

Lake Park Apartment Homes

A Residential Development at 451 W. Wilson Street and 315 S. Basset Street
Madison, Wisconsin

February 6, 2008

Owner/Developer

McGrath Associates, Inc.
103 N Hamilton Street
Madison, Wisconsin 53703
Telephone (608) 255-3976

Architects

SIMONSON GERMANY NONEMAKER + ASSOCIATES, INC.
1190 West Druid Hills Drive, Suite T-65
Atlanta, Georgia 30329
Telephone (404) 634-4466

Landscape Architects/Civil Engineers

Schreiber / Anderson Associates
717 John Nolan Drive
Madison, Wisconsin 53713
Telephone (608) 255-0800



Building Data

Proposed New Construction: 62,709 s.f.
 Parking - 21,347 square feet
 Residential - 41,362 square feet

Total Dwelling Units: 40
 Total No. of Bedrooms: 52

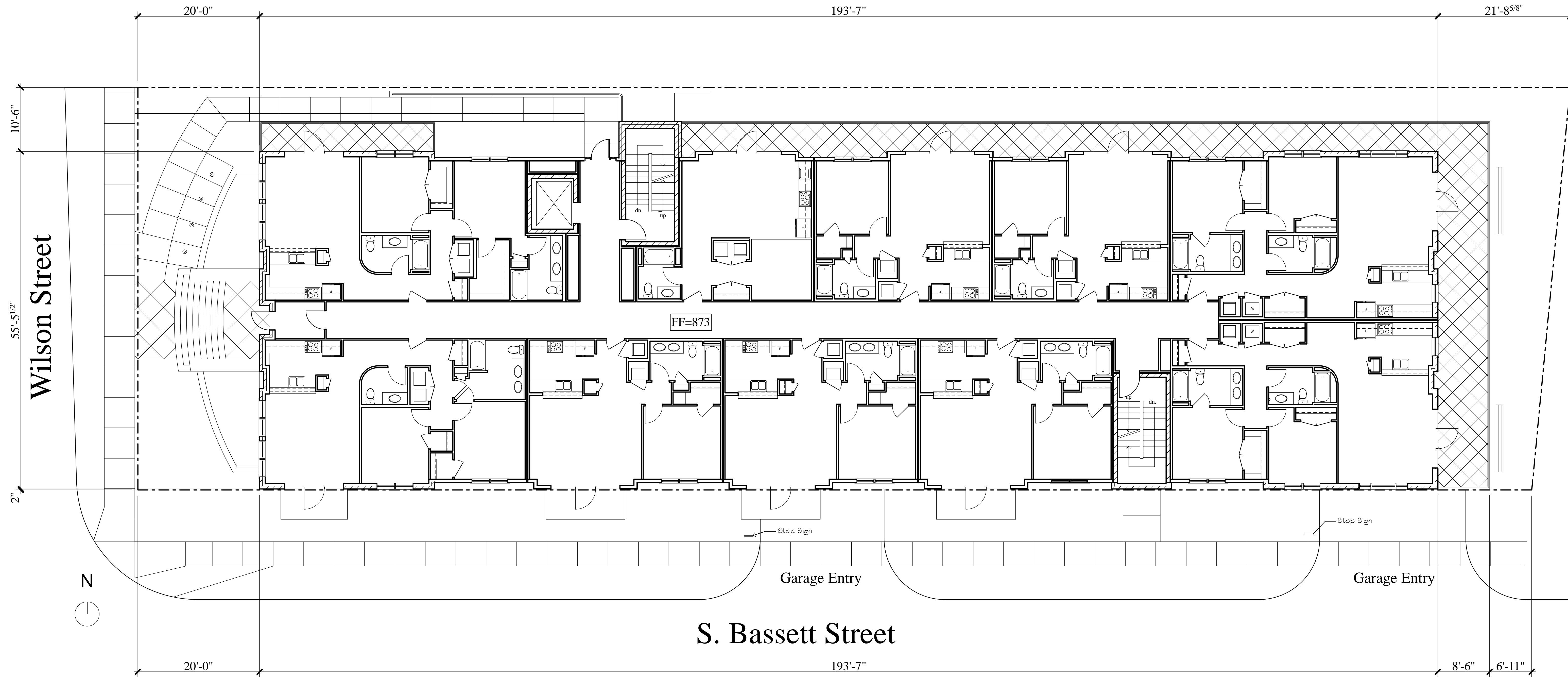
One Bedrm.	Two Bedrm.
A-0: 4	B1: 2
A-1: 8	B2: 10
A-2: 12	
A-3: 4	
28	24

Site Data

Site Area: 15,349 s.f.	Site Area per Bedroom: 295 square feet per bedroom
Density: 0.352 acres 113.6 units per acre	Total Usable Open Space: 6,831 s.f. Usable Open Space per Unit: 170 s.f. / unit Usable Open Space per Bedroom: 131 s.f. / bedroom
Site Area per Unit: 533 square feet per unit	Parking Data Enclosed Parking: 49 stalls [1 van accessible stall provided] [1 accessible stall provided] Bicycle Parking Covered 54 Exterior 8 Total 62

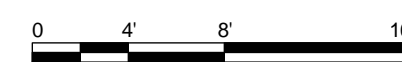
Index of Drawings

Sheet No.	Sheet Title	Sheet No.	Sheet Title
A0	Cover Sheet	A1	Lower Parking Level Plan
	Architectural Site Plan	A2	Upper Parking Level Plan
C1.0	Demolition Plan	A3	First Residential Level Plan
C2.0	Erosion Control Plan	A4	Second/Third Residential Level Plan
C3.0	Utility Plan	A5	Fourth Residential Level Plan
C4.0	Site Grading Plan	A6	Building Elevations
C5.0	Site Layout Plan	A7	Building Elevations
C6.0	Landscape Plan	A8	Building Elevations
C7.0	Details	A9	Typical Wall Section
C7.1	Details	A10	Typical Wall Section
C7.2	Details		
C8.0	Lighting Plan		



Architectural Site Plan

Scale: 1/8"=1'-0"



McGrath Associates, Inc.

February 6, 2008

SGN+A Simonson Germany Nonemaker + Associates, Inc.
 Planning Architecture Landscape Architecture

Bassett Street Apartments
 Madison, Wisconsin



SCHREIBER / ANDERSON
ASSOCIATES, INC.
717 John Nolen Drive
Madison, WI 53713
Ph. 608.255.0800
Fx. 608.255.7750
www.saa-madison.com

Professional Seal

Revision Date

Project Name

McGrath
Associates

McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

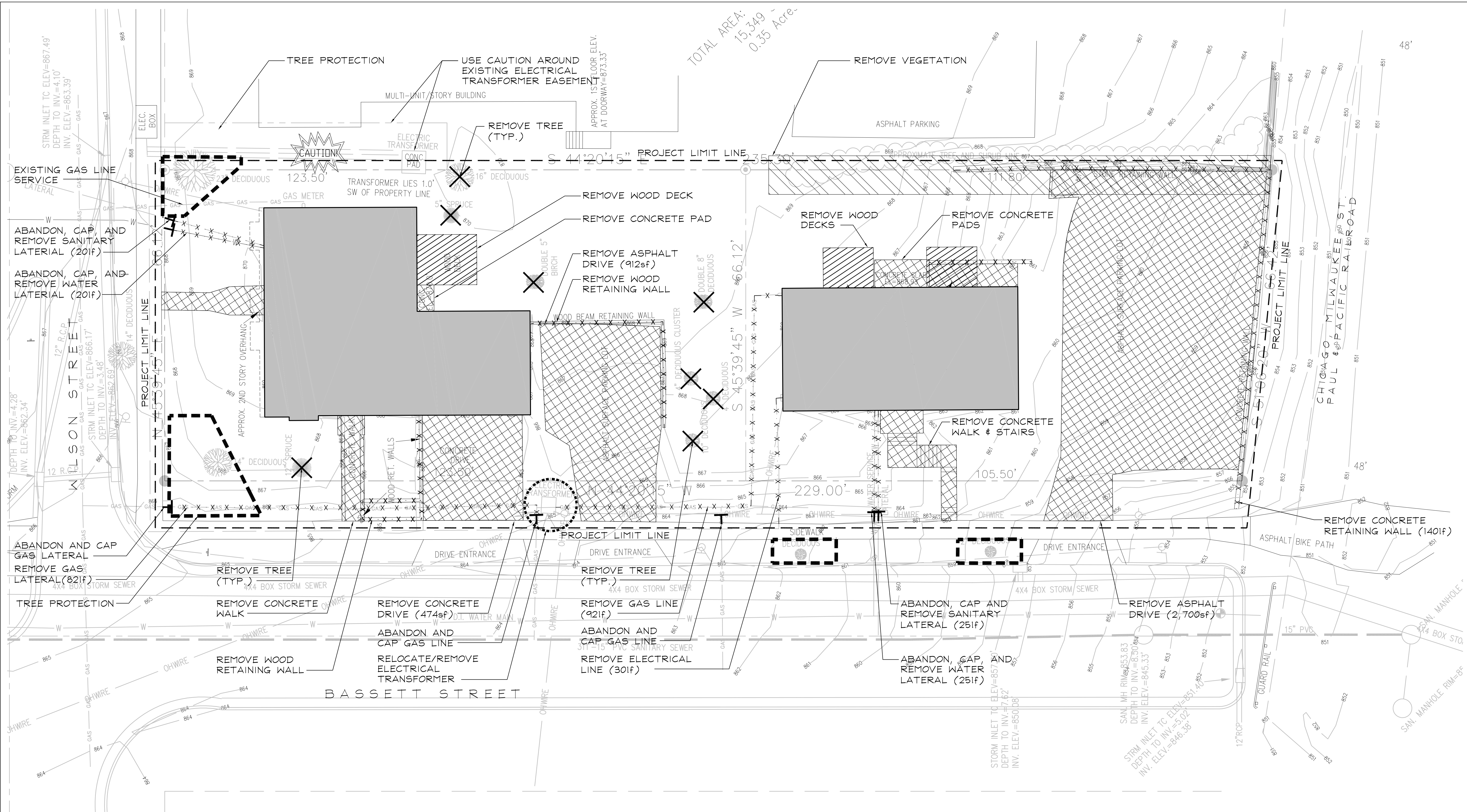
Lake Park
Apartment Homes
Madison
Wisconsin

Drawn By: AW
Checked By: CT
File: P-DEMO
Issued For: SIP
Issue Date: 02/06/2008
Project No. 2284

SHEET
DEMOLITION
PLAN

0 5 10 20
Scale Indicated for 24"x36" Sheet Size
Sheet Number

C1.0



File: P:\projects\2000\2284-Bassett\CAD\1-P-DEMO.dwg Layout: P-Demo User: chsl Plotted: Feb. 06, 2008 - 10:28am

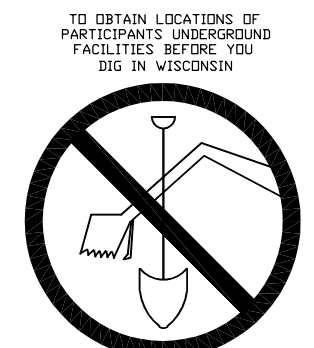
TOTAL AREA:
15.349
0.35 Acre.

LEGEND:

- REMOVE PAVEMENT (CONCRETE OR ASPHALT)
- REMOVE BUILDING
- REMOVE WOOD DECK
- CLEAR AND GRUB VEGETATION
- REMOVE UTILITY, FENCE, OR WALL
- REMOVE VEGETATION
- TREE PROTECTION FENCE
- PROJECT LIMITS

NOTES:

1. CALL DIGGERS HOTLINE TO LOCATE UTILITIES PRIOR TO BEGINNING WORK ON SITE 1.800.242.8511
2. CLEAR AND GRUB VEGETATION TO THE LIMITS OF WORK PER SPECIFICATIONS
3. UNLESS OTHERWISE NOTED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE
4. ALL EXISTING UTILITIES NOT USED SHALL BE ABANDONED PER CITY OF MADISON SPECIFICATIONS, CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 98.02(5) (9) (a)
REQUIRES YOU TO GIVE 48 HOURS
NOTICE BEFORE YOU EXCAVATE
MIL.W. AREA 259-1181

6
C7.3



SCHREIBER / ANDERSON ASSOCIATES, INC.

1717 John Nolen Drive
Madison, WI 53713
Ph. 608.255.0800
Fx. 608.255.7750
www.saa-madison.com

Professional Seal

Revision Date

Project Name

McGrath
Associates

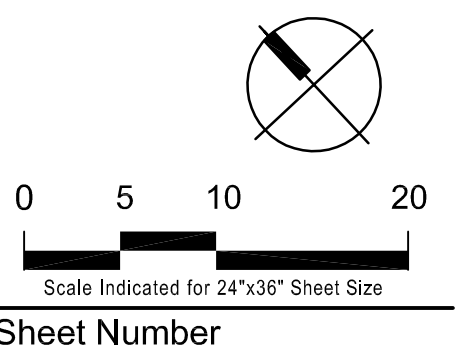
McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

Lake Park
Apartment Homes

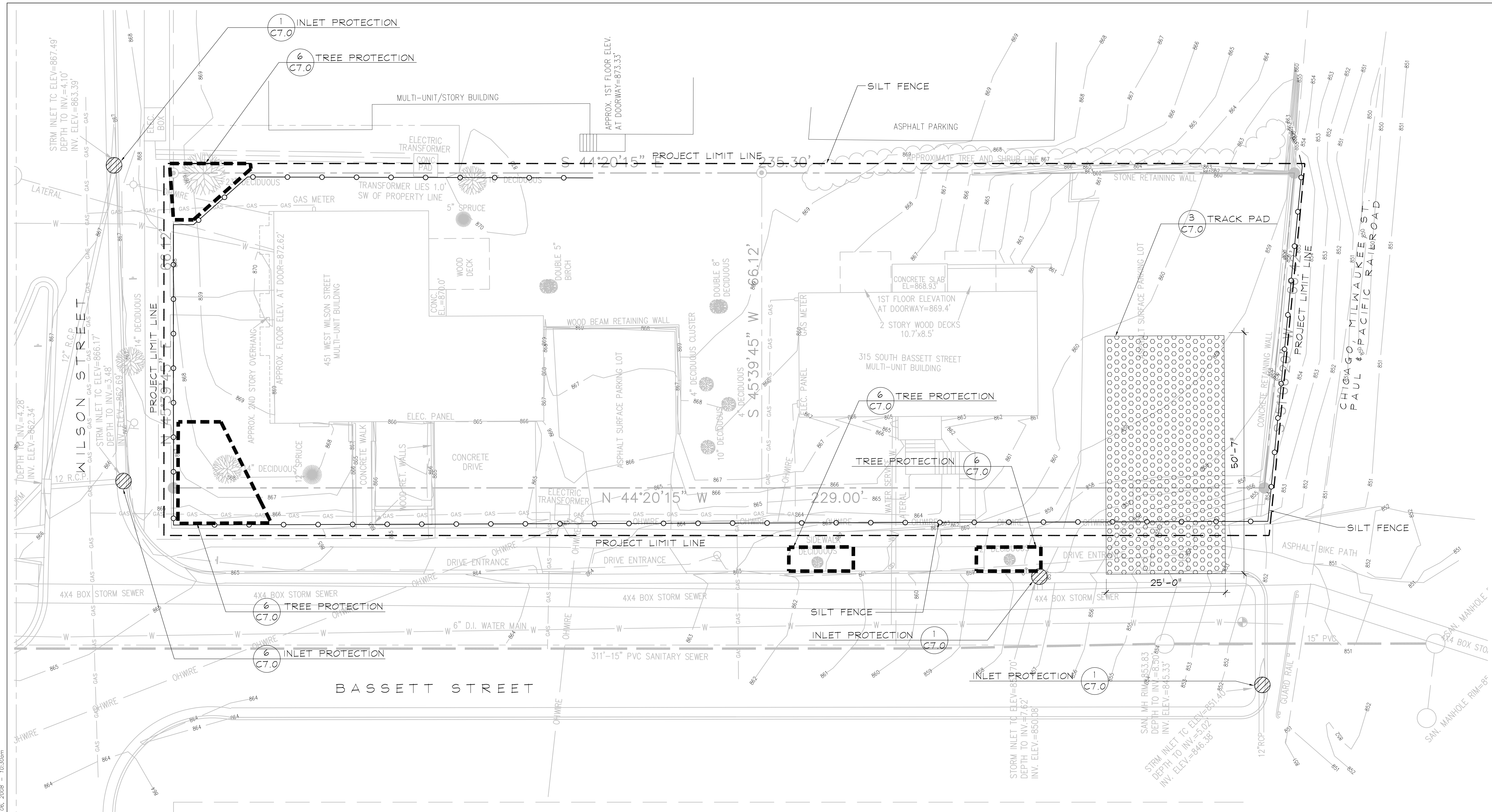
Madison
Wisconsin

Drawn By: AW
Checked By: CT
File: P-EC
Issued For: SIP
Issue Date: 02/06/2008
Project No. 2284

SHEET
EROSION
CONTROL PLAN



Sheet Number
C2.0



LEGEND:

	TRACK PAD (3) (C7.0)
	SILT FENCE PROTECTION (2) (C7.0)
	INLET PROTECTION (1) (C7.0)
	PROJECT LIMITS
	TREE PROTECTION FENCE (6) (C7.0)

- NOTES:**
- PROVISIONS TO PREVENT MUD-TRACKING OFF-SITE ONTO PUBLIC THOROUGHFARES DURING CONSTRUCTION SHALL BE TAKEN IN THE FORM OF A TRACK PAD
 - ALL EROSION CONTROL PRACTICES SHALL BE INSPECTED DAILY AND MAINTAINED IN A WORKING CONDITION
 - ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BEHIND SEDIMENT FENCES AND BARRIERS BEFORE IT REACHES A DEPTH THAT IS EQUAL TO HALF THE BARRIER HEIGHT
 - ALL EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS THEY PROTECT ARE PERMANENTLY STABILIZED AND ESTABLISHED. UPON PERMANENT STABILIZATION ESTABLISHMENT, THE TEMPORARY EROSION CONTROL PRACTICES WILL BE REMOVED

File: P:\projects\2000\2284-Bassett\Apt\CA01\P-EC.dwg Layout: P-EC User: cthiel Plotted: Feb 06, 2008 - 10:30am



SCHREIBER / ANDERSON ASSOCIATES, INC.

