

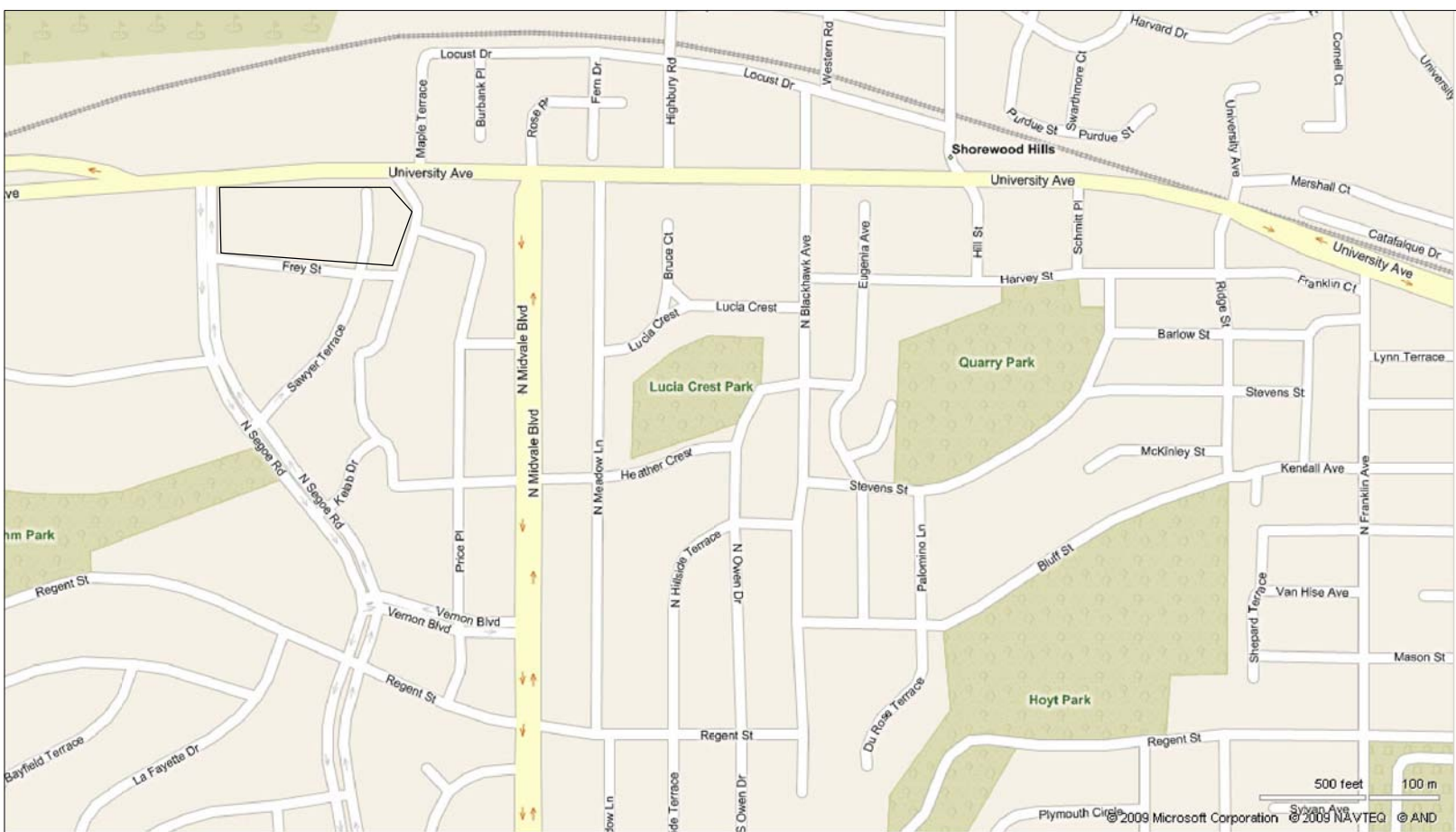
Preliminary Plans

PUD, GDP, SIP Amendment

Target Madison-Hilldale

Madison, Wisconsin

Vicinity Map



(Not to Scale)

