

CATALINA CROSSING
APARTMENTS

4525 Secret Garden Drive
Madison, Wisconsin 53558

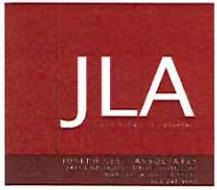


TR-P REZONING SUBMITTAL

JLA
architects

JLA PROJECT NUMBER: 14-1103

24 JUNE 2015



JLA PROJECT NUMBER: 14-1103

DIGGERS HOTLINE AND ASSOCIATES, INC.
 7500 Sherman Way, Madison, WI 53717
 Phone: 400.833.7500 Fax: 400.833.1200
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING TRP REZONING SUBMITTAL

DATE OF ISSUANCE 04 FEBRUARY 2015

Mark	Revision Schedule	Drawn

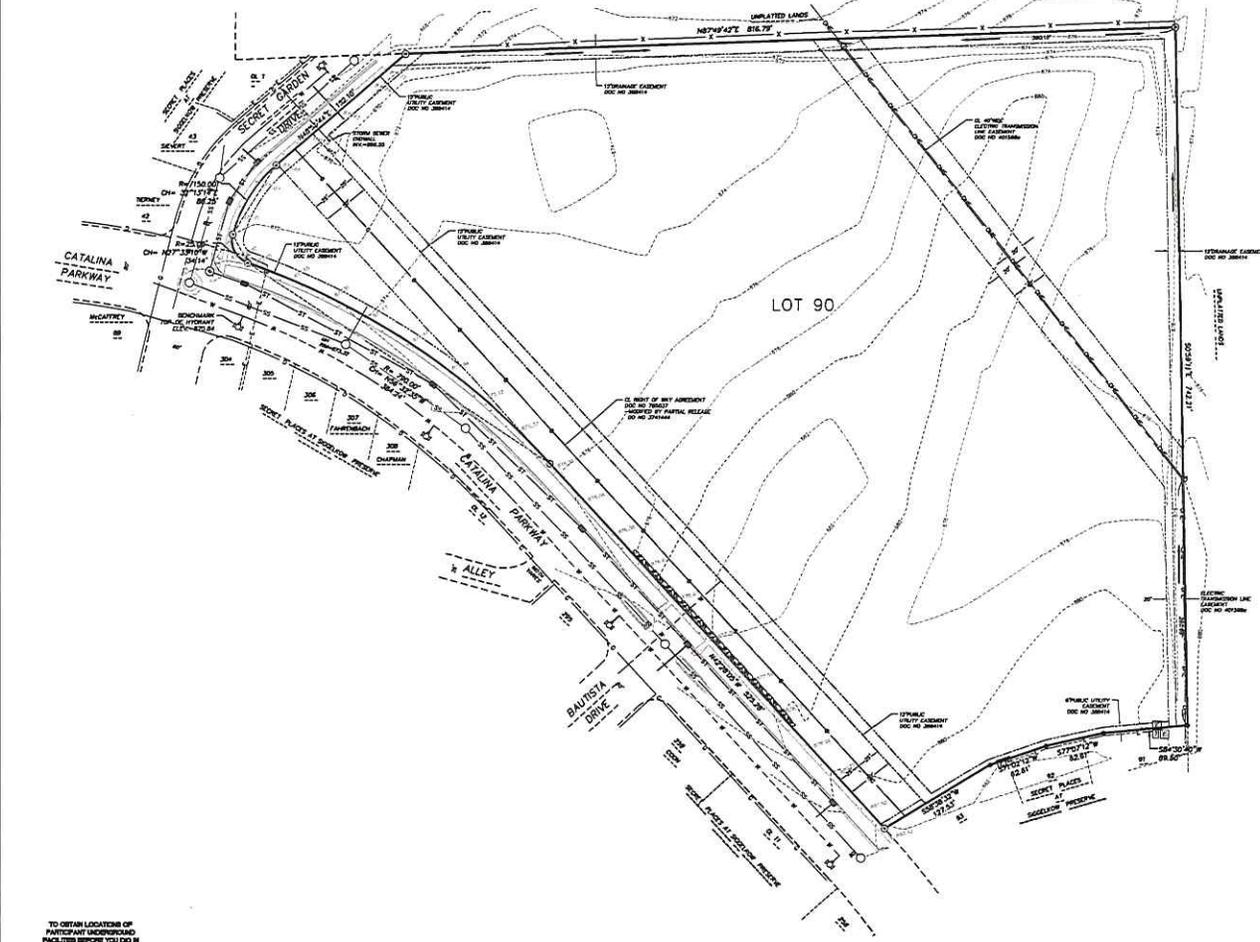
SHEET TITLE

EXISTING CONDITIONS

SHEET NUMBER

C100

- LEGEND**
- ⊙ FOUND 1-1/4" IRON REBAR
 - ⊙ FOUND 3/4" IRON REBAR
 - UNDERGROUND ELECTRIC
 - SS --- SS SANITARY SCHER
 - WATER MAIN
 - GAS MAIN
 - OVERHEAD ELECTRIC
 - ST --- ST STORM SCHER
 - ELECTRIC TRANSFORMER
 - TELEPHONE PEDICESTAL
 - MANHOLE
 - CATCH BASIN/INLET
 - POWER POLE
 - ⊕ HYDRANT
 - CONCRETE
 - BOULDER RETAINING WALL
 - CONC. CURB
 - DRAINAGE DIRECTION (SEE NOTE #)
 - EXISTING CONTOUR

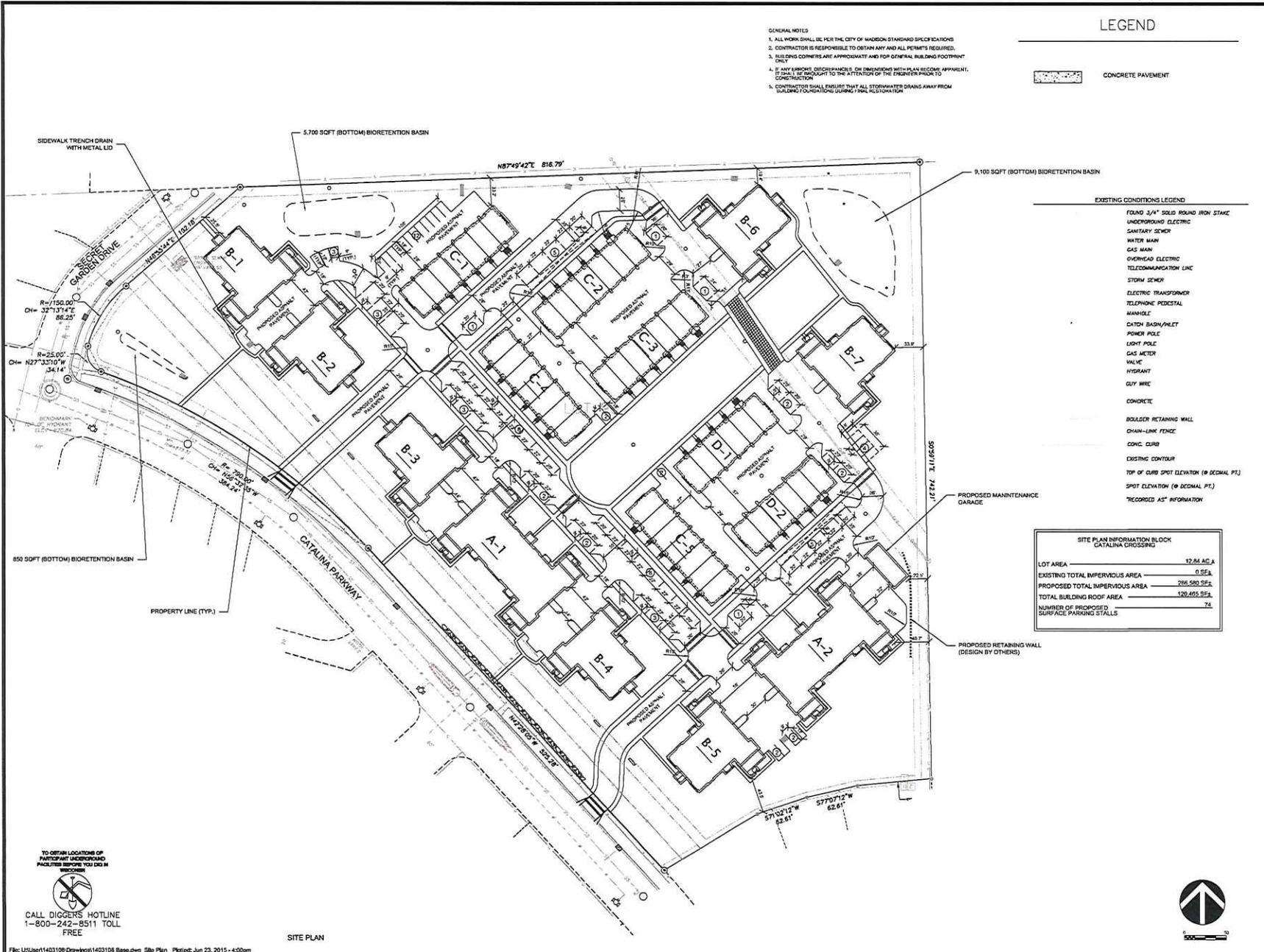


TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN Wisconsin



CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

EXISTING CONDITIONS



- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 4. IF ANY DISCREPANCIES OR DIMENSIONS WITH PLAN RECORD APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION SURROUNDING PERIMETER.

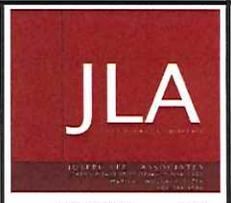
LEGEND

CONCRETE PAVEMENT

EXISTING CONDITIONS LEGEND

- FOUND 3/4" SOLID ROUND IRON STAKE
- UNDERGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD ELECTRIC
- TELECOMMUNICATION LINE
- STORM SEWER
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- CATCH BASIN/VALET
- POWER POLE
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- UTILITY WIRE
- CONCRETE
- BOULDER RETAINING WALL
- CHAIN-LINK FENCE
- CONC. CURB
- EXISTING CONTOUR
- TOP OF CURB SPOT ELEVATION (# DECIMAL FT.)
- SPOT ELEVATION (# DECIMAL FT.)
- RECORDED AS-1 INFORMATION

SITE PLAN INFORMATION BLOCK CATALINA CROSSING	
LOT AREA	12.84 AC.A
EXISTING TOTAL IMPERVIOUS AREA	0 SFA
PROPOSED TOTAL IMPERVIOUS AREA	206,500 SFA
TOTAL BUILDING ROOF AREA	120,405 SFA
NUMBER OF PROPOSED SURFACE PARKING STALLS	74



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D'ONDRIK KOTYK AND ASSOCIATES, INC.
 7530 Westwood Way, Madison, WI 53717
 Phone: 608.833.7330 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING TRP REZONING SUBMITTAL