717 John Nolen Drive
Madison, WI 53713
Ph. 608.253.0800
Fx. 608.253.7750
www.saa-madison.com

Professional Seal

Revision Date

Project Name



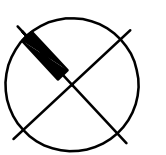
McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

Lake Park
Apartment Homes
Madison
Wisconsin

Drawn By: AW
Checked By: CT
File: P-U
Issued For: SIP
Issue Date: 02/06/2008
Project No. 2284

SHEET

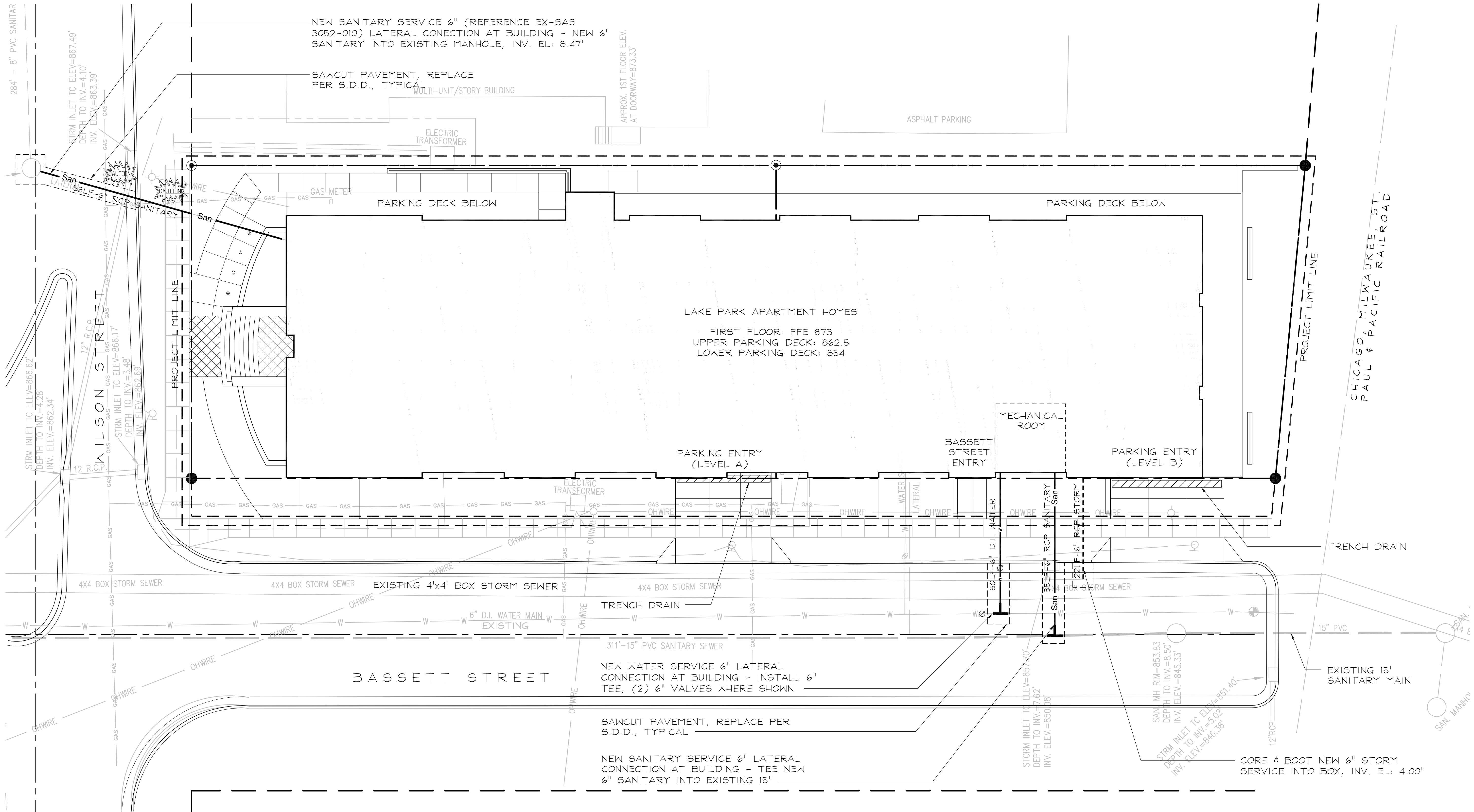
UTILITY PLAN



0 5 10 20
Scale Indicated for 24"x36" Sheet Size

Sheet Number

C3.0



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
VIS STATUTE (602751974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MIL.W. AREA 259-1181

- LEGEND:**
- PROJECT LIMITS
 - STORM SEWER LINE
 - San PROPOSED SANITARY LINE
 - W PROPOSED WATER LINE
 - S.D.D. STANDARD DETAIL DRAWING

- NOTES:**
1. CONTRACTOR TO CONFORM TO ALL CITY OF MADISON STANDARDS AS RELATED TO DISSIMILAR PIPE SEPARATION REQUIREMENTS
 2. EXCEPT WHERE NOTED, ALL ON-SITE STORM SEWER PIPE SHALL BE AASHTO TYPE 'S' (N-12) POLYPROPYLENE, AS MANUFACTURED BY ADS, OR APPROVED EQUAL
 3. REFER TO GRADING PLAN, SHEET C4.0 FOR REFERENCE AND TO MAINTAIN APPROPRIATE COVER OVER ALL UTILITIES
 4. REFER TO DEMOLITION PLAN, SHEET C1.0 FOR ABANDONED UTILITIES
 5. GAS AND ELECTRIC SERVICE TO BE COORDINATED WITH MG&E

File: P:\projects\2000\2284-BassettAp1\CAD\P-Utility Layout_P-Utility User: chrisl Plotred: Feb 06, 2008 - 10:31am



SCHREIBER / ANDERSON ASSOCIATES, INC.

1717 John Nolen Drive
Madison, WI 53713
Ph. 608.253.0800
Fx. 608.253.7750
www.saa-madison.com

Professional Seal

Revision Date

Project Name

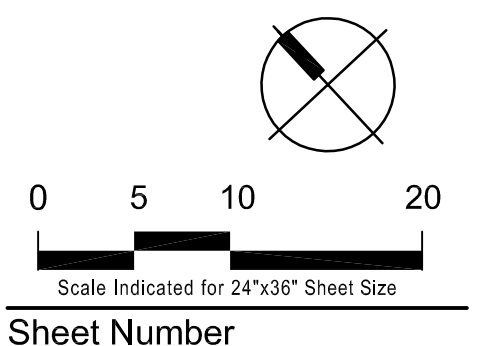
MCGRATH
Associates

McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

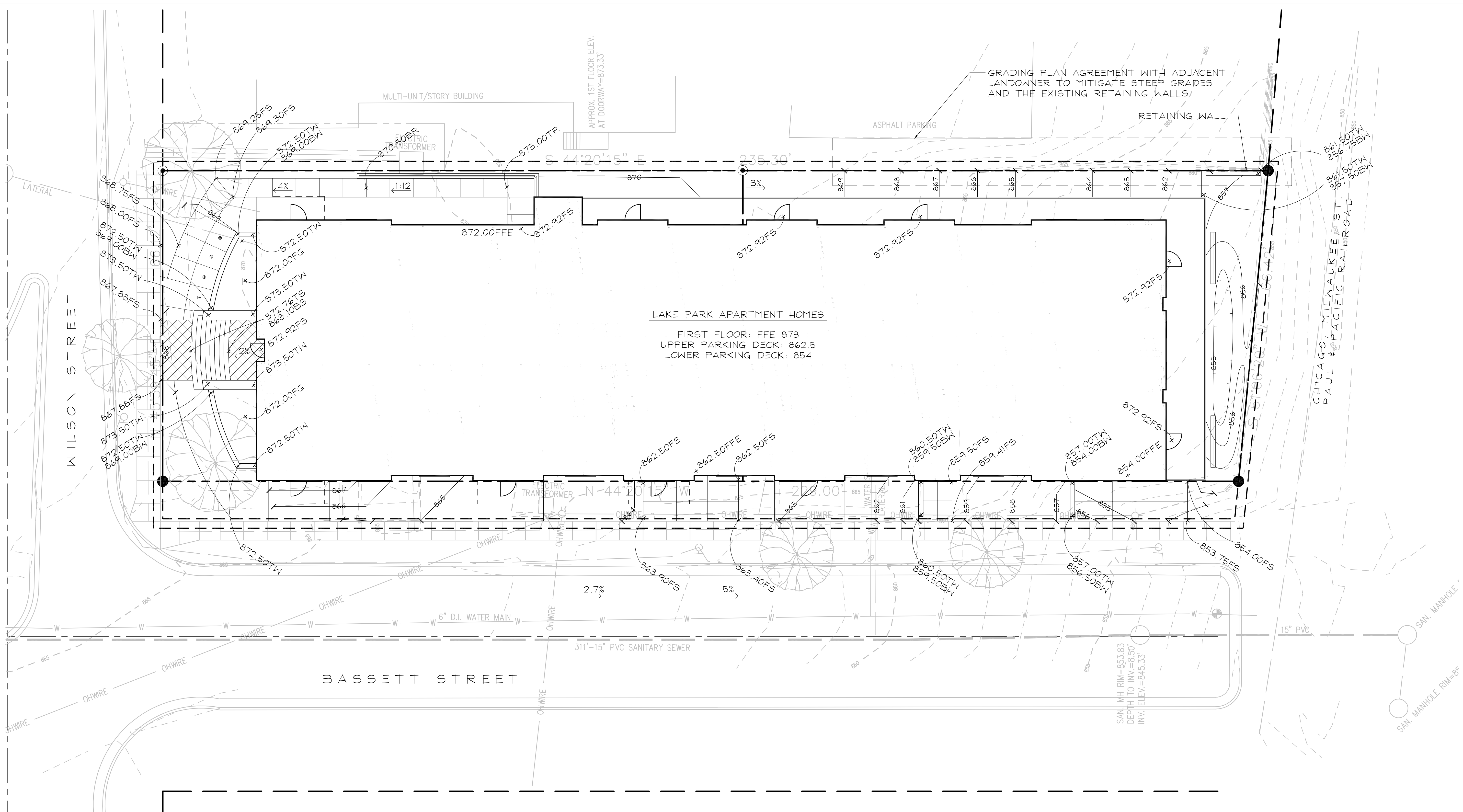
Lake Park
Apartment Homes
Madison
Wisconsin

Drawn By: AW
Checked By: CT
File: P-SG
Issued For: SIP
Issue Date: 02/06/2008
Project No. 2284

SHEET
SITE GRADING
PLAN



Sheet Number
C4.0



LAKE PARK APARTMENT HOMES

FIRST FLOOR: FFE 873
UPPER PARKING DECK: 862.5
LOWER PARKING DECK: 854

GRADING PLAN AGREEMENT WITH ADJACENT LANDOWNER TO MITIGATE STEEP GRADES AND THE EXISTING RETAINING WALLS

ASPHALT PARKING

RETAINING WALL

CHICAGO, MILWAUKEE ST.
PAUL & PACIFIC RAILROAD

BASSETT STREET

WILSON STREET

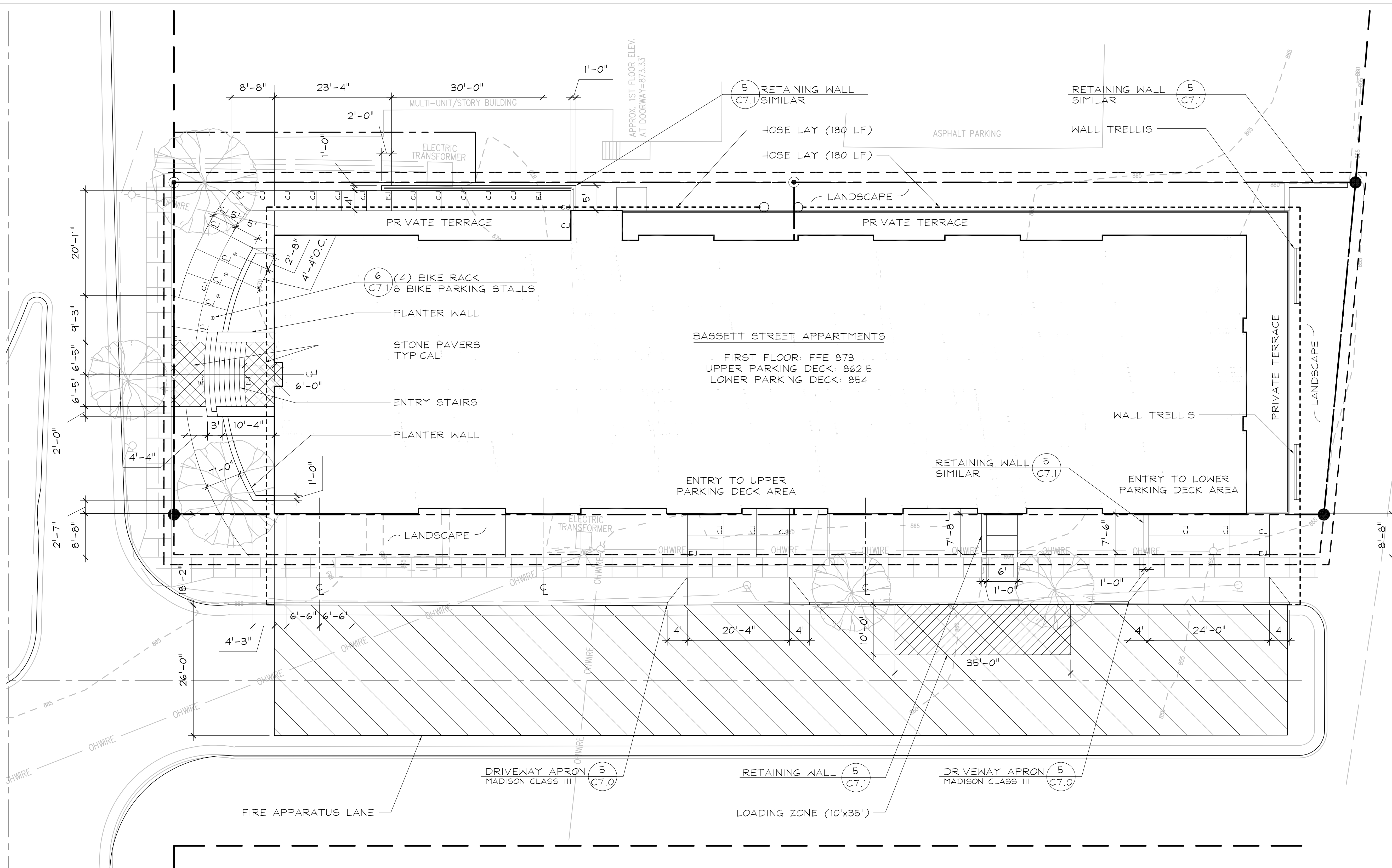
LEGEND:

- TS TOP OF STAIR
- BS BOTTOM OF STAIR
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TR TOP OF RAMP
- BR BOTTOM OF RAMP
- HP HIGH POINT
- LP LOW POINT
- FS FINISH SURFACE
- FG FINISH GRADE
- FFE FINISH FLOOR ELEVATION
- 2% → SLOPE DIRECTION
- PROJECT LIMITS

NOTES:

1. CONTRACTOR SHALL PERFORM ALL EARTHWORK AND GRADING PER SPECIFICATIONS. ALL PROPOSED PAVING, CURBS, AND PLANTING AREAS SHALL TRANSITION SMOOTHLY TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.
2. EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE
3. CONTOUR INTERVAL IS ONE (1) FOOT.

File: P:\projects\2000\2284-BassettAp1\CA01\P-SG.dwg Layout: P-SG User: chiel Plotted: Feb 06, 2008 - 10:32am



IMPERVIOUS SURFACE SCHEDULE:

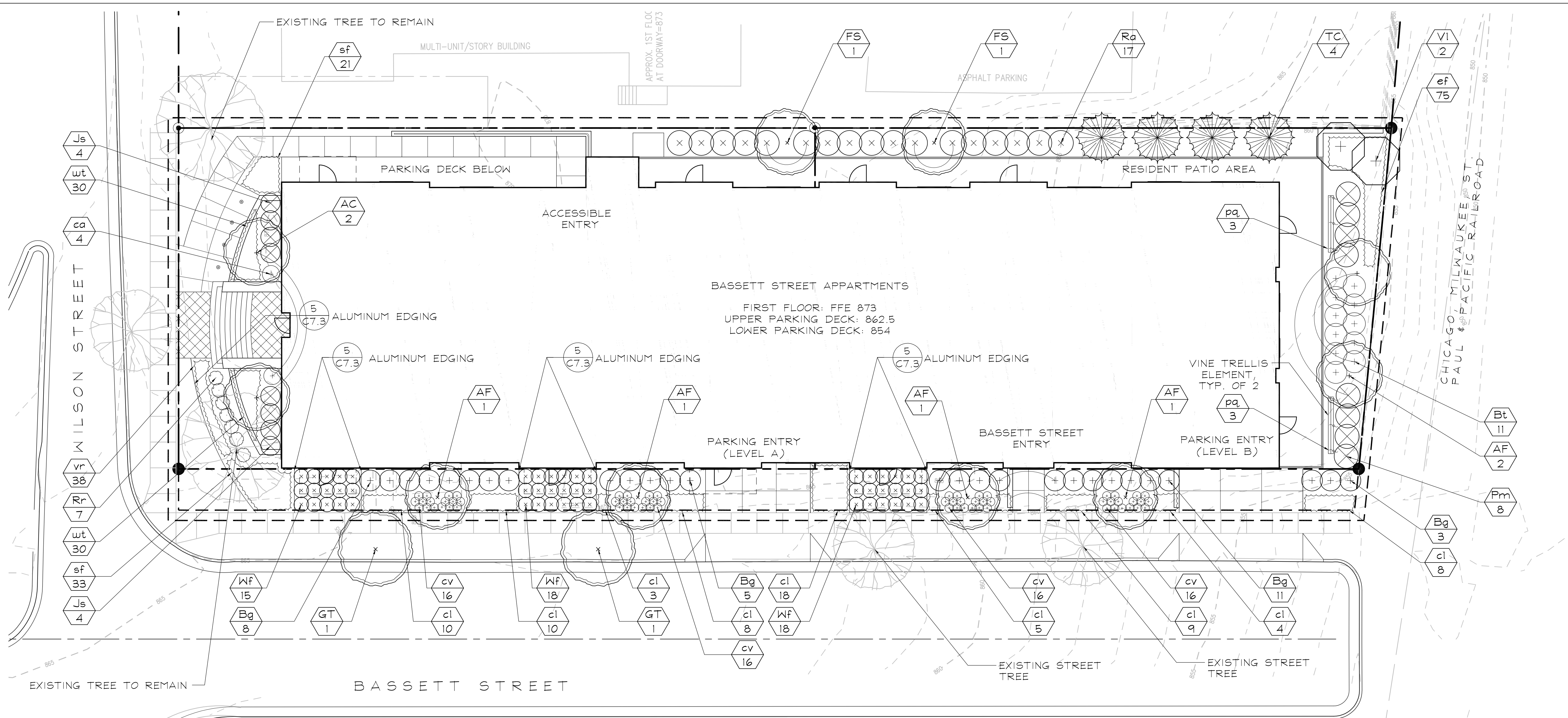
SITE AREA:	20,038 SF
EXISTING IMPERVIOUS SURFACES:	9,664 SF
EXISTING ISR:	0.48
PROPOSED IMPERVIOUS SURFACES:	15034 SF
PROPOSED ISR:	0.75

LEGEND:

---	PROJECT LIMITS
CJ	CONTROL JOINT
EJ	EXPANSION JOINT
	FIRE APPARATUS LAND 26'-0" WIDTH
---	HOSE LAY

- NOTES:**
- ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS
 - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES
 - (8) BICYCLE PARKING STALLS HAVE BEEN LOCATED OUTSIDE ALONG WILSON STREET-REFER TO DETAIL SHEET FOR TYPE. REFER TO ARCHITECT PLANS FOR INTERIOR BIKE RACKS. ALL RACKS TO BE IN ACCORDANCE WITH MADISON GENERAL ORDINANCE 28.11
 - MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS 1:20. MAXIMUM SLOPE AT HANDICAP RAMP 1:12.
 - ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.

