

# 433 JOHNSON BEND

433 West Johnson Street

SUTTON  
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architecture





View from West Johnson Street

433 Johnson Bend

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Aerial View looking East

SUTTON  
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433 Johnson Bend

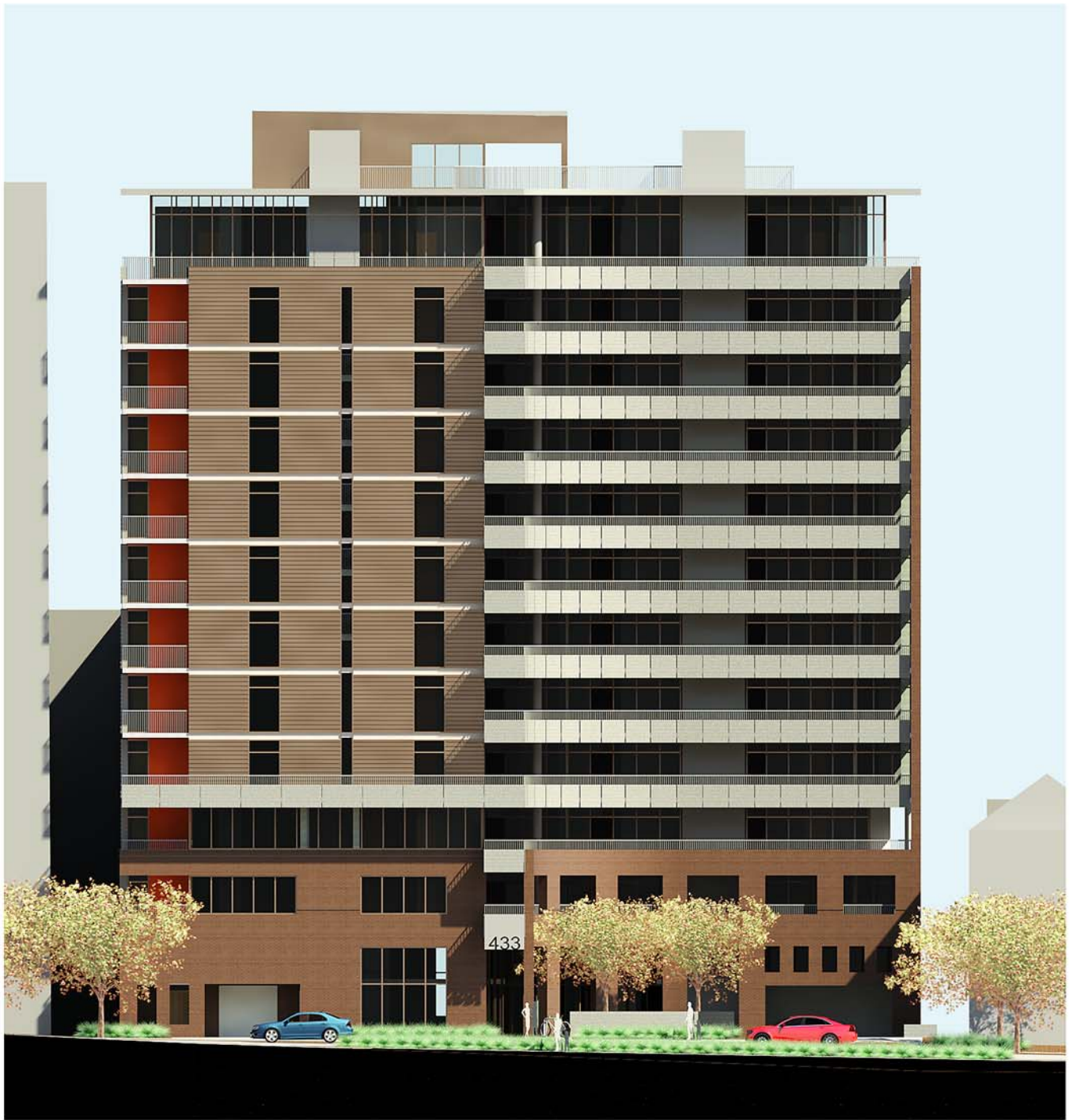


Aerial View looking North

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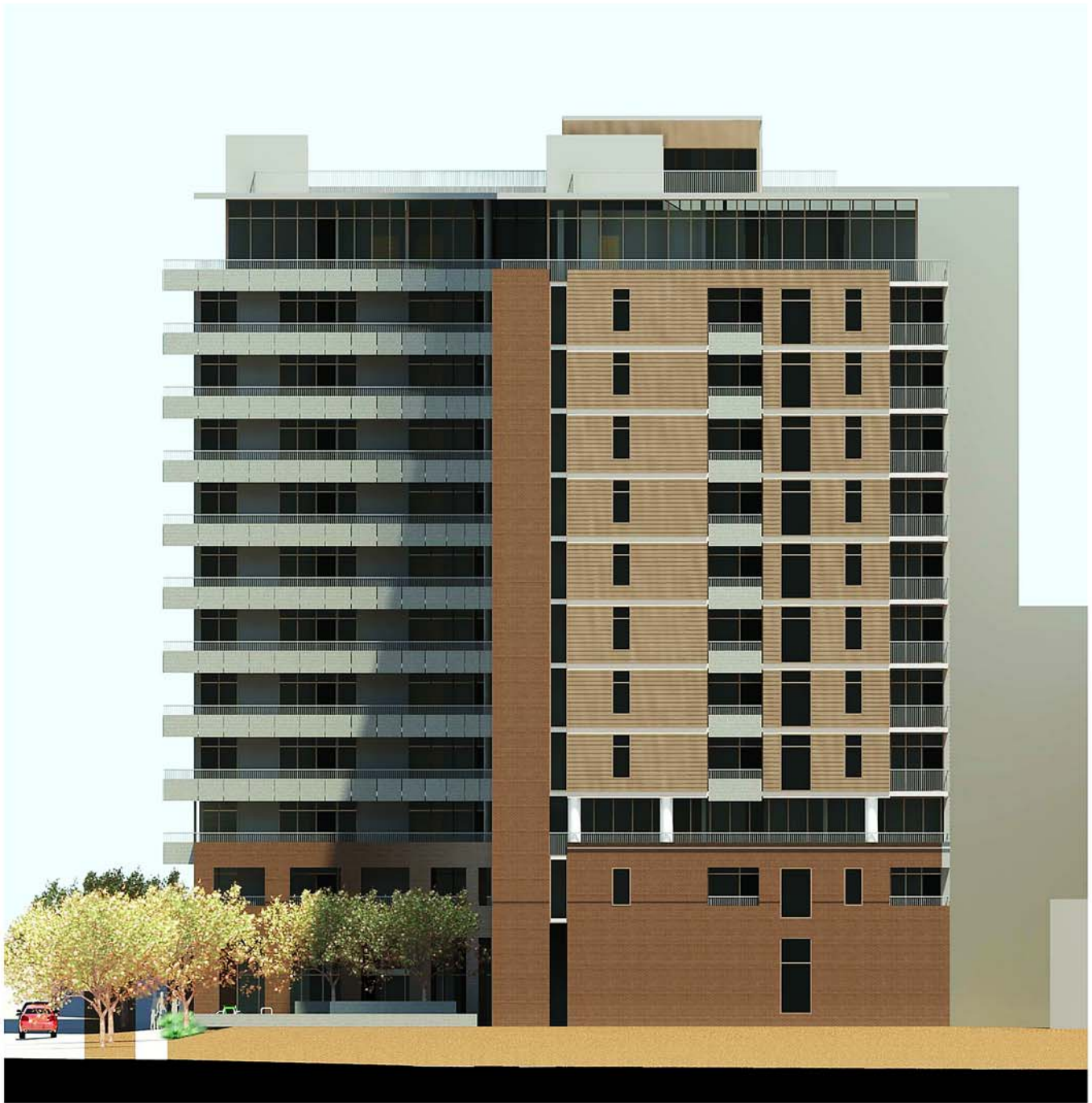


North West Elevation

433 Johnson Bend

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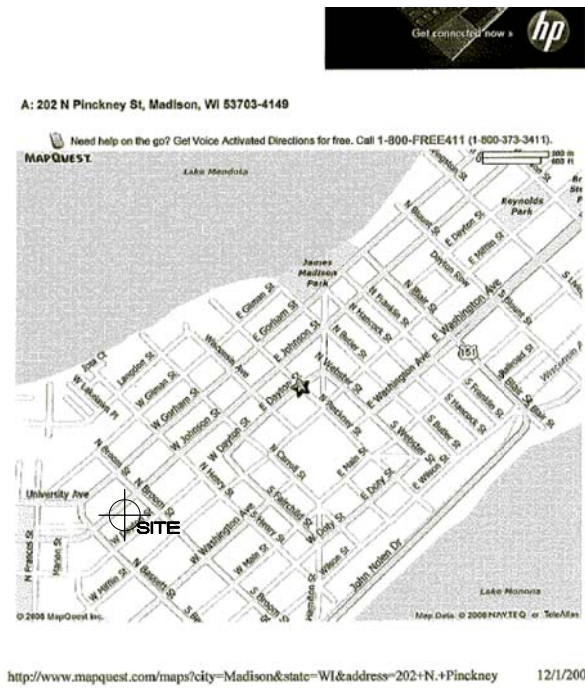
South West Elevation

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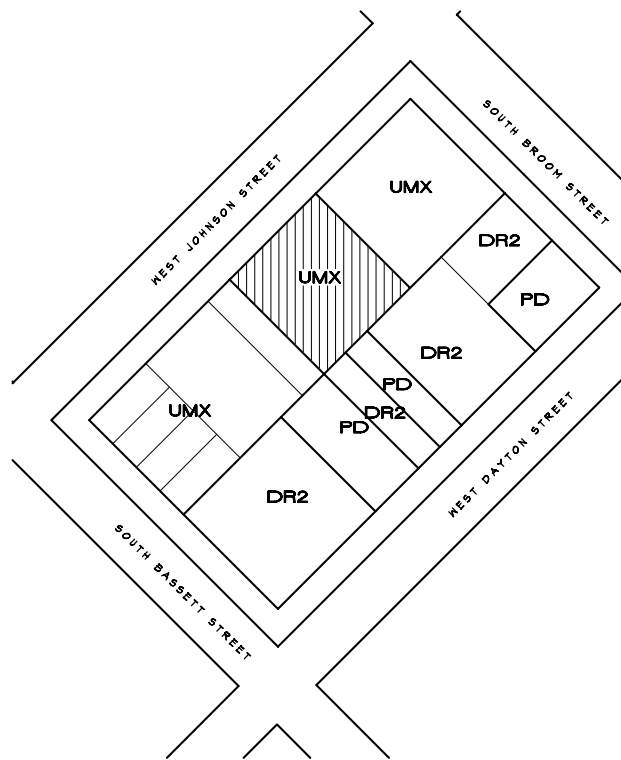
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433 Johnson Bend

LOCATION MAP



ZONING MAP



OWNER

**Les Orosz**  
 505 University Avenue  
 Madison, Wisconsin 53703

(608) 256-7368



PROJECT

**Johnson Bend**  
 433 West Johnson Street  
 Madison, Wisconsin 53703

SITE DATA

LOT SIZE	17,739 SQUARE FEET (0.41 ACRES)
BUILDING FOOTPRINT	10,785 SQUARE FEET
COMMERCIAL	2,107 SQUARE FEET
APARTMENTS	126,909 SQUARE FEET
GARAGE	32,640 SQUARE FEET

ONE BDRM UNITS	125
TWO BDRM UNITS	23
TOTAL UNITS	148
TOTAL BDRMS	171

USEABLE OPEN SPACE	
REAR YARD	1,320 SQUARE FEET
COURTYARD PLANTERS	870 SQUARE FEET
BALCONIES	15,708 SQUARE FEET
ROOF PLANTERS	925 SQUARE FEET
GREEN ROOF	4,500 SQUARE FEET
ROOF TERRACE	4,625 SQUARE FEET

TOTAL 27,948 SQUARE FEET

PARKING	168 (84 ADA ACCESSIBLE)
BIKE STALLS	133 INTERIOR, 22 EXTERIOR, 155 TOTAL
MOPEDS	4 EXTERIOR
MOTORCYCLE	3 INTERIOR

INDEX

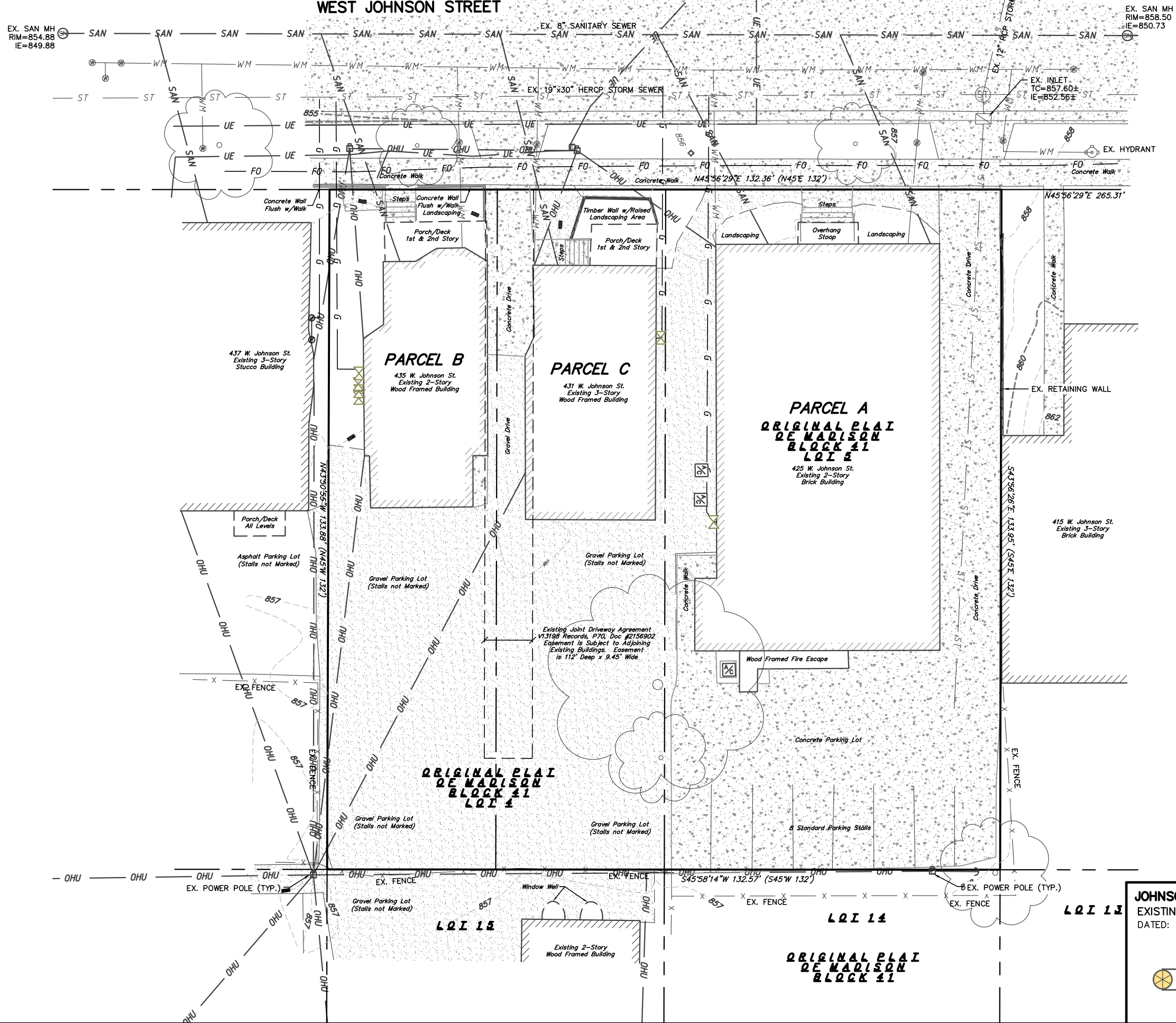
T1.1	TITLE SHEET
C1.1	EXISTING SITE PLAN
C1.2	SITE PLAN
C1.3	GRADING/EROSION CONTROL PLAN
C1.4	UTILITY PLAN
L1.0	GROUND FLOOR LANDSCAPE PLAN
L1.1	ROOF TERRACE LANDSCAPE PLAN
A1.1	PARKING LEVEL P2 FLOOR PLAN
A1.2	PARKING LEVEL P1 FLOOR PLAN
A1.3	FIRST FLOOR PLAN
A1.4	FIRST FLOOR MEZZANINE PLAN
A1.5	SECOND FLOOR PLAN
A1.6	THIRD FLOOR PLAN
A1.7	TYPICAL FLOOR PLAN
A1.8	TWELFTH FLOOR PLAN
A1.9	ROOF TERRACE PLAN
A1.10	ROOF PLAN
A2.1	NORTHWEST ELEVATIONS
A2.2	NORTHEAST ELEVATIONS
A2.3	SOUTHEAST ELEVATIONS
A2.4	SOUTHWEST ELEVATIONS