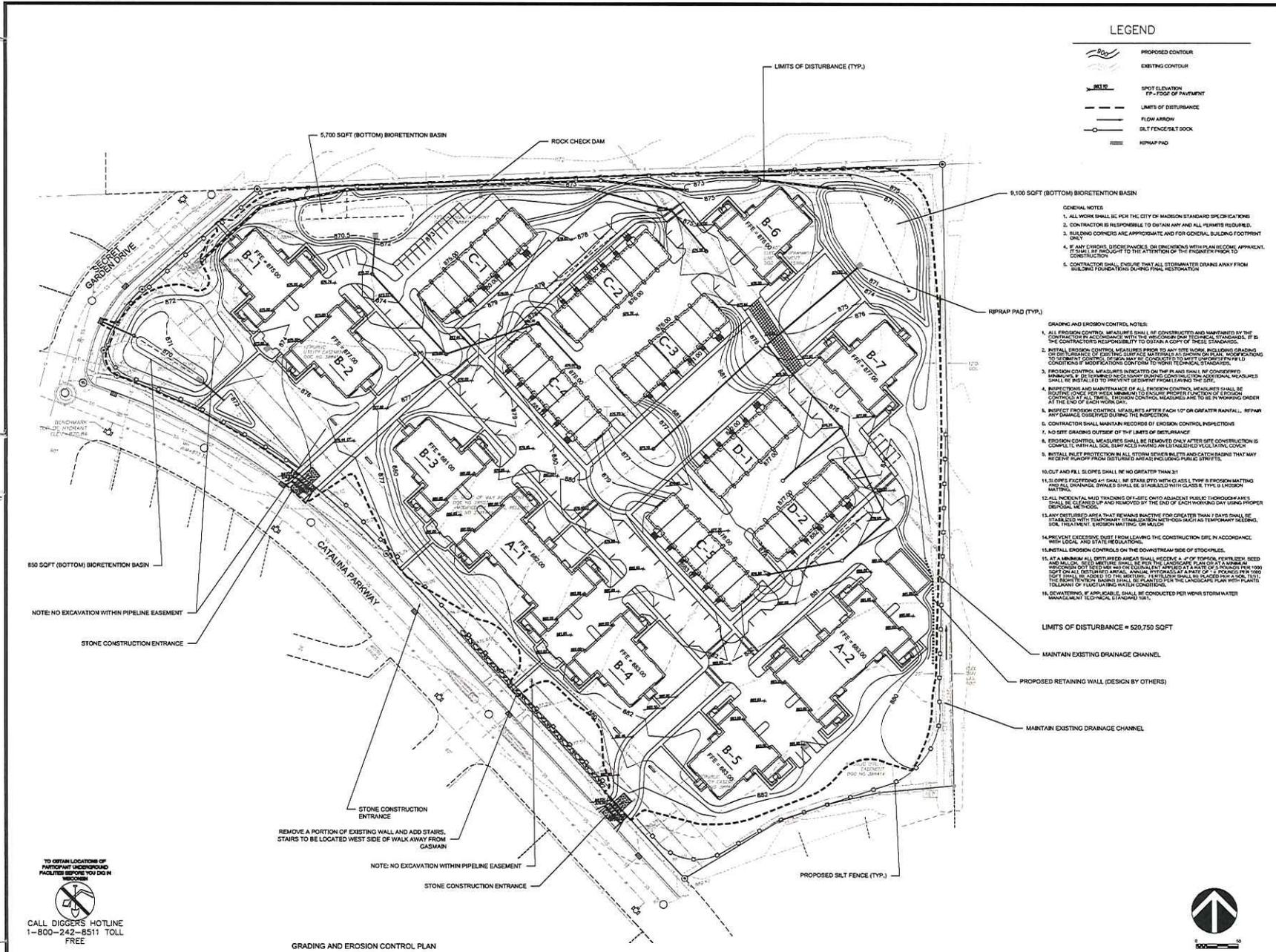
DATE OF ISSUANCE: 24 JUNE 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **C101**

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND UTILITIES BEFORE YOU DIG, CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

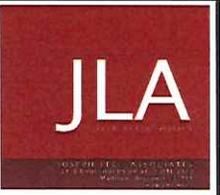


LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
FP - FLOOR OF PAYMENT
- LIMITS OF DISTURBANCE
- FLOW ARROW
- SILT FENCE/SILT DOCK
- RIPRAP PAD

- GENERAL NOTES:**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. SILENT CONINGS ARE APPROPRIATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
 4. IF ANY CHANGES, DISCREPANCIES, OR DISCREPANCIES WITH AN EXISTING APPROPRIATE, CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINAGE AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.

- GRADING AND EROSION CONTROL NOTES:**
1. ALL GRADING CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR TO ACCORDANCE WITH THE REQUIREMENTS OF THESE SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE SPECIFICATIONS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING TO STABILIZE CONTOURS OF GRADE. ALL CONSTRUCTION SHALL BE CONDUCTED TO MEET THE FOLLOWING CONDITIONS IF NOT OTHERWISE SPECIFIED TO MEET TECHNICAL STANDARDS:
 3. EROSION CONTROL MEASURES INDICATED ON THIS PLAN SHALL BE CONSTRUCTED IMMEDIATELY UPON THE COMMENCEMENT OF GRADING. ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT EROSION FROM LEAVING THE SITE.
 4. MAINTENANCE AND MONITORING OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE. CONSTRUCTION WORKERS SHALL BE TRAINED TO MAINTAIN AND MONITOR EROSION CONTROL MEASURES AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNDER ALL WEATHER CONDITIONS.
 5. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 10% OR GREATER RAINFALL. ANY DAMAGE OBSERVED DURING THE INSPECTION.
 6. CONTRACTOR SHALL MAINTAIN RECORDS OF EROSION CONTROL INSPECTIONS.
 7. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE.
 8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE. ALL EXPOSED SOIL SURFACES SHALL BE STABILIZED WITHIN 14 DAYS OF EXPOSURE.
 9. INSTALL SILT FENCE PROTECTION IN ALL STORM SEWER BASINS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM ADJACENT PUBLIC STREETS.
 10. SLOPE AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 11. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS II TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS B TYPE B EROSION MATTING.
 12. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE.
 13. ANY DISTURBED AREA THAT REMAINS UNPROTECTED FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY EROSION CONTROL MEASURES (SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH).
 14. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 15. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 16. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE 6" OF TOPSOIL, 10% FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE PER THE LANDSCAPE PLAN OR A MINIMUM OF 10% FERTILIZER AND 10% SEED MIXTURE. MULCH SHALL BE 2" THICK. ALL DISTURBED AREAS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE.
 17. DISTURBED AREAS SHALL BE PLANTED PER THE LANDSCAPE PLAN WITH PLANTS SUITABLE TO LOCAL CLIMATE AND SOIL CONDITIONS.
 18. DOWNSLOPING, IF APPLICABLE, SHALL BE CONDUCTED PER THE STORMWATER MANAGEMENT TECHNIQUE PROGRAM.



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 7338 Wisconsin Way, Madison, WI 53717
 Phone: 608.833.7330 • Fax: 608.833.1487
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DECKER PROPERTIES, INC.

CATALINA CROSSING TRP REZONING SUBMITTAL

DATE OF ISSUANCE		24 JUNE 2015
Revision Schedule		
Mark	Description	Date

SHEET TITLE
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER
C102

TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG, CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

GRADING AND EROSION CONTROL PLAN



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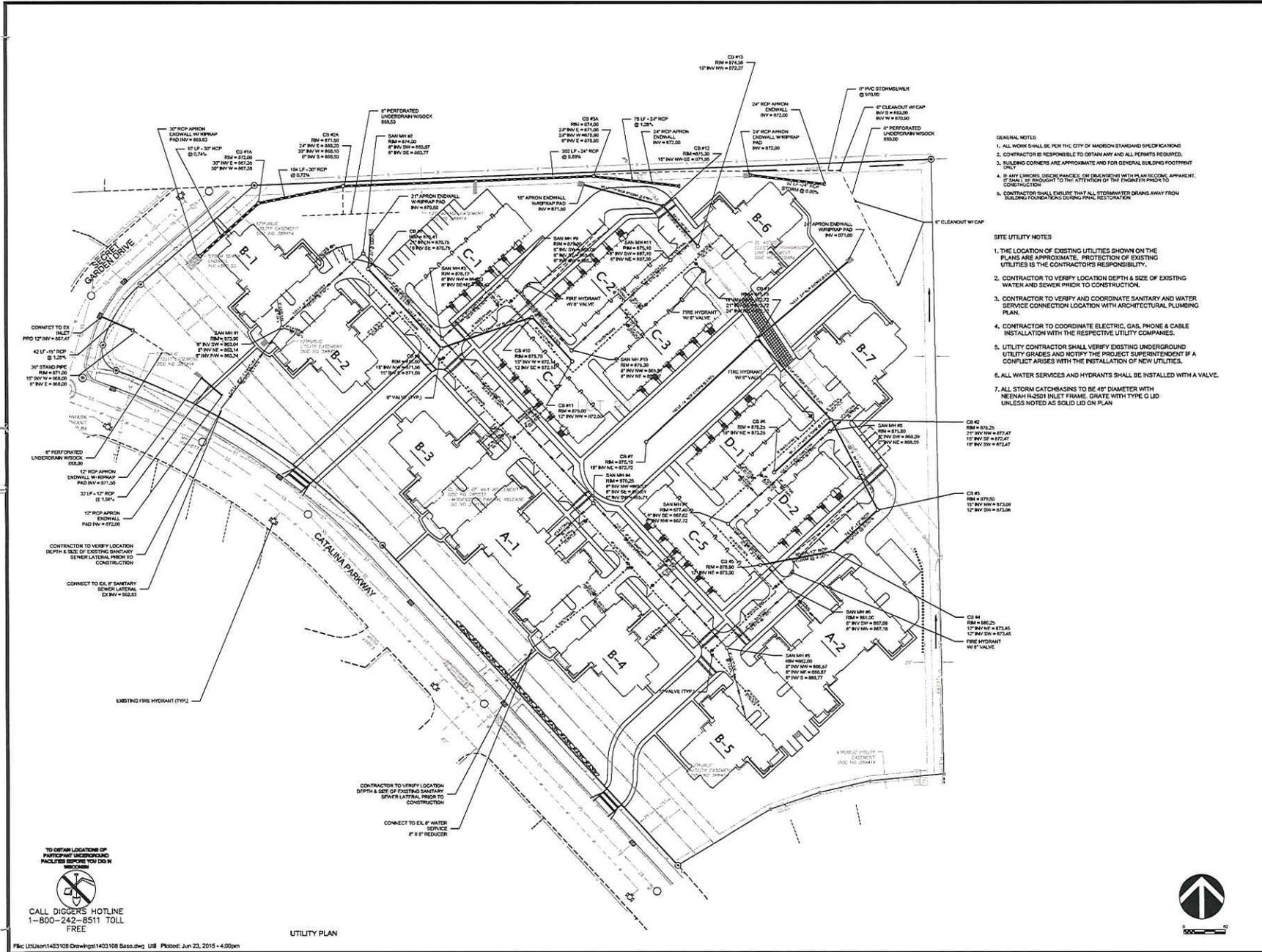
DECKER PROPERTIES, INC.