SHEET INDEX

C001	GDP-PUD-SIP Amendment
C002	SIP Amendment Boundary
C003	Existing Conditions
C100	Site Layout - East
C101	Site Layout - West
C200	Site Details
C201	Site Details
C300	Site Planting Plan - East
C301	Site Planting Plan - West
C302	Planting Schedule
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C402	Grading Plan
C403	Erosion Control Plan
C404	Utility Plan
C405	Details
C406	Details
A110	Lower Level Floor Plan
A111	Upper Level Floor Plan
A141	Roof Plan
A151	Site/Sidewalk Plan
A201	Exterior Elevations
SL1	Photometric Plan

Designed: _____
Checked: _____
Drawn: _____
Record Drawing by/date: _____

Revisions: _____
: _____
: _____
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: _____
: _____
: _____
: _____

Prepared for:

TARGET

PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale

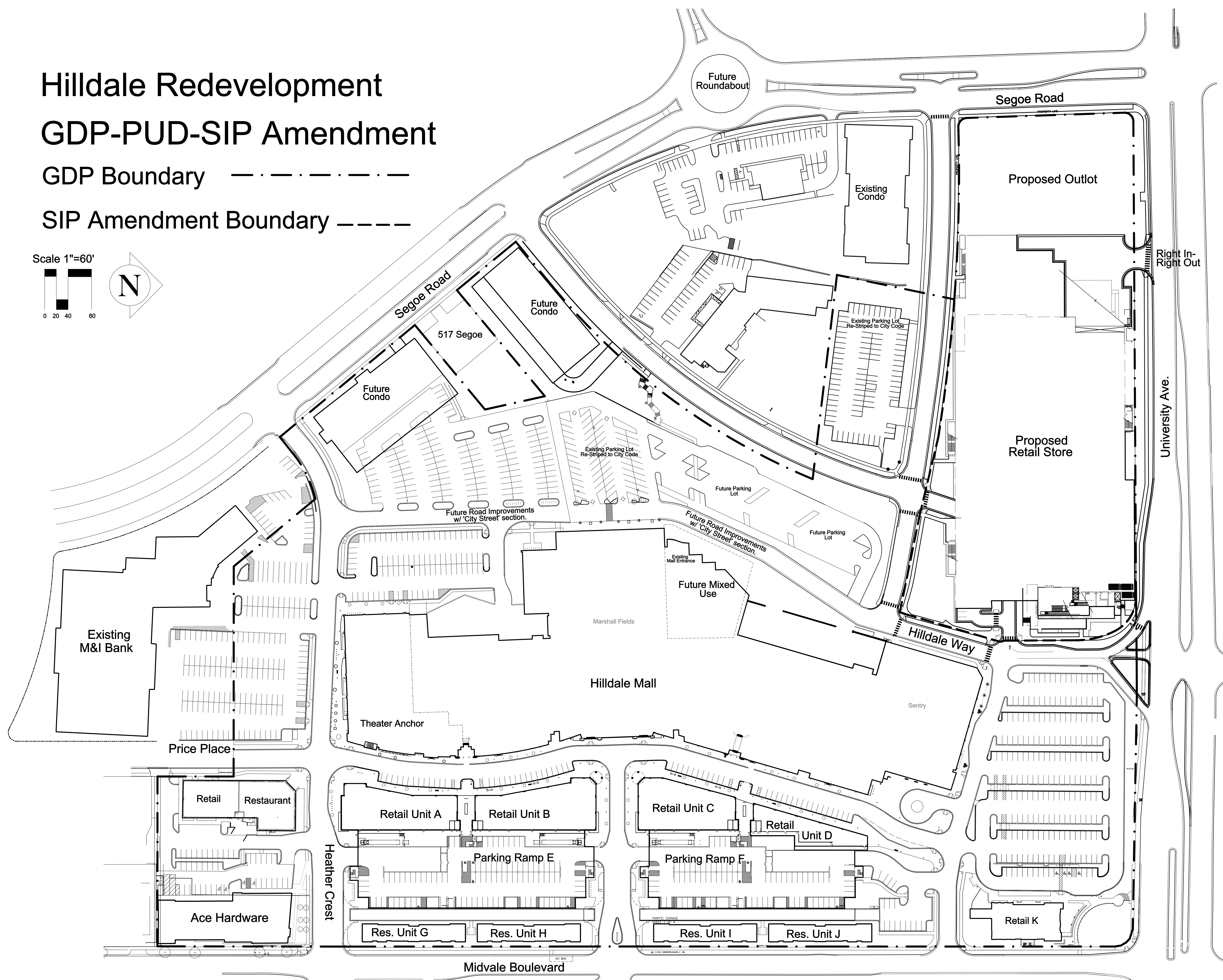
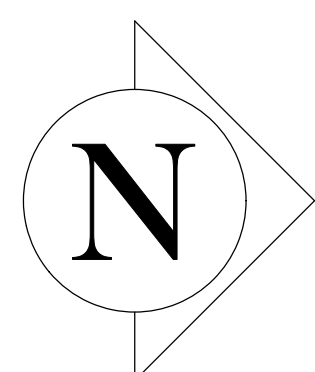
Madison, Wisconsin