File: P:\projects\2000\2284-BassettAp1\CA01\P-SP.dwg Layout: P-SP User: chiel Plotted: Feb 06, 2008 - 10:33am

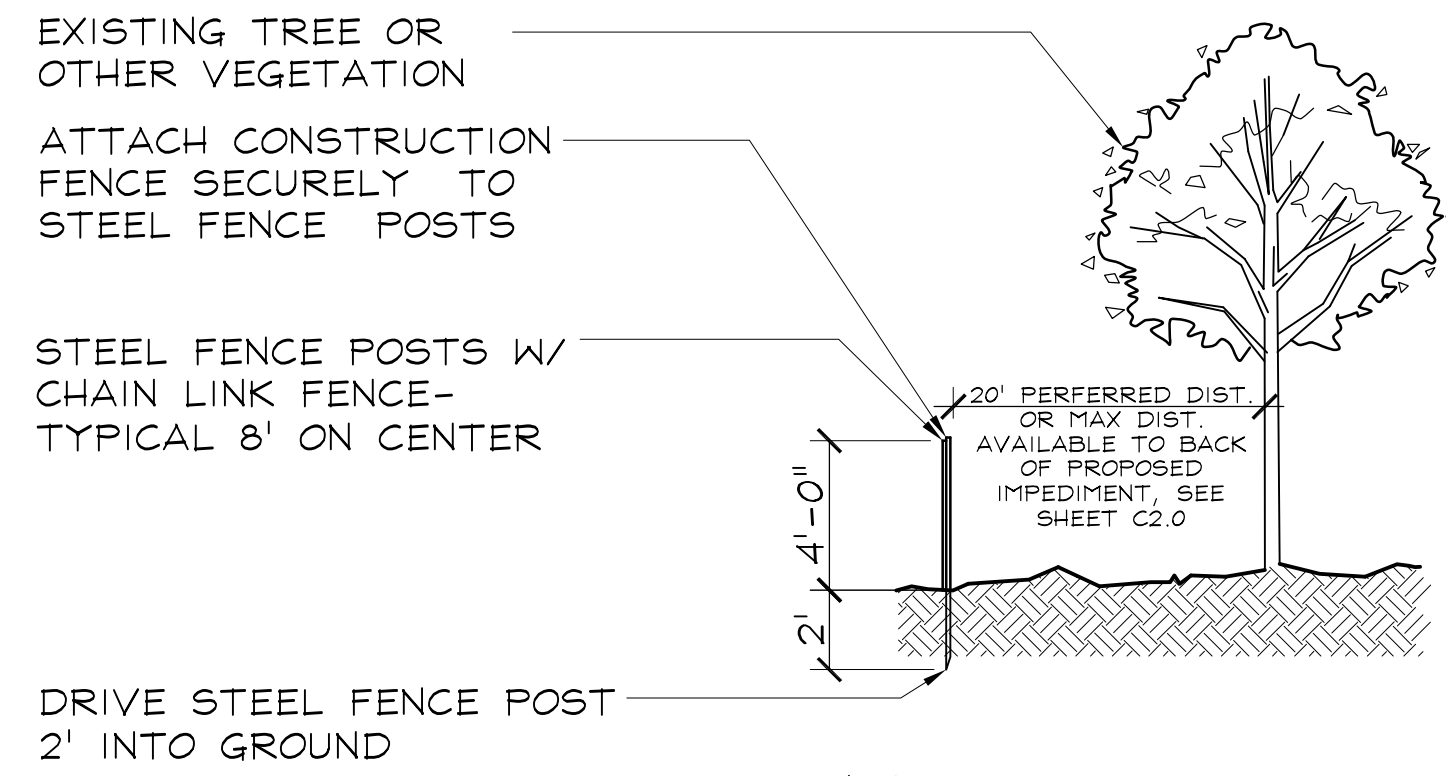


Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
PERENNIALS/GROUNDCOVERS/VINES						
pa	<i>Parthenocissus quinquefolia v. engelmannii</i>	Engelman Ivy	2 Gal.	Cont.	6	tendrill climber
ca	<i>Calamagrostis acutiflora 'Avalanche'</i>	Avalanche Feather Grass	2 Gal.	Cont.	4	upright - match form/size
cl	<i>Chasmanthium latifolium</i>	Northern Sea Oats	1 Gal.	Cont.	71	salt tolerant
cv	<i>Coreopsis verticillata 'Moonbeam'</i>	Moonbeam Coreopsis	1 Gal.	Cont.	64	pale yellow flowers - cutleaf
ef	<i>Euonymus fortunei 'Coloratus'</i>	Purpleleaf Wintercreeper	2.5" pots	Cont.	75	3 trays of 25 plants
sf	<i>Solidago 'fireworks'</i>	Fireworks Solidago	1 Gal.	Cont.	54	
vs	<i>Veronica 'Sunny Border Blue'</i>	Sunny Blue Speedwell	1 Gal.	Cont.	38	
wt	<i>Waldsteinia ternata</i>	Barron Strawberry	2.5" pots	Cont.	60	yellow flowers-urban tolerant

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments
SHADE TREES						
AF	<i>Acer x freemanii 'Armstrong'</i>	Freeman Maple	3" Cal.	B#B	6	straight central leader
AC	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	8' Ht.	B#B	2	Multi-stem
FS	<i>Fagus sylvatica 'Fastigiata'</i>	Upright European Beech	3" Cal.	B#B	2	straight central leader
GT	<i>Gleditsia triacanthos v. inermis</i>	Thornless Honeylocust	3" Cal.	B#B	2	
EVERGREEN TREES/SHRUBS						
Bg	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	30" Ht.	Cont.	27	similar form/size
Js	<i>Juniperus squamata 'Blue Star'</i>	Blue Star Juniper	3 Gal.	Cont.	8	
Pm	<i>Pinus mugo v. pumilio</i>	Pumilio Mugo Pine	42" Ht.	B#B	8	similar form/size
TC	<i>Taxus cuspidata v. capitata</i>	Upright Yew	4'-6" Ht.	B#B	4	similar form/size-upright
DECIDUOUS SHRUBS						
Bt	<i>Berberis thun. v. 'Rose Glow'</i>	Rose Glow Barberry	3 Gal.	Cont.	11	thorned variety
Ra	<i>Rhus aromatica</i>	Fragrant Sumac	3 Gal.	Cont.	17	slope stabilization
Rr	<i>Rosa 'Frau Dagmar Hastrup'</i>	F. D. Hastrup Rugosa Rose	3 Gal.	Cont.	7	match form/size
V1	<i>Viburnum lentago</i>	Nannyberry Viburnum	4' Ht.	B#B	2	
Wf	<i>Weigela florida 'Dark Horse'</i>	Dark Horse Weigela	2 Gal.	Cont.	51	match form/size in groupings

LANDSCAPE POINTS			
NUMBER OF TREES REQUIRED:			
NUMBER OF PARKING STALLS	0 - ALL UNDERGROUND		
STORAGE AREA SQUARE FOOTAGE	0 - NO STORAGE AREA		
CANOPY TREES REQUIRED	0 - NO TREES REQUIRED		
NUMBER OF LANDSCAPE POINTS REQUIRED:			
POINTS REQUIRED PER PARKING STALLS	0 - ALL UNDERGROUND		
POINTS REQUIRED PER LOADING BERTHS	0 - NO BERTHS		
TOTAL POINTS REQUIRED	0 - NO POINTS REQUIRED		
TABULATION OF POINTS PROVIDED:			
CANOPY TREES	35pts	10	350
DECIDUOUS SHRUBS	2pts	88	176
EVERGREEN SHRUBS	3pts	43	129
DECORATIVE WALL	5pts/lf	40lf	200
EVERGREEN TREES	15pts	4	60
ORNAMENTAL TREES	15pts	2	30
TOTAL POINTS			945pts

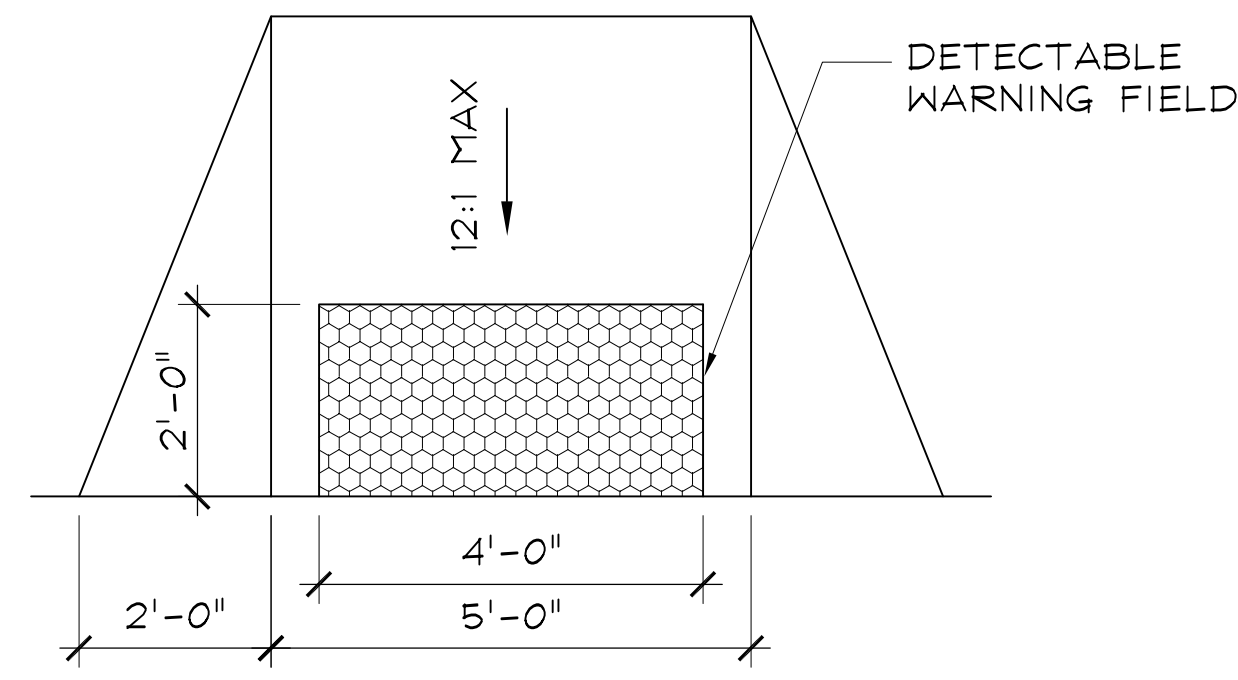
File: P:\projects\2000\2284-Bassett\Apt\A01\A01_P-LS.dwg Layout: P-LS User: cfmil Plotred: Feb 06, 2008 - 10:34am



- NOTES:
1. PLACE FENCE POSTS 8' ON CENTER & ATTACH CONSTRUCTION FENCE SECURELY
 2. NO ENTRY, NO STORAGE & NO TRENCHING IN TREE PROTECTION ZONE DURING ENTIRE SITE CONSTRUCTION

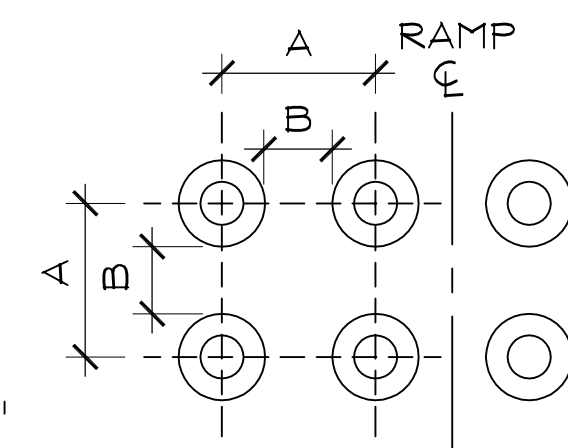
6 TREE PROTECTION
C7.0

NTS

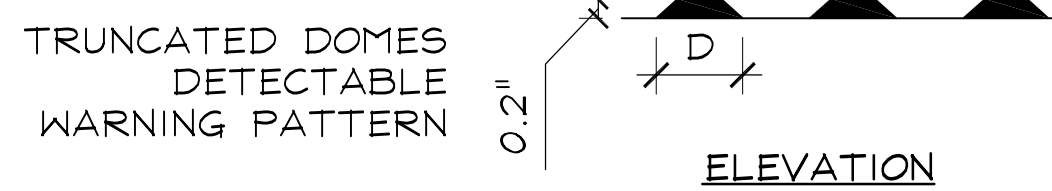


	MIN	MAX
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

* THE C DIMENSION IS 50% TO 65% OF 'D'