DRAWING  
 TITLE SHEET

DATA  
 Project # 201303  
 Date: 02.19.14

T1.1

### WEST JOHNSON STREET

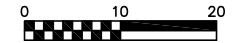
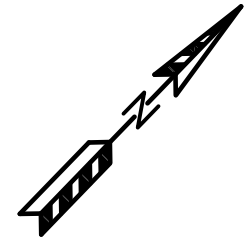
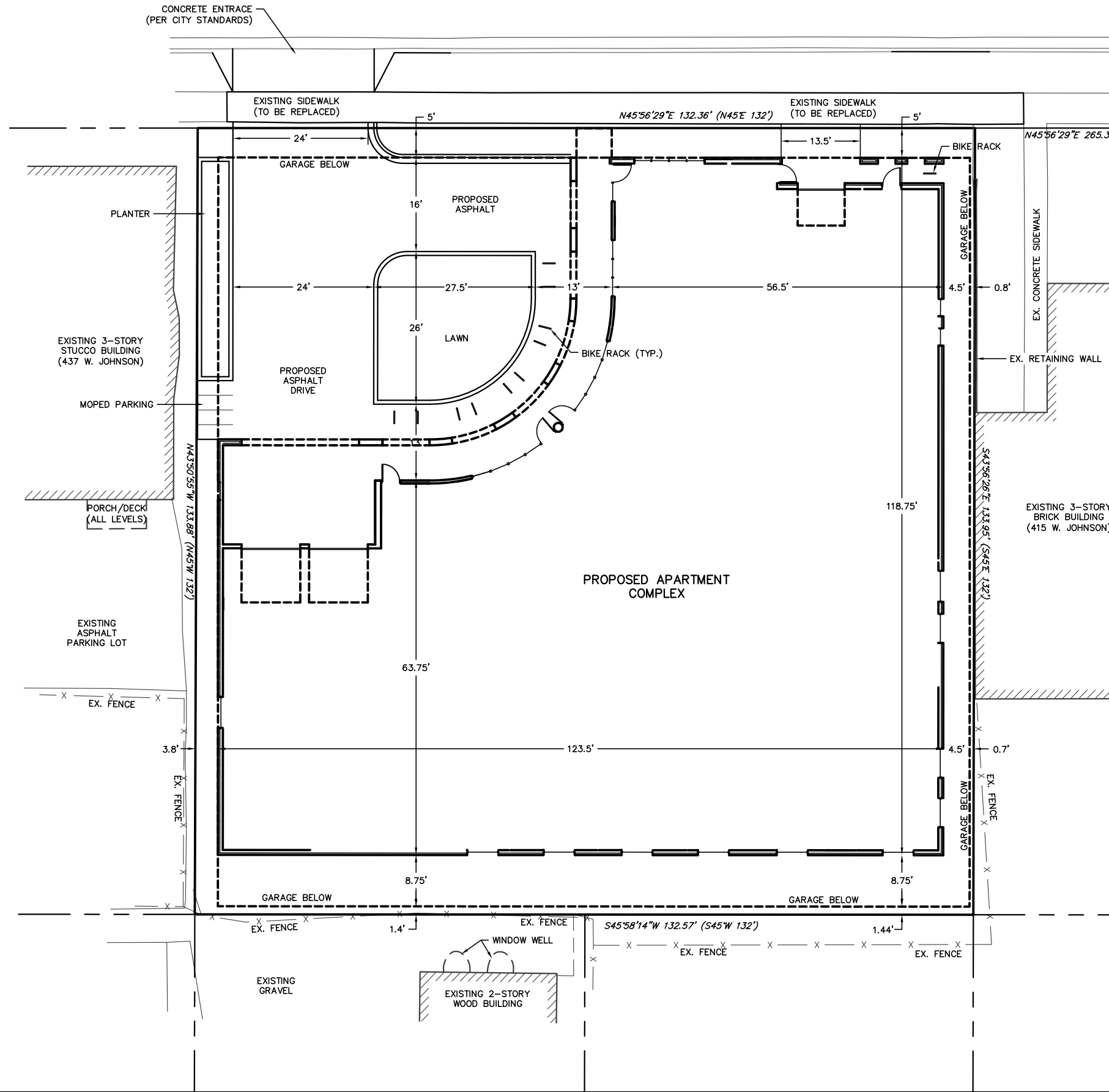


**JOHNSON BEND - 425 W. JOHNSON STREET**  
 EXISTING SITE PLAN  
 DATED: FEBRUARY 18, 2014 C1.1

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
[www.quamengineering.com](http://www.quamengineering.com)  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



# WEST JOHNSON STREET



**DUMPSTER NOTE**  
THERE WILL BE NO DUMPSTER POSITION ON THE SITE AND THE GARBAGE REMOVAL WILL BE MANAGED WITHIN THE BUILDING.

**PARKING LOT PLAN SITE INFORMATION BLOCK**

Site Address 425, 431 & 435 WEST JOHNSON STREET  
 Site acreage (total) 17,739 s.f.  
 Number of building stories (above grade) 12  
 Building height 140'  
 DILHR type of construction (new structures or additions) 1A  
 Total square footage of building 11,910 s.f.  
 Total square footage of garage 16,320 s.f.  
 Use of property APARTMENTS  
 Gross square feet of office N/A  
 Gross square feet of retail area N/A  
 Number of employees in warehouse N/A  
 Number of employees in production N/A  
 Capacity of restaurant/place of assembly N/A  
 Number of bicycle stalls shown 22  
 Number of Parking stalls: (SEE PARKING PLAN)

	SHOWN
Small Car	0
Large Car	0
Accessible	0
Total	0

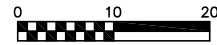
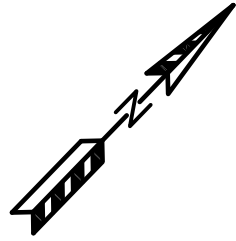
Number of trees shown (See Landscape Plan)

**JOHNSON BEND - 425 W. JOHNSON STREET**  
 PROPOSED SITE PLAN  
 DATED: FEBRUARY 18, 2014

**C1.2**

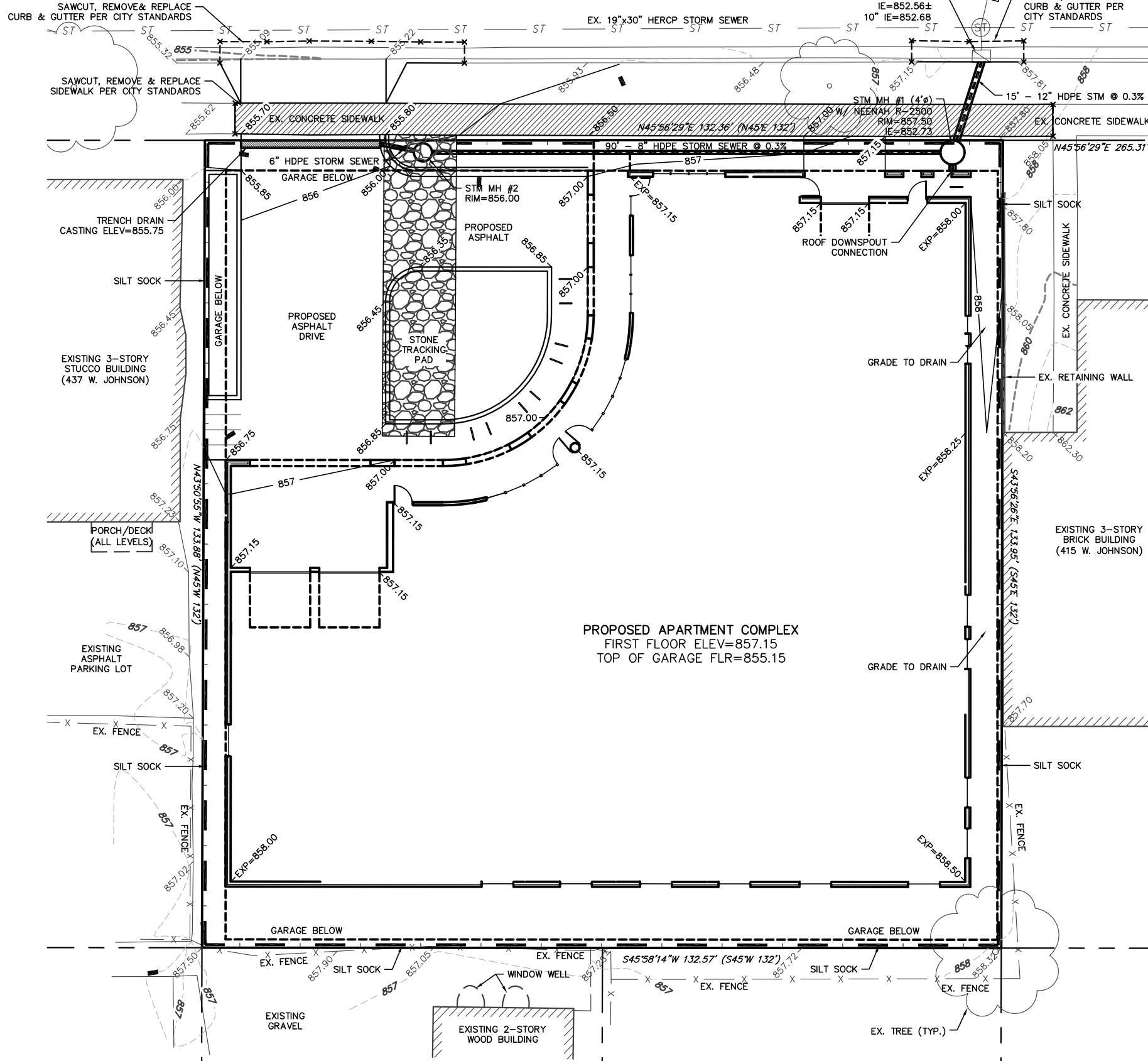
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# WEST JOHNSON STREET



### LEGEND:

- - - 856 - - EXISTING MINOR CONTOUR.
- - - 855 - - EXISTING MAJOR CONTOUR.
- - - 856 - - PROPOSED MINOR CONTOUR.
- - - 855 - - PROPOSED MAJOR CONTOUR.
- 856.40 - PROPOSED SPOT ELEVATION (EDGE OF PAVEMENT IF NOT NOTED)
- EXP=889.00 - BUILDING EXPOSURE ELEVATION.



### EROSION NOTES:

THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

### TIME SCHEDULE:

APRIL 1, 2014	INSTALL EROSION CONTROL DEVICES.
APRIL 2 - JUNE 15, 2014	DEMOLISH EXISTING BUILDINGS AND SIDEWALKS.
JUNE 16, 2014 - AUGUST 1, 2015	CONSTRUCT BUILDING, SIDEWALK, UTILITIES AND RESTORE DISTURBED AREAS.

### RESTORATION NOTES:

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

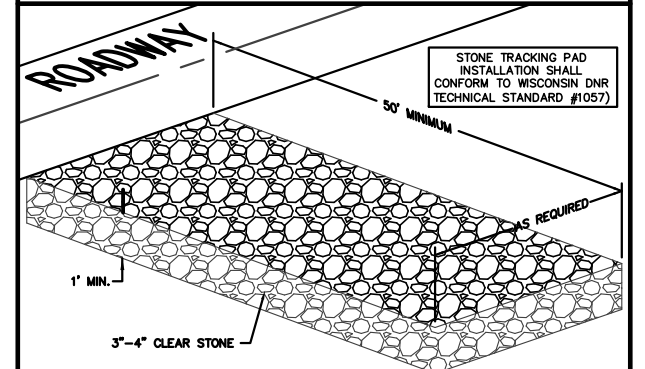
FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

### OWNER:

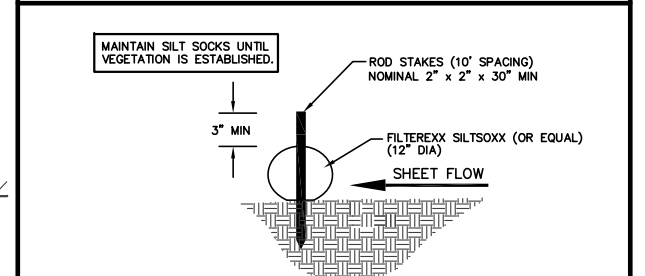
T WALL ENTERPRISES, LLC  
P.O. BOX 820037  
MIDDLETON, WI 53562  
F. TAYLOR BRENGEL J.D.

### ENGINEER:

QUAM ENGINEERING, LLC  
ATTN: RYAN QUAM  
4604 SIGGELKOW ROAD, SUITE A  
MCFARLAND, WI 53558



STONE TRACKING PAD DETAIL



SILT SOCK DETAIL

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

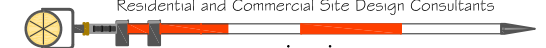
TDD (FOR THE HEARING IMPAIRED) (800) 542-2289

WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE.

**JOHNSON BEND - 425 W. JOHNSON STREET**  
GRADING AND EROSION CONTROL PLAN  
DATED: FEBRUARY 18, 2014

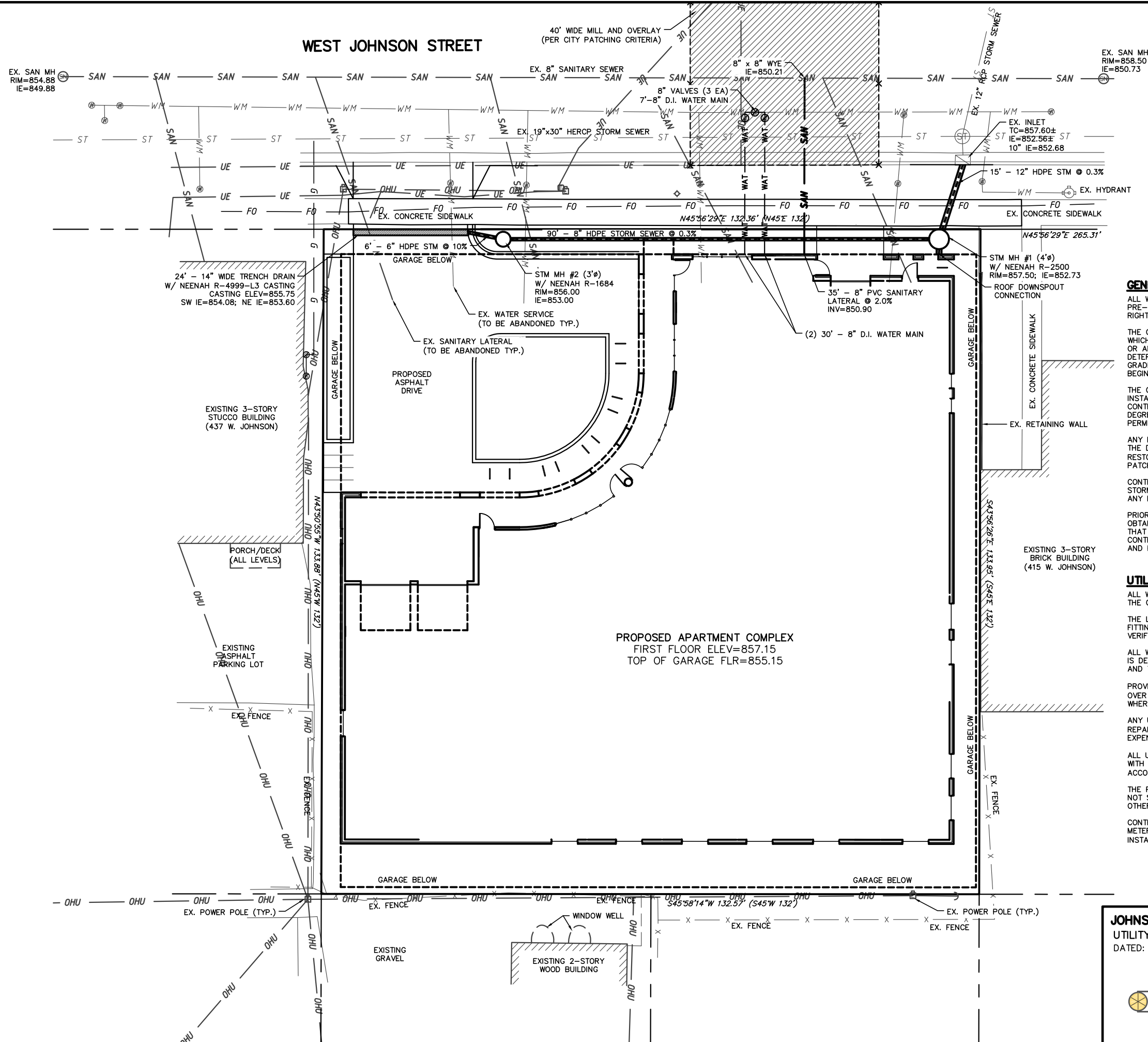
C1.3

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**GENERAL NOTES:**

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE, AND STREET DEGRADATION FEE AND SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT.

ANY DAMAGE TO THE PAVEMENT ON WEST JOHNSON STREET ADJACENT TO THE DEVELOPMENT WHICH IS DAMAGED BY THE CONSTRUCTION, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY CONNECTION AND STORM SEWER CONNECTION INVERTS PRIOR TO BUILDING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.

PRIOR TO FINAL APPROVAL OF DEMOLITION PERMIT, CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. CONTRACTOR SHALL COMPLETE SEWER LATERAL PLUGGING APPLICATION AND PAY APPLICABLE PERMIT FEE.