Cover Sheet

Date: 12/16/09
Sheet: CS

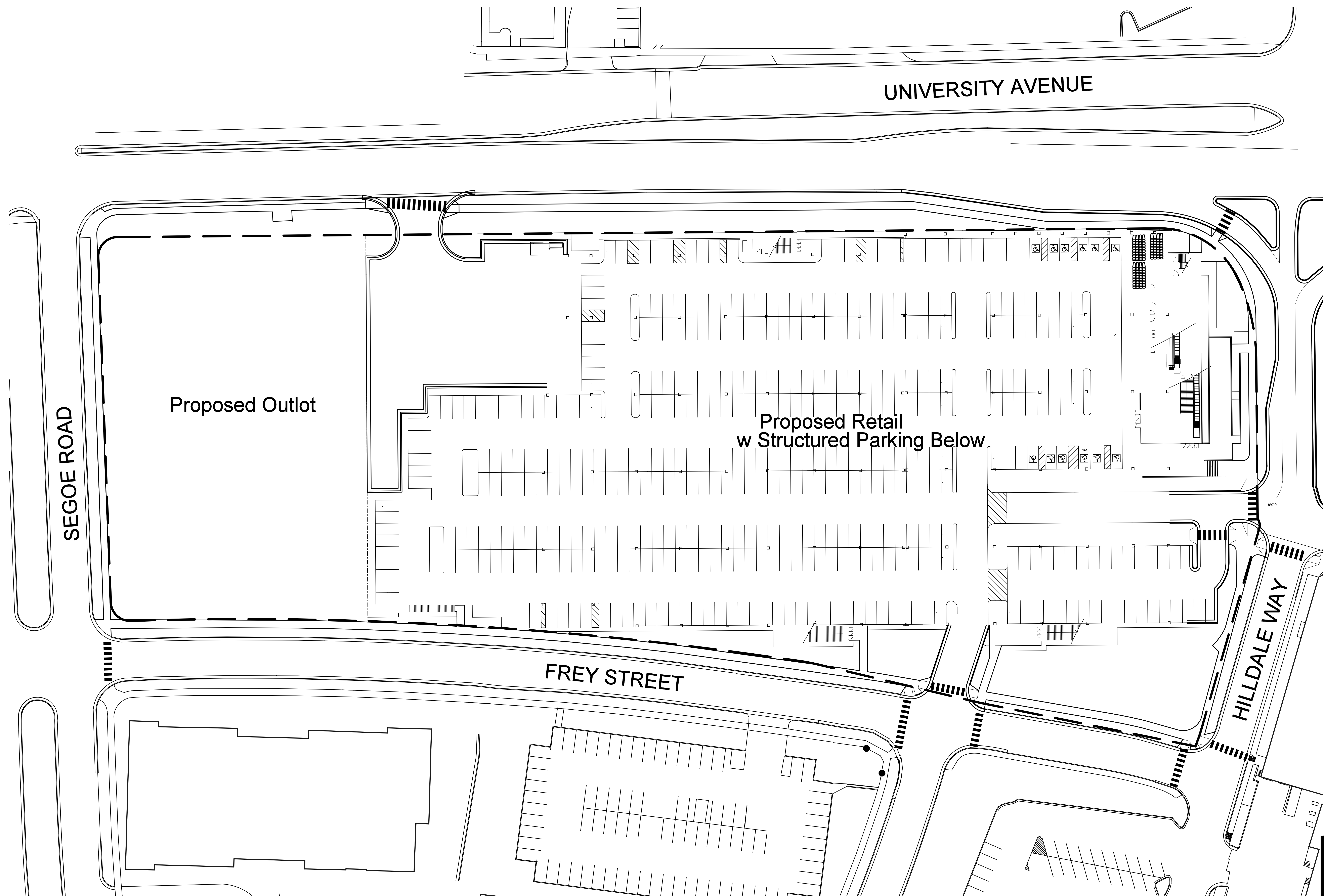
SIP Amendment Boundary ———

Age Group	Number of People
0-20	10
20-40	30
40-60	80
60-80	90



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Sheet: C001

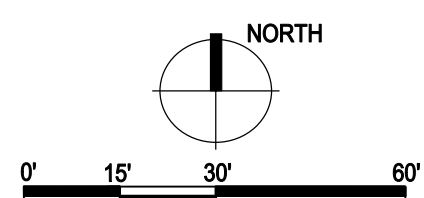


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TARGET
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Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale
Madison, Wisconsin












































































NOT FOR CONSTRUCTION

SIP Amendment
Boundary

Date: 12/16/09
Sheet: C002



LEGEND					
	SECTION CORNER FOUND		LIGHT POLE		CANOPY SHADE TREE
	IRON STAKE FOUND		ELECTRICAL OUTLET		SHRUB
	REBAR PLACED		UTILITY POLE		TRAFFIC SIGNAL
	CHISELED CROSS		GUT WIRE / DEAD MAN		TRAFFIC CONTROL BOX
	DRILL HOLE		ELECTRIC PEDESTAL		SANITARY SEWER
	SURVEY NAIL		ELECTRIC METER		STORM SEWER
	WOOD STAKE		ELECTRIC MANHOLE		ROAD DRAIN
	RECORDED AS DATA		TELEPHONE PEDESTAL		OVERHEAD WIRES
	MEASURED DATA		TELEPHONE MANHOLE		BURIED CABLE TV LINE
	SOIL BORING		CABLE PEDESTAL		BURIED ELECTRIC