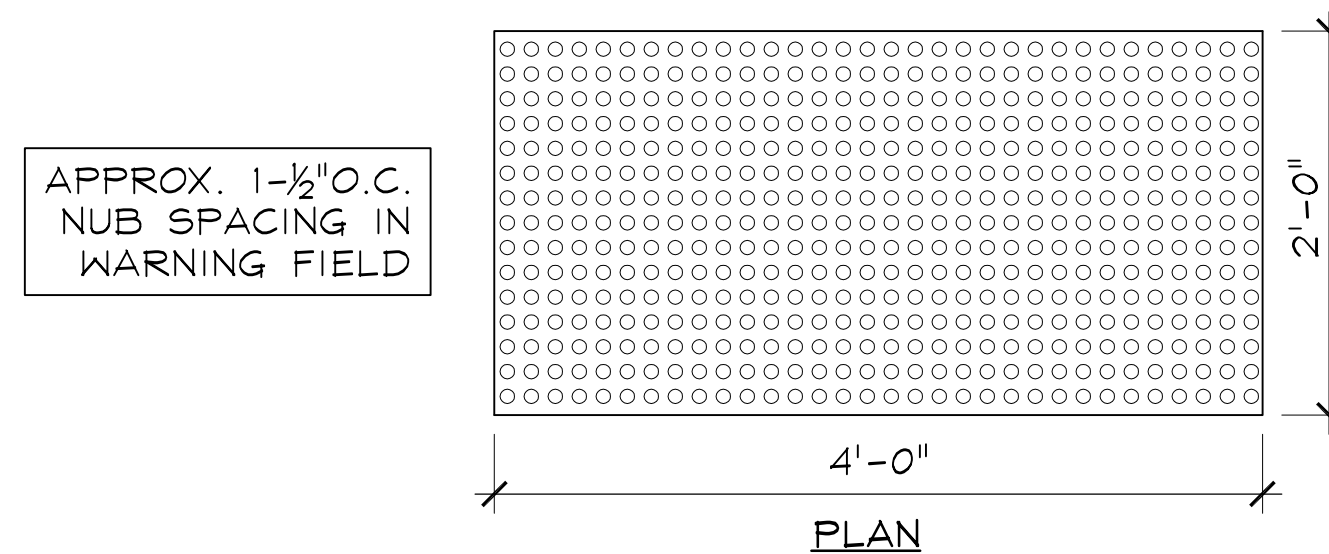


PLAN



ELEVATION

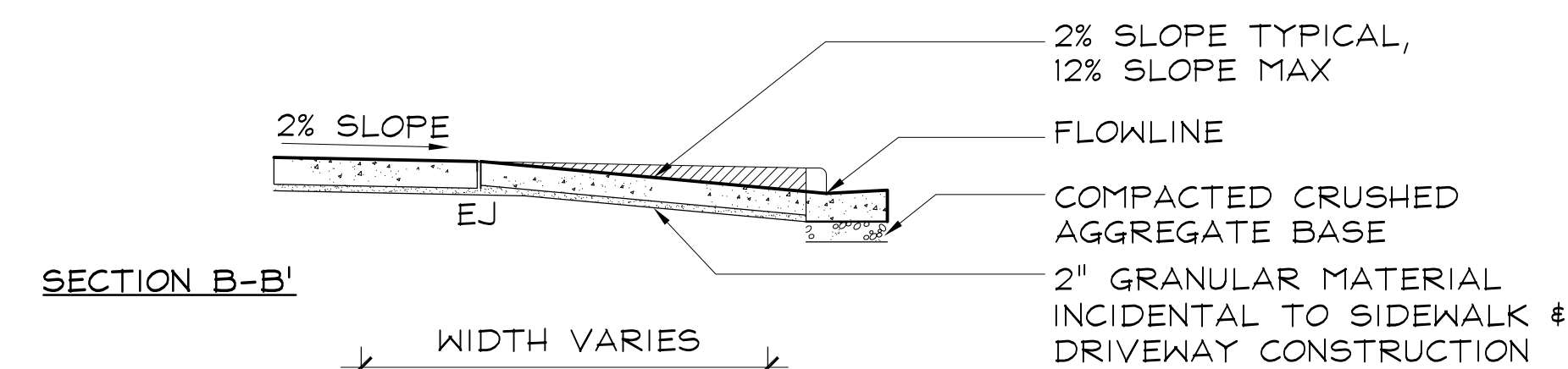
TRUNCATED DOMES
DETECTABLE
WARNING PATTERN



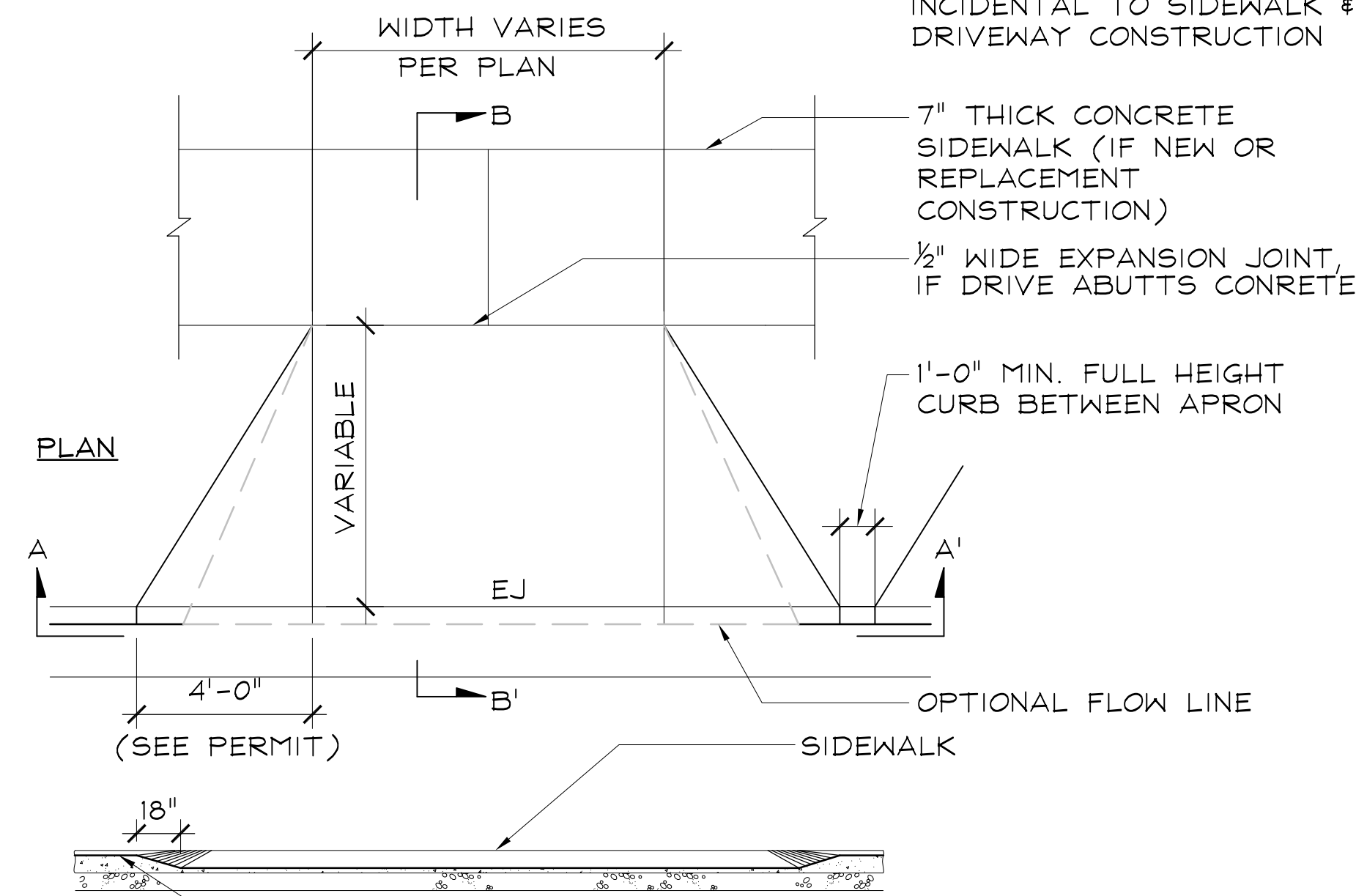
DETECTABLE WARNING FIELD, TYPICAL

4 ACCESSIBLE RAMP
C7.0 CURB TAPERS INTO SIDEWALK

SCALE: 1/2" = 1'-0"



SECTION B-B'



PLAN

SECTION A-A' TOP OF CURVE SECTION A-A'

5 DRIVE APRON
C7.0 CLASS III CITY OF MADISON STANDARD DETAIL

SCALE 1/4" = 1'-0"

INLET SPECIFICATIONS AS PER THE PLAN DIMENSION LENGTH AND WIDTH TO MATCH

GEOTEXTILE FABRIC, TYPE FF FRONT, BACK, AND BOTTOM TO BE MADE FROM SINGLE PIECE OF FABRIC

MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS

① EXTEND FABRIC AT LEAST 10" AROUND THE PERIMETER.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

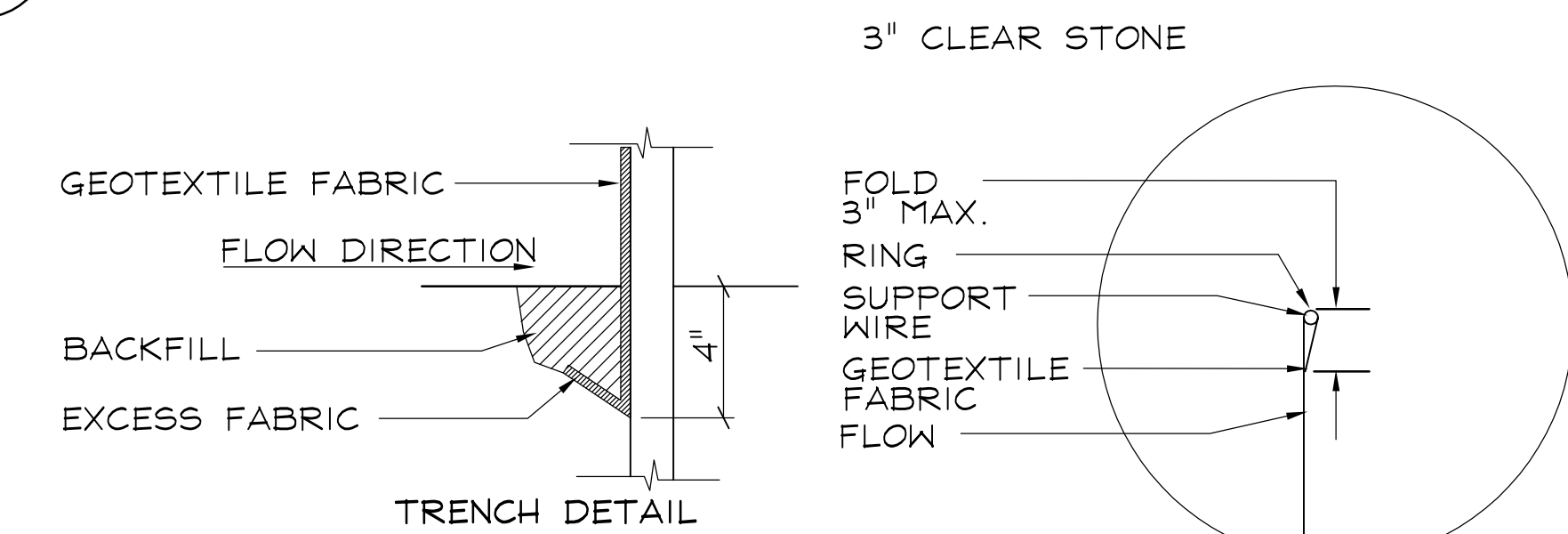
USE REBAR OR STEEL ROD FOR REMOVAL OR FOR INLETS WITH CAST CURB BOX USE WOOD 2"x4", EXTEND 10" BEYOND GRATE WIDTH ON BOTH SIDES. LENGTH VARIES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES

4"x 6" OVAL HOLE SHALL BE HEAT CUT INTO ALL FOUR SIDE PANELS

TAKEN FROM WDOT S.D.D. 8 E 10-2.

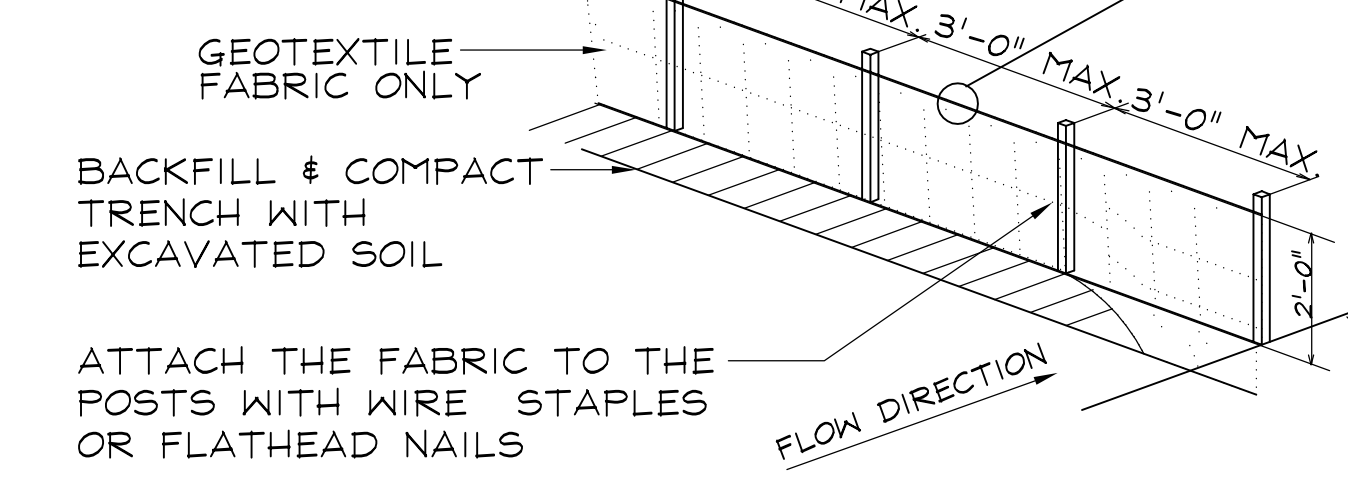
1 INLET PROTECTION, TYPE D
C7.0

NTS



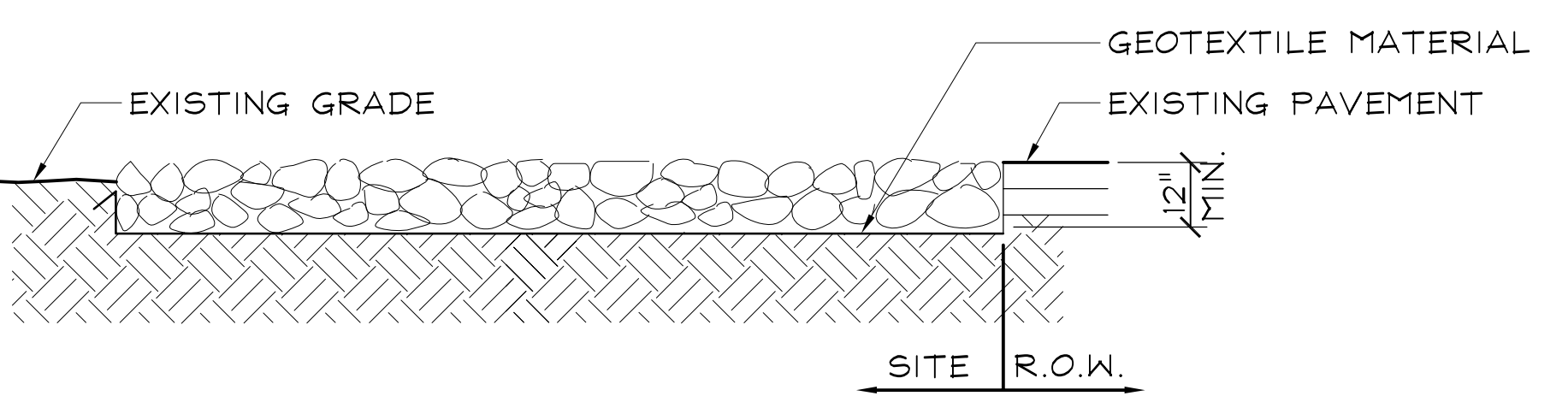
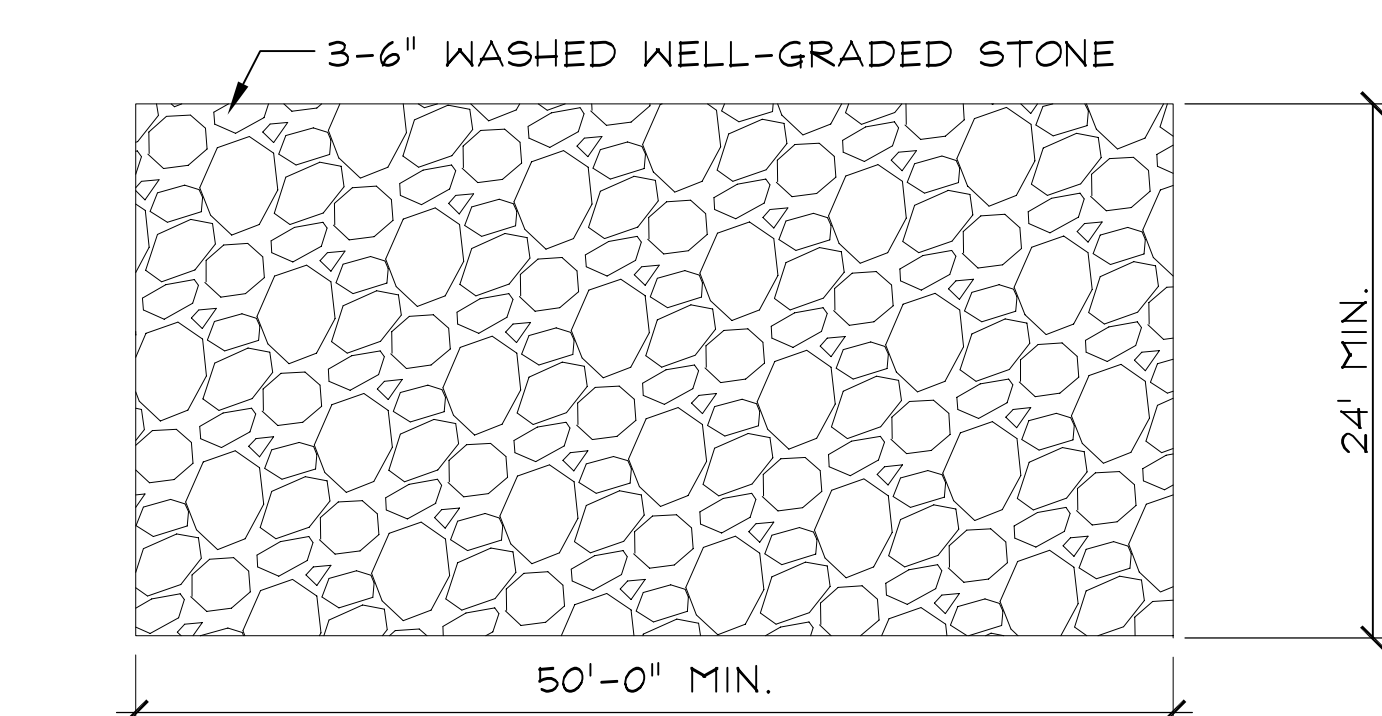
TRENCH DETAIL

2" X 2" WOOD POSTS LENGTH 4'-0" MIN. 2'-0" MIN. DEPTH IN GROUND



2 SILT FENCE DETAIL
C7.0

NTS



3 TRACK MAT DETAIL
C7.0

1/8" = 1'-0"

Professional Seal

Revision Date

Project Name

MCGRATH
Associates

McGrath Associates
103 N. Hamilton St.
Madison, WI 53703

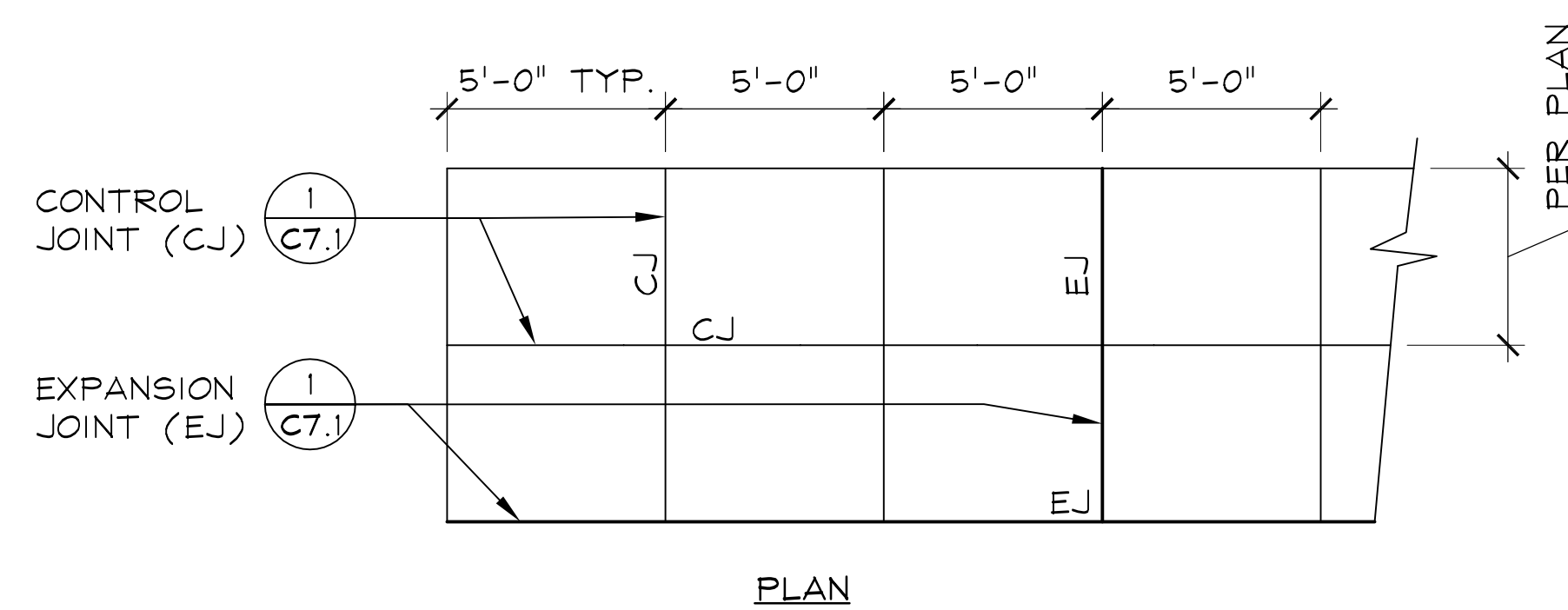
Lake Park
Apartment Homes
Madison
Wisconsin