CATALINA CROSSING TRP REZONING SUBMITTAL

DATE OF ISSUANCE	24 JUNE 2015
Revision Schedule	
Mark	Description Date

SHEET TITLE
UTILITY PLAN

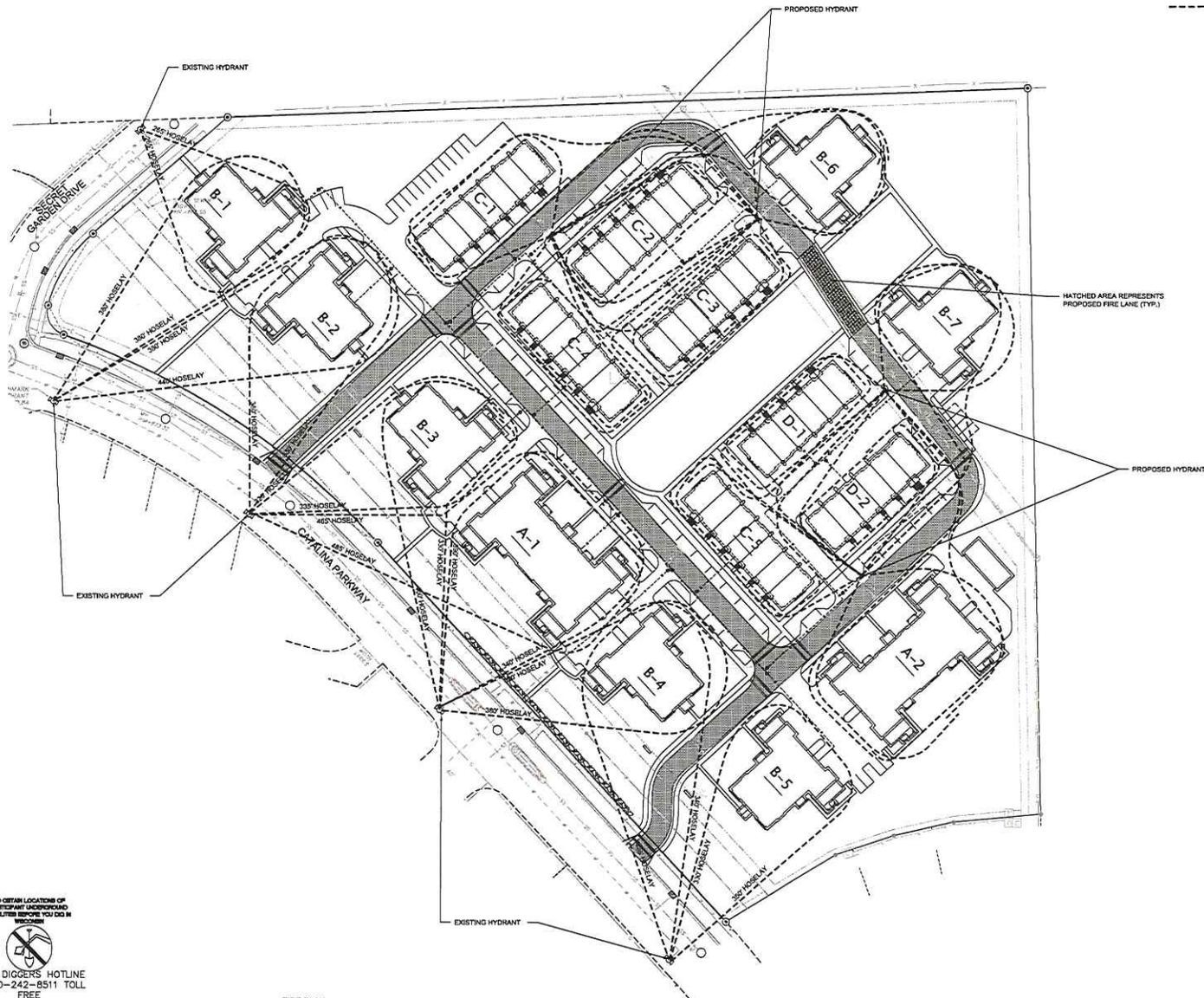
SHEET NUMBER
C103



LEGEND

 FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADII ARE 28' AS REQUIRED)

 HOSELAY (ALL HOSELAYS SHOWN ARE 500' OR LESS) (2 HYDRANTS WITHIN 500' OF ALL SIDES OF THE BUILDING)



HATCHED AREA REPRESENTS PROPOSED FIRE LANE (FFP.)

PROPOSED HYDRANT

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG, IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-6511 TOLL FREE

FIRE PLAN

JLA

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D'ONFRID KOTTKE AND ASSOCIATES, INC.
7340 Meridian Way, Madison, WI 53717
Phone: 608.833.7590 • Fax: 608.833.1099
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

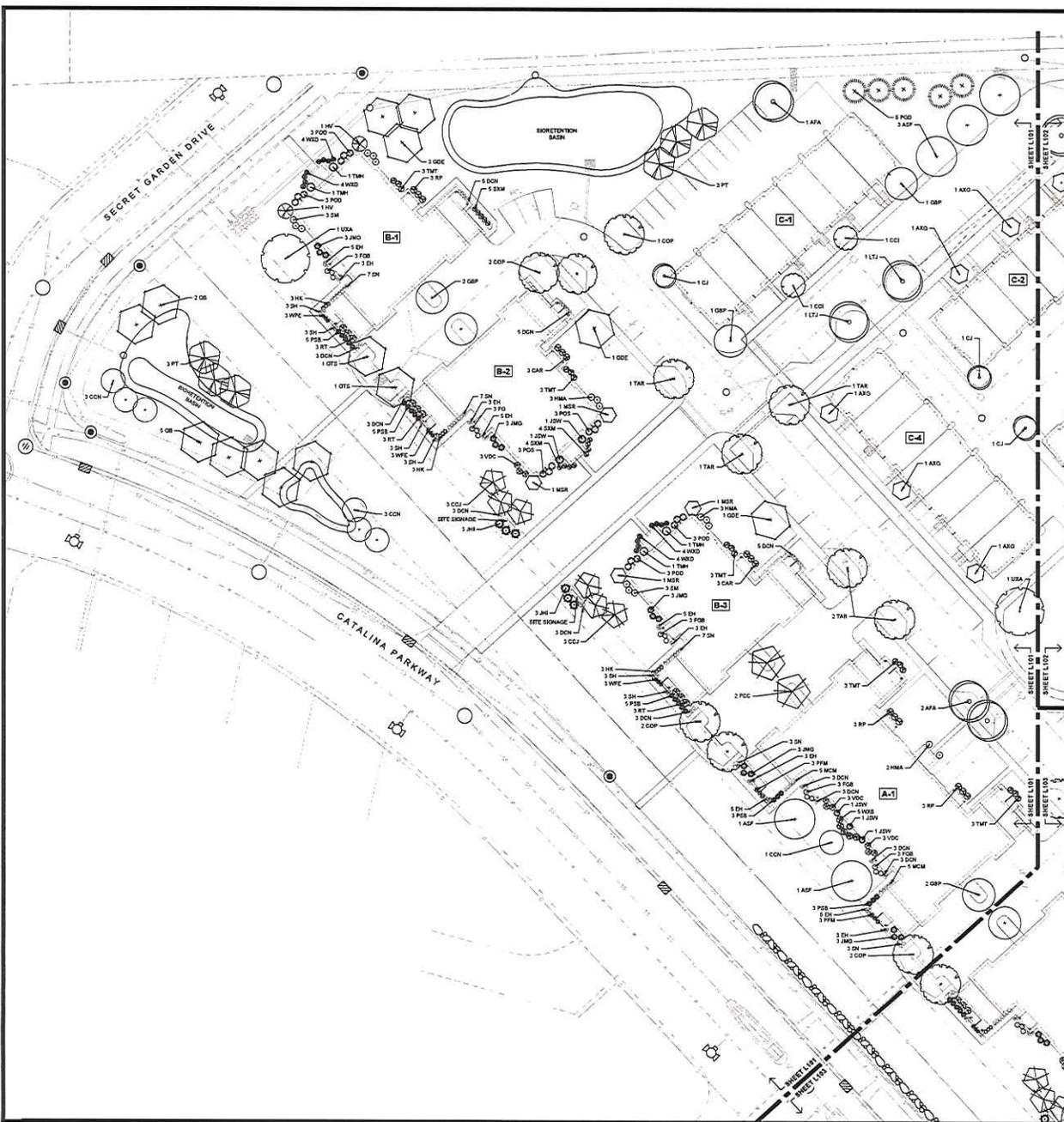
CATALINA CROSSING TRP REZONING SUBMITTAL

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SHEET TITLE
FIRE PLAN

SHEET NUMBER
C105

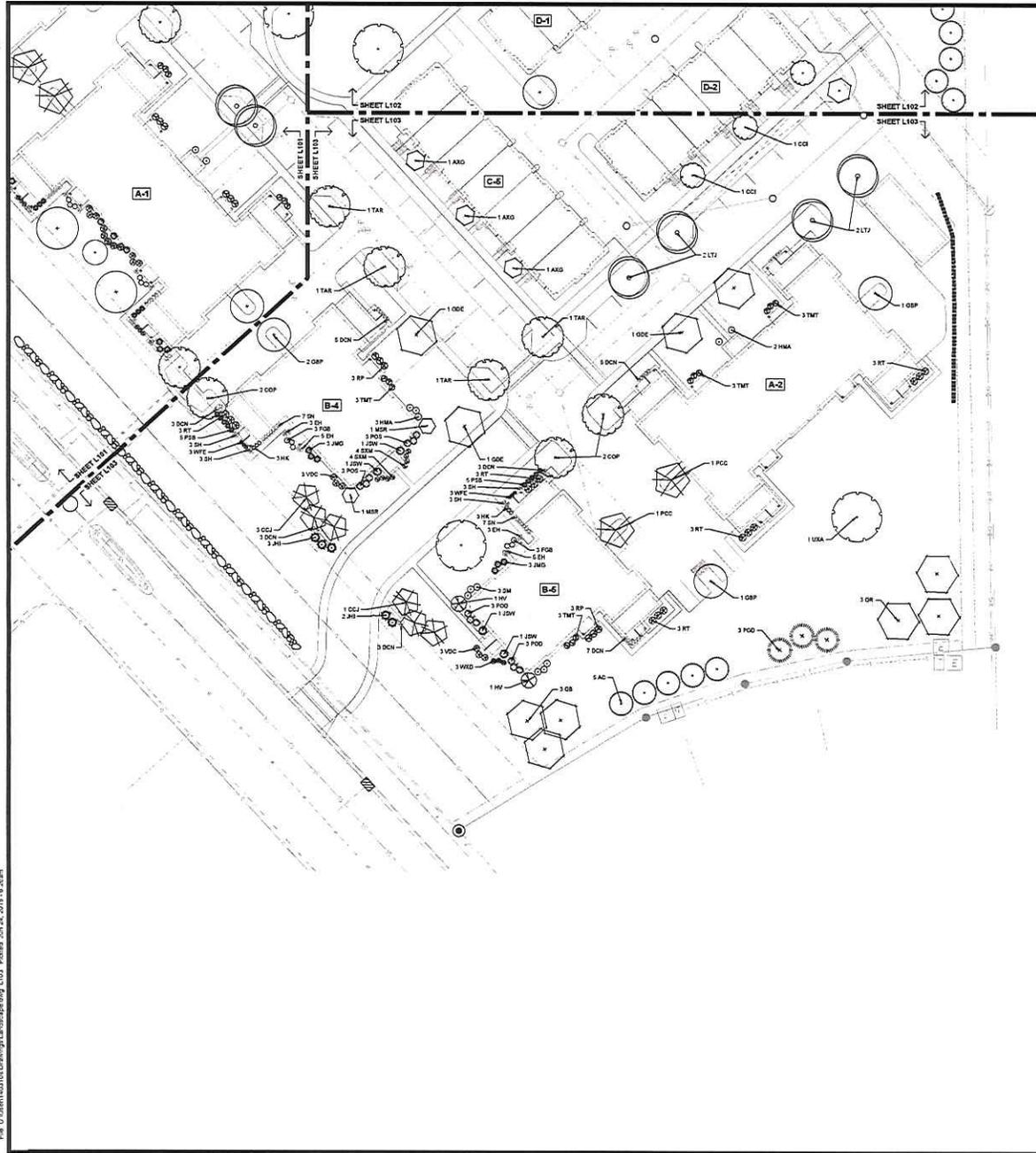


SITE LANDSCAPE PLAN - GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
4. LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
6. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED WITH LAWN SEED PER THE PROJECT MANUAL.
7. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
8. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
9. BIORETENTION BASINS SHALL BE PLANTED WITH RAINWATER RENEWAL GARDEN PLANT MIX AS MANUFACTURED BY AGRECOL NATIVE NURSERY. PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 9"-12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
10. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