	SANITARY MANHOLE		SPRINKLER HEAD		BURIED TELEPHONE
	YARD CLEANOUT		BOLLARD		FIBER OPTIC
	STORM MANHOLE		SIGN		BURIED GAS MAIN
	STORM INLET		MONITORING WELL		CONTOUR
	STORM CATCH BASIN		HANDICAP RAMP		SPOT ELEVATION
	STORM CATCH BASIN		STONE WALL		CAUTION
	STORM CLEAN OUT		FENCE LINE		BENCHMARK
	APRON SIDEWALK		EDGE OF TREES		PROPERTY LINE
	HYDRANT		PROPERTY LINE		UTILITY EASEMENT
	WATER VALVE		CENTER LINE		SETBACK LINE
	SUI GENERIS CONNECT		EXISTING BUILDING		EDGE OF WATER
	POST INDICATOR VALVE		EXISTING CONCRETE		WETLAND BOUNDARY
	GAS METER		EXISTING GRAVEL		100 YEAR FLOOD BOUNDARY
	GAS VALVE		EXISTING ASPHALT		
	TRAFFIC SIGNAL				
	TRAFFIC CONTROL BOX				

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality, local utility records and Diggers Hotline locations. The accuracy of these records or the locations by Diggers Hotline cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

SCALE 1" = 40'
0' 20' 40' 80'
ALL BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NE 1/4 OF SECTION 20, T1N, R1E

NOTES:
1. All contours and elevations are NAVD(88).
2. BENCHMARKS are as shown.
3. Contour interval is one foot.

