.92 (E) 6" = 1044.92 (S)

CONTRACTOR TO FIELD
VERIFY EXISTING INVERT



UTILITY PLAN LEGEND	
	EXISTING BOUNDARY
	PROPOSED BOUNDARY
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED UNDERDRAIN
	PROPOSED WATER MAIN
	PROPOSED ELECTRIC
	PROPOSED GAS
	PROPOSED TELEPHONE

- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE
- PROPOSED VALVE VAULT
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED TELEPHONE MANHOLE
- PROPOSED LIGHT POLE
- INDICATES DETAIL LOCATION (DETAIL NUMBER/DETAIL SHEET)
- PROPOSED SANITARY STRUCTURE CALLOUT
- PROPOSED STORM STRUCTURE CALLOUT
- PROPOSED UTILITY LAYOUT CALLOUT
- PROPOSED UTILITY CROSSING CALLOUT

UTILITY NOTES

- MADISON GAS AND ELECTRIC WILL INSTALL THE GAS METER. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE GAS COMPANY AND MARKING THE LOCATION OF THE METER. METER MAY NOT BE CLOSER THAN 3 FEET FROM ANY ELECTRICAL POWER SOURCE.
- CONTRACTOR TO FURNISH AND INSTALL (1)-4" SCHEDULE 40 PVC CONDUIT AND PULL ROPE FOR TELEPHONE SERVICE FROM PROPERTY LINE TO THE BUILDING. CONTRACTOR TO FURNISH 4"x4"x8" SERVICE BOARD PRIOR TO AT&T COMING TO SITE FOR INSTALLATION. CONTRACTOR TO FURNISH #6 GROUND.
- PRIMARY ELECTRICAL SERVICE TO BE PROVIDED BY ALLIANT ENERGY AND LIGHT COMPANY FROM RIGHT-OF-WAY TO TRANSFORMER PAD.
- CONTRACTOR TO FURNISH AND INSTALL (2)-4" SCHEDULE 40 PVC CONDUITS AND BURY IN A 36" DEEP TRENCH SUCH THAT TOP OF CONDUIT IS MINIMUM OF 30" BELOW FINISHED GRADE.
- ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITIES DEPARTMENT.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC SDR-35, CONFORMING TO ASTM D-3034, UNLESS INDICATED OTHERWISE.
- ALL WATER MAIN CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON UTILITIES DEPARTMENT. ALL WATER MAIN SHALL BE CONSTRUCTED OF PRESSURE CLASS 350 DUCTILE IRON PIPE.
- ALL FITTINGS, BENDS, HYDRANTS, AND ALL JOINTS SHALL BE PROPERLY BRACED BY MEANS OF RESTRAINTED JOINT ASSEMBLIES AS FOLLOWS:
 - ALL MECHANICAL JOINT FITTINGS, BENDS AND HYDRANTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1100 "MEGALUG" MECHANICAL JOINT RESTRAINTS.
 - ALL PUSH-ON JOINTS SHALL BE PROPERLY ANCHORED BY MEANS OF EBAA SERIES 1700 "MEGALUG" RESTRAINT HARNESSES OR APPROVED EQUAL.
- CONTRACTOR TO COORDINATE SHUTDOWN OF ALL WATER MAINS WITH THE CITY OF MADISON UTILITIES DEPARTMENT. CITY SHALL BE GIVEN 5 WORKING DAYS NOTICE.
- CONTRACTOR SHALL ADJUST EXISTING STRUCTURES TO MEET FINAL GRADE.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
- WHERE PROPOSED SEWER CROSSES ABOVE A WATERMAIN, PROPOSED SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE FOR A MINIMUM OF 10' ON EITHER SIDE OF CROSSING.

LAYOUT NOTES

- PRESSURE CONNECTION TO EXISTING WATER SERVICE WITH VALVE AND VALVE VAULT
- 6" D.I. COMBINED FIRE PROTECTION/DOMESTIC WATER SERVICE CONNECT TO BUILDING WATER SERVICE (COORDINATE WITH PLUMBING PLANS)
- PROPOSED GAS SERVICE (SEE NOTE 1)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY
- UNDERGROUND PRIMARY TELEPHONE SERVICE (SEE NOTE 2)
- UNDERGROUND SECONDARY ELECTRIC SERVICE (SEE NOTE 3)
- GREASE INTERCEPTOR (1,000 GALLON)



UTILITY CROSSINGS

- BOTTOM OF PROPOSED 6" SAN = 1044.6
TOP OF PROPOSED 6" WTR = 1043.6

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
IRON ROD SET - SEE DRAWING FOR LOCATION.