**UTILITY NOTES:**

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

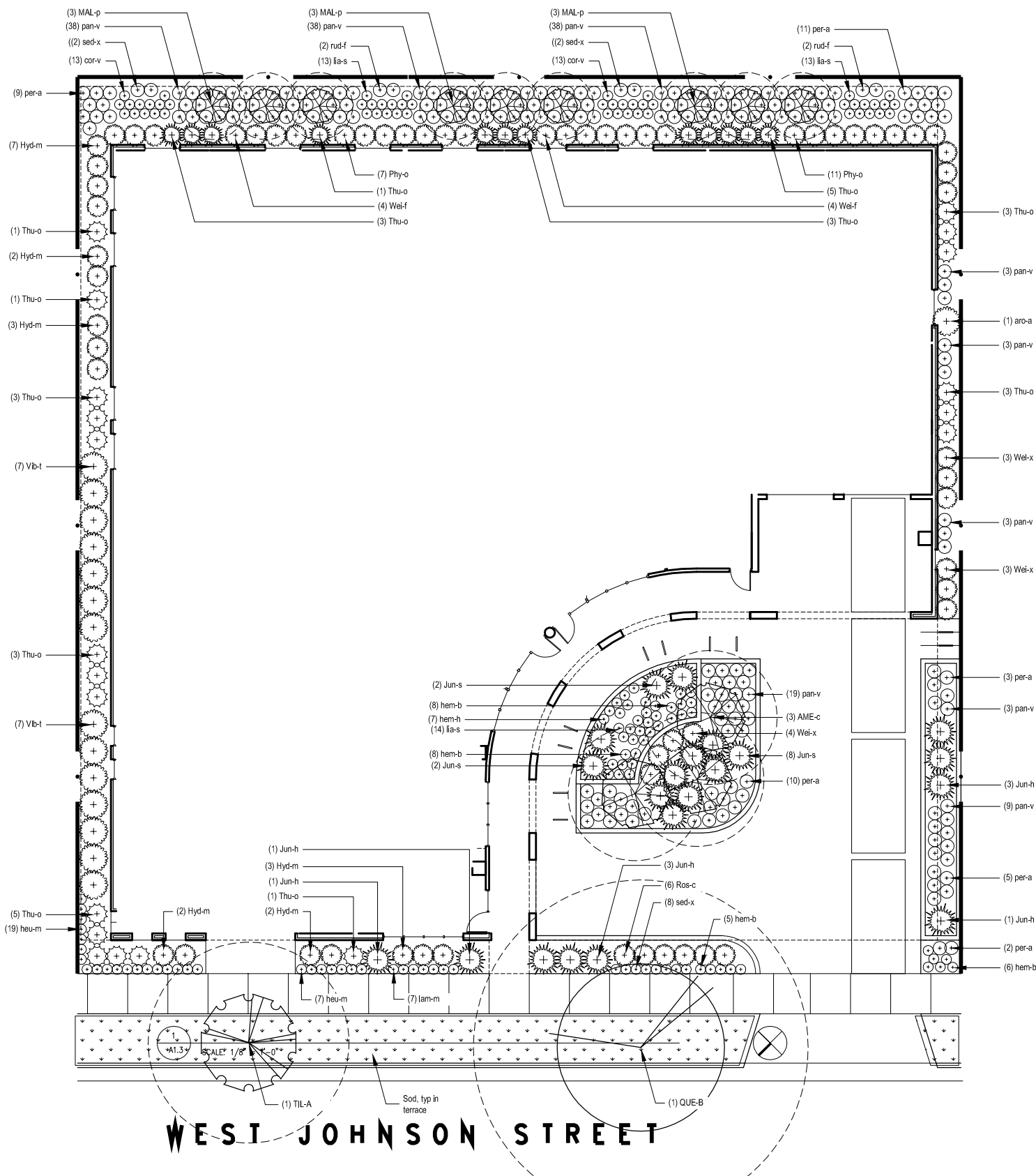
CONTRACTOR SHALL CONTACT MADISON WATER UTILITY TO REMOVE WATER METER AND PRIOR TO ABANDONING EXISTING WATER SERVICE AND INSTALLING 8" TAPPING VALVES AND PAY CITY INSPECTION FEE.

**JOHNSON BEND - 425 W. JOHNSON STREET**  
 UTILITY PLAN  
 DATED: FEBRUARY 18, 2014 C1.4

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WEST JOHNSON STREET

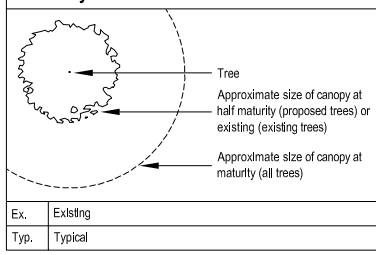


PLANT SCHEDULE							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DET.
<b>CANOPY TREES</b> (NOTE: Sizes indicated shall be used unless noted otherwise on plans)							
QUE-B	<i>Quercus bicolor</i>	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	1/L1.1
TIL-A	<i>Tilia americana</i> 'McKsentry'	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	
<b>ORNAMENTAL TREES</b>							
AME-x	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht	B&B	Full, matched, 3-5 stems	20' H x 20' W	2/L1.1
MAL-r	<i>Malus</i> 'Red Jewel'	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	1/L1.1
<b>EVERGREEN SHRUBS</b>							
Jun-c	<i>Juniperus chinensis</i> 'Kaizuka'	'Kaizuka' Chinese Juniper	48" H	cont.		N/A in pot	
Tax-x	<i>Taxus x media</i> 'Taunton'	Taunton Yew	18" H	cont.		3' H x 4' W	3/L1.1
Thu-o	<i>Thuja occidentalis</i> 'Holmstrup'	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
<b>DECIDUOUS SHRUBS</b>							
Aro-a	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	3' H	cont./BB		7' H x 5' W	
Hyd-m	<i>Hydrangea macrophylla</i> 'Bailmer' PPAF	Endless Summer Hydrangea	24"	cont.		3' H x 4' W	
Phy-d	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Compact Ninebark	18"	cont.		4' H x 4' W	3/L1.1
Ros-c	<i>Rosa</i> 'Carefree Wonder'	'Carefree Wonder' Rose	18"	cont.		3' HW	
Wei-f	<i>Wegelia florida</i> 'Alexandra'	'Wine & Roses' Wegelia	24"	cont.		4' H x 5' W	
Wei-x	<i>Wegelia</i> 'Minuet'	'Minuet' Wegelia	18"	cont.		2' H x 3' W	
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>							
cor-v	<i>Coreopsis verticillata</i> 'Zagreb'	Threadleaf Coreopsis	1 gal	cont.	18" o.c. triangular spacing		
hem-b	<i>Hemerocallis</i> 'Black Eyed Stella'	'Black Eyed Stella' Daylily	1 gal	cont.	15" o.c. triangular spacing		
hem-h	<i>Hemerocallis</i> 'Happy Returns'	'Happy Returns' Daylily	1 gal	cont.	15" o.c. triangular spacing		
heu-m	<i>Heuchera micrantha</i> 'Palace Purple'	Coralbells 'Palace Purple'	1 gal	cont.	15" o.c. triangular spacing		
lam-m	<i>Lamium maculatum</i> 'Purple Dragon'	'Purple Dragon' Spotted Dead Nettle	1 gal	cont.	15" o.c. triangular spacing		4/L1.1
lia-s	<i>Liatris spicata</i> 'Kobold'	Kobold Spike Gayfeather	1 gal	cont.	15" o.c. triangular spacing		
pan-v	<i>Panicum virgatum</i> 'Shenandoah'	'Shenandoah' Red Switchgrass	1 gal	cont.	3' o.c. triangular spacing		
per-a	<i>Perovskia atriplicifolia</i> 'Filigran'	'Filigran' Russian Sage	1 gal	cont.	3' o.c. triangular spacing		
sed-a	<i>Sedum</i> 'Autumn Joy'	'Autumn Joy' Sedum	1 gal	cont.	18" o.c. triangular spacing		

**GENERAL LANDSCAPE & PLANTING NOTES**

- Plant material to be installed and maintained by a qualified and experienced landscape installer.
- All materials, plant locations and plant bed conditions are subject to the approval of the Landscape Architect and Owner at any time. Plants are to be freshly dug. Transporting of plants shall be done in a manner as to not destroy the natural shape, compromise the health, or alter the characteristics of plant materials.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule.
- All plant beds shall receive 3" minimum of genuine shredded hardwood bark mulch (unless otherwise noted). Apply pre-emergent herbicide as directed by the manufacturer prior to installing mulch.
- The Contractor shall install and/or amend topsoil in all proposed bed areas to meet ASTM D5268 standards. Landscaper shall verify depth and quality of topsoil prior to plant installation. A minimum of 4" of topsoil is required for seeded areas; 12" for plant beds. Topsoil sources shall include the reuse of surface soil stockpiled on site, clean of roots, plants, sod, stones, clay lumps, and other extraneous or foreign materials larger than 1". Supplement with imported topsoil from off-site sources when quantities are insufficient. Do not obtain supplemental topsoil from agricultural land, bogs, or marshes. Inorganic amendments, organic amendments, and fertilizers shall be used to amend topsoil as needed for long-term plant health.
- Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to satisfaction of the Owner and Operating Authority at no additional cost.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete work. All workmanship and materials shall be guaranteed by the Contractor for a period of one (1) calendar year after Final Acceptance.
- Maintain all new lawn and plant material for a three (3) month period from date of Substantial Completion. Maintenance shall include pruning, cultivating, watering, weeding, fertilizing, restoring plant saucers, spraying for disease and insects, and replacing tree wrappings. Recommended long-term maintenance procedures shall be provided to the Owner before expiration of this period.
- Recondition soil and seed/re-seed all areas disturbed by construction activities that are not to receive other surface treatment (i.e. pavement, planting bed, etc.). Seed with WIDOT 40 or equal.
- All plant beds to receive steel edge (see Detail 8/L301) where bed is not bounded by a structure or pavement unless otherwise noted.
- Scientific names of plants to take precedence over common names.
- SOD: Provide Highland type, nursery-grown sod of dense growth, with a strong, fibrous root system, and shall be composed of at least seventy-five (75) percent Kentucky Bluegrass, mixed with fescue and perennial rye grasses, and free of pernicious weeds. Cut the sod at a length of approximately 2" (5.1 cm), and rake the sod free of debris.
- Landscape boulders - Weathered Waupon boulders available at Madison Block and Stone (contact: Tyler Anderson 608-249-5633 x224) or approved equal. Height of boulder indicated on plan refers to height above grade. Length and width shall be scaled according to plan.

**KEY TO Symbols and Common Abbreviations**



CITY OF MADISON LANDSCAPE POINT SCHEDULE				
per Amended Sections 28.142 & 28.211 effective 9/12/13				
Total points required = Total Landscape Units (Total SF of developed area / 300) x 5				
points = (17,673 SF / 300) x 5 = 295 points				
TABULATION OF POINTS & CREDITS		Ground Level		Roof
Qty	Pts	Qty	Pts	
Overstory deciduous trees (min 2.5" caliper) @ 35 pts ea.				
Ornamental trees (1.5" caliper) @ 15 pts ea.	12	180		
Evergreen trees (min 3' height) @ 15 pts ea.				
Shrub, deciduous (min 18" ht or 3 gal cont) @ 2 pts ea.	75	150	9	18
Shrub, evergreen (min 18" ht or 3 gal cont) @ 3 pts ea.	53	169	13	39
Ornamental grasses (min 18" ht or 3 gal cont) @ 2 pts ea.				
Decorative fence @ 4 points / 10 linear feet				
<b>Subtotals</b>		499		57
<b>Total proposed landscape points achieved</b>				556

**PLANDesign**  
LAND VISION • PASSION

Project: Johnson Bend Apartments  
425 W Johnson Street, Madison, WI 53703

Owner: Les Cross  
University Avenue, Madison, WI (608) 347-5432  
Sutton Architecture  
In association with:  
104 King Street, Madison, WI 53703

PLANDesign LLC • 480 Maynard Drive • Sun Prairie, WI 53590  
Tel 608.318.1217 • Fax 608.318.1216 • www.plandesigninc.com

Approval Drawings for  
**Johnson Bend Apartments**  
425 W Johnson Street, Madison, WI 53703

Owner: Les Cross  
University Avenue, Madison, WI (608) 347-5432  
Sutton Architecture  
In association with:  
104 King Street, Madison, WI 53703

Revision	Date	Description

Issued for:	Approval
Issue Date:	2014-02-18
Job No:	2014-045
Drawn by:	ASA

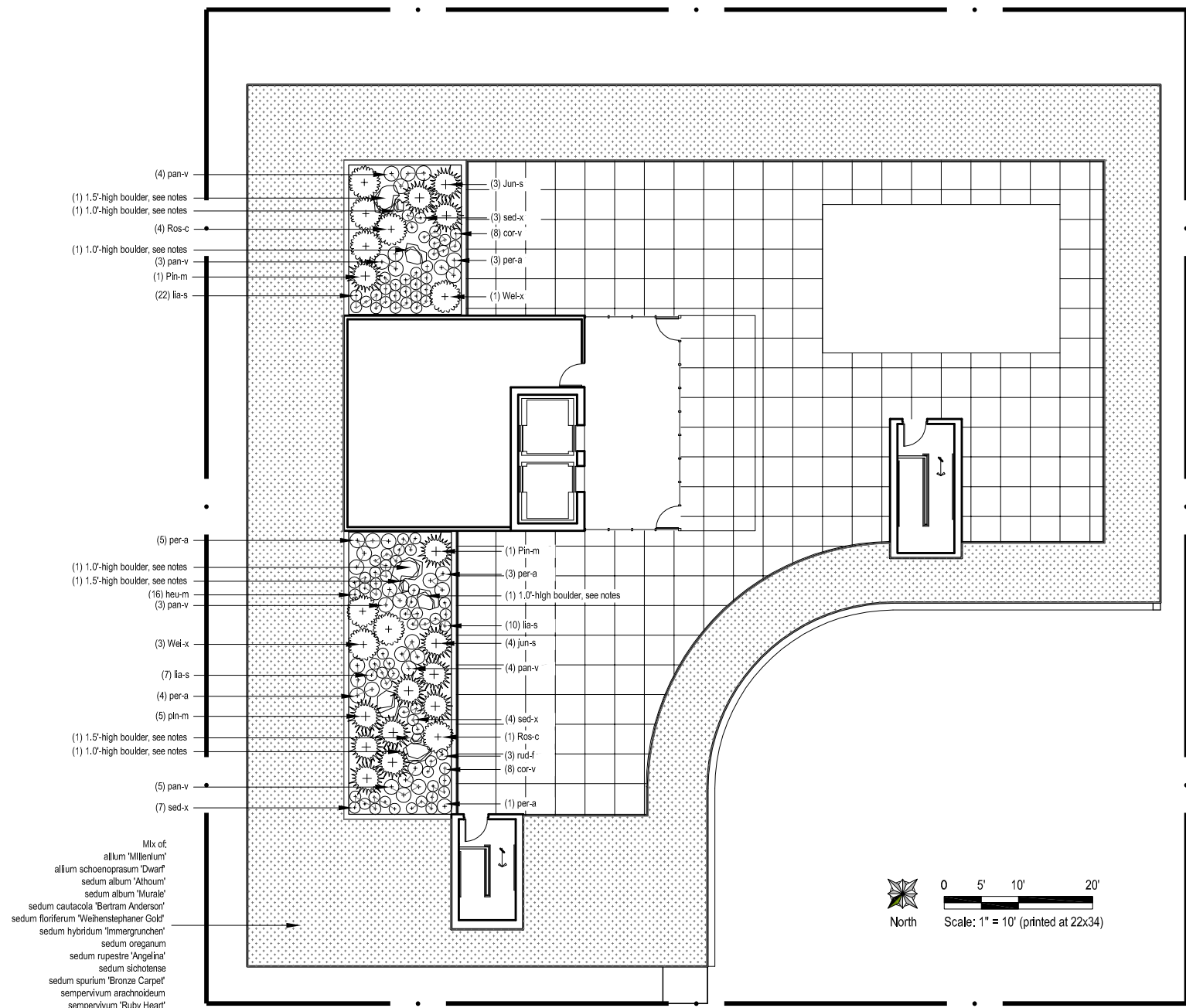
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Stamp:  
WISCONSIN  
ANDREW S. ALBRIGHT  
LANDSCAPE ARCHITECT  
104 KING STREET  
MADISON, WI 53703

Sheet Title:  
**Ground Level Landscape Plan**

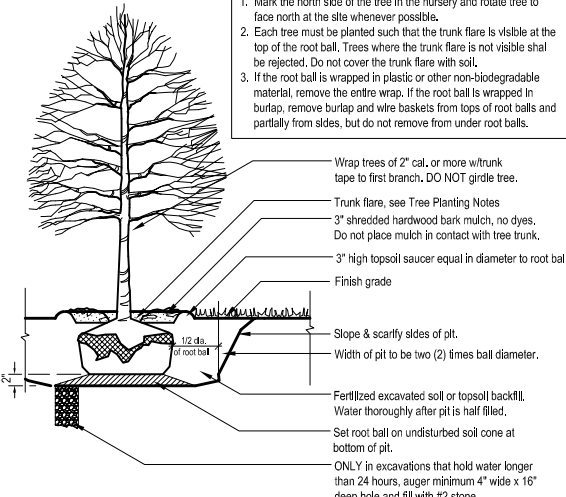
Sheet No:  
**L1.0**  
1 of 2



- Mix of allium 'Millenium'
- allium schoenoprasum 'Dwarf'
- sedum album 'Althoum'
- sedum album 'Muralis'
- sedum caudicola 'Bertram Anderson'
- sedum floeriferum 'Immergruener'
- sedum hybridum 'Immergruener'
- sedum oregonum
- sedum rupestre 'Angelin'
- sedum sitcholense
- sedum spurium 'Bronze Carpet'
- sempervivum arachnoidum
- sempervivum 'Ruby Heart'

**TREE PLANTING NOTES:**

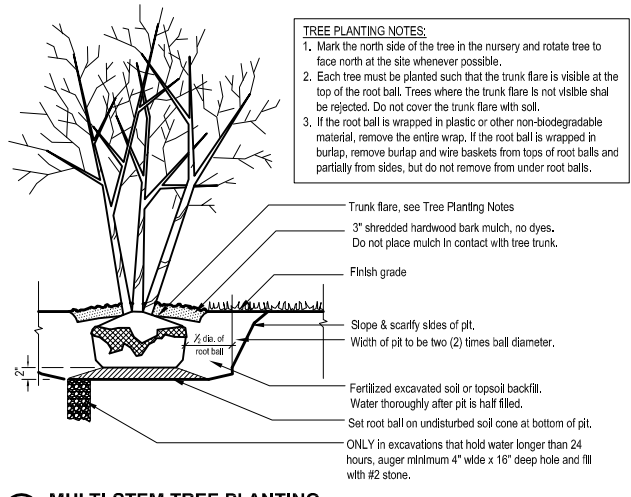
1. Mark the north side of the tree in the nursery and rotate tree to face north at the site whenever possible.
2. Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the trunk flare with soil.
3. If the root ball is wrapped in plastic or other non-biodegradable material, remove the entire wrap. If the root ball is wrapped in burlap, remove burlap and wire baskets from tops of root balls and partially from sides, but do not remove from under root balls.