Drawn By: AW
Checked By: CT
File: P-D
Issued For: SIP
Issue Date: 02/06/2008
Project No. 2284

SHEET
DETAILS

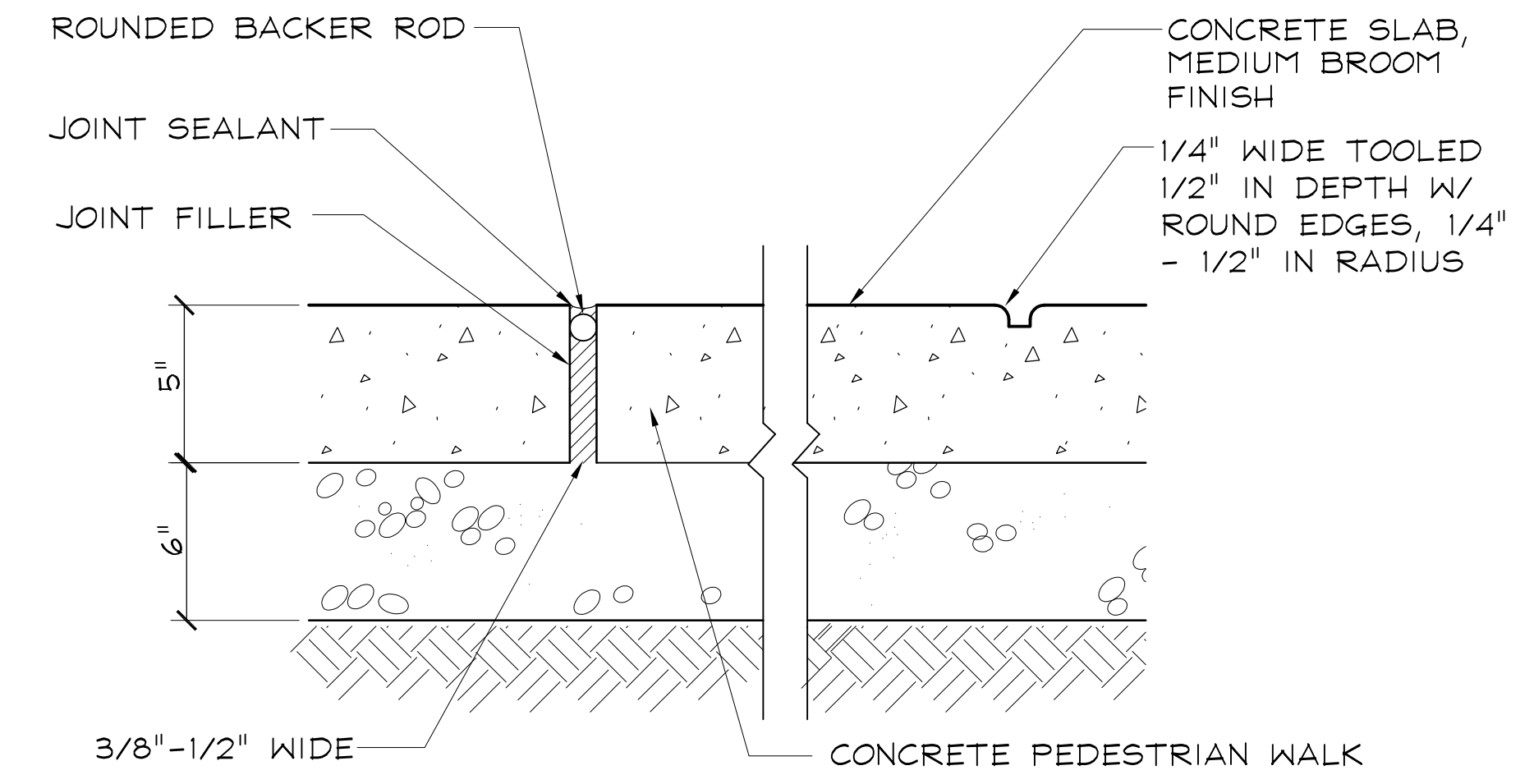
0 5 10 20
Scale Indicated for 24"x36" Sheet Size
Sheet Number

C7.0



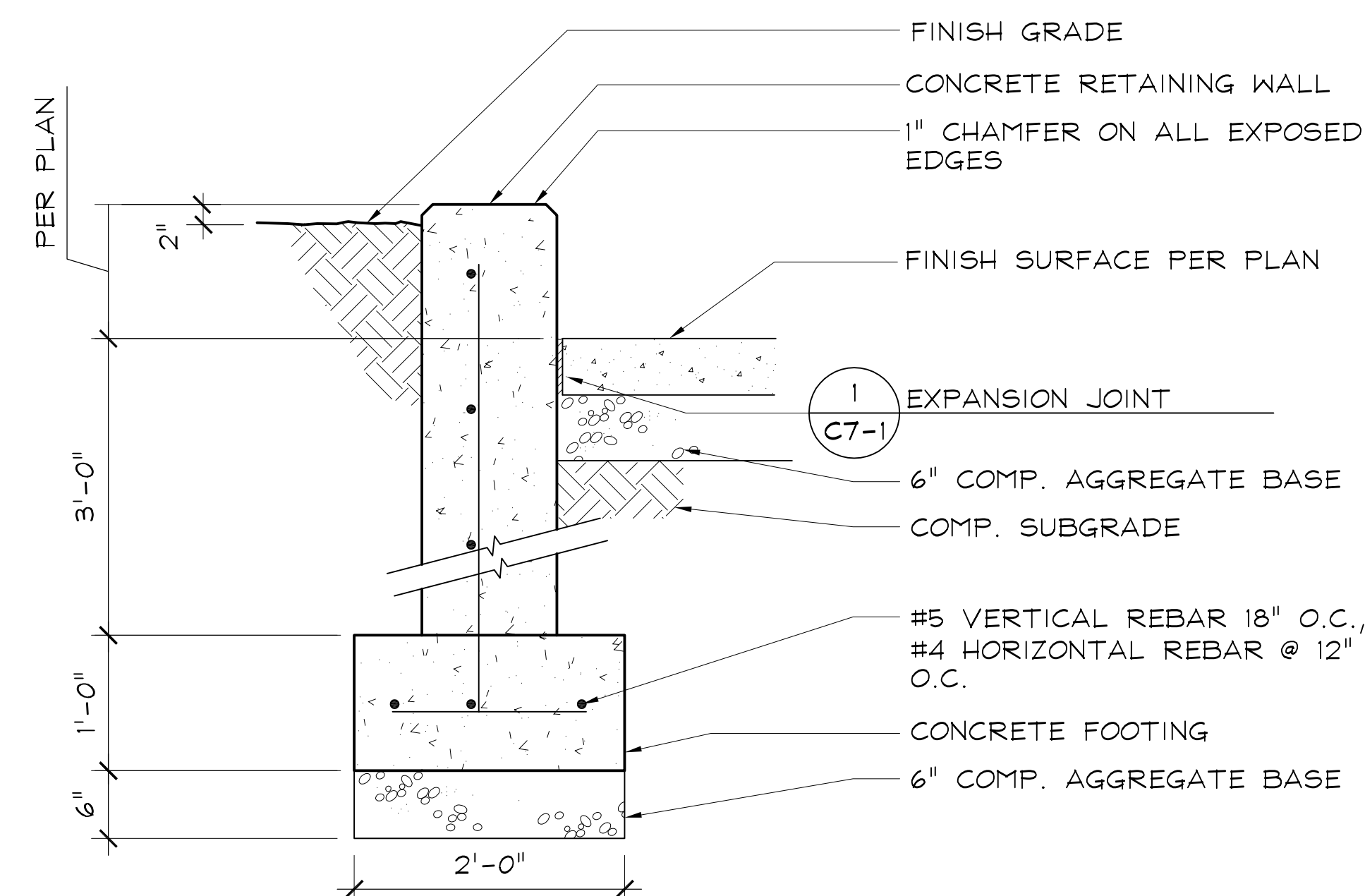
- NOTES:
- CONTROL JOINTS @ 5'-0" O.C.; EXPANSION JOINTS @ 30' O.C. AND AT STRUCTURES, BUILDINGS, ETC., WITH GRAY JOINT SEALANT.
 - SEE LAYOUT PLANS FOR ADDITIONAL SCORING PATTERN DETAILS

4 CONCRETE SCORE PATTERN - PLAN SCALE: 1/8"=1'-0"

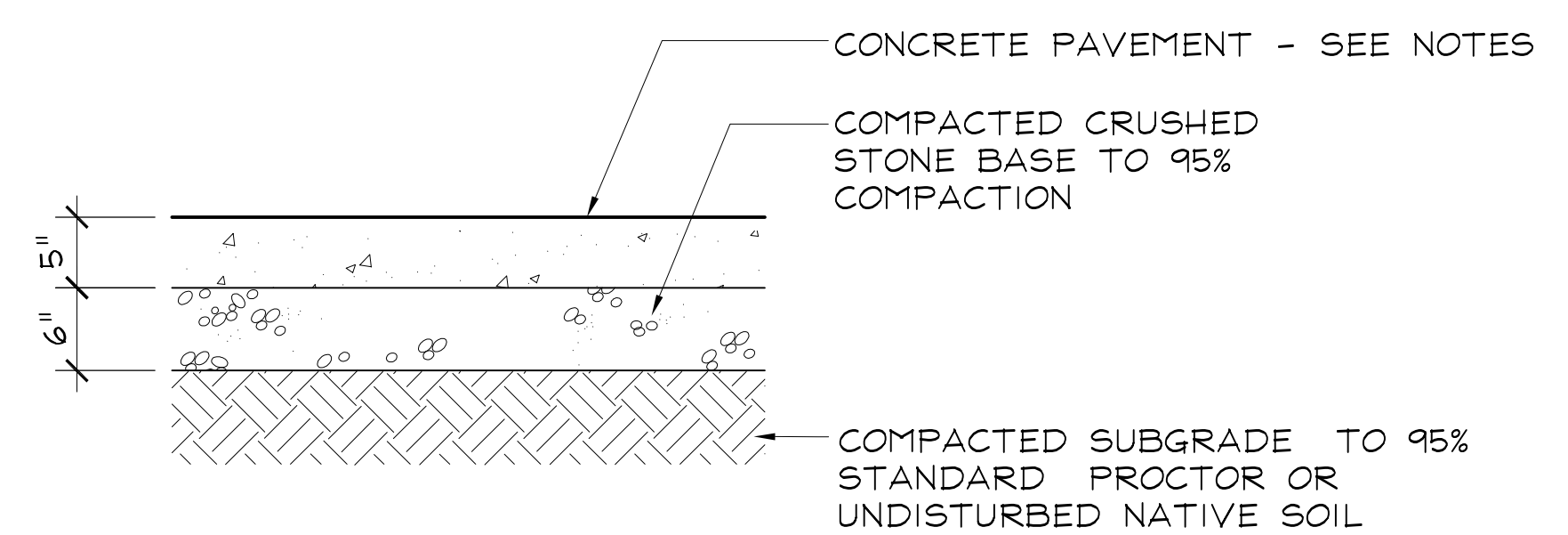


- NOTES:
- PROVIDE EXPANSION JOINTS 30' OC MAX. ALL WAYS
 - SEE LAYOUT PLANS FOR CONTROL & EXPANSION JOINT LAYOUTS

1 EXPANSION/CONTROL JOINT NTS

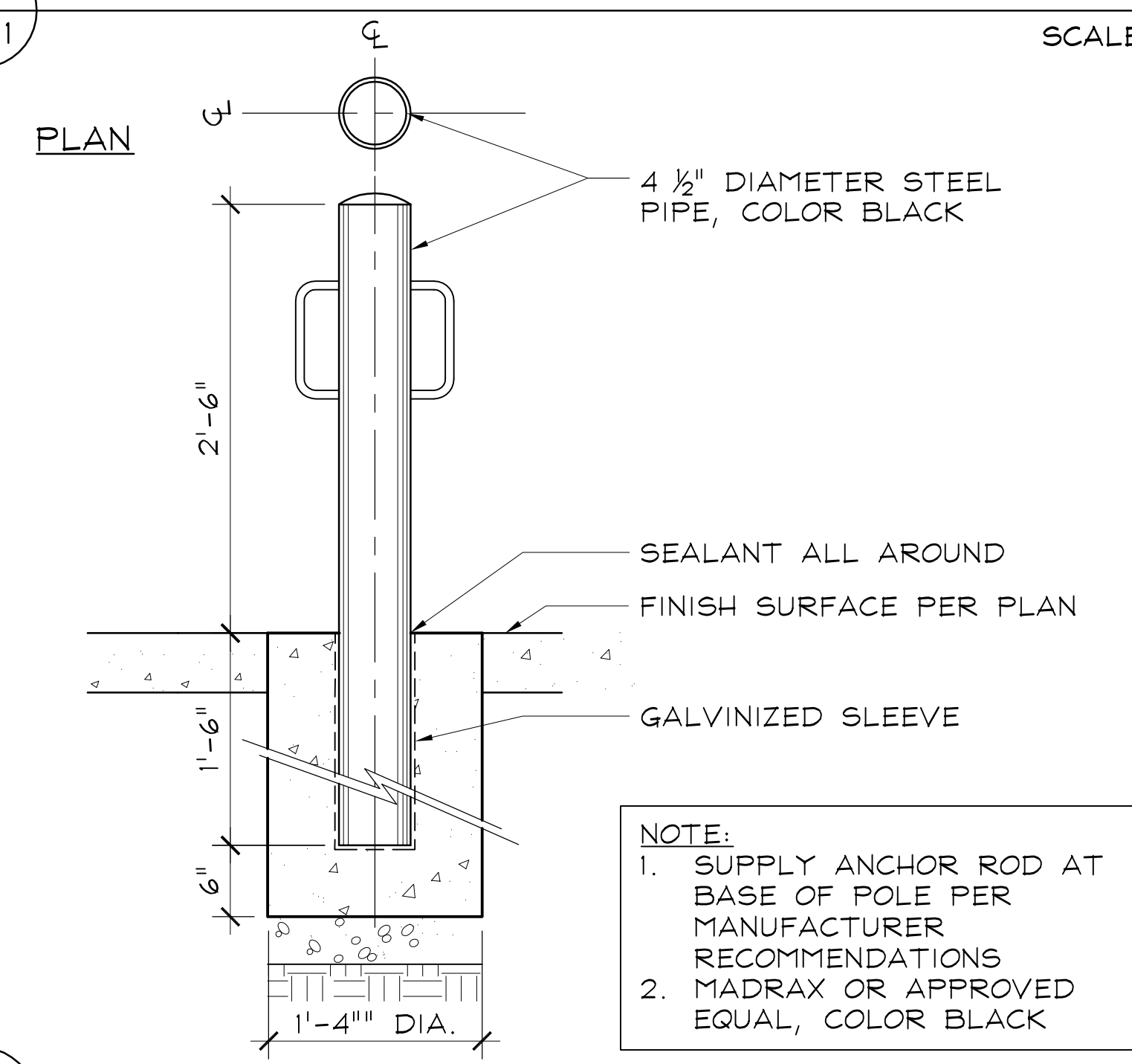


5 RETAINING WALL SCALE: 1"=1'-0"



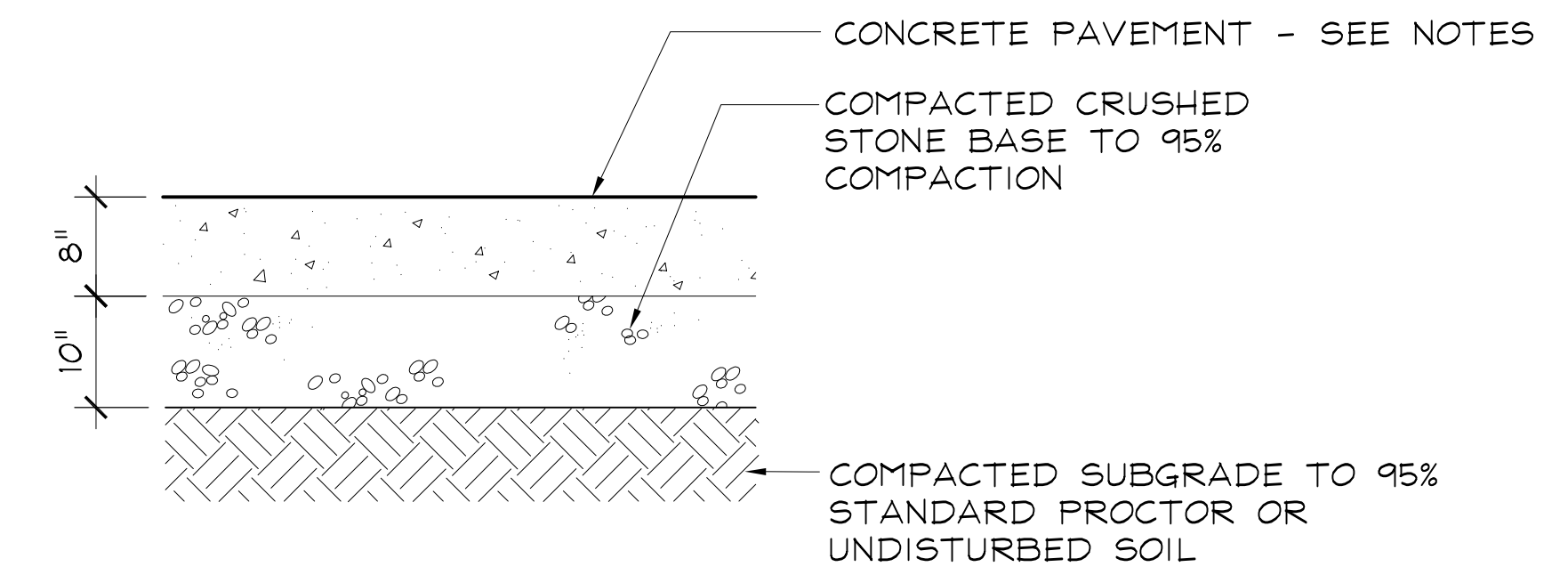
- NOTES:
- EXPANSION JOINTS EVERY 30' O.C. FOR LINEAR WALKS
 - SEE LAYOUT PLANS AND DETAIL 1/C7.1 FOR CONTROL & EXPANSION JOINT SPACING
 - CONCRETE PAVEMENT WITH MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAFFIC

2 5" PEDESTRIAN CONCRETE PAVEMENT NTS



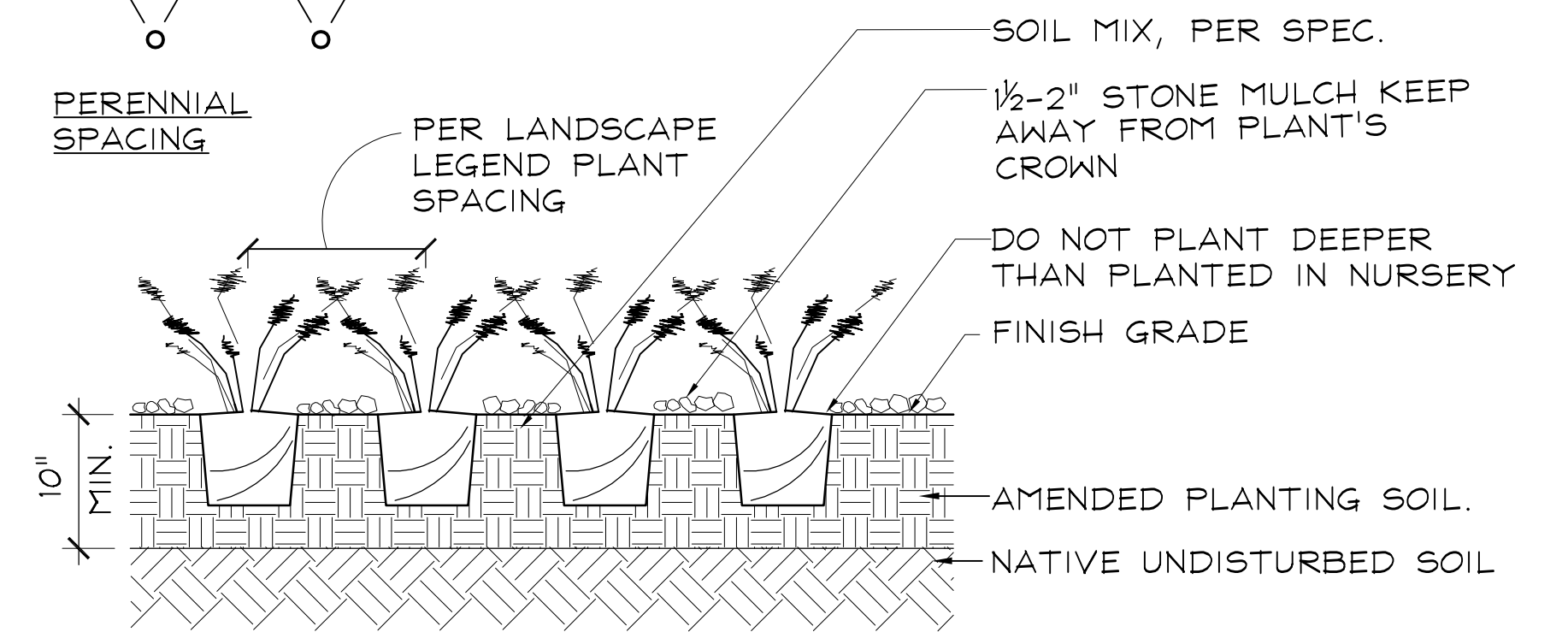
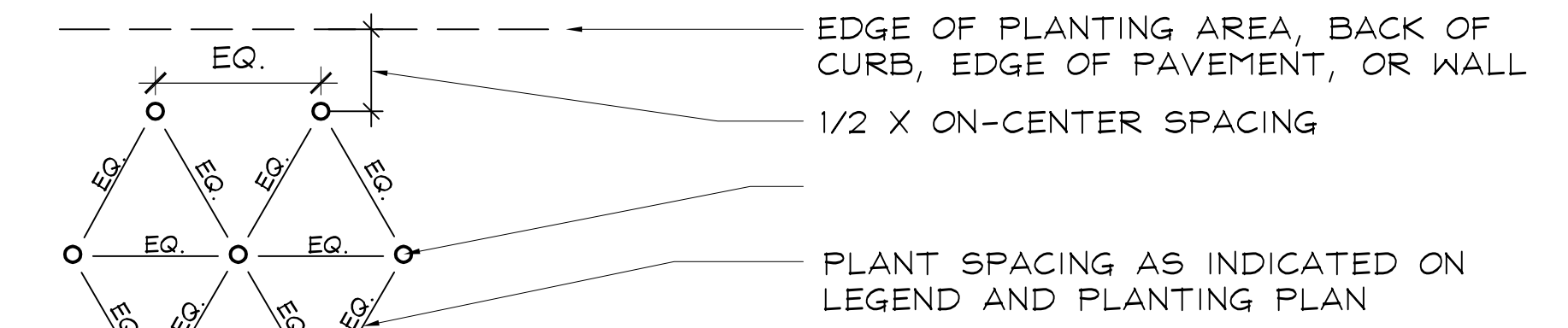
- NOTE:
- SUPPLY ANCHOR ROD AT BASE OF POLE PER MANUFACTURER RECOMMENDATIONS
 - MADRAX OR APPROVED EQUAL, COLOR BLACK

6 BIKE RACK NTS

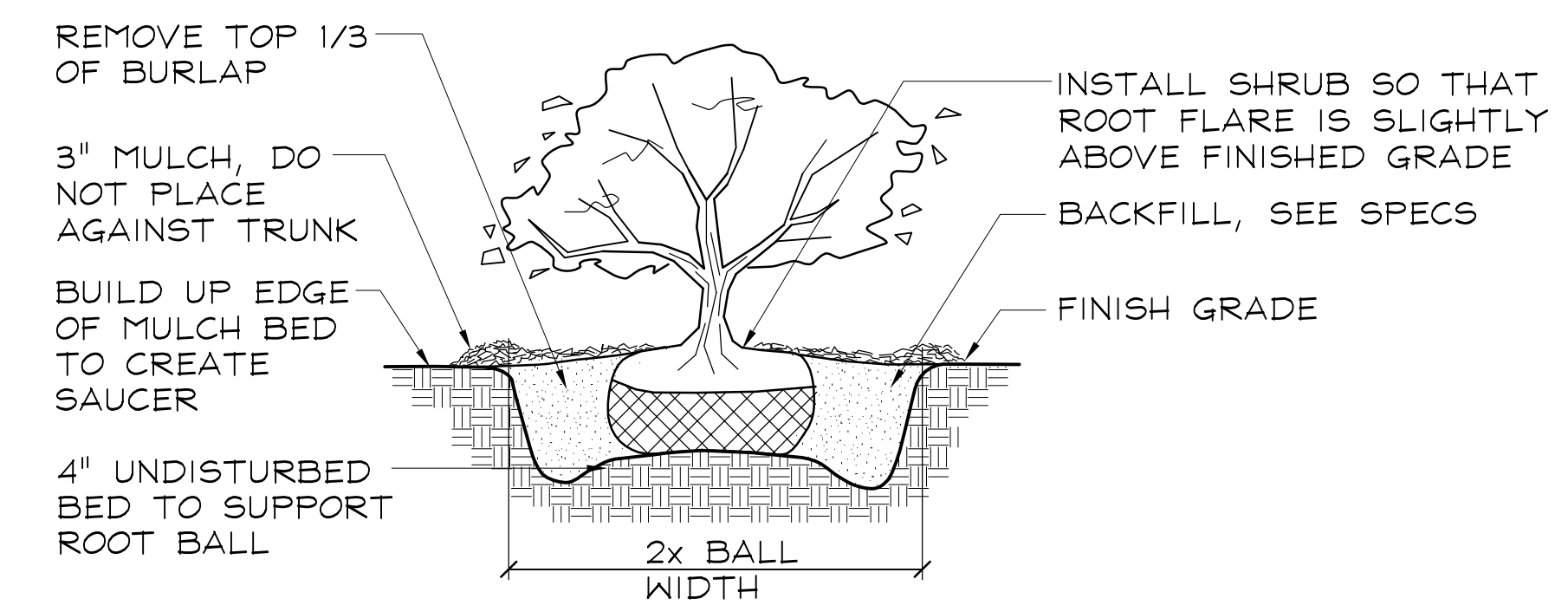


- NOTES:
- EXPANSION JOINTS EVERY 30' O.C. FOR LINEAR WALKS
 - SEE LAYOUT PLANS AND DETAIL 1/C7.1 FOR CONTROL & EXPANSION JOINT SPACING
 - CONCRETE PAVEMENT WITH MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAFFIC

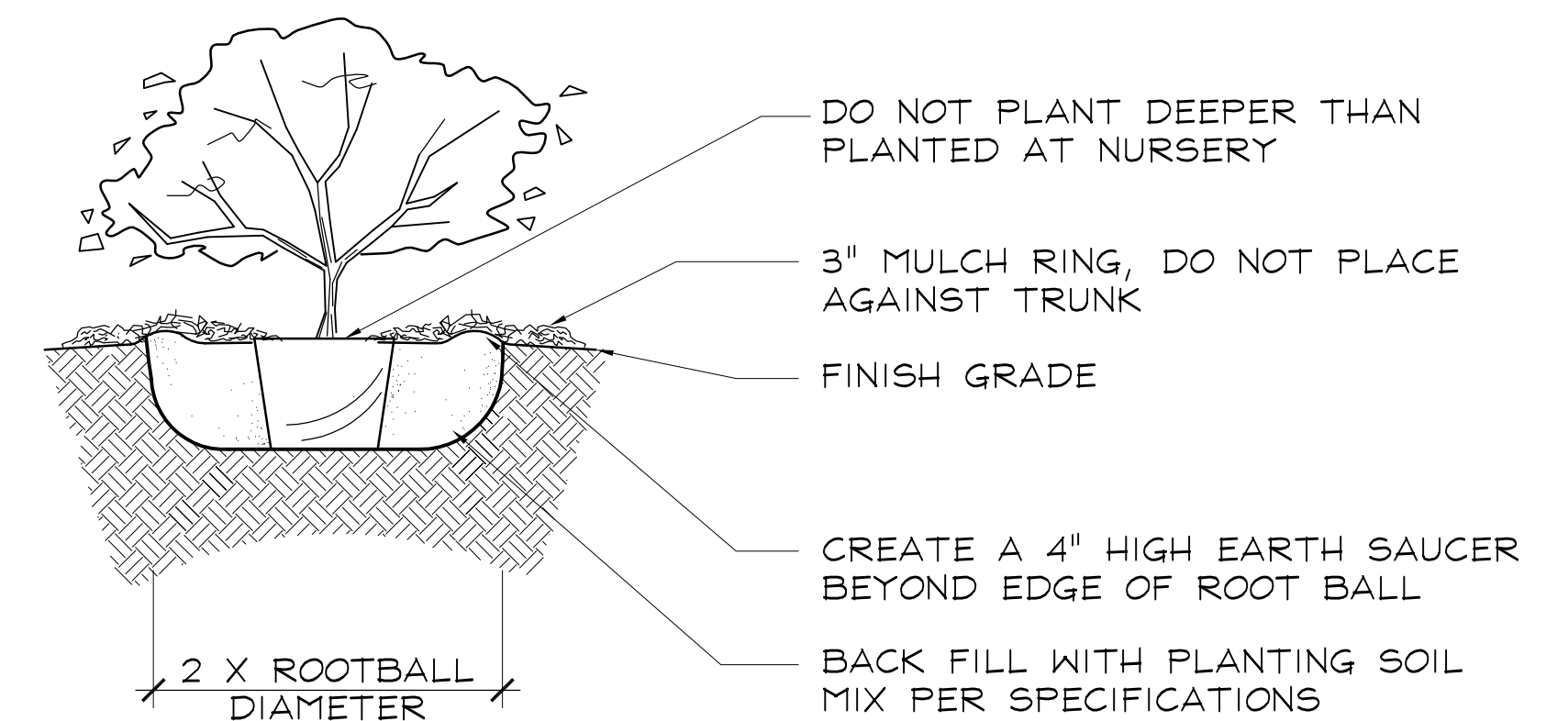
3 8" VEHICULAR CONCRETE PAVEMENT NTS



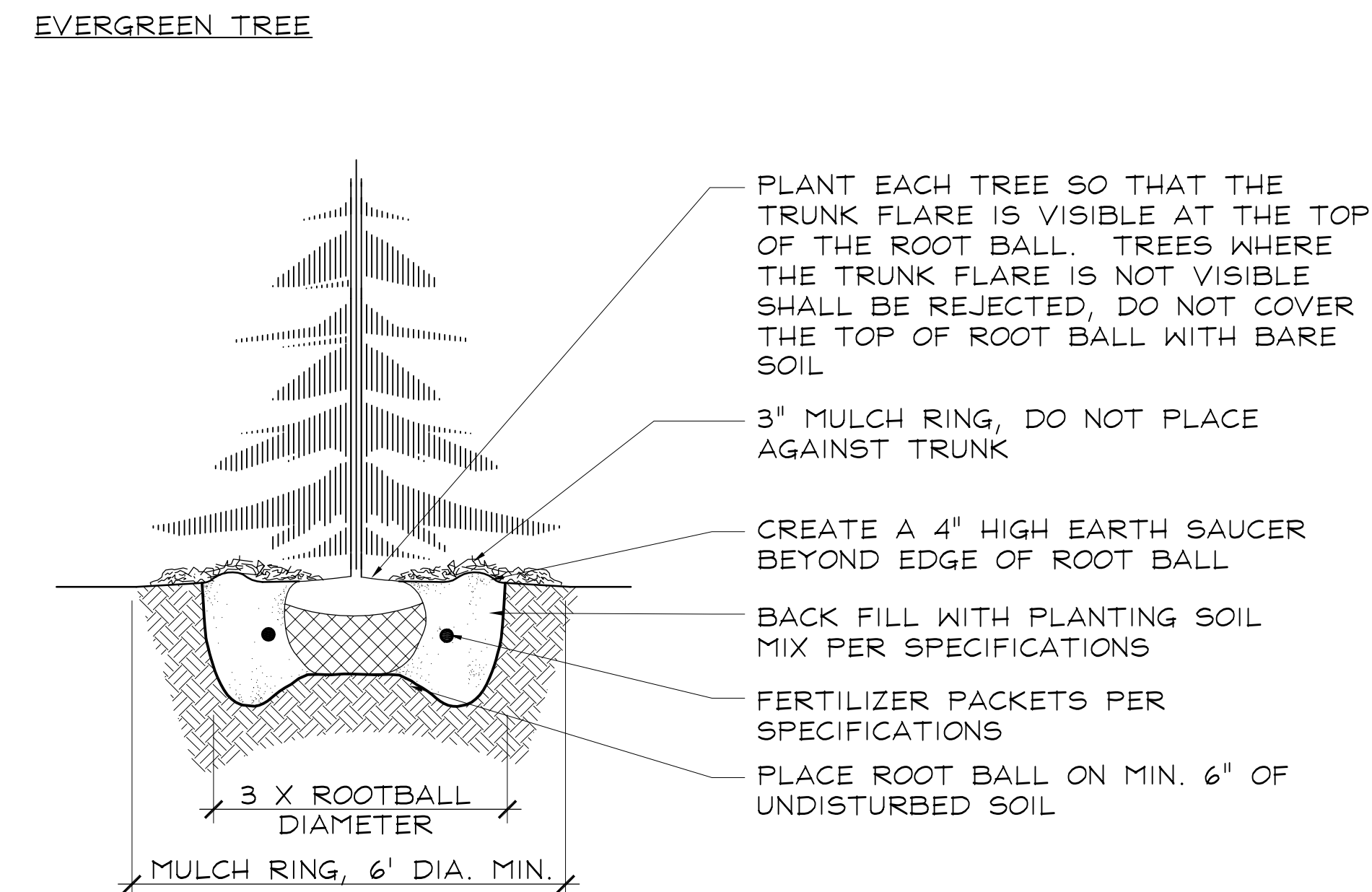
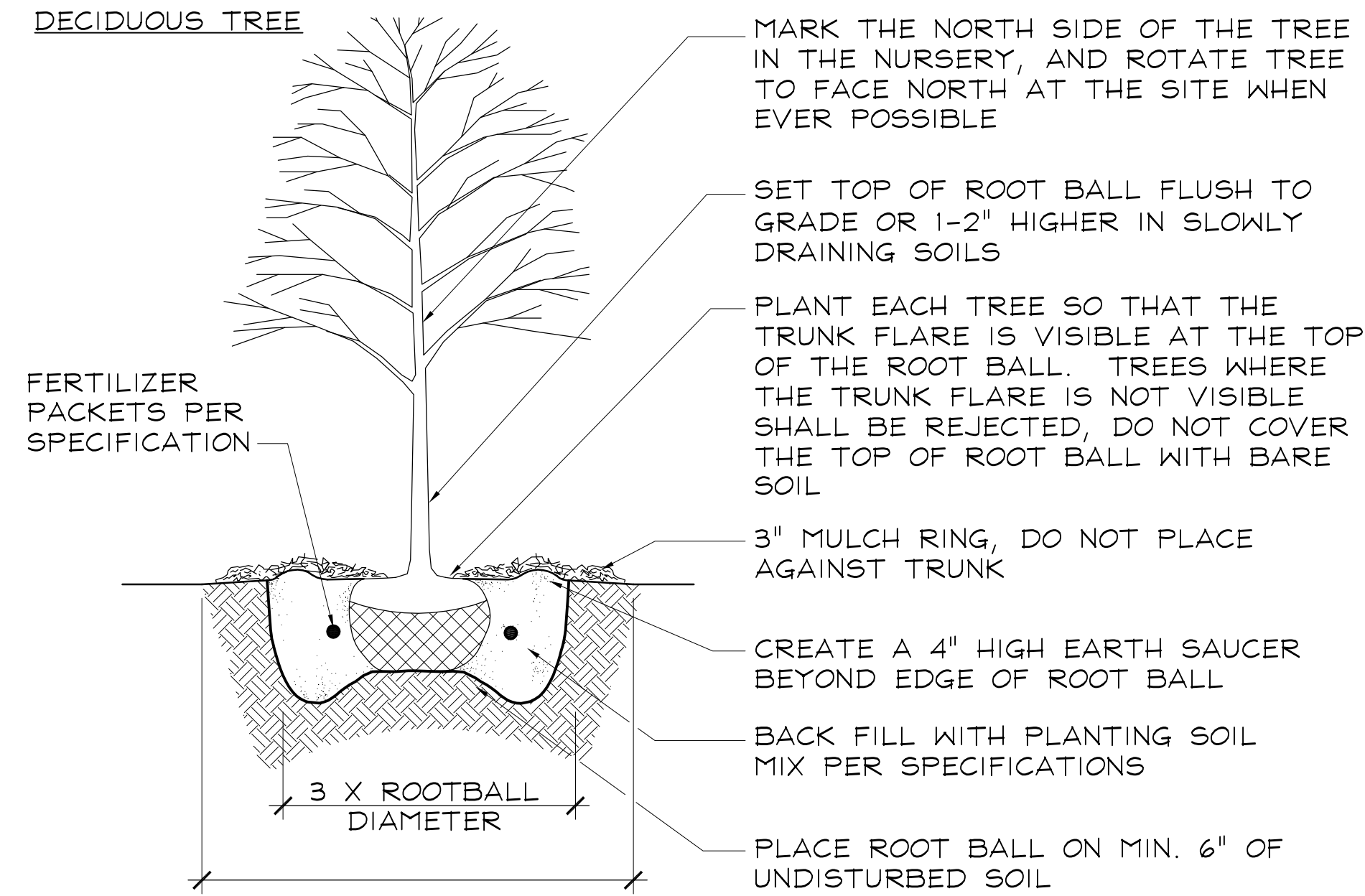
1 GROUNDCOVER / PERENNIAL PLANTING SCALE 1"=1'-0"