PLANT SCHEDULE

CODE	IDENTIFYING NAME	COMMON NAME	QTY	PLANT	SUB.	PFS	TOTAL	ROOT	NOTES
COV	ORNAMENTAL TREES	Common Spruce	10	35	COV	5	175	2.5'	BAR
COV	ORNAMENTAL TREES	Black Hill Spruce	11	35	COV	6	165	2.5'	BAR
COV	ORNAMENTAL TREES	Colorado Spruce	12	35	COV	5	180	2.5'	BAR
COV	ORNAMENTAL TREES	Blue Spruce	13	35	COV	5	195	2.5'	BAR
COV	ORNAMENTAL TREES	White Spruce	14	35	COV	5	210	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	15	35	COV	5	225	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	16	35	COV	5	240	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	17	35	COV	5	255	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	18	35	COV	5	270	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	19	35	COV	5	285	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	20	35	COV	5	300	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	21	35	COV	5	315	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	22	35	COV	5	330	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	23	35	COV	5	345	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	24	35	COV	5	360	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	25	35	COV	5	375	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	26	35	COV	5	390	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	27	35	COV	5	405	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	28	35	COV	5	420	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	29	35	COV	5	435	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	30	35	COV	5	450	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	31	35	COV	5	465	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	32	35	COV	5	480	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	33	35	COV	5	495	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	34	35	COV	5	510	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	35	35	COV	5	525	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	36	35	COV	5	540	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	37	35	COV	5	555	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	38	35	COV	5	570	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	39	35	COV	5	585	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	40	35	COV	5	600	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	41	35	COV	5	615	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	42	35	COV	5	630	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	43	35	COV	5	645	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	44	35	COV	5	660	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	45	35	COV	5	675	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	46	35	COV	5	690	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	47	35	COV	5	705	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	48	35	COV	5	720	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	49	35	COV	5	735	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	50	35	COV	5	750	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	51	35	COV	5	765	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	52	35	COV	5	780	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	53	35	COV	5	795	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	54	35	COV	5	810	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	55	35	COV	5	825	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	56	35	COV	5	840	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	57	35	COV	5	855	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	58	35	COV	5	870	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	59	35	COV	5	885	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	60	35	COV	5	900	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	61	35	COV	5	915	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	62	35	COV	5	930	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	63	35	COV	5	945	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	64	35	COV	5	960	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	65	35	COV	5	975	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	66	35	COV	5	990	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	67	35	COV	5	1005	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	68	35	COV	5	1020	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	69	35	COV	5	1035	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	70	35	COV	5	1050	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	71	35	COV	5	1065	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	72	35	COV	5	1080	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	73	35	COV	5	1095	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	74	35	COV	5	1110	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	75	35	COV	5	1125	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	76	35	COV	5	1140	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	77	35	COV	5	1155	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	78	35	COV	5	1170	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	79	35	COV	5	1185	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	80	35	COV	5	1200	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	81	35	COV	5	1215	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	82	35	COV	5	1230	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	83	35	COV	5	1245	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	84	35	COV	5	1260	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	85	35	COV	5	1275	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	86	35	COV	5	1290	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	87	35	COV	5	1305	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	88	35	COV	5	1320	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	89	35	COV	5	1335	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	90	35	COV	5	1350	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	91	35	COV	5	1365	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	92	35	COV	5	1380	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	93	35	COV	5	1395	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	94	35	COV	5	1410	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	95	35	COV	5	1425	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	96	35	COV	5	1440	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	97	35	COV	5	1455	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	98	35	COV	5	1470	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	99	35	COV	5	1485	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	100	35	COV	5	1500	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	101	35	COV	5	1515	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	102	35	COV	5	1530	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	103	35	COV	5	1545	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	104	35	COV	5	1560	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	105	35	COV	5	1575	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	106	35	COV	5	1590	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	107	35	COV	5	1605	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	108	35	COV	5	1620	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	109	35	COV	5	1635	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	110	35	COV	5	1650	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	111	35	COV	5	1665	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	112	35	COV	5	1680	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	113	35	COV	5	1695	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	114	35	COV	5	1710	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	115	35	COV	5	1725	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	116	35	COV	5	1740	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	117	35	COV	5	1755	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	118	35	COV	5	1770	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	119	35	COV	5	1785	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	120	35	COV	5	1800	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	121	35	COV	5	1815	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	122	35	COV	5	1830	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	123	35	COV	5	1845	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	124	35	COV	5	1860	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	125	35	COV	5	1875	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	126	35	COV	5	1890	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	127	35	COV	5	1905	2.5'	BAR
COV	ORNAMENTAL TREES	Orange Spruce	128	35	COV	5	1920	2.5'	BAR
COV	ORNAMENTAL TREES	Red Spruce	129	35	COV	5	1935	2.5'	BAR
COV	ORNAMENTAL TREES	Green Spruce	130	35	COV	5	1950	2.5'	BAR
COV	ORNAMENTAL TREES	Yellow Spruce	131	35	COV	5	1965	2.5'	BAR
COV	ORNAMENTAL TREES	Pink Spruce	132	35	COV	5	1980	2.5'	BAR
COV	ORNAMENTAL TREES	Purple Spruce	133	35	COV	5	1995	2.5'	BAR
COV	ORNAMENTAL TREES								



SITE LANDSCAPE PLAN - GENERAL NOTES

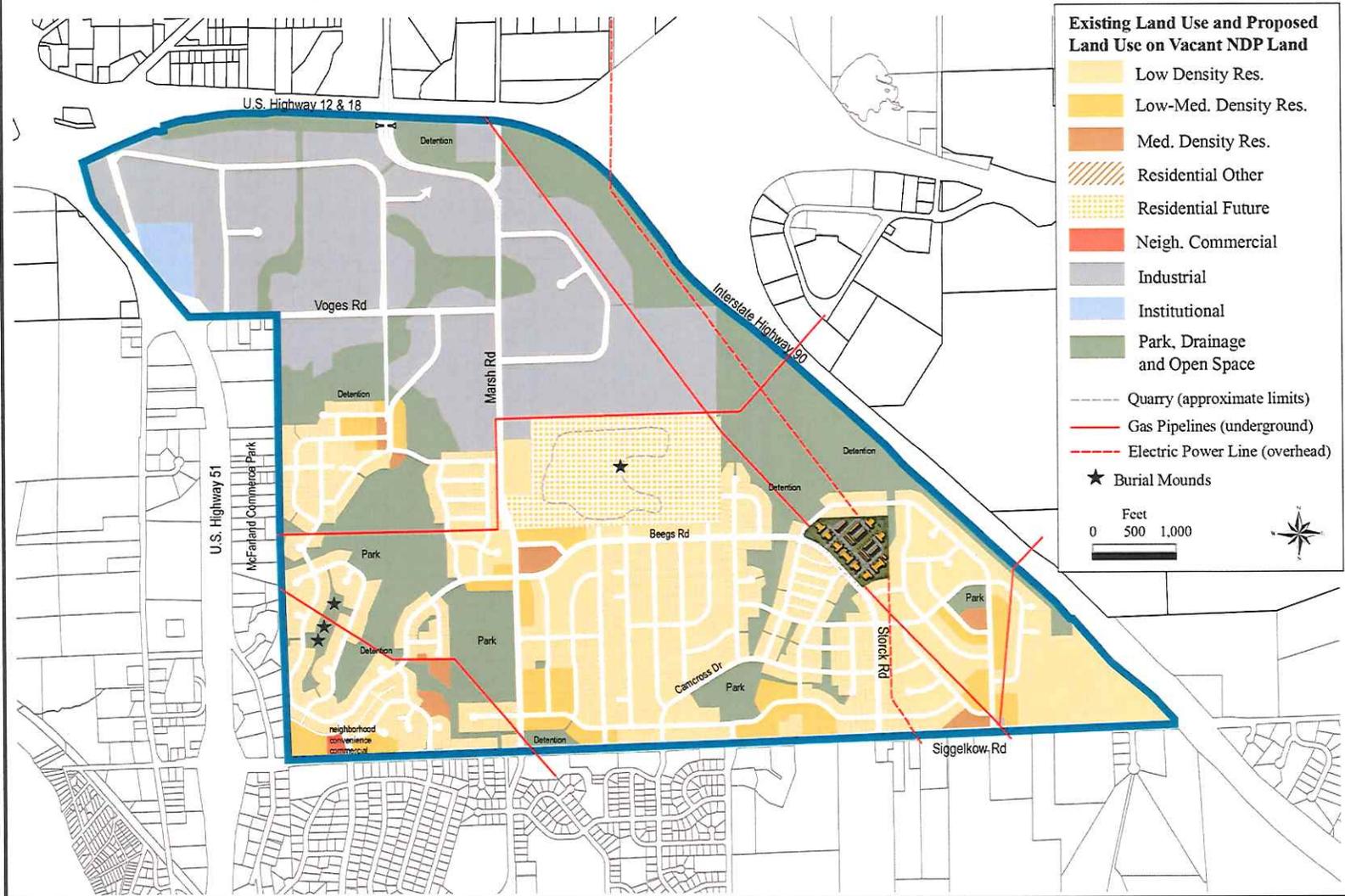
- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5" DIAMETER CIRCLE OF 3" DEPTH SHREDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED WITH LAWN SEED PER PER THE PROJECT MANUAL.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC, PER MANUFACTURER'S SPECIFICATIONS.
- BIORETENTION BASINS SHALL BE PLANTED WITH RAINWATER RENEWAL GARDEN PLANT MIX AS MANUFACTURED BY AGRECOL NATIVE NURSERY. PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 5'-12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

PLANT SCHEDULE

CODE	IDENTIFYING NAME	COMMON NAME	QTY	PLANT	TOTAL	SIZE	ROOT	NOTES
1.00C	THEOPHYLLA GLOSSY	Star Magnolia	3	24"	176"	2.5"	BAR	
1.00D	QUERCUS ALBA	White Oak	3	24"	176"	2.5"	BAR	
1.00E	QUERCUS PRINCEPIUM	Principle Oak	3	24"	176"	2.5"	BAR	
1.00F	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00G	QUERCUS BICOLOR	Swamp White Oak	3	24"	176"	2.5"	BAR	
1.00H	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00I	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00J	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00K	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00L	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00M	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00N	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00O	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00P	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00Q	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00R	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00S	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
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1.00W	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00X	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
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1.00E	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	
1.00F	QUERCUS LAEVIS	Live Oak	3	24"	176"	2.5"	BAR	

Marsh Road Neighborhood Development Plan

As Adopted October 1999 and *implemented through subdivision and zoning approvals



Existing Land Use and Proposed Land Use on Vacant NDP Land

- Low Density Res.
- Low-Med. Density Res.
- Med. Density Res.
- Residential Other
- Residential Future
- Neigh. Commercial
- Industrial
- Institutional
- Park, Drainage and Open Space
- Quarry (approximate limits)
- Gas Pipelines (underground)
- Electric Power Line (overhead)
- ★ Burial Mounds

Feet
0 500 1,000

JLA
JOSEPH LEE ASSOCIATES

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change. Nothing contained herein is and no construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 24 JUNE 2015
Revision Schedule

Work	Description	Date

NEIGHBORHOOD DEVELOPMENT PLAN

SHEET NUMBER
ASP-101

Last Update of NDP file: July 2007

NOTE:
LANDSCAPE & SITE LIGHTING ELEMENTS
SHOWN FOR GRAPHIC PURPOSES ONLY.
REFER TO CIVIL, LANDSCAPE, AND SITE
LIGHTING DRAWINGS FOR MORE
INFORMATION.