1 TREE PLANTING  
Not to scale

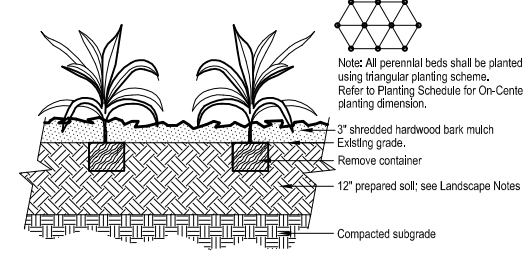
**TREE PLANTING NOTES:**

1. Mark the north side of the tree in the nursery and rotate tree to face north at the site whenever possible.
2. Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the trunk flare with soil.
3. If the root ball is wrapped in plastic or other non-biodegradable material, remove the entire wrap. If the root ball is wrapped in burlap, remove burlap and wire baskets from tops of root balls and partially from sides, but do not remove from under root balls.

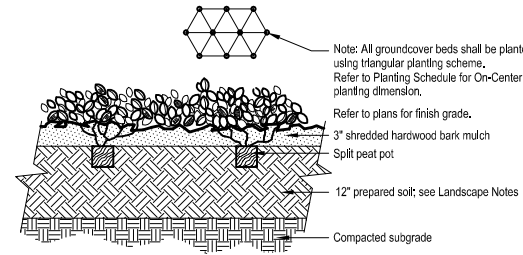


2 MULTI-STEM TREE PLANTING  
Not to scale

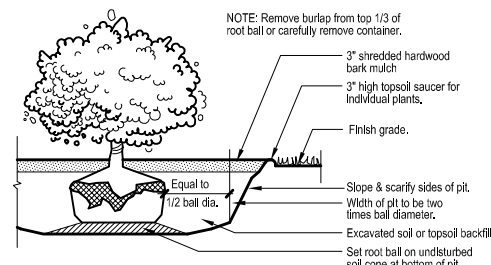
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	MATURE SIZE	DET.
<b>CANOPY TREES</b> (NOTE: Sizes indicated shall be used unless noted otherwise on plans)							
QUE-B	Quercus bicolor	Swamp White Oak	3.5" cal	B&B	Full, symmetrical, strong central leader	50' H x 50' W	1/L1.1
TIL-A	Tilia americana 'McK'Sentry'	American Sentry Linden	3.5" cal	B&B	Full, symmetrical, strong central leader	45' H x 30' W	
<b>ORNAMENTAL TREES</b>							
AME-x	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8' ht	B&B	Full, matched, 3-5 stems	20' H x 20' W	2/L1.1
MAL-r	Malus 'Red Jewel'	'Red Jewel' Crabapple	8' ht	B&B	Full, matched, single-stem tree form	15' H x 12' W	1/L1.1
<b>EVERGREEN SHRUBS</b>							
Jun-c	Juniperus chinensis 'Kaizuka'	'Kaizuka' Chinese Juniper	48" H	cont.		N/A in pot	
Tax-x	Taxus x media 'Taunton'	Taunton Yew	18" H	cont.		3' H x 4' W	3/L1.1
Thu-o	Thuja occidentalis 'Holmstrup'	'Holmstrup' Arborvitae	36" H	cont.	Full, matched	6' H x 3' W	
<b>DECIDUOUS SHRUBS</b>							
Aro-a	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	3' H	cont./BB		7' H x 5' W	
Hyd-m	Hydrangea macrophylla 'Balmer PPAF'	Endless Summer Hydrangea	24"	cont.		3' H x 4' W	
Phy-d	Physocarpus opulifolius 'Dart's Gold'	Compact Ninebark	18"	cont.		4' H x 4' W	3/L1.1
Ros-c	Rosa 'Carefree Wonder'	'Carefree Wonder' Rose	18"	cont.		3' HW	
Wei-f	Weigela florida 'Alexandra'	'Wine & Roses' Weigela	24"	cont.		4' H x 5' W	
Wei-x	Weigela 'Minuet'	'Minuet' Weigela	18"	cont.		2' H x 3' W	
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>							
cor-v	Coreopsis verticillata 'Zagreb'	Threadleaf Coreopsis	1 gal	cont.	18" o.c. triangular spacing		
hem-b	Hemerocallis 'Black Eyed Stella'	'Black Eyed Stella' Daylily	1 gal	cont.	15" o.c. triangular spacing		
hem-h	Hemerocallis 'Happy Returns'	'Happy Returns' Daylily	1 gal	cont.	15" o.c. triangular spacing		
heu-m	Heuchera micrantha 'Palace Purple'	Coralbells 'Palace Purple'	1 gal	cont.	15" o.c. triangular spacing		
lam-m	Lamium maculatum 'Purple Dragon'	'Purple Dragon' Spotted Dead Nettle	1 gal	cont.	15" o.c. triangular spacing		4/L1.1
lia-s	Liatris spicata 'Kobold'	Kobold Spike Gayfeather	1 gal	cont.	15" o.c. triangular spacing		
pan-v	Panicum virgatum 'Shenandoah'	'Shenandoah' Red Switchgrass	1 gal	cont.	3' o.c. triangular spacing		
per-a	Perovskia atriplicifolia 'Filigran'	'Filigran' Russian Sage	1 gal	cont.	3' o.c. triangular spacing		
sed-a	Sedum 'Autumn Joy'	'Autumn Joy' Sedum	1 gal	cont.	18" o.c. triangular spacing		



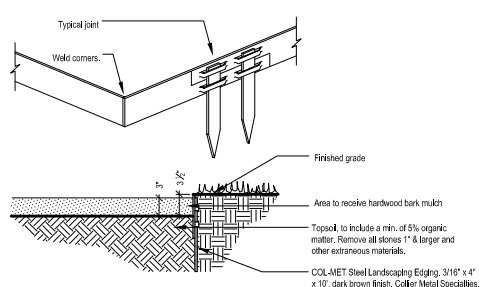
4 PERENNIAL PLANTING  
Not to scale



5 GROUNDCOVER PLANTING  
Not to scale



3 SHRUB PLANTING  
Not to scale

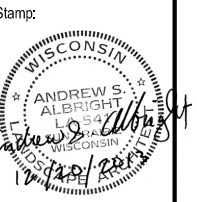


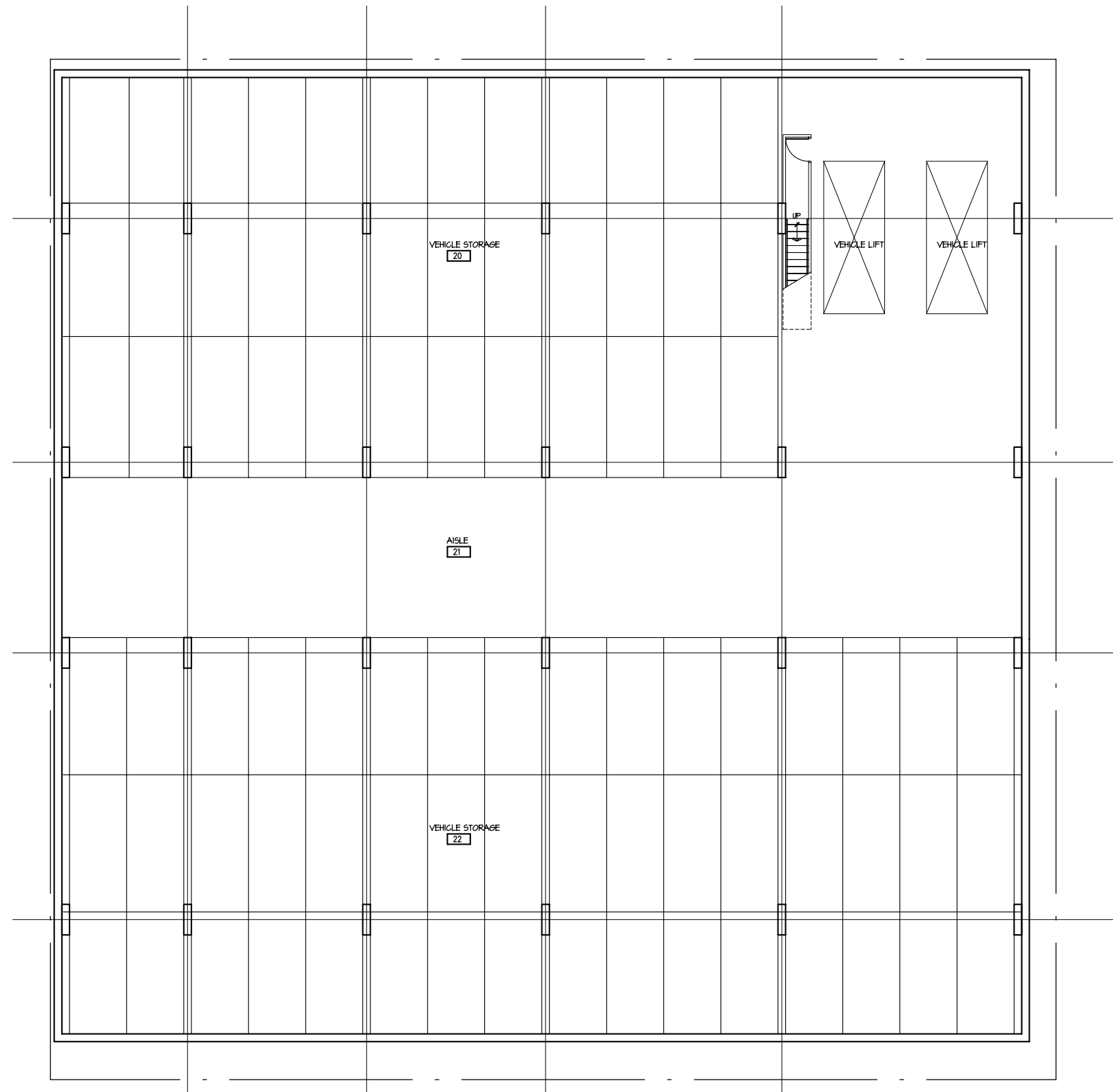
6 STEEL EDGE  
Not to scale

Revision	Date	Description

Issued for:	Approval
Issue Date:	2014-02-18
Job No:	2014-045
Drawn by:	ASA

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1 PARKING LEVEL P2 84 VEHICLES  
ALL SCALE: 1/8" = 1'-0"



NORTH

OWNER

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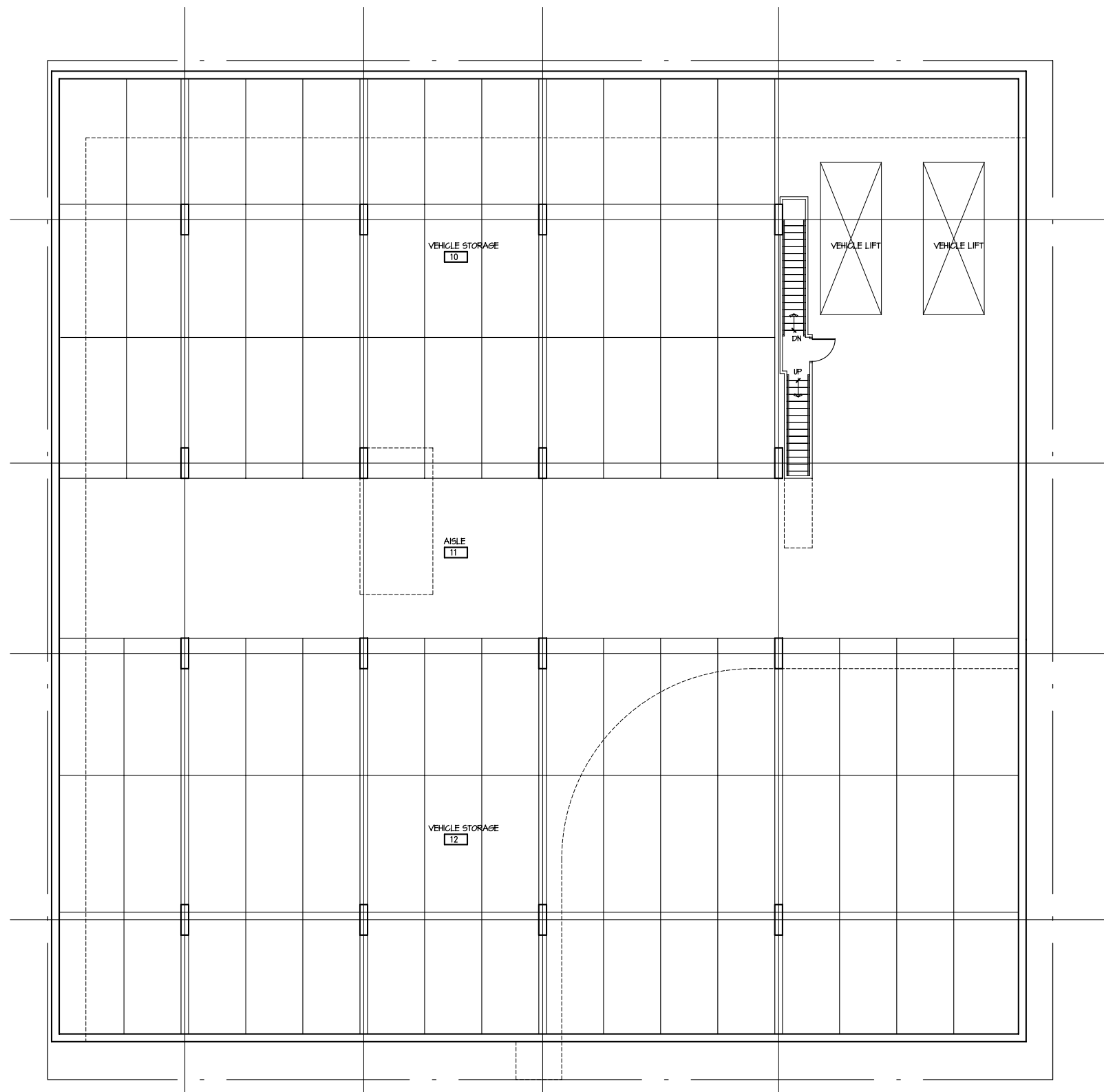
DRAWING

PARKING LEVEL P2 PLAN

DATA

Project # 201303  
Date: 02.19.14

A1.1



1  
A1.2

PARKING LEVEL P1  
SCALE: 1/8" = 1'-0"