2 B&B SHRUB PLANTING SCALE 1" = 1'-0"



3 POTTED / CONTAINER PLANTING SCALE 1"=1'-0"



NOTES:

-DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN

-STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-IF APPLICABLE

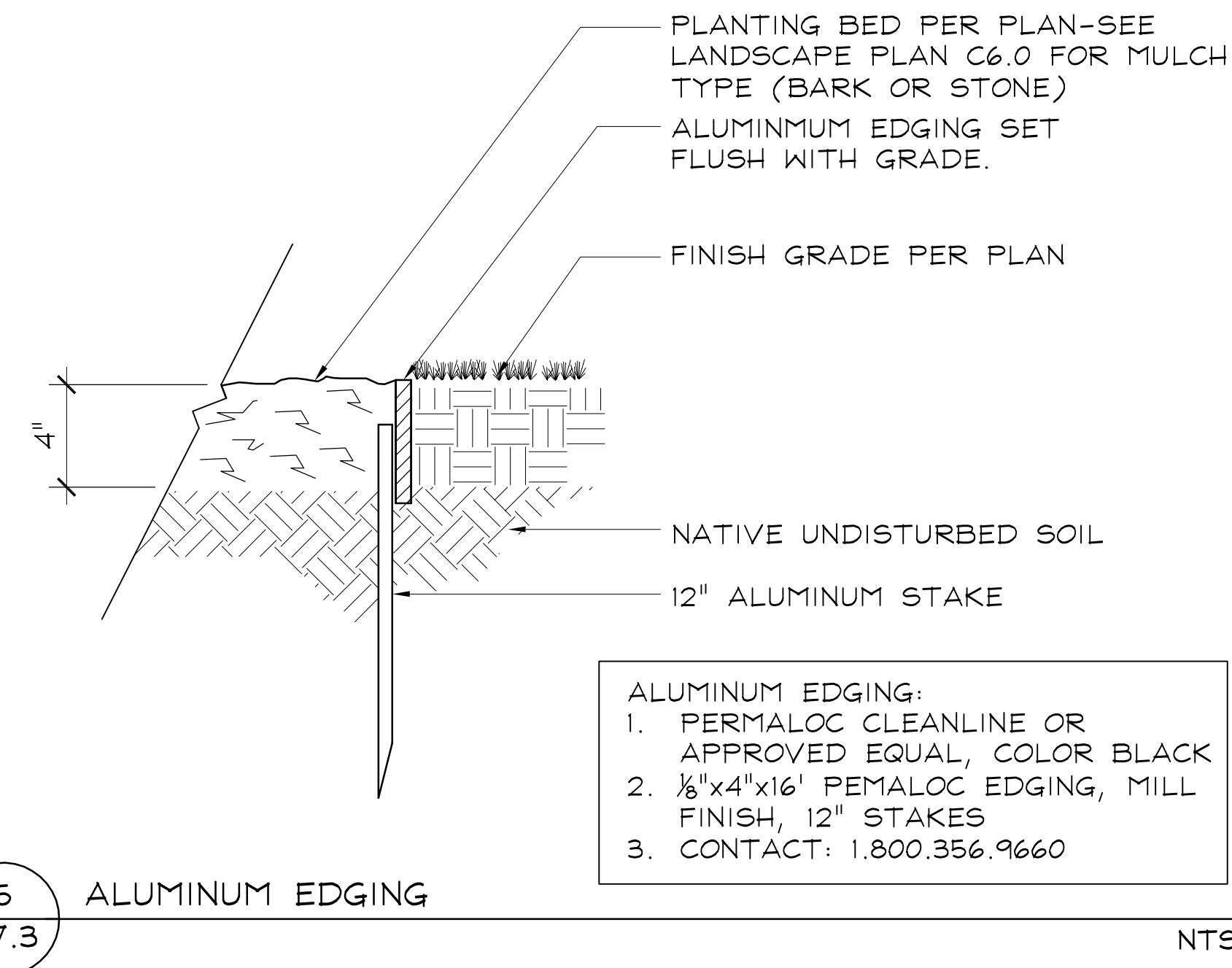
-WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT-IF APPLICABLE

-IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO THE PLANTING HOLE

-REMOVE ALL TWINE, ROPE/WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL

-REFER TO SPECIFICATIONS FOR FURTHER INFORMATION

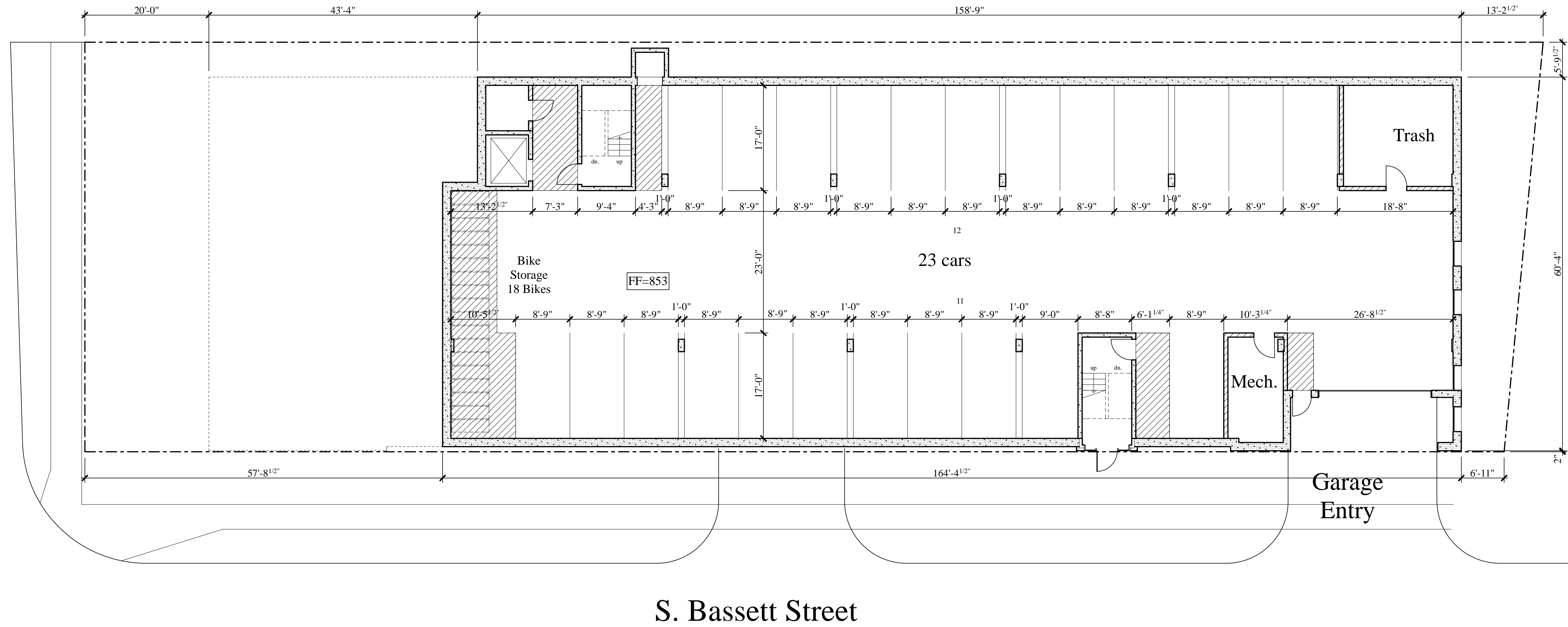
4 B&B TREE PLANTING DETAILS TREES 3" CALIPER OR LESS NTS



ALUMINUM EDGING:
1. PERMALOC CLEANLINE OR APPROVED EQUAL, COLOR BLACK
2. 1/8"x4"x16' PEMALOC EDGING, MILL FINISH, 12" STAKES
3. CONTACT: 1.800.356.9660

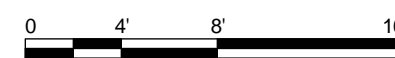
5 ALUMINUM EDGING NTS

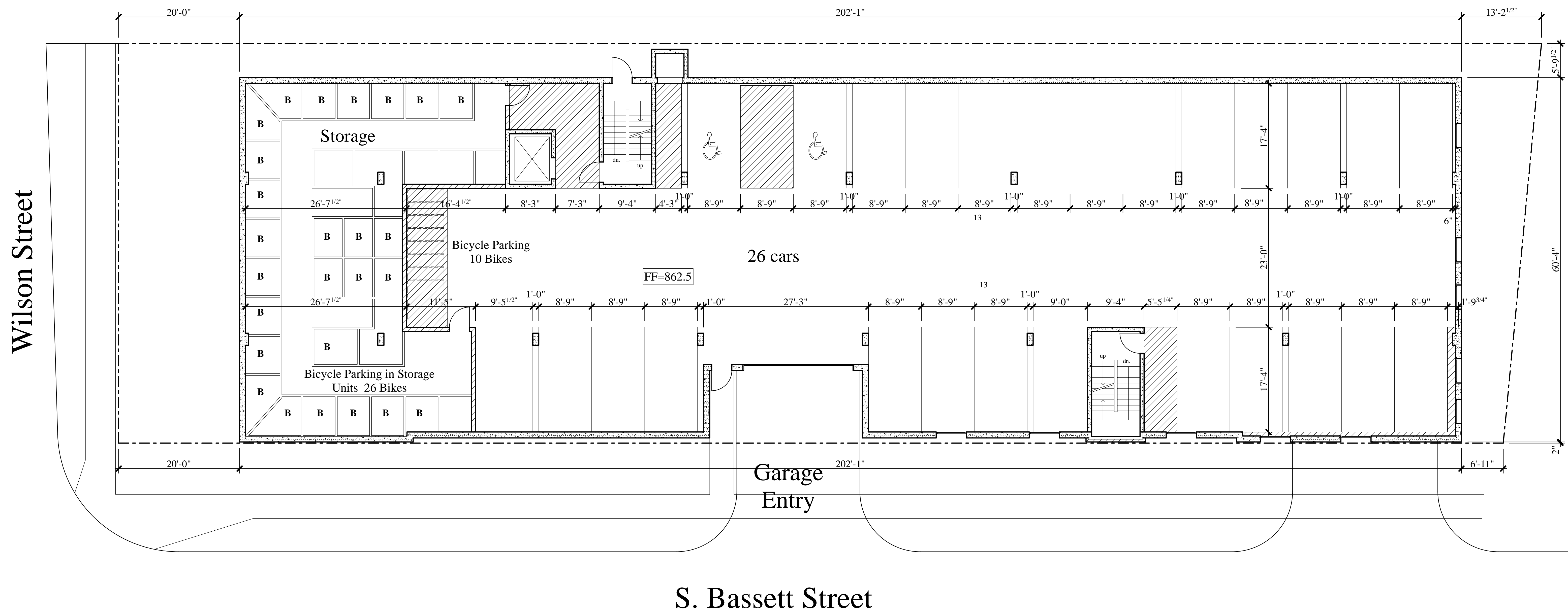
Wilson Street



Lower Parking Level

Scale: 1/8" = 1'-0"



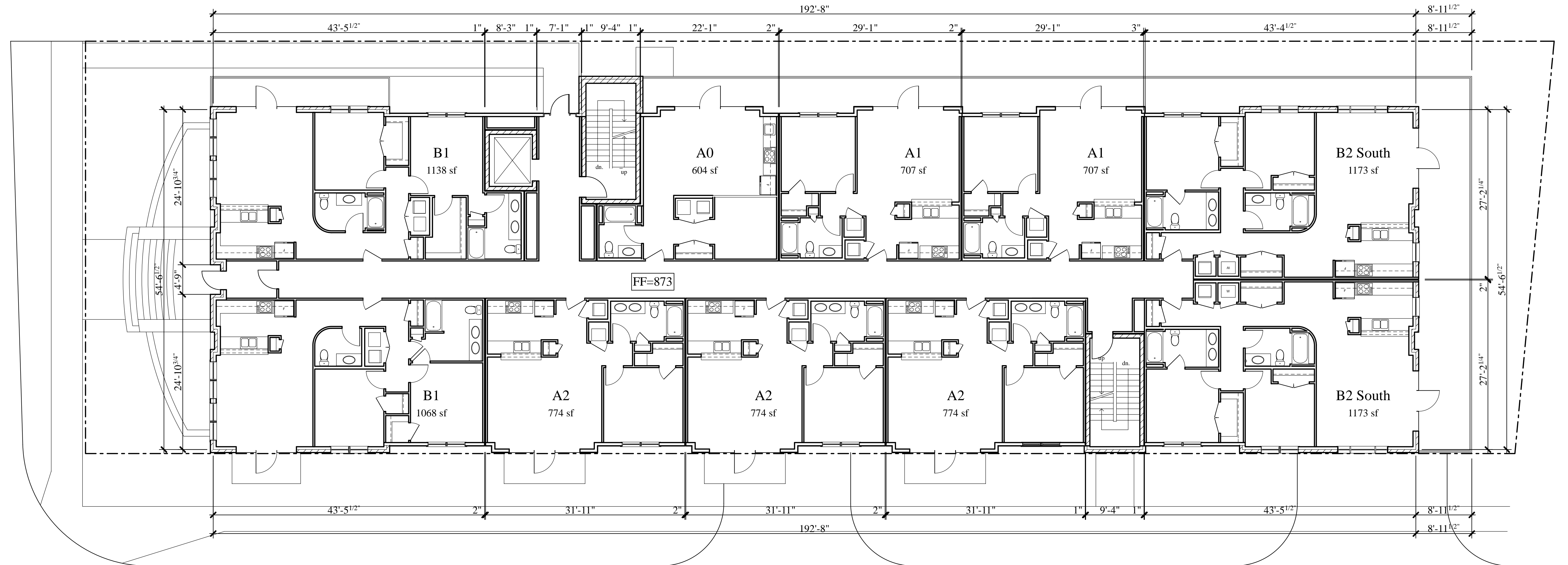


Upper Parking Level

Scale: 1/8" = 1'-0"
 0 4 8 16'