JLA
JOSEPH LEE ASSOCIATES

DA PROJECT NUMBER 14-1191

CONCEPTUAL DATA														12.84 ACRES - 8.80 UNITS/ACRE			
BUILDING	UNITS					TOTAL BR'S	BIKE PARKING		PARKING								
	TYPE	QTY	ST	1BR	1BR+		2BR	3BR	TOTAL	TOTAL	RATIO	COVERED	SURFACE	TOTAL	RATIO		
A	2	0	8	0	16	0	24	40			32	21	54	2.25 / UNIT			
B	7	0	0	0	14	28	42	112			56	37	94	2.24 / UNIT			
C	5	0	0	0	35	0	35	70			70	8	78	2.23 / UNIT			
D	2	0	0	0	12	0	12	24			24	19	26	2.17 / UNIT			
TOTALS			8	0	77	28	113	246			182	70	252	2.23 / UNIT			
			0%	7%	0%	68%	25%										



CATALINA CROSSING MASTERPLAN

CONCEPT DESIGN

24 JUNE, 2015
SCALE: 1"=70'



DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress, and actual and may be subject to change, including additional data. These are not final construction documents, and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		
24 JUNE 2015		
Revision Schedule		
Work	Description	Date

SHEET TITLE
**OVERALL
MASTERPLAN**

SHEET NUMBER
ASP-100

DECKER PROPERTIES,
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CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and shall not be subject to change, including addition of detail. These are not final construction documents and shall not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 24 JUNE 2015

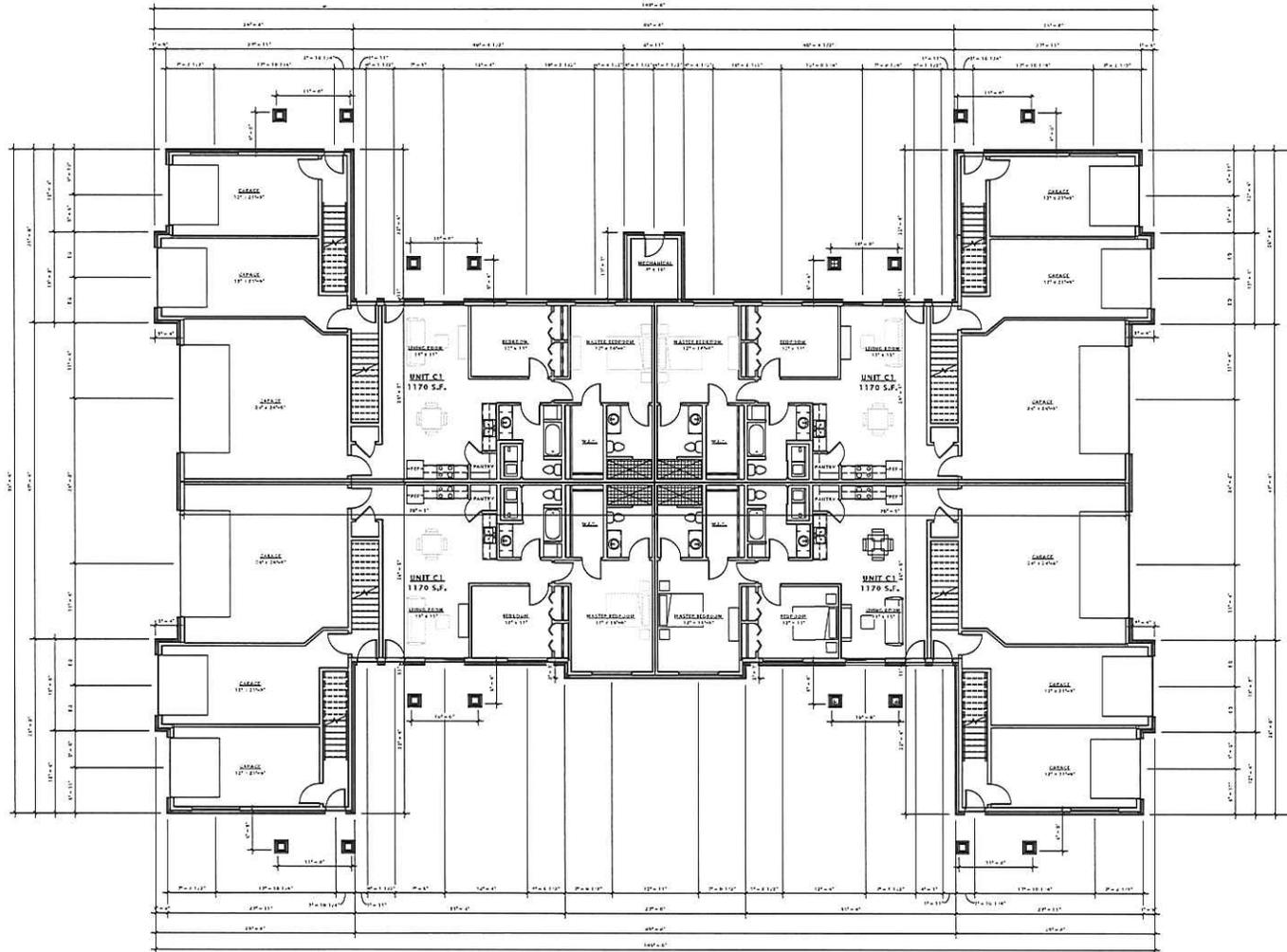
Work	Description	Date
	Revision Schedule	

SHEET TITLE

FIRST FLOOR PLAN -
BUILDING TYPE 'A'

SHEET NUMBER

A101-A



DECKER PROPERTIES,
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PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. There are user final construction documents and should not be used for final holding or construction-related purposes.

DATE OF ISSUANCE 24 JUNE 2015

Revision Schedule

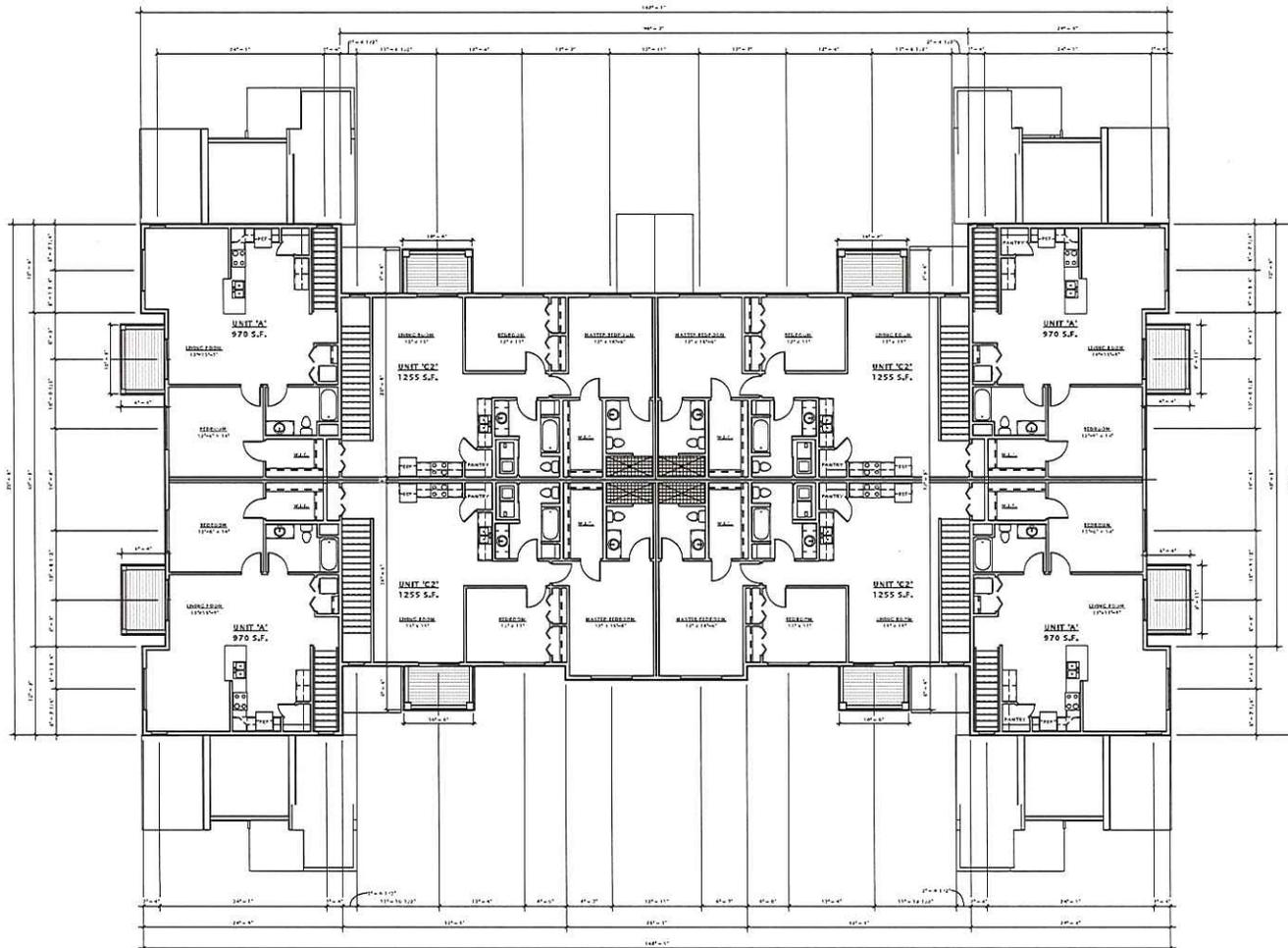
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN
 - BUILDING TYPE 'A'

SHEET NUMBER

A102-A



DECKER PROPERTIES,
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CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and status and may be subject to change, including additional details. They are not for construction documents and should not be used for final building or construction-related programs.

DATE OF ISSUANCE: 24 JUNE 2015

Revised Schedule

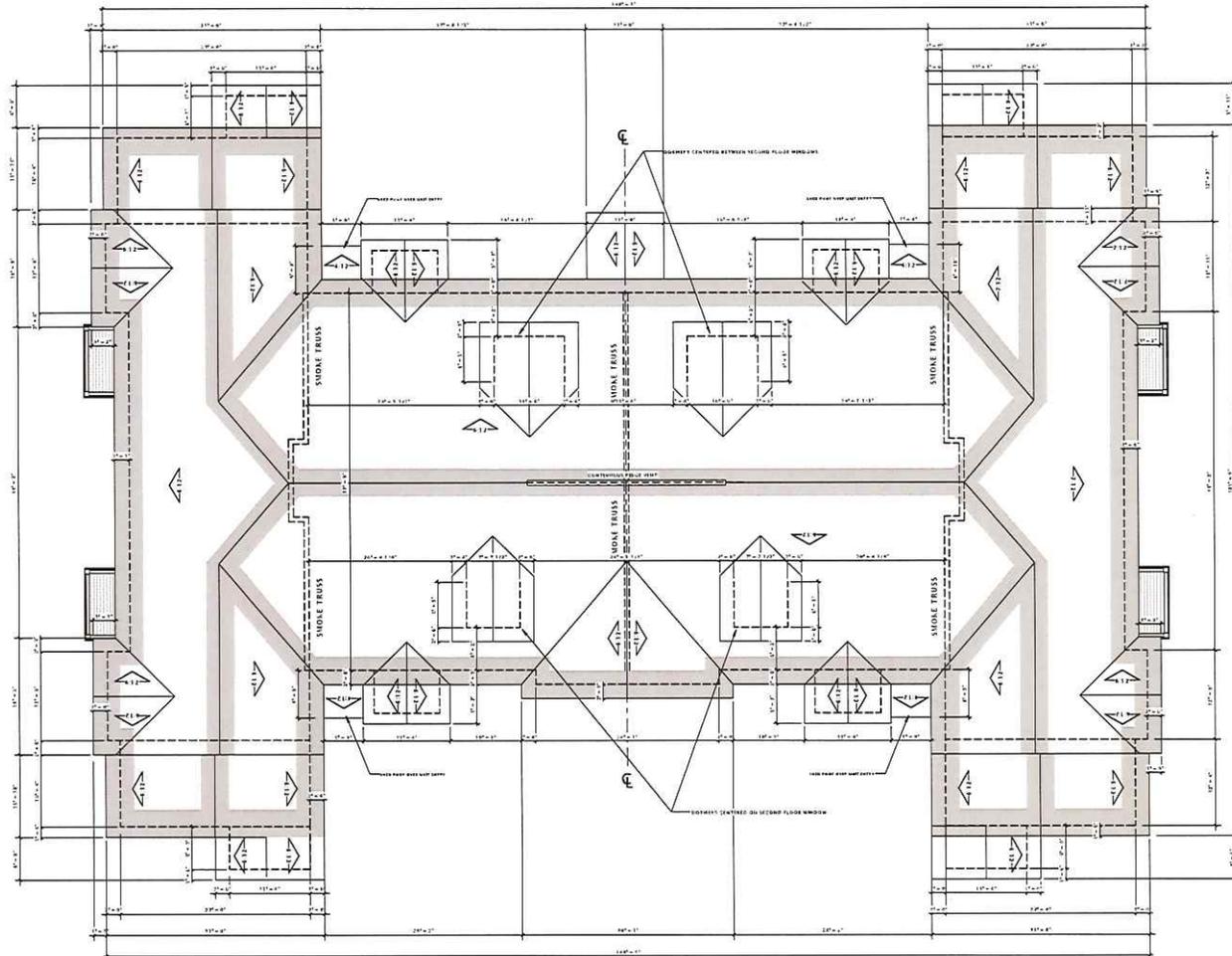
Week	Description	Date

SHEET TITLE

ROOF PLAN -
 BUILDING TYPE 'A'