84 VEHICLES



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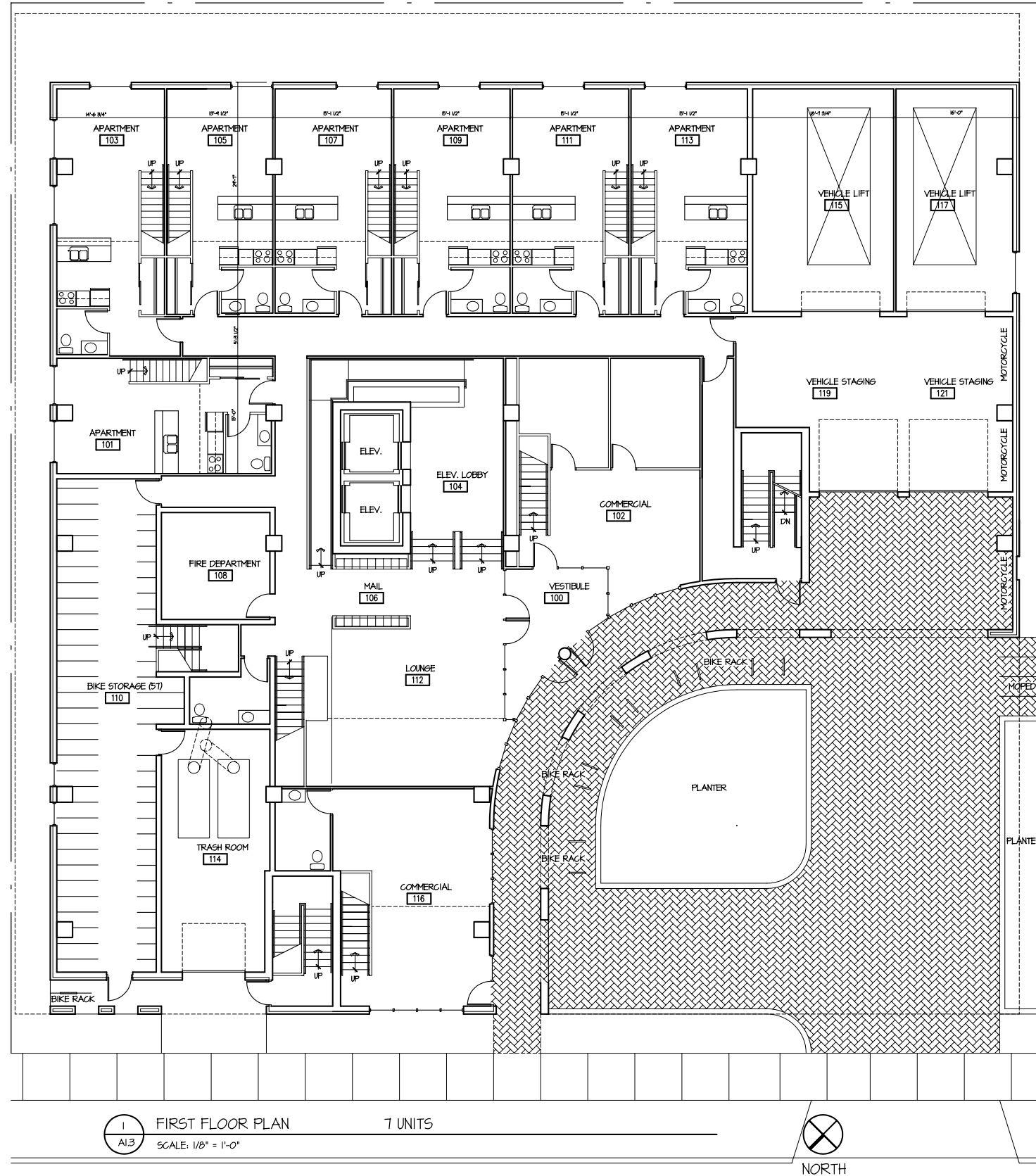
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PARKING LEVEL P1 PLAN

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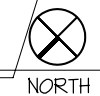
Project # 201303  
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A1.2



1 FIRST FLOOR PLAN  
A1.3 SCALE: 1/8" = 1'-0"

7 UNITS



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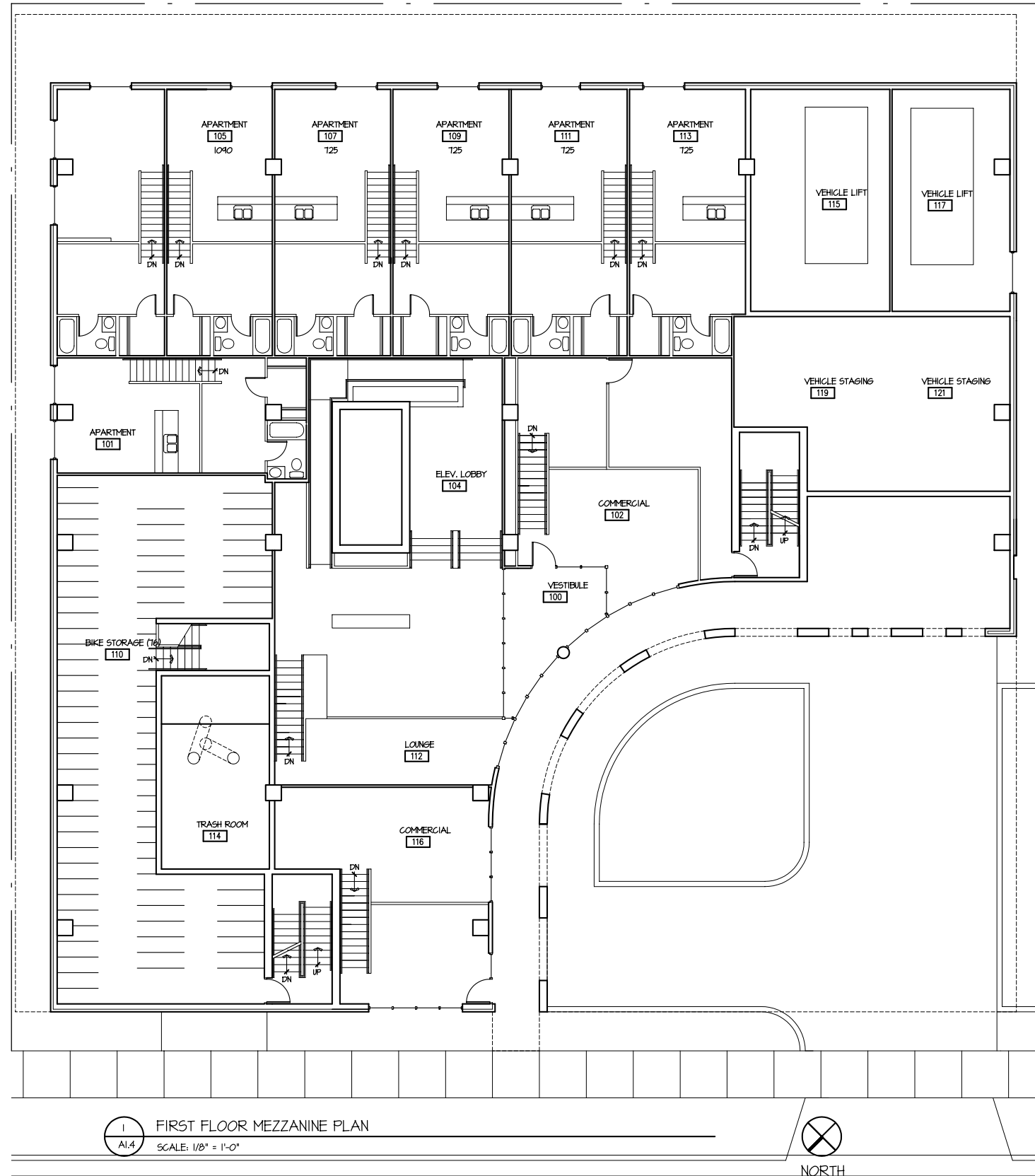
FIRST FLOOR PLAN

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**A1.3**





1 FIRST FLOOR MEZZANINE PLAN  
A1.4 SCALE: 1/8" = 1'-0"



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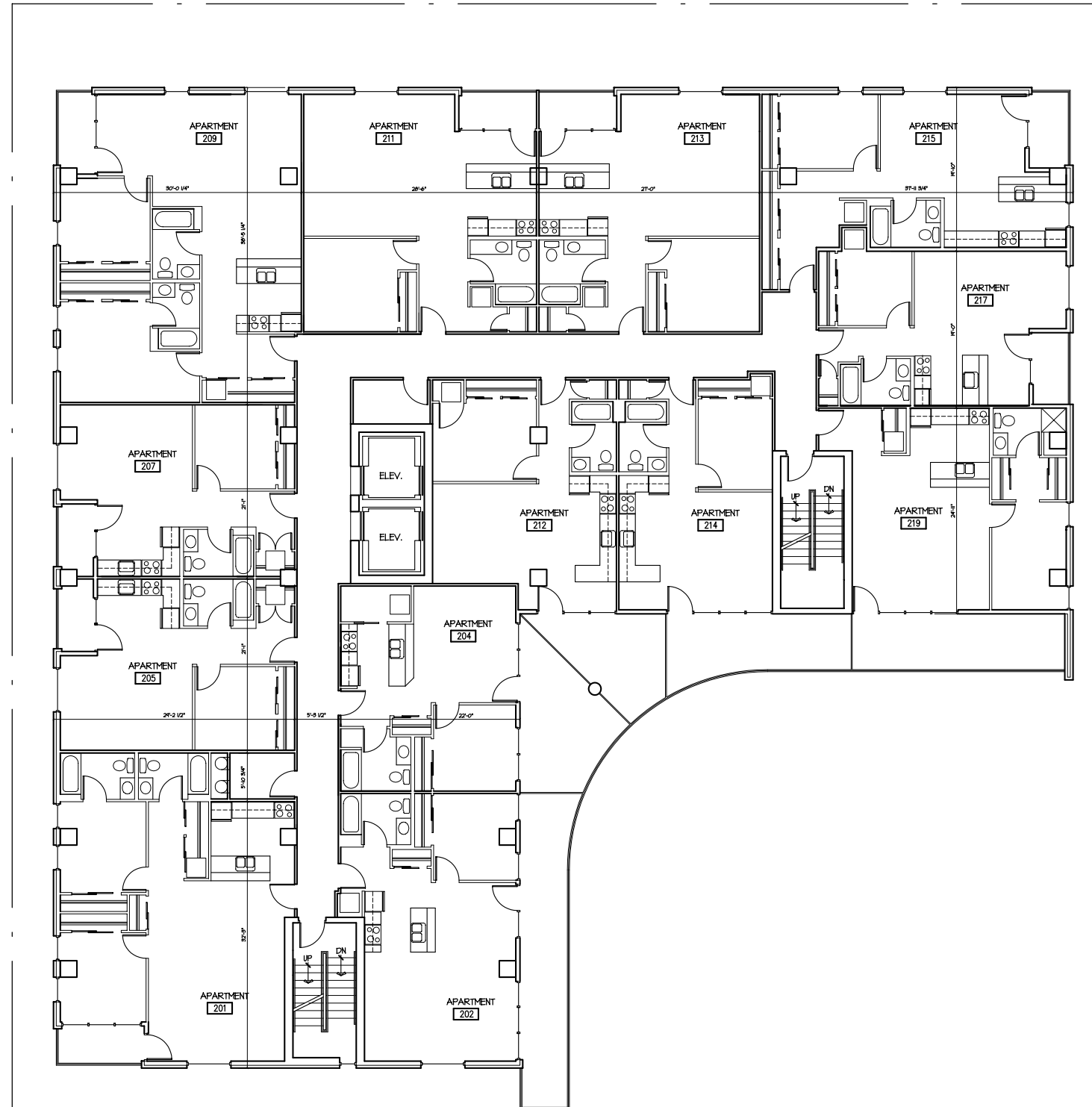
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FIRST FLOOR MEZZANINE

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**A1.4**



1 SECOND FLOOR PLAN 13 UNITS  
A1.5 SCALE: 1/8" = 1'-0"



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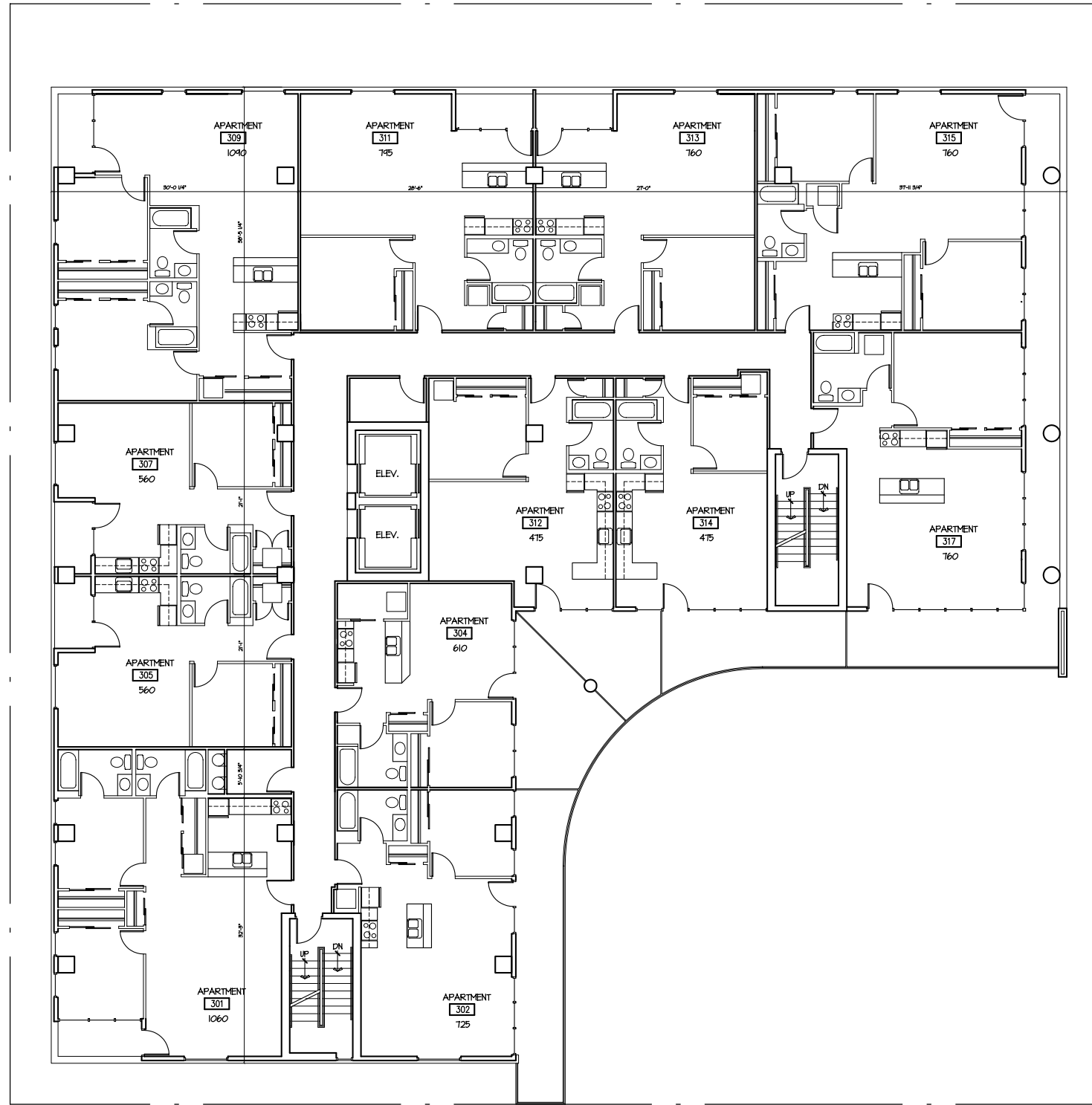
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SECOND FLOOR PLAN

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**A1.5**



1 THIRD FLOOR PLAN 12 UNITS  
A1.6 SCALE: 1/8" = 1'-0"



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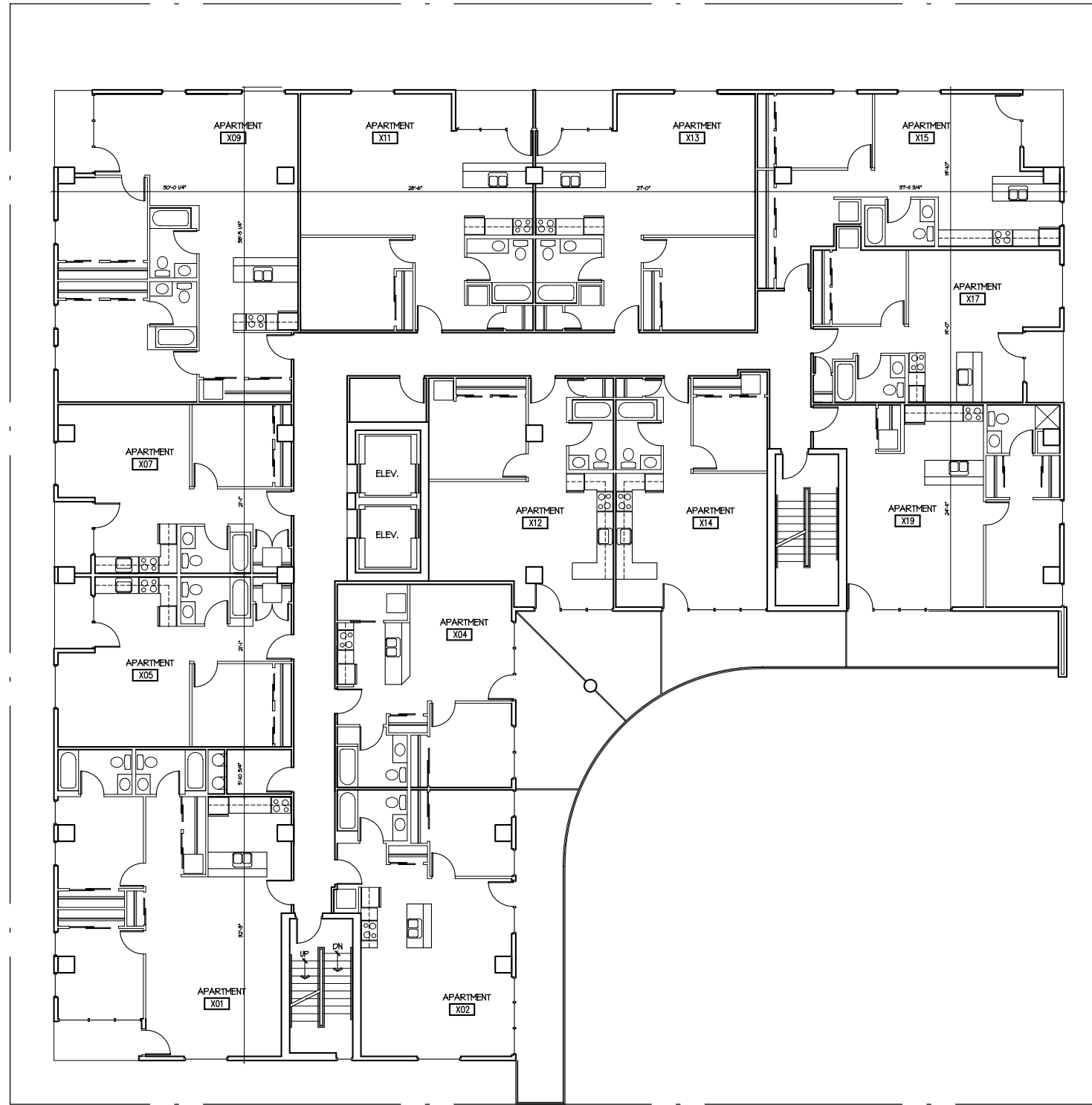
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THIRD FLOOR PLAN