Bassett Street Apartments
 Madison, Wisconsin

Wilson Street

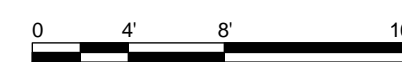


S. Bassett Street

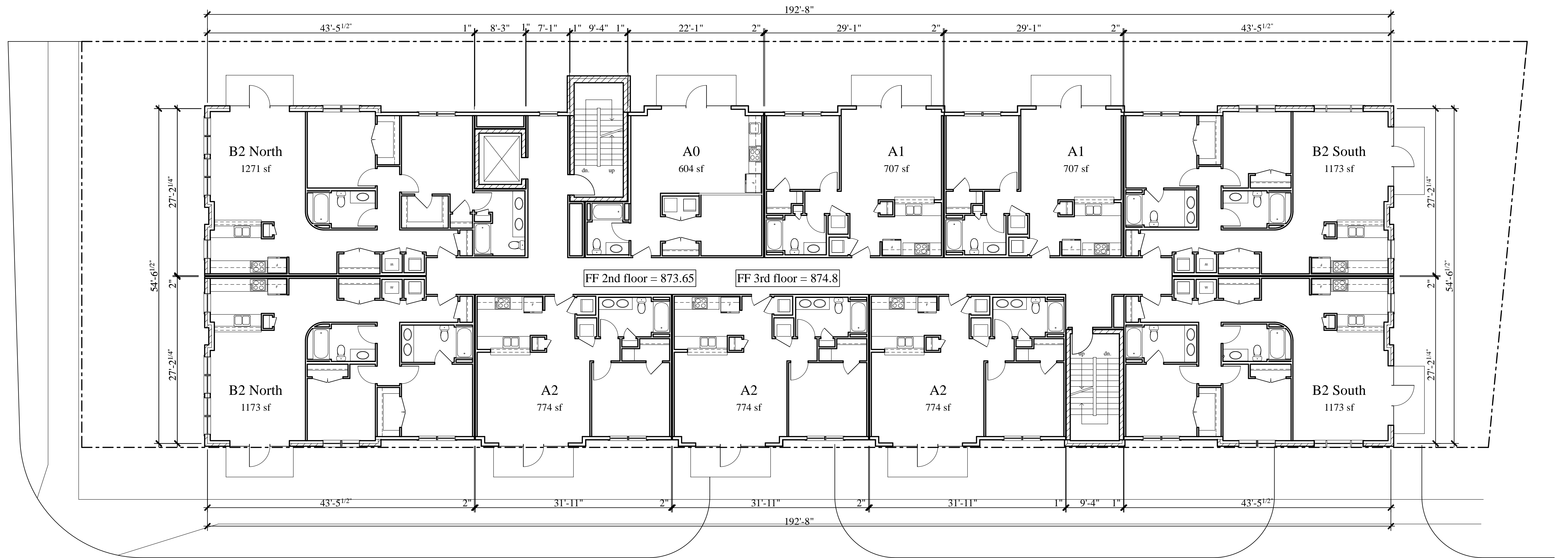
Level	Unit Mix	
	1BR	2BR
Res Level 1	6	4
Res Level 2	6	4
Res Level 3	6	4
Res Level 4	10	0
Total	28	12

First Residential Level

Scale: 1/8"=1'-0"



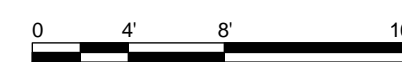
Wilson Street



S. Bassett Street 2nd/3rd Residential Level

Second/Third Residential Level

Scale: 1/8" = 1'-0"



Wilson Street

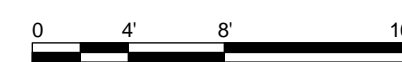


S. Bassett Street

4th Residential Level

Fourth Residential Level

Scale: 1/8" = 1'-0"





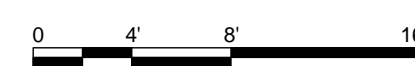
Wilson St. Elevation



Rear Elevation

Building Elevations

Scale: 1/8"=1'-0"

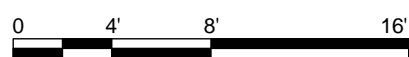




Bassett St. Elevation

Building Elevations

Scale: 1/8"=1'-0"

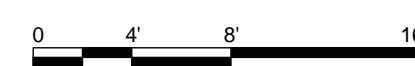


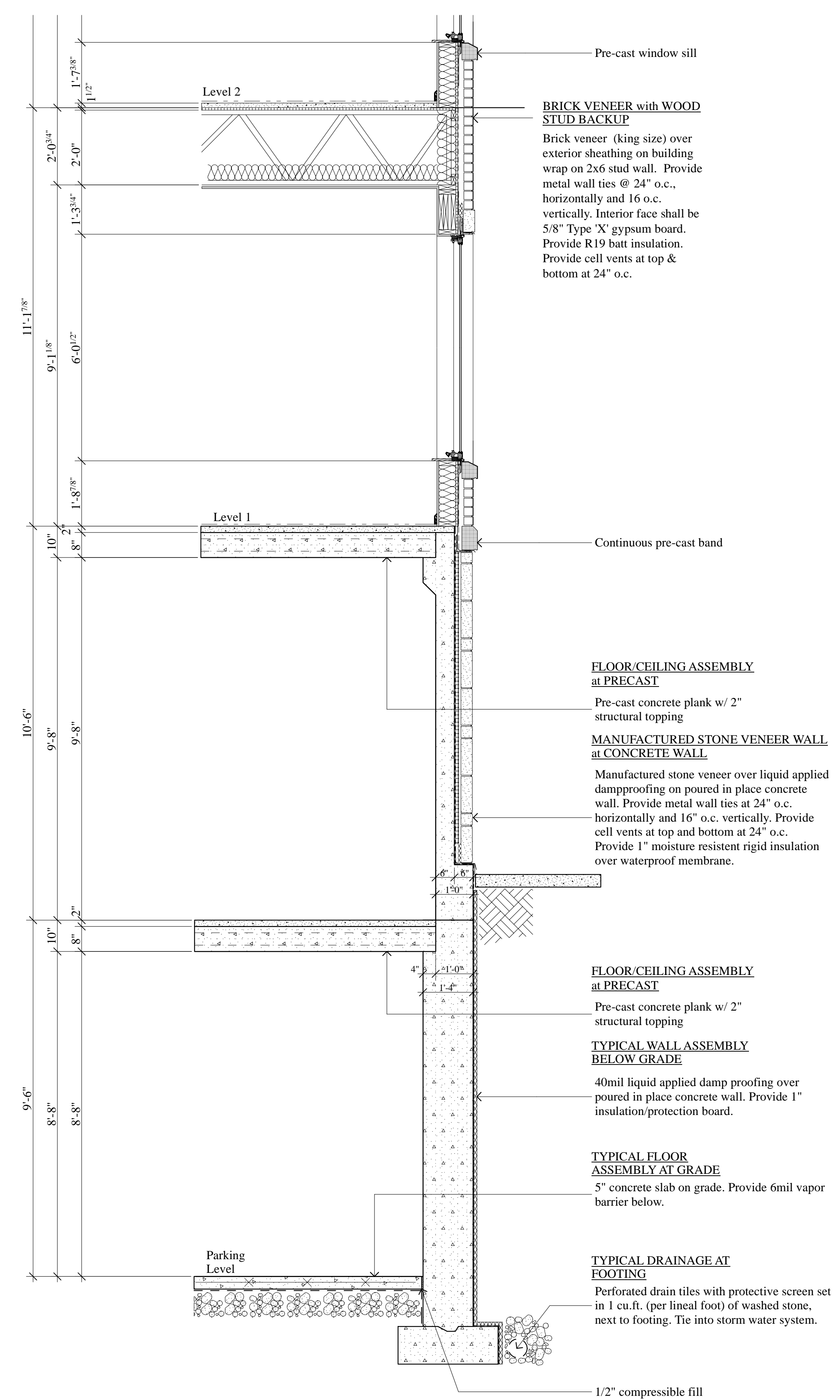
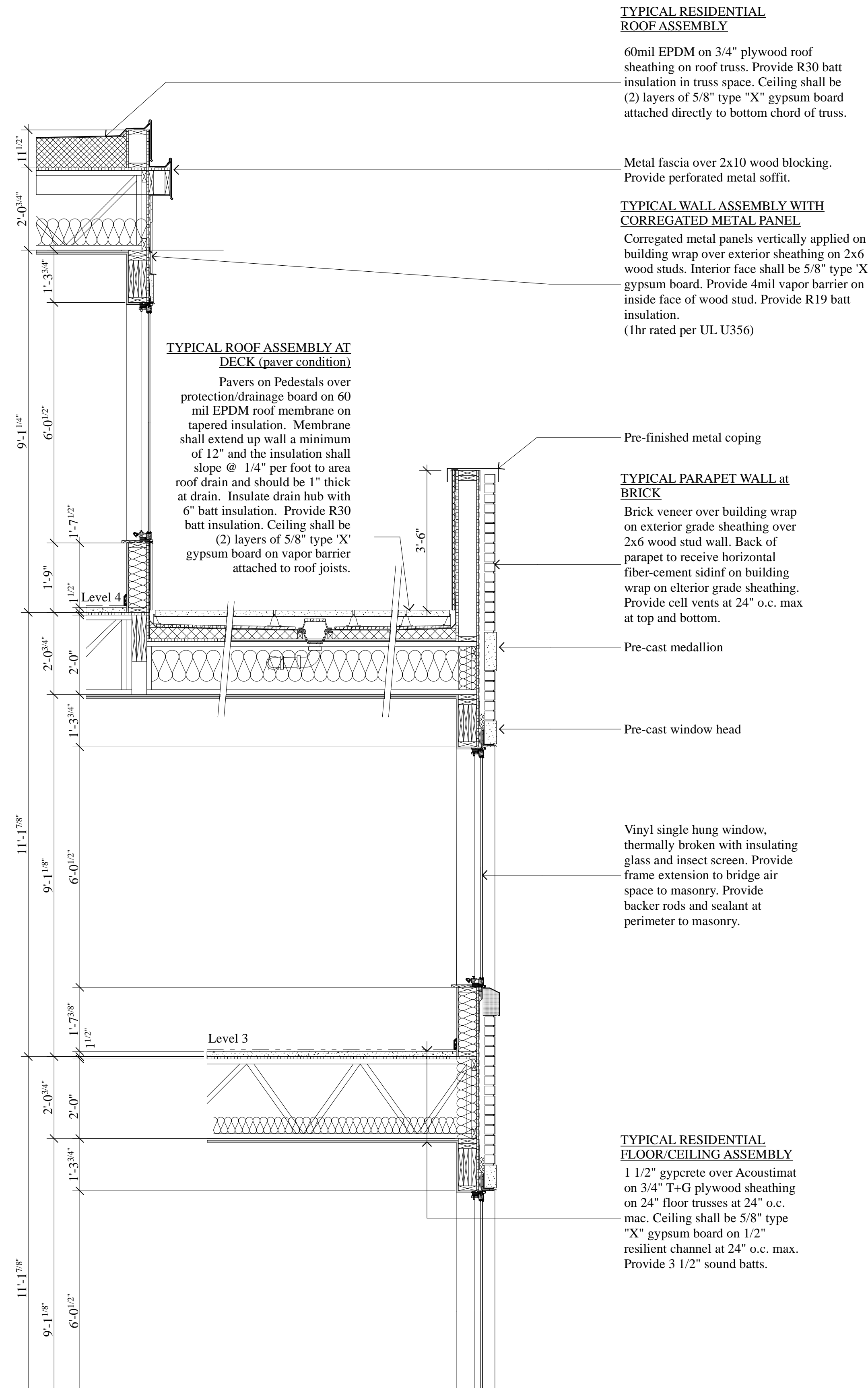


Side Elevation

Building Elevations

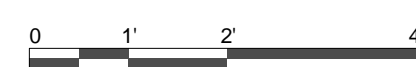
Scale: 1/8"=1'-0"

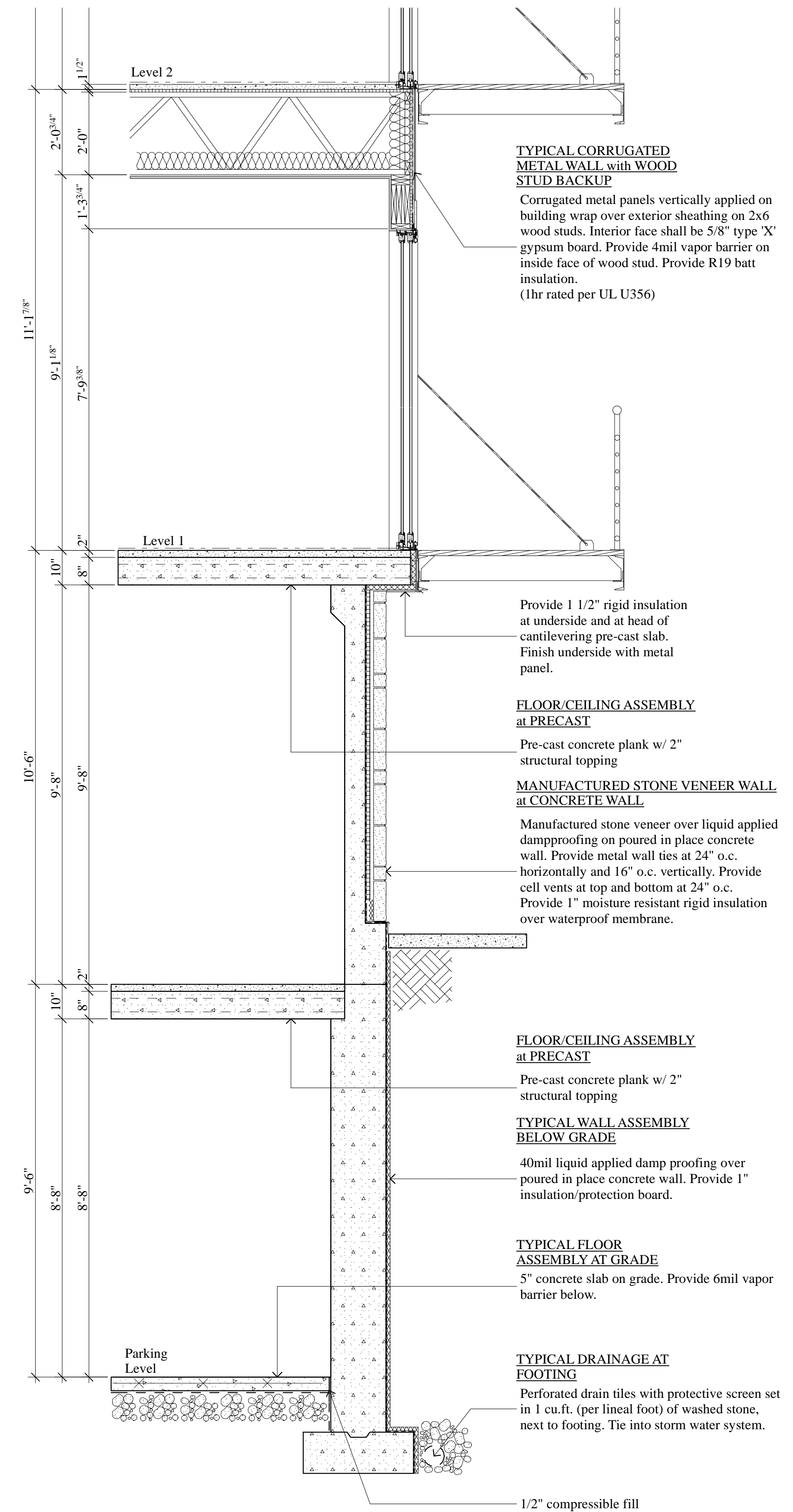
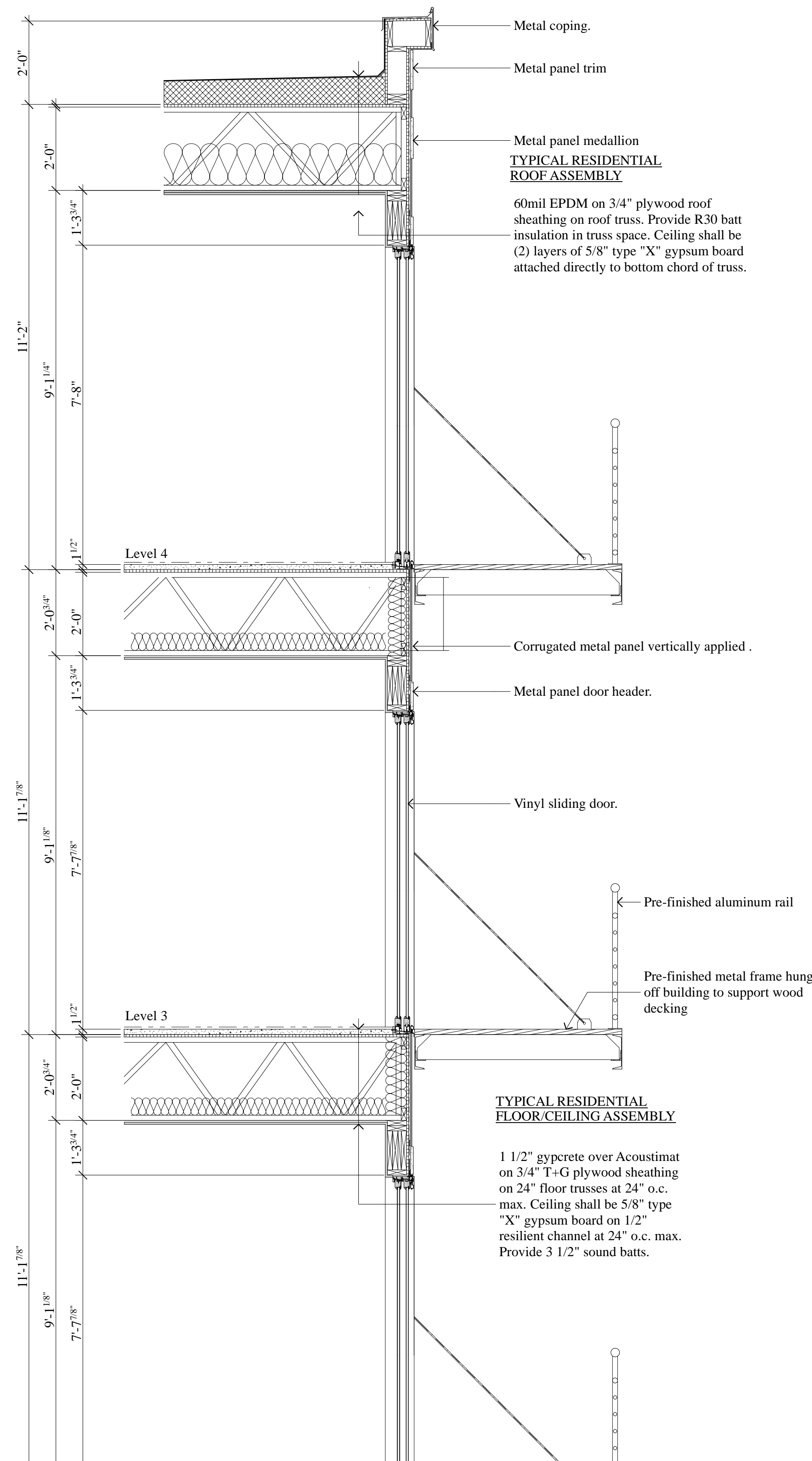




Typical Wall Section at Brick Veneer

Scale: 1/2"=1'-0"





Wall Section at Bay Window

Scale: 1/2"=1'-0"