SHEET NUMBER

A109-A



ROOF PLAN - BUILDING 'A'
 1/8" = 1'-0"



- 3" x 6" DOUBLE VINYL WINDOW
- 6" x 8" VINYL PATIO DOOR
- 2'-6" x 4" VINYL SINGLE WINDOW
- 2'-6" x 2'-6" SINGLE VINYL WINDOW
- 6" VINYL HORIZONTAL SIDING (SUDEE)
- 5" VINYL SHALES (SABLE BROWN)
- 6" COMPOSITE TRIM (WHITE)
- 2" x 2'-6" TRIPLE VINYL WINDOW
- 5" HORIZONTAL VINYL SIDING (HEARTHSTONE)
- 3" x 6'-8" ENTRY DOOR (WOOD)

10 BUILDING 'A' - FRONT ELEVATION
1/8" = 1'-0"



11 BUILDING 'A' - REAR ELEVATION
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
1000 W. 10TH STREET, SUITE 100
DENVER, CO 80202
303.733.1111
jla.com

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and minor and may be subject to change, including additional sheets. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		24 JUNE 2015
Revision Schedule		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200-A



- 1" X 6" DOUBLE VINYL WINDOW
- 6" X 8" VINYL PATIO DOOR
- 6" COMPOSITE TRIM
- 9" VINYL SHAKES (SABLE BROWN)
- 1" X 6" DOUBLE VINYL WINDOW
- 6" COMPOSITE TRIM
- 6" HORIZONTAL VINYL SIDING (SBEDE)
- 4" HORIZONTAL VINYL SIDING (HEARTHSTONE)
- STONE VENEER
- 27" X 16" OVERHEAD DOOR (HEARTHSTONE)

16. BUILDING 'A' - SIDE ELEVATION 1
3/16" = 1'-0"



16. BUILDING 'A' - SIDE ELEVATION 2
3/16" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
10224 N. CENTRAL EXPRESSWAY
MESA, AZ 85207
TEL: 480.970.8800
FAX: 480.970.8801
JLA PROJECT NUMBER: 14-11351

DECKER PROPERTIES,
INC.

CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and prices and may be subject to change, including additional costs. There are not final construction documents and should not be used for final pricing or construction-related purposes.

DATE OF ISSUANCE: 24 JUNE 2015

Work	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-A

DECKER PROPERTIES,
 INC.

CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 24 JUNE 2015

Revision Schedule

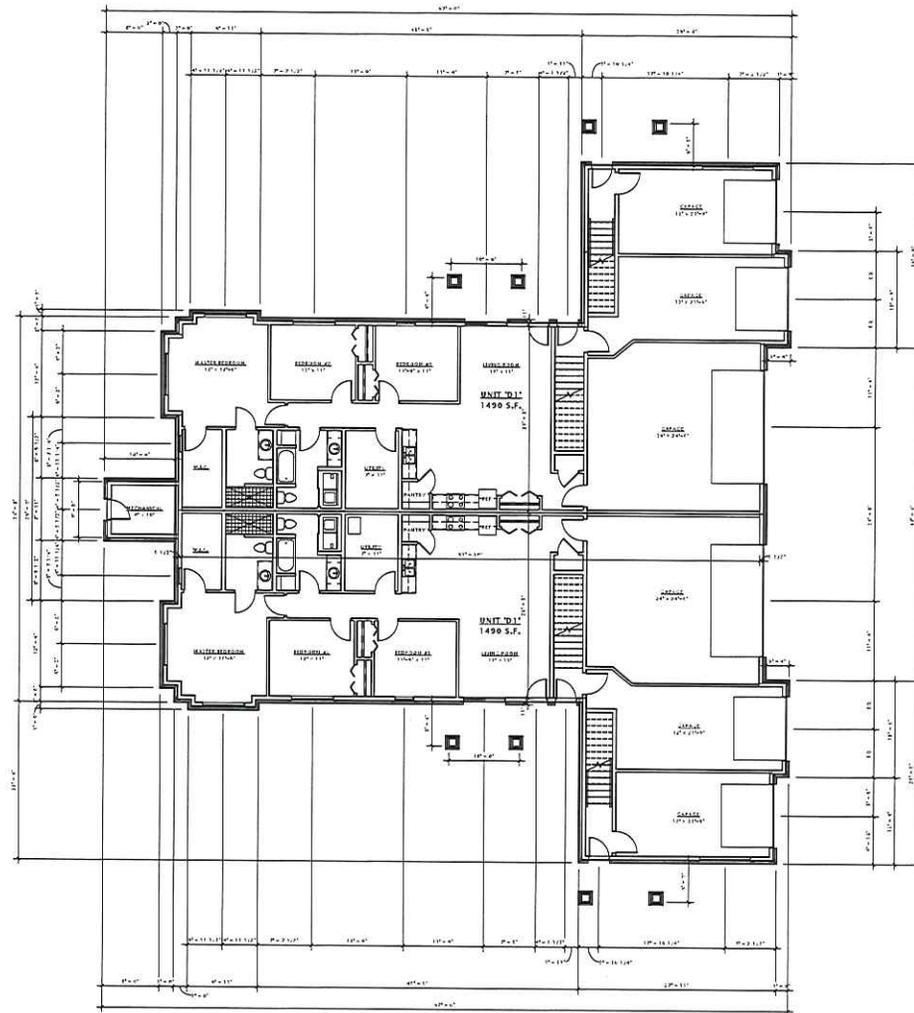
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
 BUILDING TYPE 'B'

SHEET NUMBER

A101-B



18 FIRST FLOOR PLAN - BUILDING 'B'
 1/8" = 1'-0"

DECKER PROPERTIES,
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CATALINA CROSSING
APARTMENTS

PROGRESS DOCUMENTS

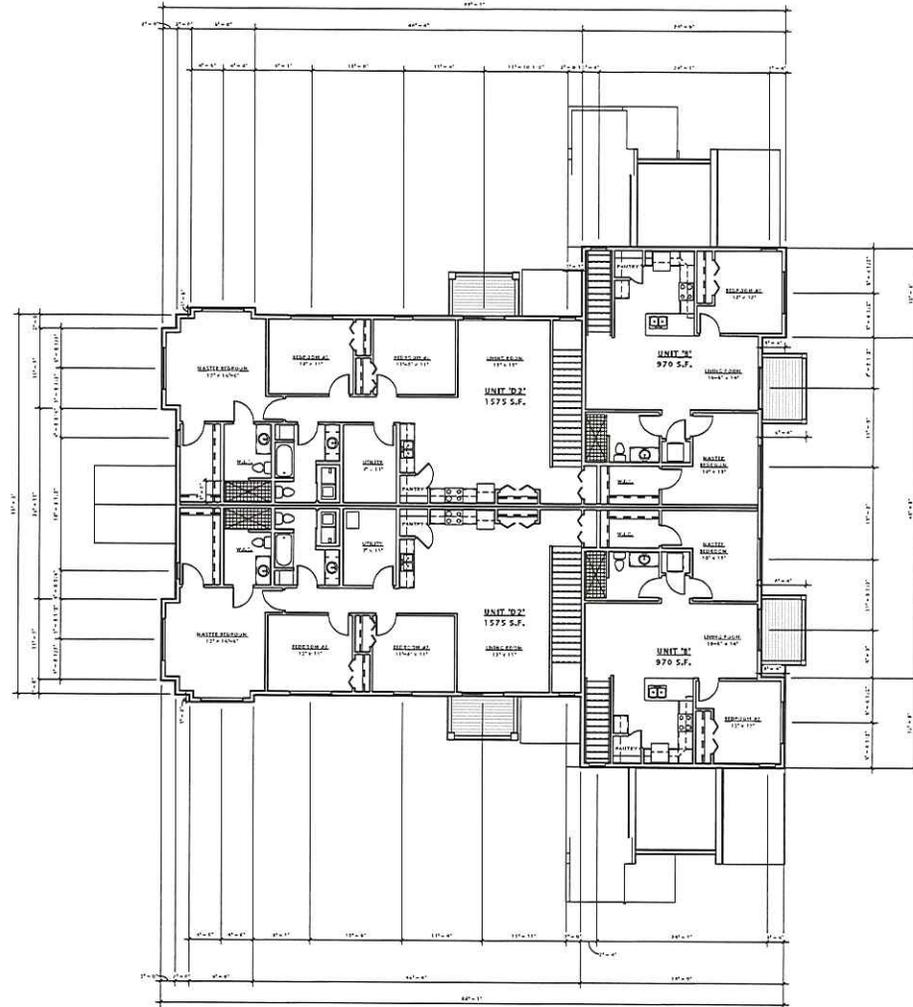
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DATE OF ISSUANCE 24 JUNE 2015

Mark	Revision Description	Date

SHEET TITLE
**SECOND FLOOR PLAN
- BUILDING TYPE 'B'**

SHEET NUMBER
A102-B



18 SECOND FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"

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 APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: 24 JUNE 2015

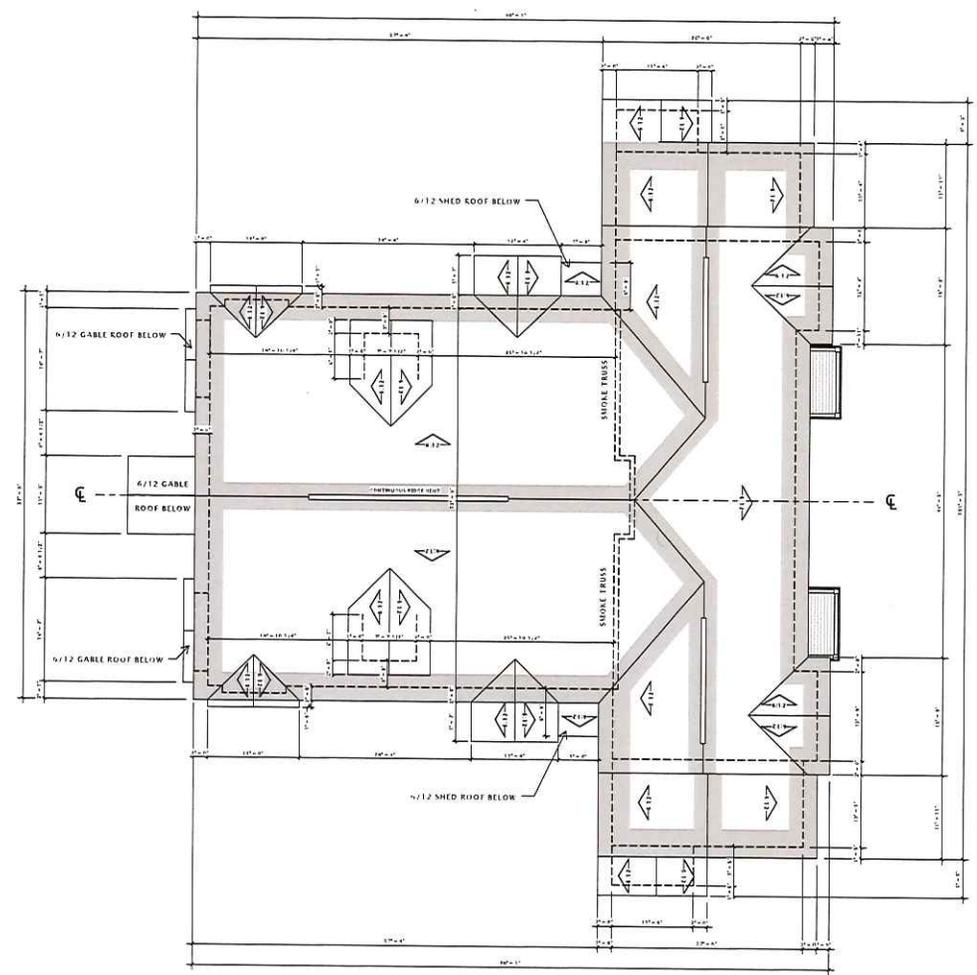
Mark	Revision Schedule	Description	Date

SHEET TITLE

ROOF PLAN -
 BUILDING TYPE 'B'