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**A1.6**



1 TYPICAL FLOOR PLAN 13 UNITS  
A1.7 SCALE: 1/8" = 1'-0"



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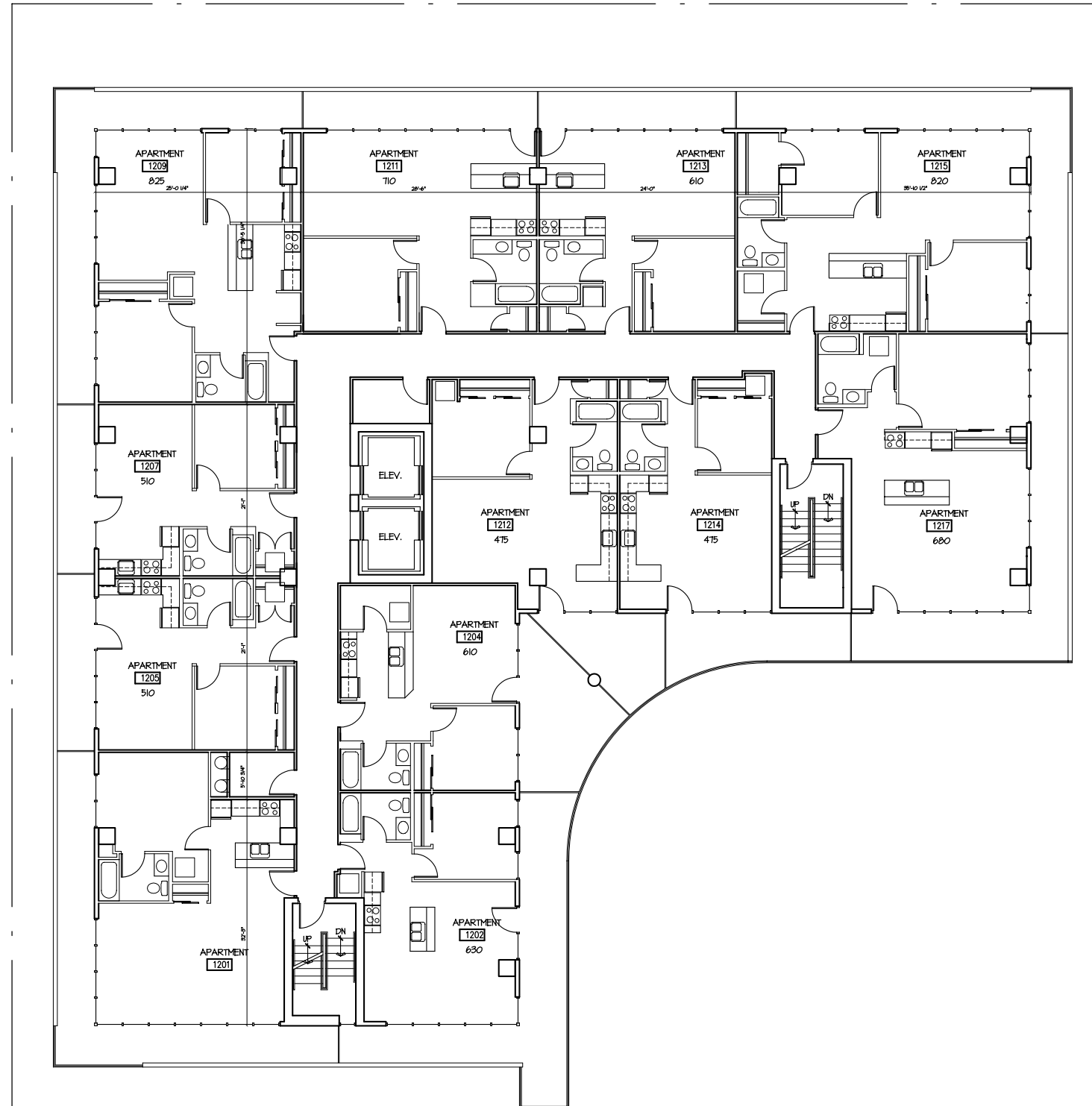
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TYPICAL FLOOR PLAN

DATA

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A1.7



1 TWELFTH FLOOR PLAN 12 UNITS  
SCALE: 1/8" = 1'-0"



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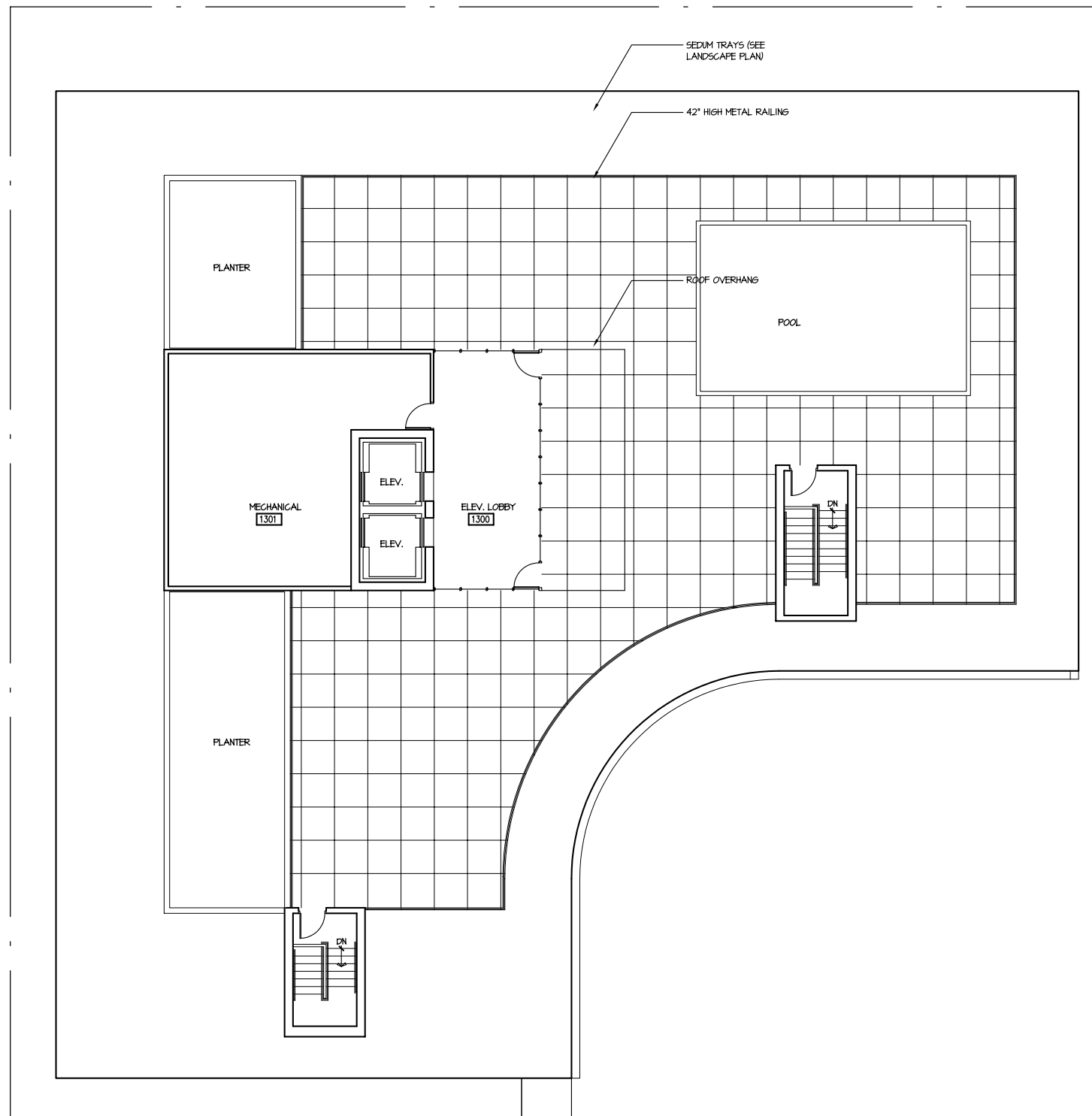
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TWELVETH FLOOR PLAN

DATA

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A1.8



1 ROOF TERRACE PLAN  
A1.9 SCALE: 1/8" = 1'-0"



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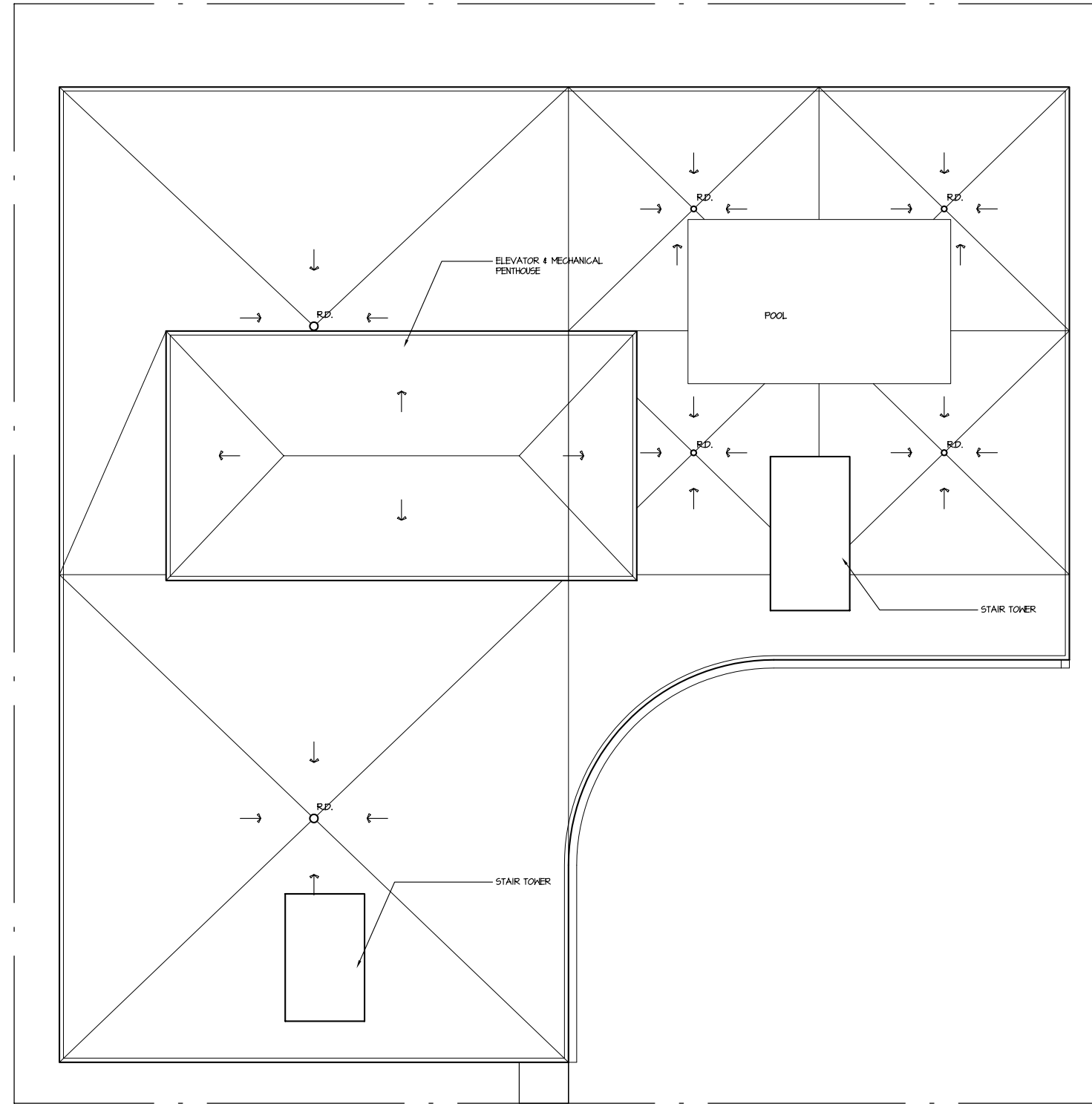
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ROOF TERRACE PLAN

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**A1.9**



1 ROOF PLAN  
SCALE: 1/8" = 1'-0"



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DRAWING

ROOF PLAN

DATA

Project # 201303  
Date: 02.19.14

A1.10



Roof  
143' - 0"

Roof Terrace  
131' - 0"

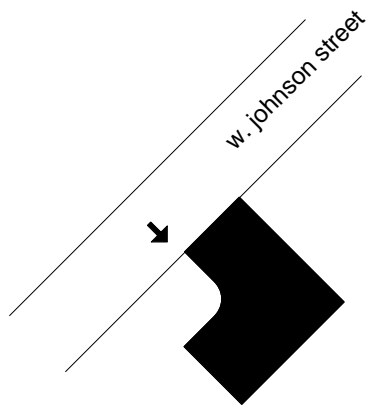
Level 12  
117' - 0"

1. Brick masonry
2. Architectural metal panel (Type '1')
3. Architectural metal panel (Type '2')
4. Aluminum window system
5. EIFS
6. Galvanized steel guardrail w/ 1/4" steel plate
7. Galvanized steel guardrail
8. Galvanized steel channel
9. Concrete column
10. Sandblasted concrete planter

Level 3  
27' - 0"

Level 2  
17' - 0"

Level 1  
0' - 0"



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433 Johnson Bend

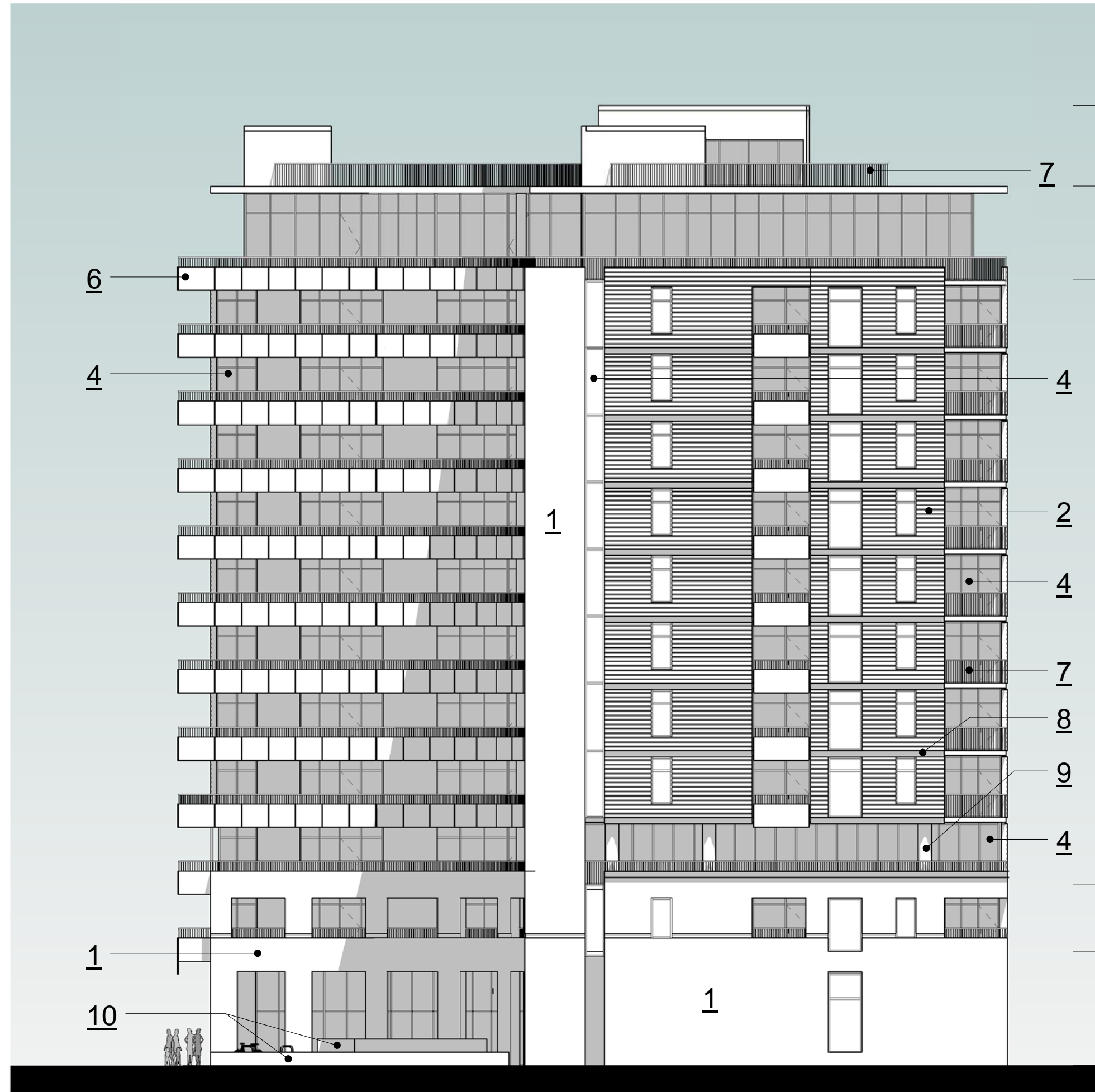
433 West Johnson Street  
Madison, Wisconsin 53703