ELEVATION = 1048.28'

SOUTH GAMMON ROAD

133' PUBLIC RIGHT-OF-WAY
HERETOFORE DEDICATED

GAMMON PLACE

PARCEL A A PART OF LOT 4

508C REVERSE BUILDING
4,876 SF. (bldg shell)
136 SF. (service yard)
142 SEATS (inside)
26 SEATS (outdoors)
58 PARKS
F.F.E.=1050.00



5200 Burlington Rd.
Atlanta, Georgia
30349-2998

Revisions:
Mark Date By

△

Mark Date By

△

Mark Date By

△

1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731



STORE #3352
MADISON
508C

432 S. GAMMON ROAD
MADISON, WISCONSIN

SHEET TITLE
UTILITY
PLAN

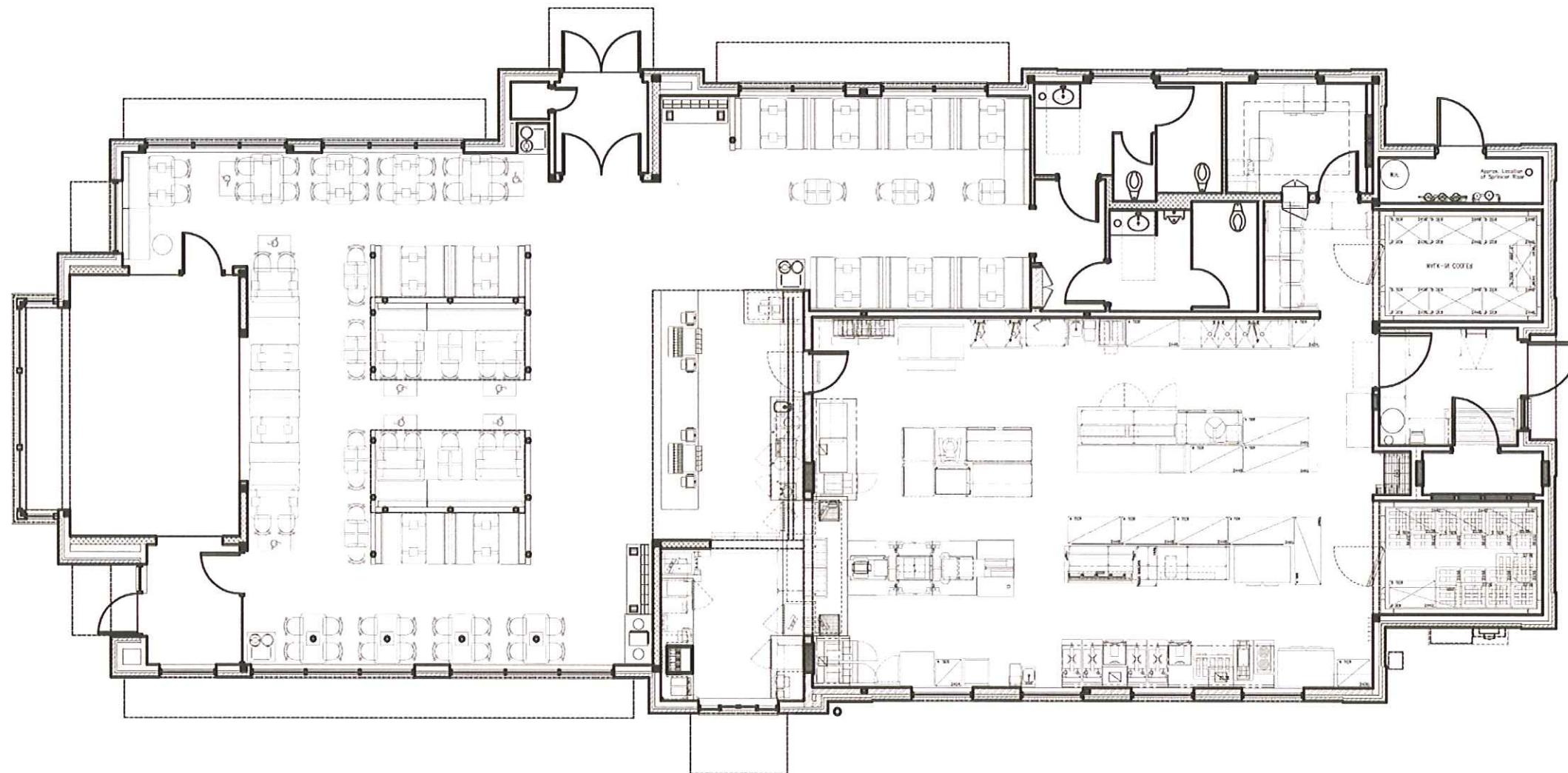
DWG EDITION 07.1
REVISION

Job No. : 073820
Store : 3352
Date : 2/04/14
Drawn By : JAC
Checked By: JLG

Sheet

C-4.0

S08 V8 Building C - Reverse | Floor plan
Heated Area: 4876 sf
Seat Count: 134



West Towne FSU, Madison, WI – Store # 03352



S08 V8 Building C - Reverse | Exterior Elevations



West Towne FSU, Madison, WI – Store # 03352