SURVEYED FOR:
TARGET CORPORATION
1000 NICOLLET MALL TPN-12K
MINNEAPOLIS, MN 55403

Designed:
Checked:
Drawn:
Record Drawing by date:

Revisions:

Prepared for:

TARGET
PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale
Madison, Wisconsin

Existing Conditions

Date: 12/16/09

Sheet: C003



Revisions:

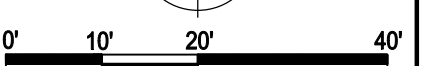


PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Madison, Wisconsin

Date: 12/16/09

Sheet: C100



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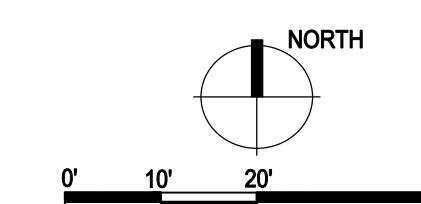
PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale
Madison, Wisconsin

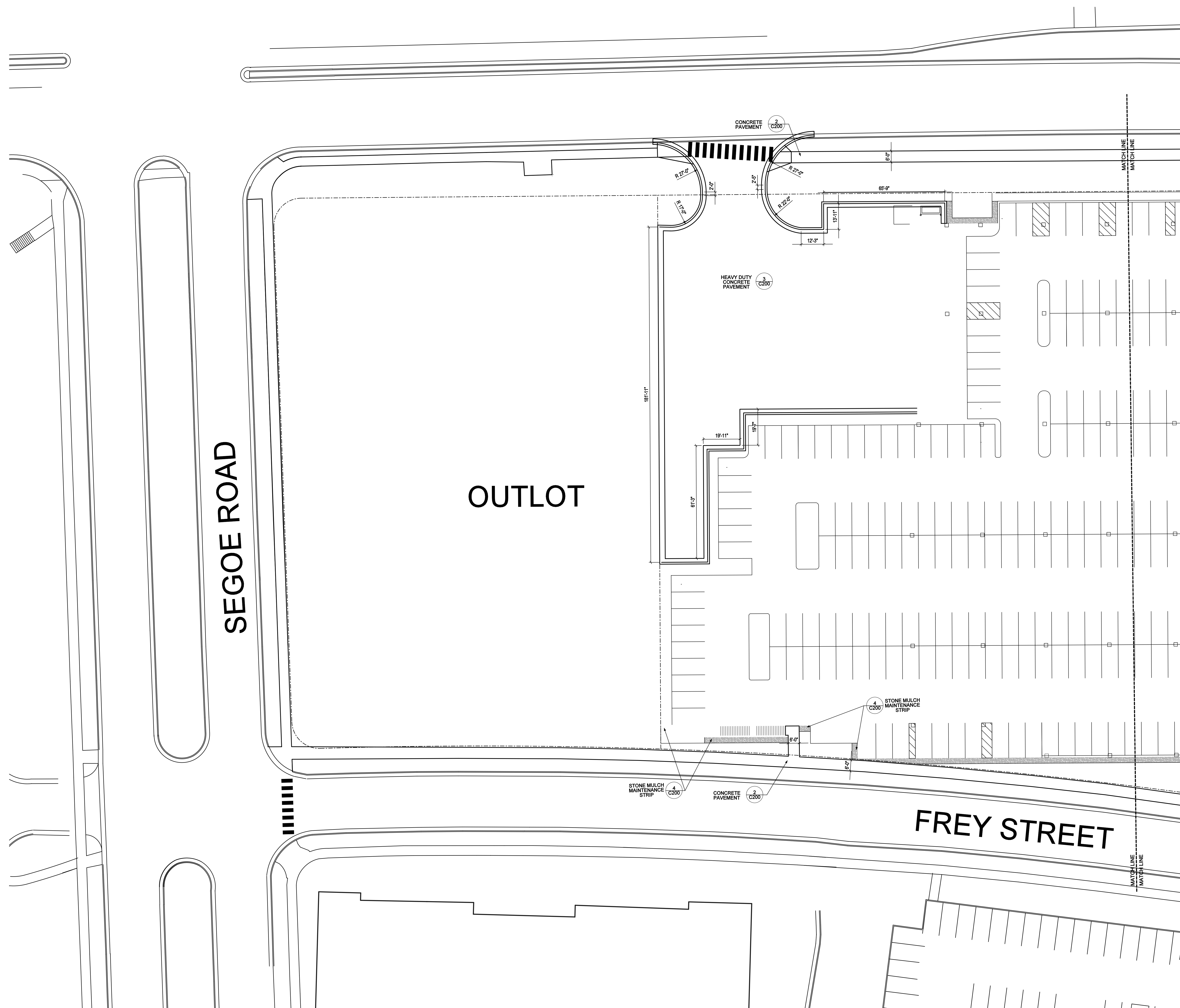
Site Layout — West

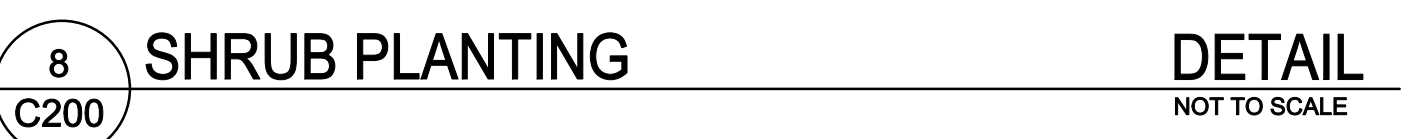
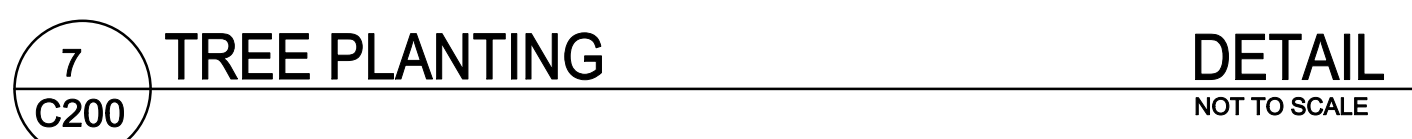
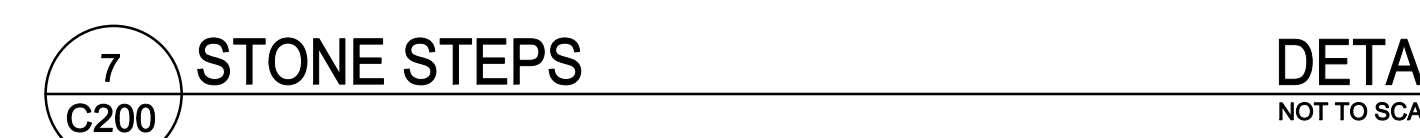
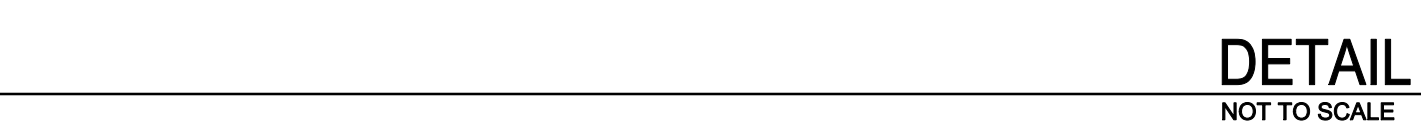
Date: 12/16/09

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Real Estate Department
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Minneapolis, MN 55403