DRAWING  
NORTH WEST ELEVATION

DATA  
Project # 201303  
Date: 02.19.14

A2.1





Roof  
143' - 0"

Roof Terrace  
131' - 0"

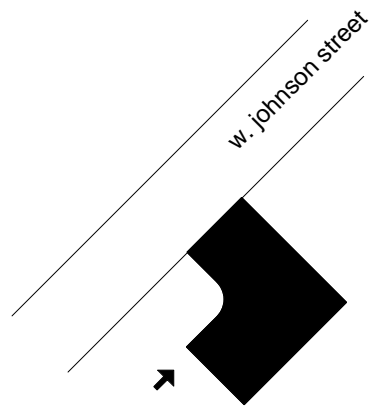
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0' - 0"



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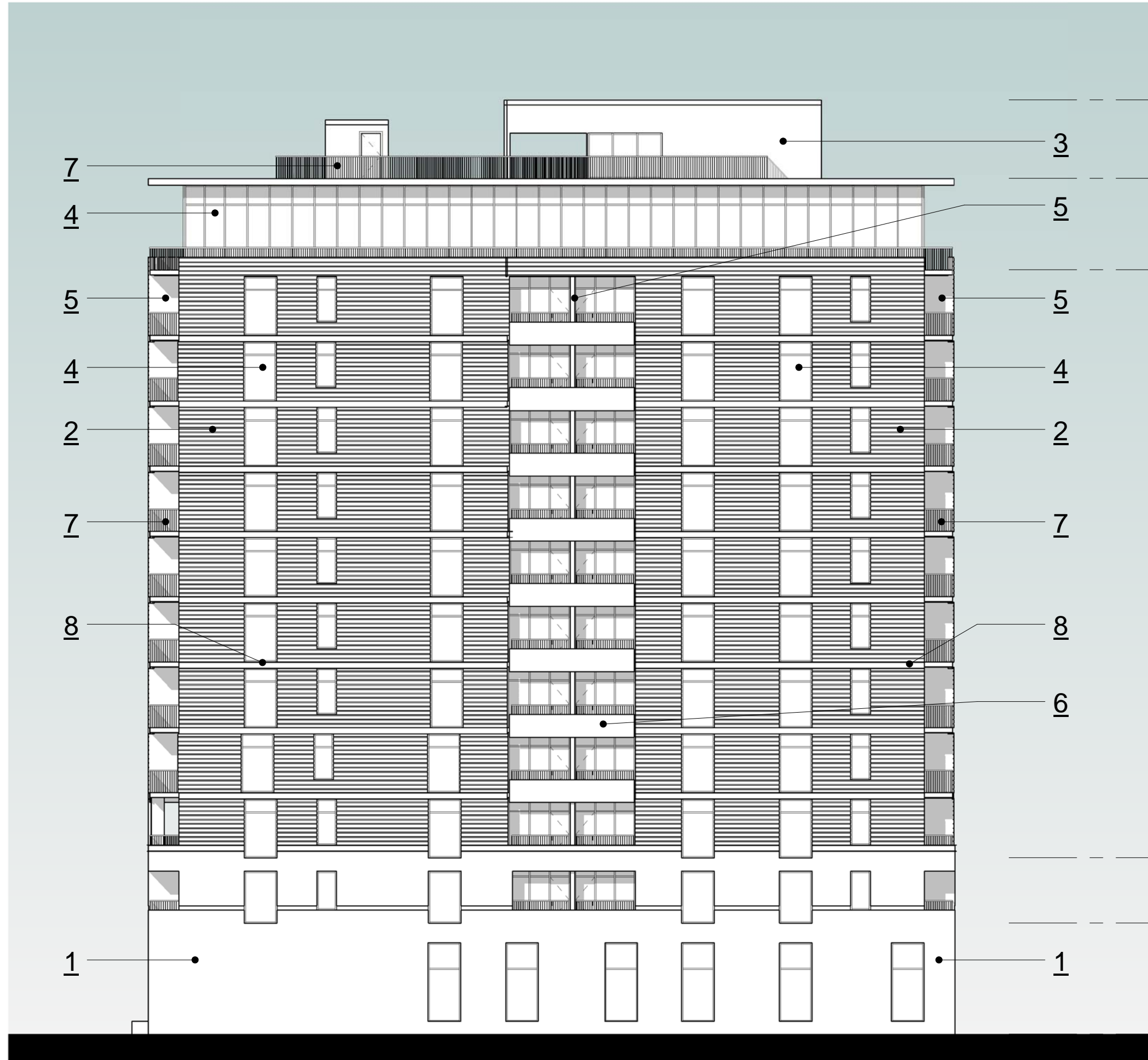
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SOUTH WEST ELEVATION

DATA

Project # 201303  
Date: 02.19.14

A2.2



Roof  
143' - 0"

Roof Terrace  
131' - 0"

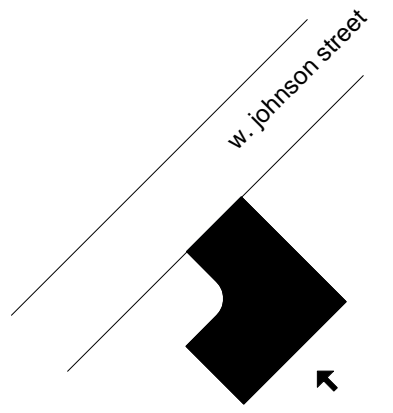
Level 12  
117' - 0"

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0' - 0"



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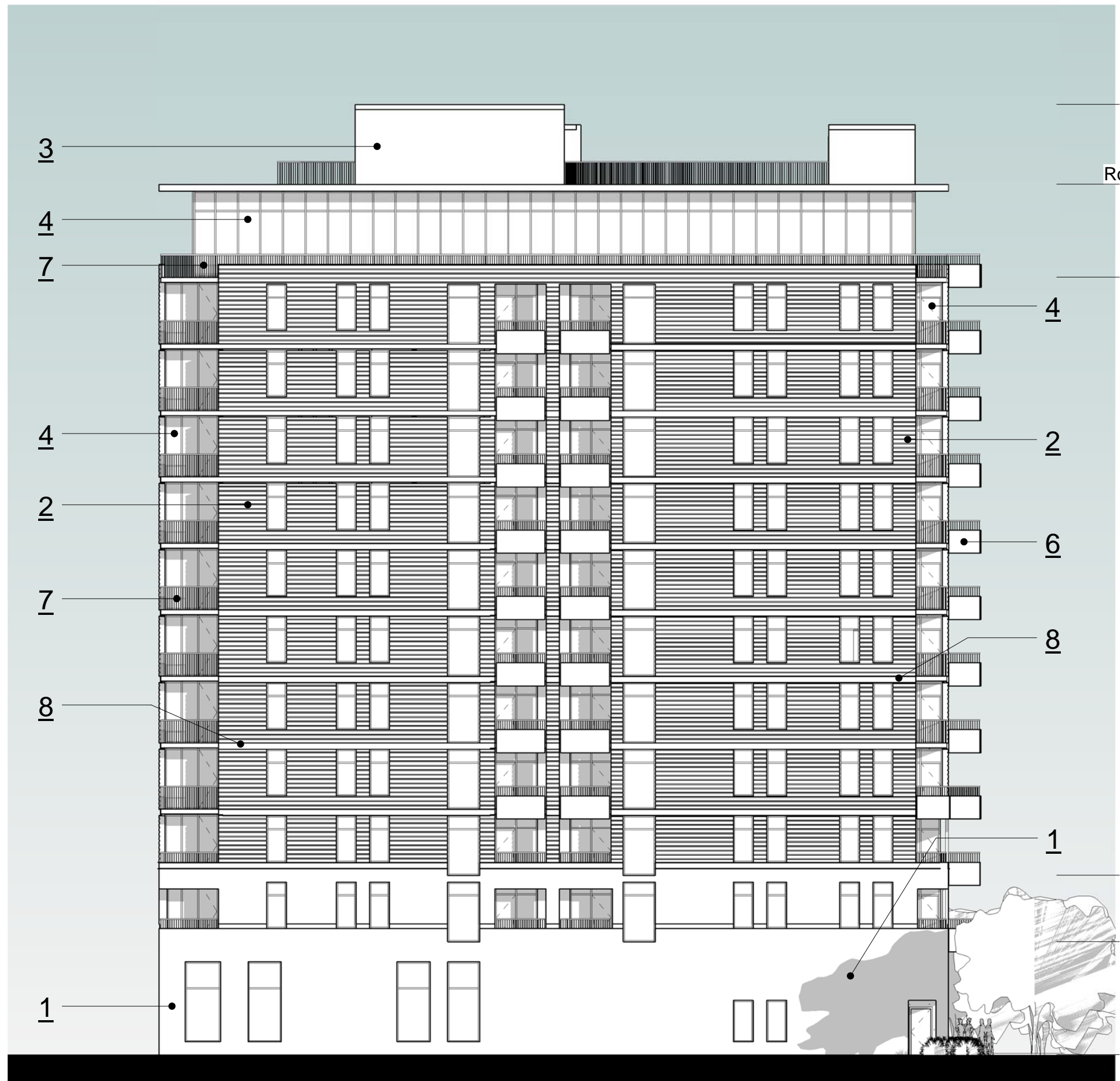
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SOUTH EAST ELEVATION

DATA

Project # 201303  
Date: 02.19.14

A2.3



Roof  
143' - 0"

Roof Terrace  
131' - 0"

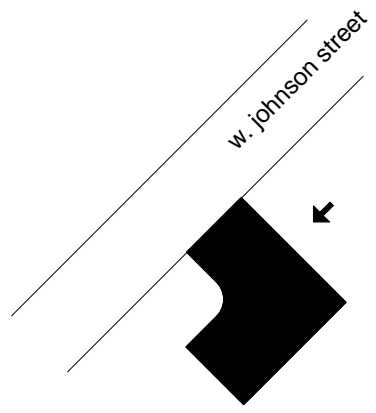
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117' - 0"

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Level 3  
27' - 0"

Level 2  
17' - 0"

Level 1  
0' - 0"



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DRAWING  
NORTH EAST ELEVATION

DATA  
Project # 201303  
Date: 02.19.14

A2.4



Roof  
143' - 0"

Roof Terrace  
131' - 0"

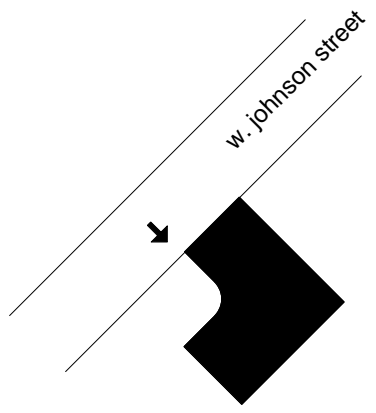
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Level 3  
27' - 0"

Level 2  
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Level 1  
0' - 0"



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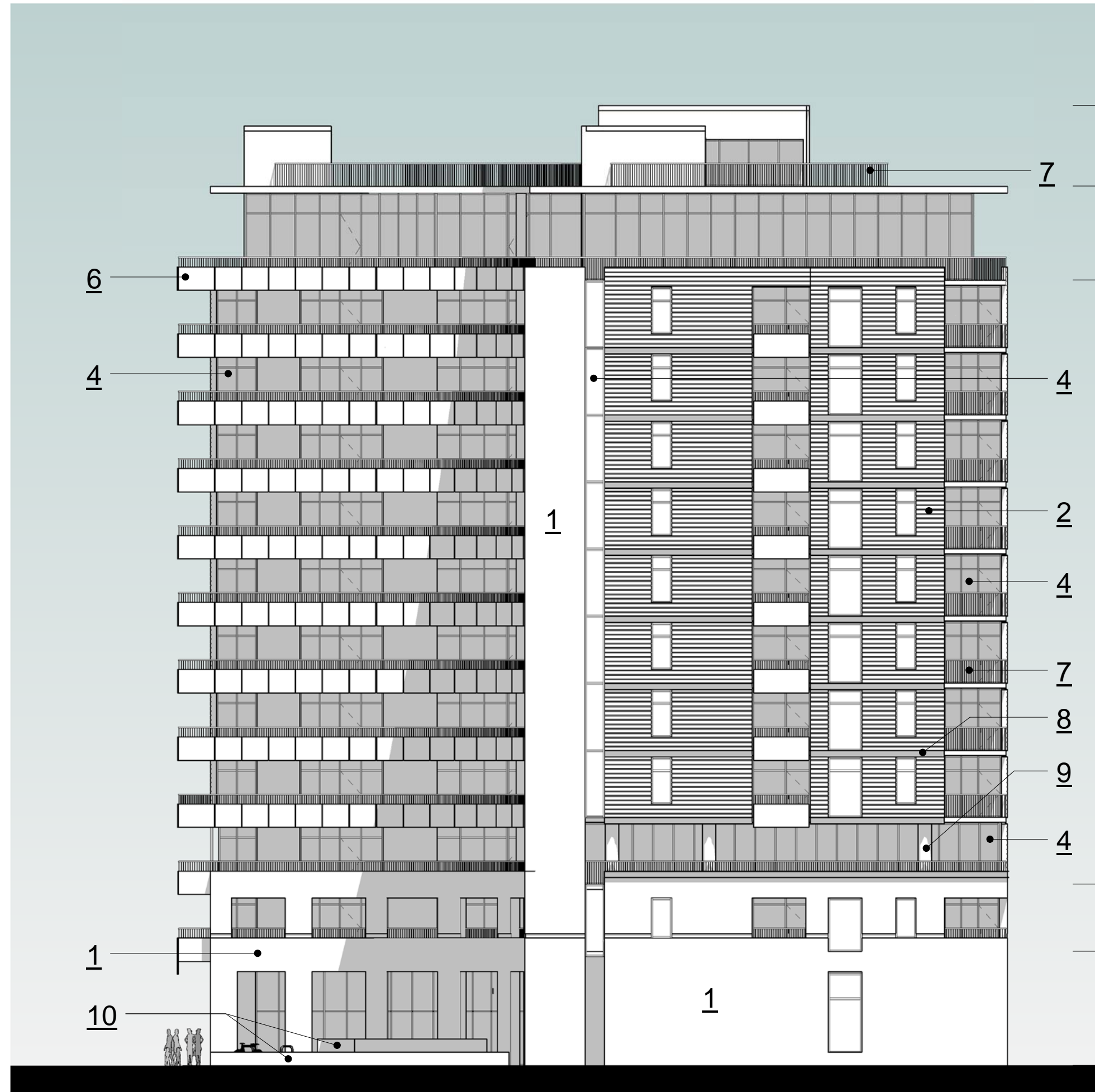
PROJECT  
433 Johnson Bend

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DRAWING  
NORTH WEST ELEVATION

DATA  
Project # 201303  
Date: 02.19.14

A2.1



Roof  
143' - 0"

7  
Roof Terrace  
131' - 0"

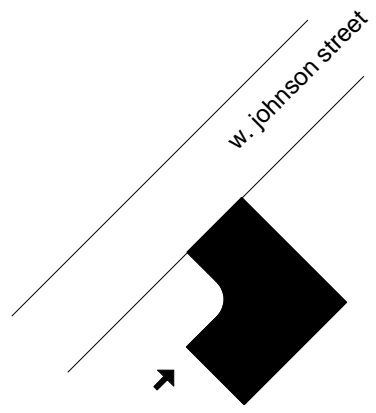
Level 12  
117' - 0"

- 1. Brick masonry
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Level 3  
27' - 0"

Level 2  
17' - 0"

Level 1  
0' - 0"