SHEET NUMBER

A109-B



ROOF PLAN - BUILDING 'B'
 1/8" = 1'-0"



- 6" HORIZONTAL VINYL SIDING (MOUNTAIN CEDAR)
- 6" X 8" VINYL SLIDING PATIO DOOR
- 3" X 6" SINGLE VINYL WINDOW
- 2" X 6" 2" X 4" VINYL WINDOW
- 6" HORIZONTAL VINYL SIDING (MOUNTAIN CEDAR)
- 9" VINYL SHAKES (SABLE BROWN)
- 6" COMPOSITE TRIM
- 2" X 2" X 6" TRIPLE VINYL WINDOW
- 9" HORIZONTAL VINYL SIDING (HEARTHSTONE)
- 3" X 6" X 8" ENTRY DOOR (WOOD)

16 BUILDING 'B' - SIDE ELEVATION 1
3/16" = 1'-0"



16 BUILDING 'B' - SIDE ELEVATION 2
3/16" = 1'-0"

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CATALINA CROSSING APARTMENTS

PROGRESS DOCUMENTS
These documents reflect progress and errors and may be subject to change. Without additional detail, they are not for construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 24 JUNE 2015

Work	Design	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200-B

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PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for local bidding or construction-related purposes.

DATE OF ISSUANCE	24 JUNE 2015
Revised Schedule	
Week	Distraction
	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A201-B



19 BUILDING 'B' - FRONT ELEVATION
3/16" = 1'-0"



20 BUILDING 'B' - REAR ELEVATION
3/16" = 1'-0"

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CATALINA CROSSING
 APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and status and may be subject to change. Additional details, drawings and field construction documents and should not be used for final bidding or construction-related purposes.

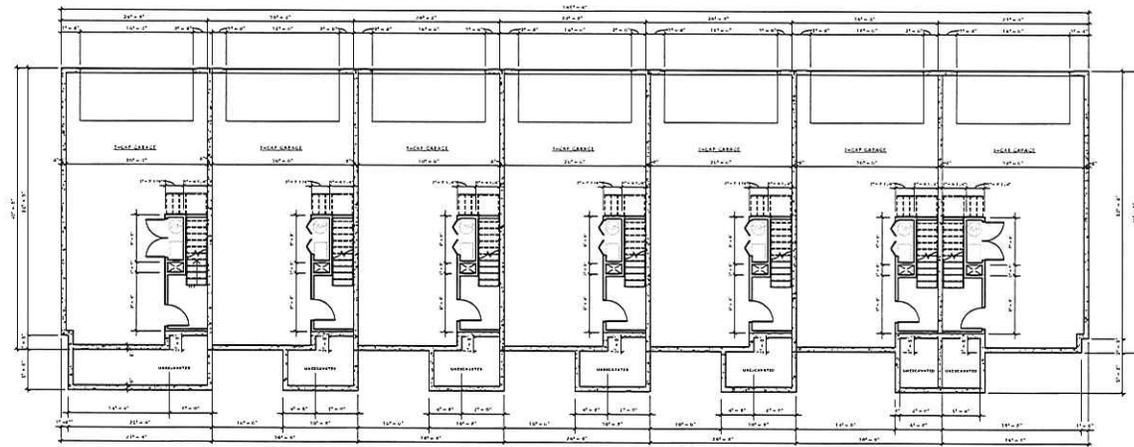
DATE OF ISSUANCE 24 JUNE 2015

Work	Description	Date

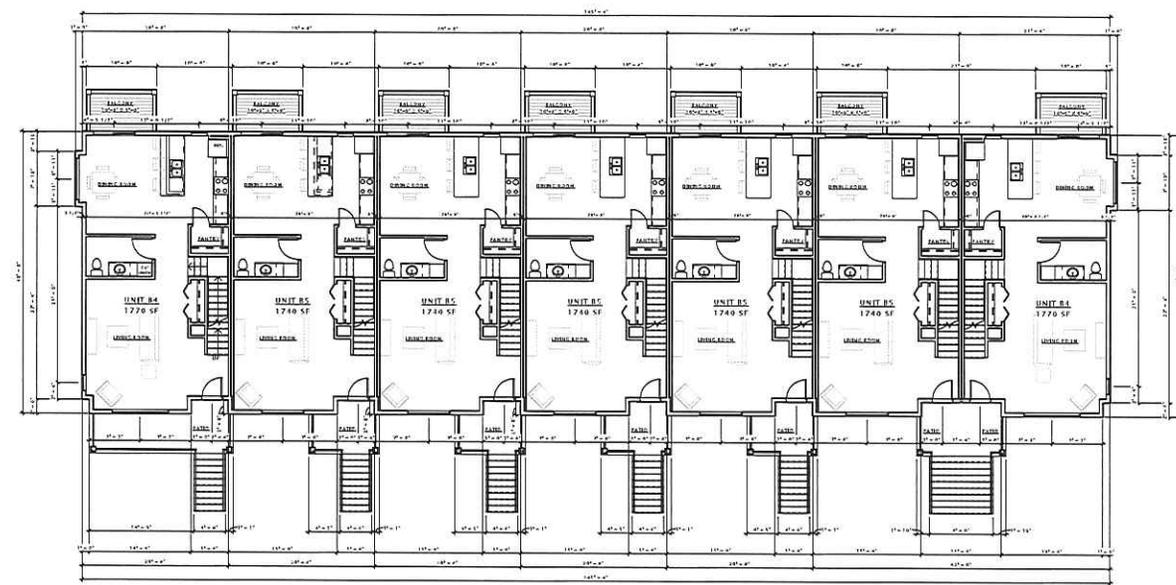
SHEET TITLE
**LOWER LEVEL & FIRST
 FLOOR PLAN -
 BUILDING TYPE 'C'**

SHEET NUMBER

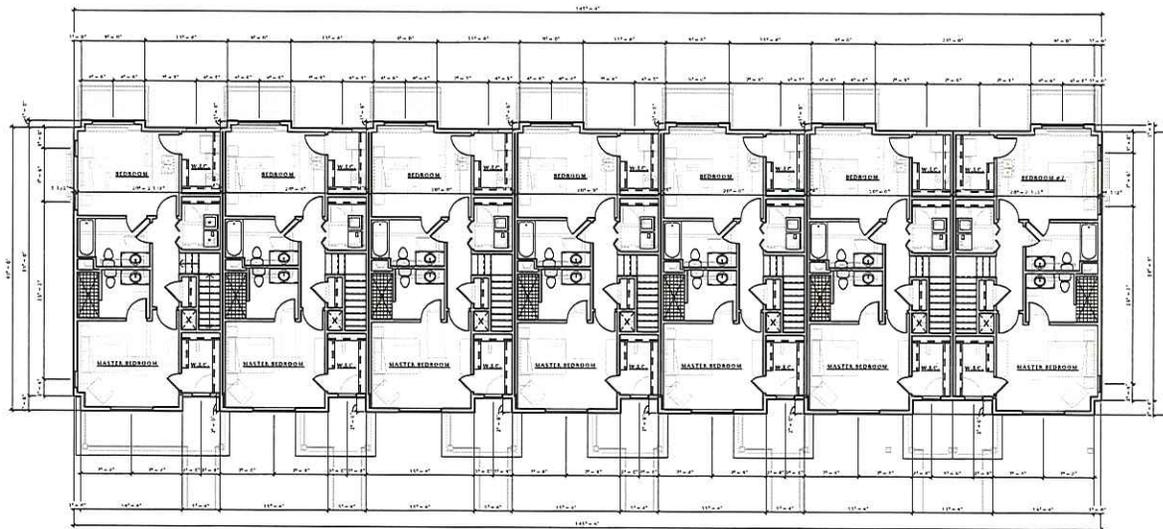
A101-C



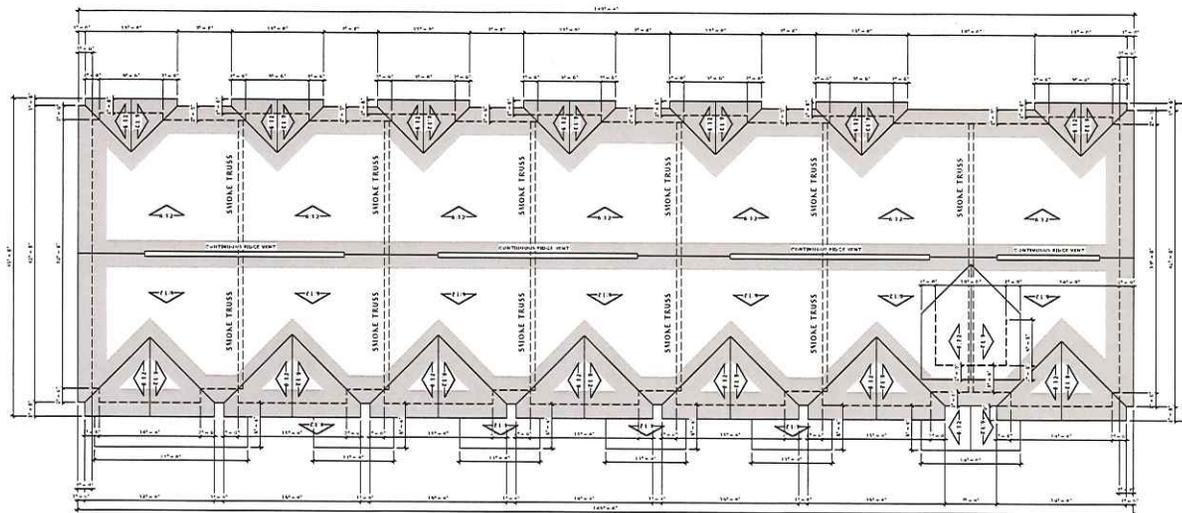
7 LOWER LEVEL PLAN - BUILDING 'C'
 1/8" = 1'-0"



7 FIRST FLOOR PLAN - BUILDING 'C'
 1/8" = 1'-0"



7 SECOND FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"



17 ROOF PLAN - BUILDING 'C'
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
1000 W. WASHINGTON AVENUE, SUITE 1000
DENVER, CO 80202-2500
TEL: 303.733.1100
WWW.JLA-ARCHITECTS.COM

CA PROJECT NUMBER: 14-101

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DATE OF ISSUANCE: 24 JUNE 2015

Work:	Revision Schedule	Date:
	Revision	

SHEET TITLE

SECOND FLOOR &
ROOF PLAN -
BUILDING TYPE 'C'

SHEET NUMBER

A102-C

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PROGRESS DOCUMENTS

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DATE OF ISSUANCE 24 JUNE 2015

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-C



16 BUILDING 'C' - FRONT ELEVATION
 1/8" = 1'-0"



16 BUILDING 'C' - REAR ELEVATION
 1/8" = 1'-0"

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PROGRESS DOCUMENTS

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DATE OF ISSUANCE 24 JUNE 2015