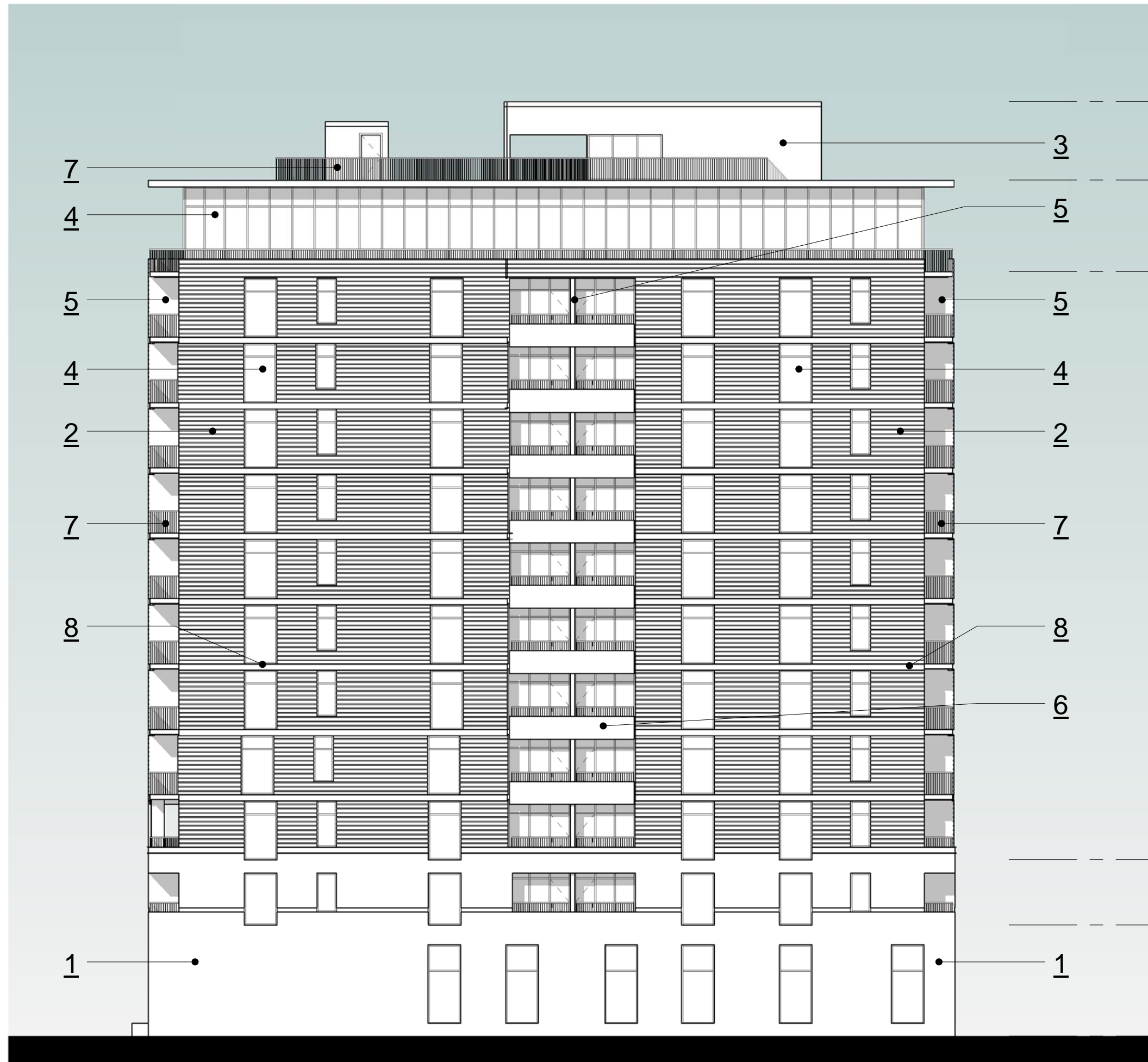
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433 Johnson Bend  
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DRAWING  
SOUTH WEST ELEVATION

DATA  
Project # 201303  
Date: 02.19.14

A2.2



Roof  
143' - 0"

Roof Terrace  
131' - 0"

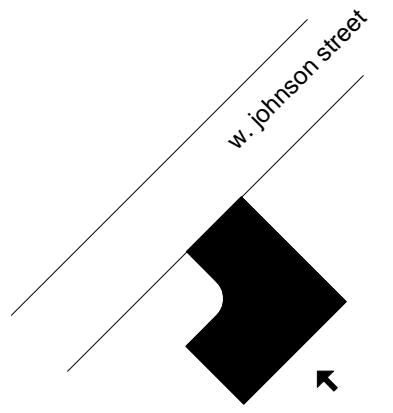
Level 12  
117' - 0"

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Level 2  
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Level 1  
0' - 0"



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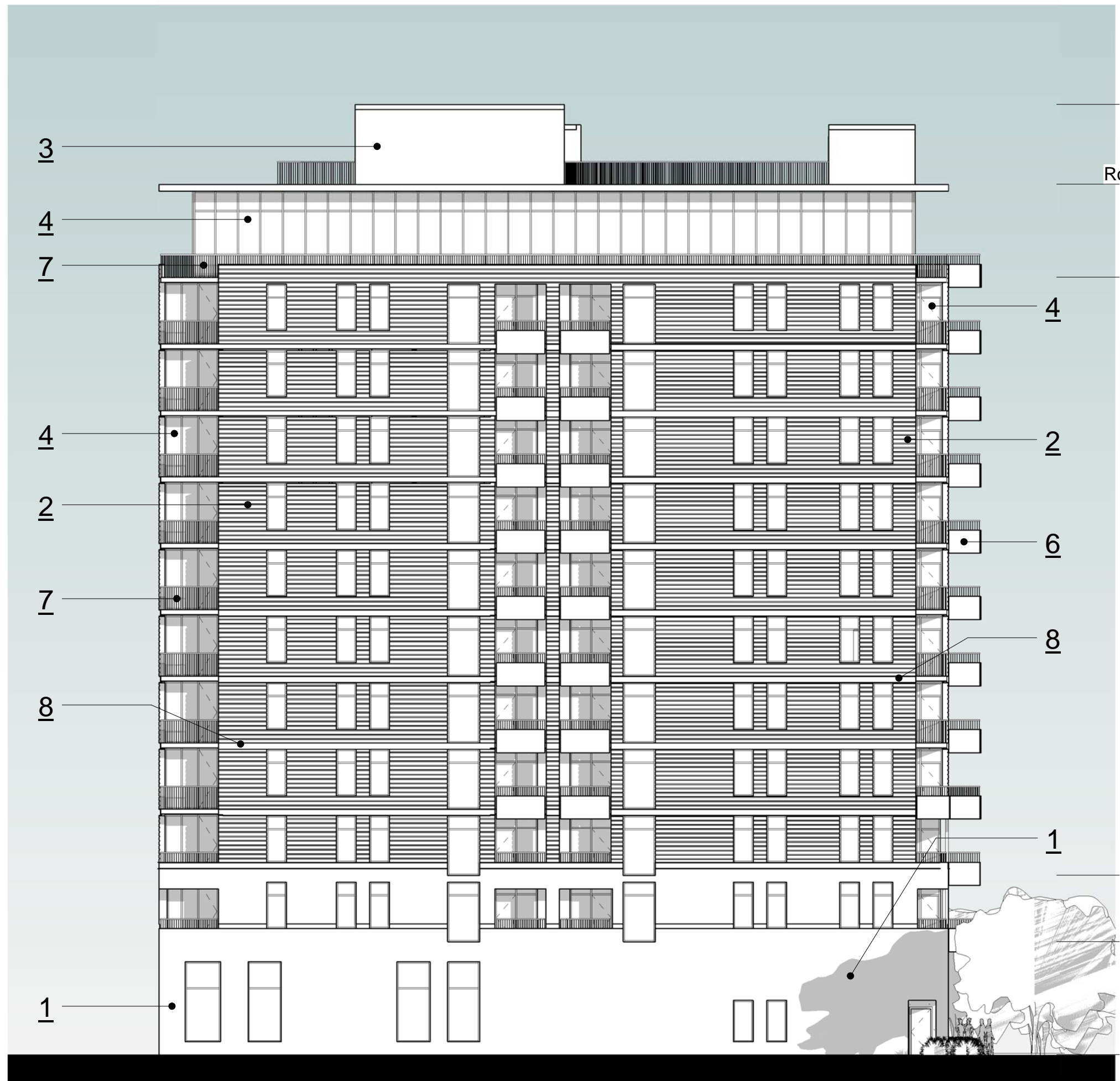
PROJECT  
433 Johnson Bend

433 West Johnson Street  
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DRAWING  
SOUTH EAST ELEVATION

DATA  
Project # 201303  
Date: 02.19.14

A2.3



Roof  
143' - 0"

Roof Terrace  
131' - 0"

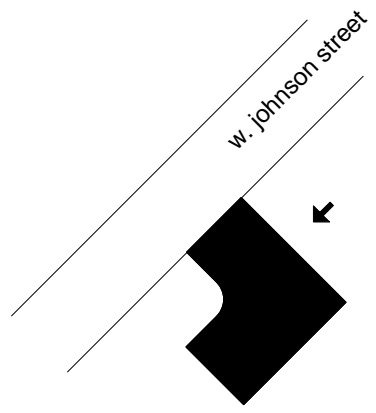
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Level 3  
27' - 0"

Level 2  
17' - 0"

Level 1  
0' - 0"



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PROJECT	
433 Johnson Bend  433 West Johnson Street Madison, Wisconsin 53703	
DRAWING	
NORTH EAST ELEVATION	
DATA	
Project #	201303
Date:	02.19.14

A2.4



Aerial View looking East

SUTTON  
ARCHITECTURE

KEE  
architecture

433 Johnson Bend



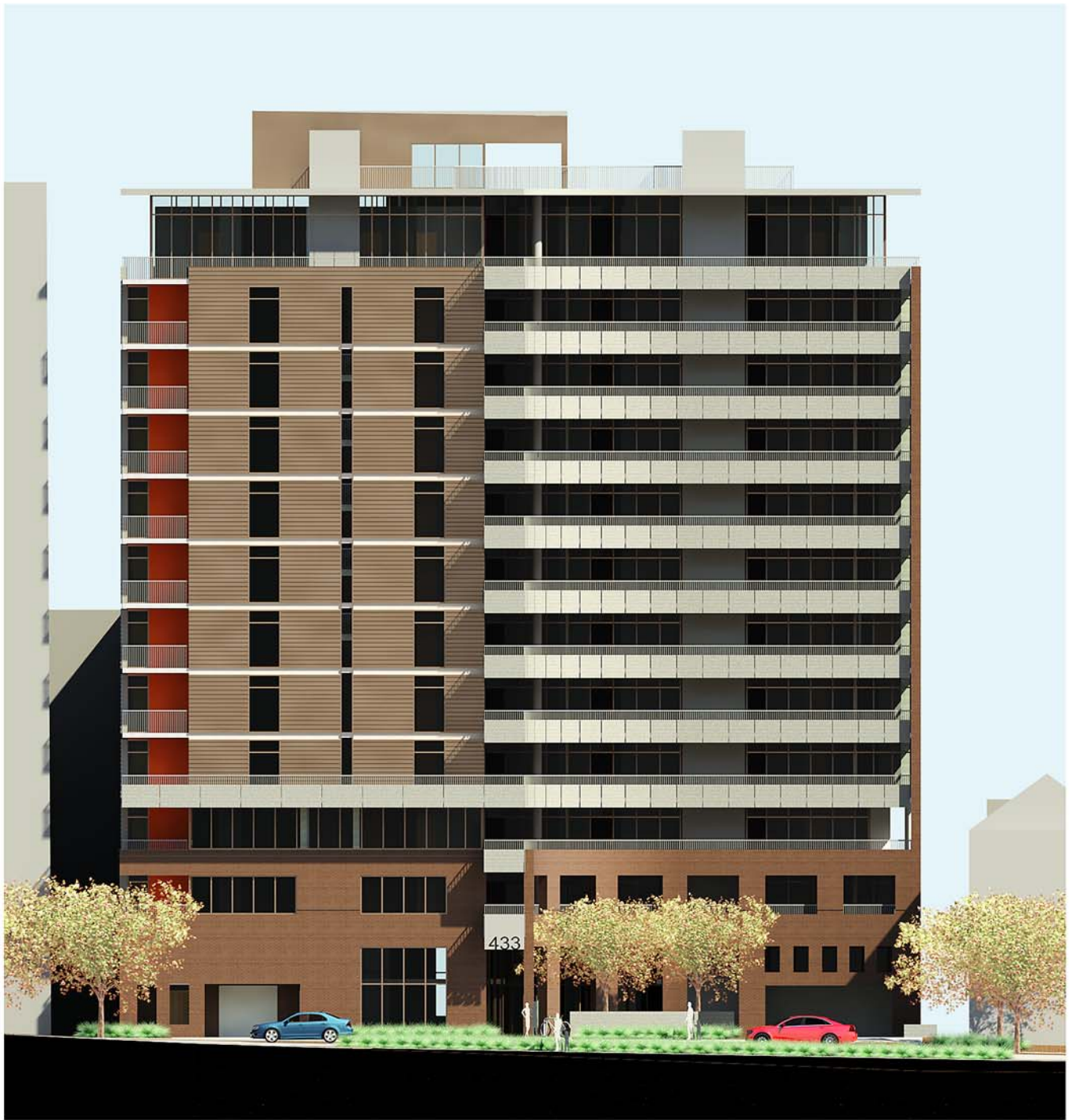


Aerial View looking North

433 Johnson Bend

SUTTON  
ARCHITECTURE

KEE  
architecture

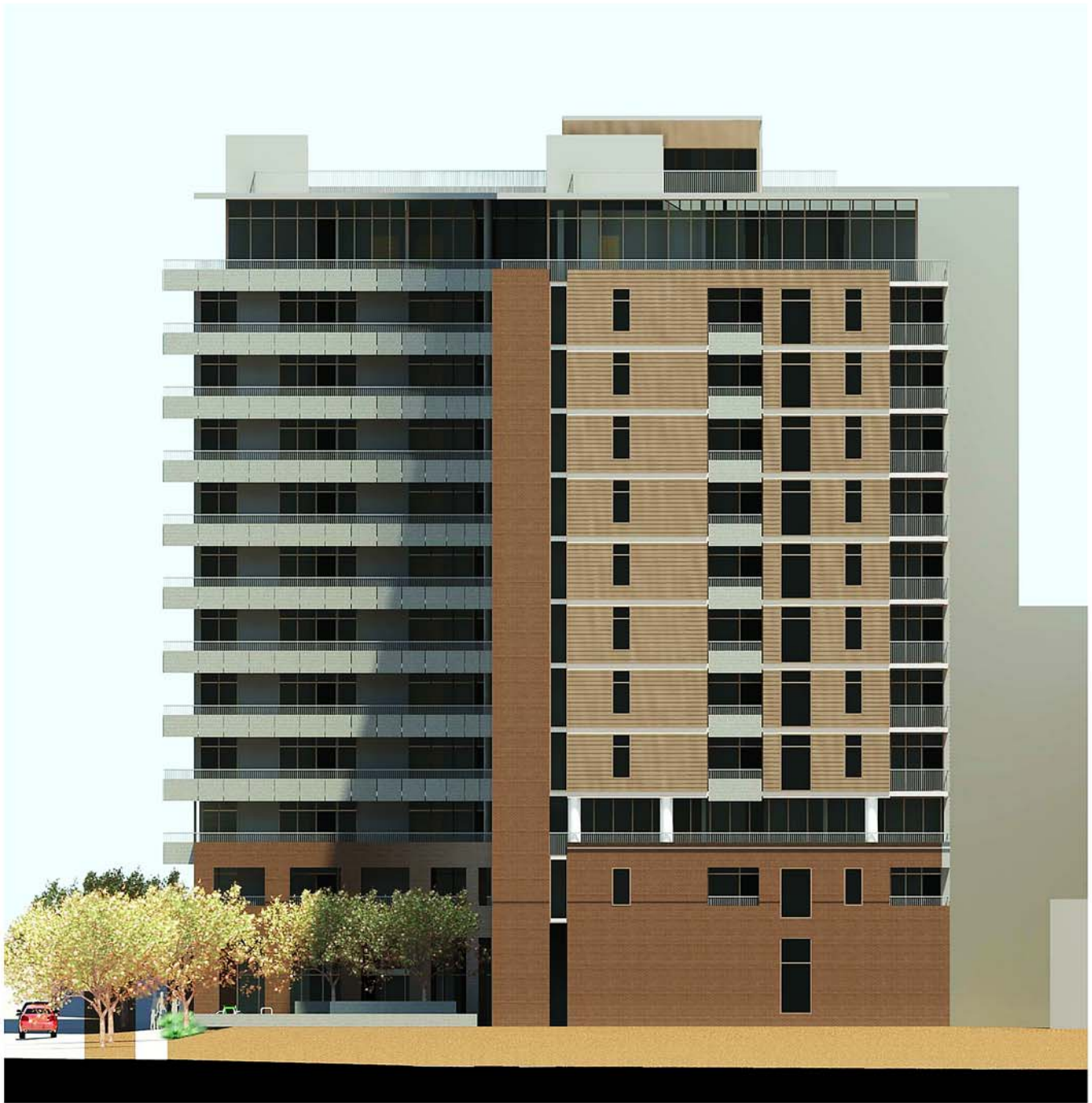


North West Elevation

433 Johnson Bend

SUTTON  
ARCHITECTURE

KEE  
architecture



South West Elevation

SUTTON  
ARCHITECTURE

KEE  
architecture

433 Johnson Bend



View from West Johnson Street

433 Johnson Bend

SUTTON  
ARCHITECTURE

KEE  
architecture

# 433 JOHNSON BEND

433 West Johnson Street

SUTTON  
ARCHITECTURE

KEE  
architecture

433