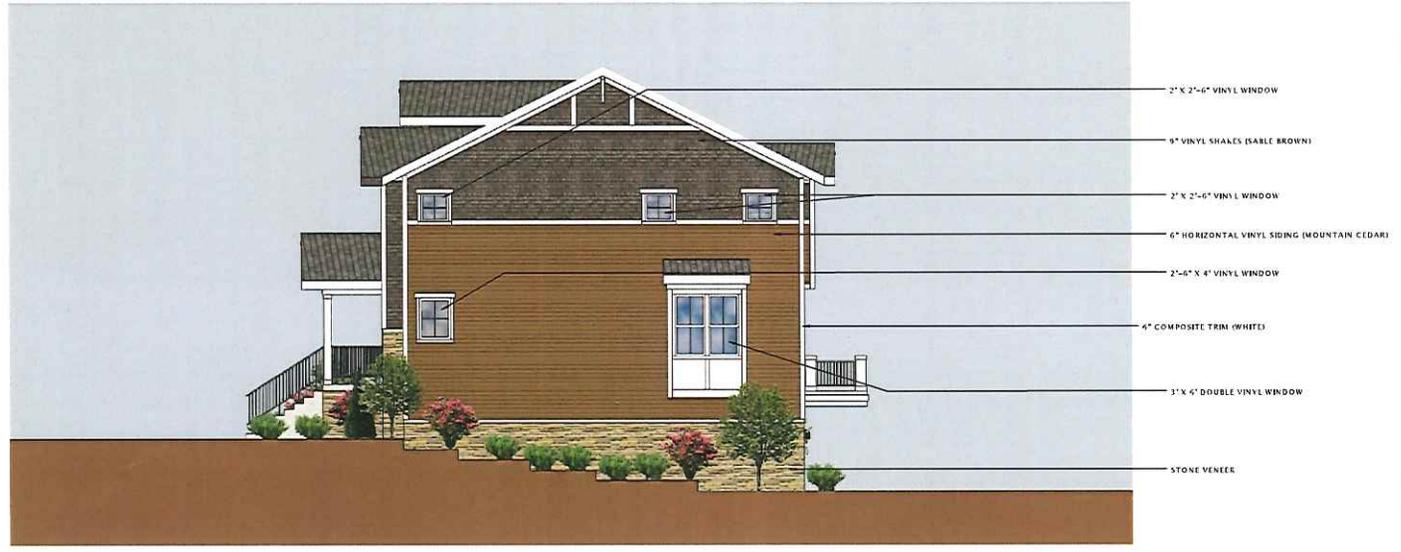
NO.	REVISION	DATE

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-C



Ⓔ BUILDING C1 - SIDE ELEVATION 1
 3/16" = 1'-0"



Ⓕ BUILDING C1 - SIDE ELEVATION 2
 3/16" = 1'-0"

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Work	Revision Schedule	Date

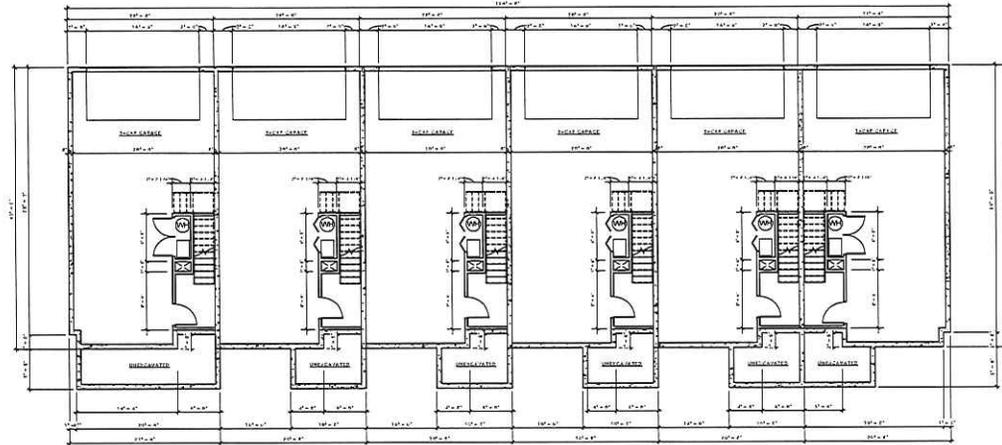
Work	Revision Schedule	Date

SHEET TITLE

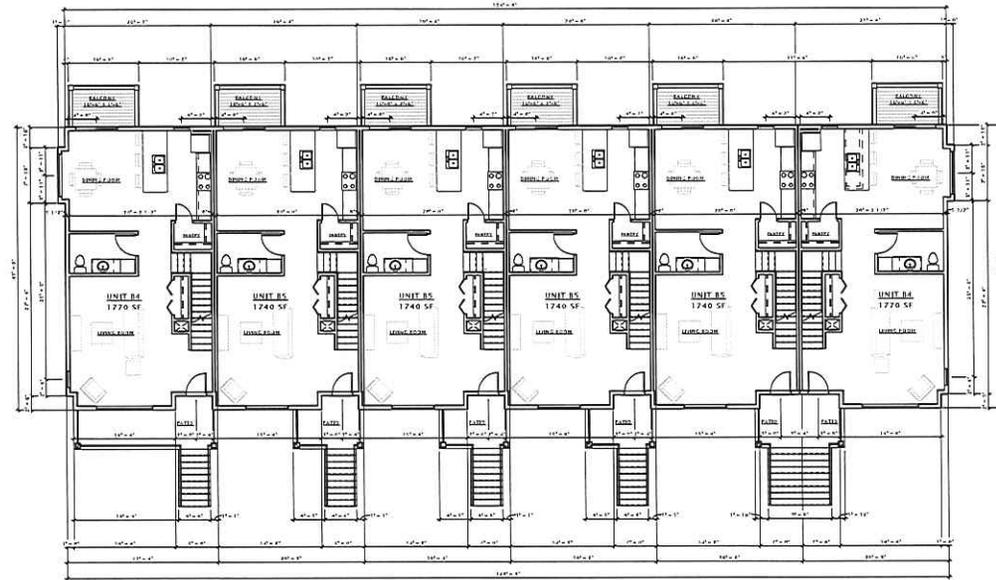
**LOWER LEVEL & FIRST
 FLOOR PLAN -
 BUILDING TYPE 'D'**

SHEET NUMBER

A101-D



7 LOWER LEVEL PLAN - BUILDING 'D'
 1/8" = 1'-0"



17 FIRST FLOOR PLAN - BUILDING 'D'
 1/8" = 1'-0"

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DATE OF ISSUANCE 24 JUNE 2015

Revision Schedule

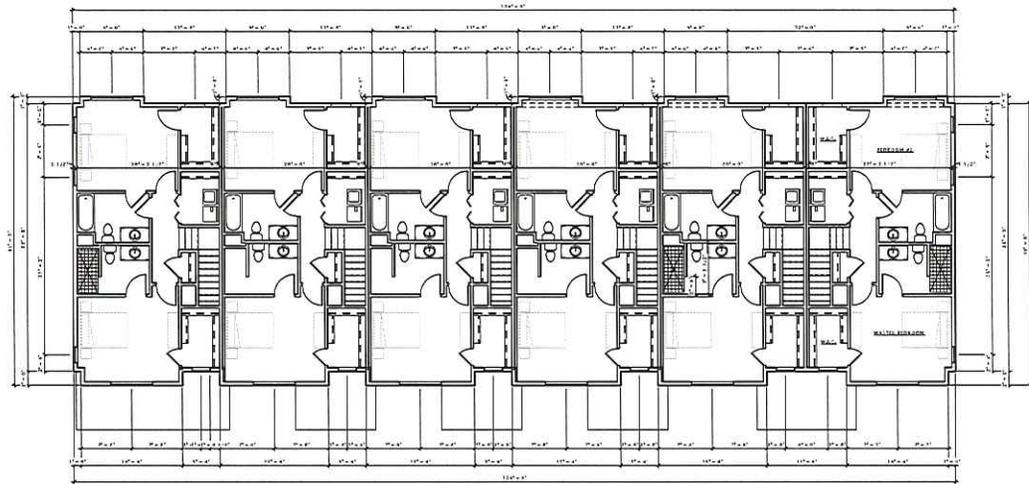
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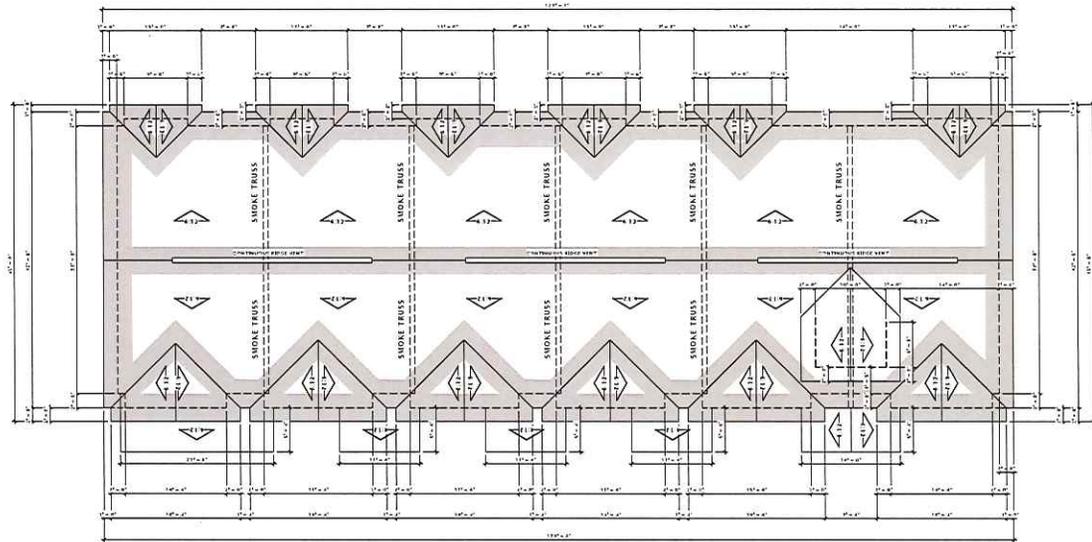
SECOND FLOOR &
 ROOF PLAN -
 BUILDING TYPE 'D'

SHEET NUMBER

A102-D



② SECOND FLOOR PLAN - BUILDING TYPE 'D'
 1/8" = 1'-0"



③ ROOF PLAN - BUILDING TYPE 'D'
 1/8" = 1'-0"

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PROGRESS DOCUMENTS

These documents reflect progress and minor and may be subject to change, including additional work. There are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 24 JUNE 2015

Mark	Revision Schedule	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-D



6 BUILDING 'D' - FRONT ELEVATION
1/8" = 1'-0"



16 BUILDING 'D' - REAR ELEVATION
1/8" = 1'-0"



- 2" X 2"-6" VINYL WINDOW
- 5" VINYL SHALES (SABLE BROWN)
- 2" X 2"-6" VINYL WINDOW
- 6" HORIZONTAL VINYL SIDING (MOUNTAIN CEDAR)
- 2"-6" X 4" VINYL WINDOW
- 6" COMPOSITE TRIM (WHITE)
- 3" X 6" DOUBLE VINYL WINDOW
- STONE VENEER

17 BUILDING 1D - SIDE ELEVATION 1
3/16" = 1'-0"



18 BUILDING 1D - SIDE ELEVATION 2
3/16" = 1'-0"

JLA

JOSEPH LEE ASSOCIATES
ARCHITECTS AND INTERIORS
1000 N. GARDEN AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1100
WWW.JLA-ARCHITECTS.COM

JLA PROJECT NUMBER: 1041103

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PROGRESS DOCUMENTS

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used for field building or construction-related purposes.

DATE OF ISSUANCE: 24 JUNE 2015

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-D