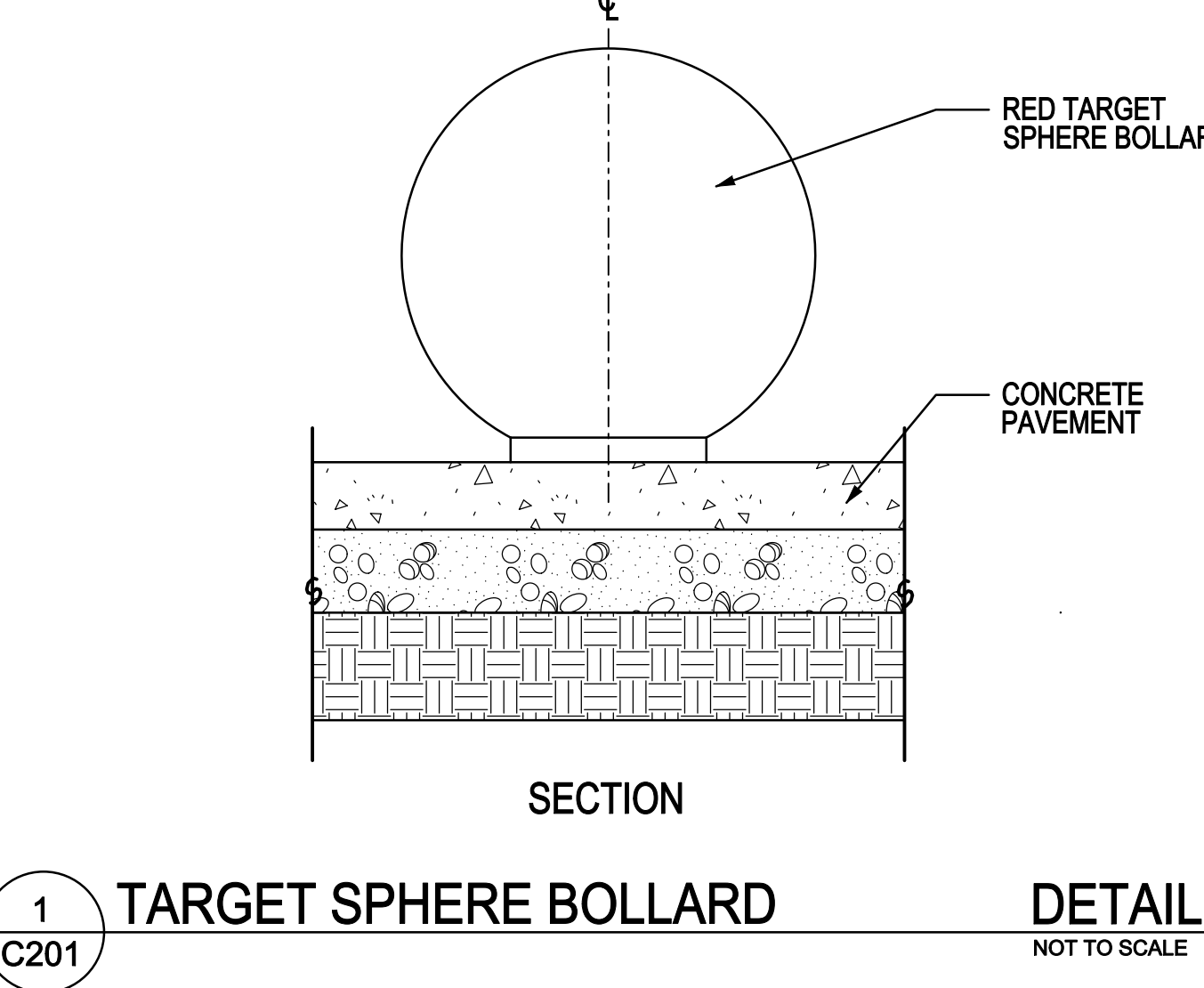
Madison, Wisconsin

Site Details

Date: 12/16/09

Sheet: C200

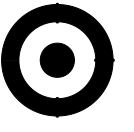
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 <p>SECTION</p> <p>DETAIL NOT TO SCALE</p> <p>1 C201</p> <p>TARGET SPHERE BOLLARD</p>			

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Drawn: _____
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Revisions: _____

Prepared for:

 **TARGET**

PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale
Madison, Wisconsin

Site Details

Date: 12/16/09
Sheet: C201



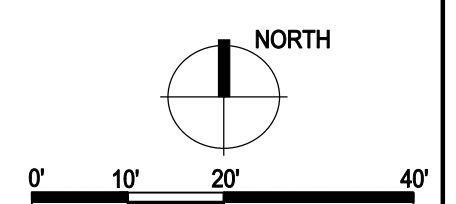
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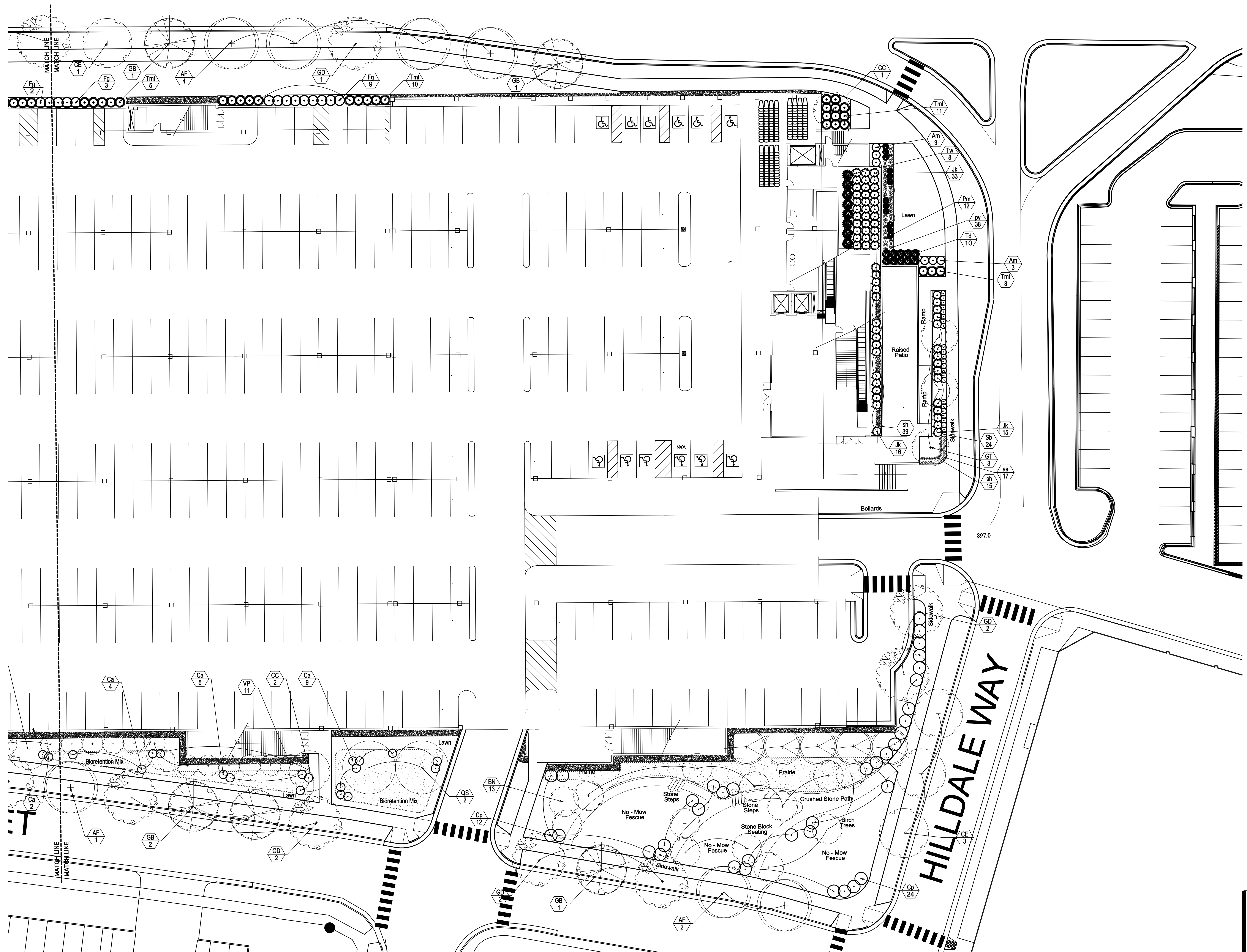
PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Sheet: C300

NOTES:
STREET TREE PLANTINGS ARE FOR
REFERENCE ONLY AT THIS TIME.
SEE SHEET C302 FOR PLANT SCHEDULE.



NOT FOR CONSTRUCTION



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Checked: _____
Drawn: _____
Record Drawing by/date: _____

Revisions:

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Real Estate Department
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Minneapolis, MN 55403

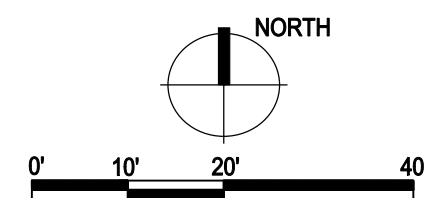
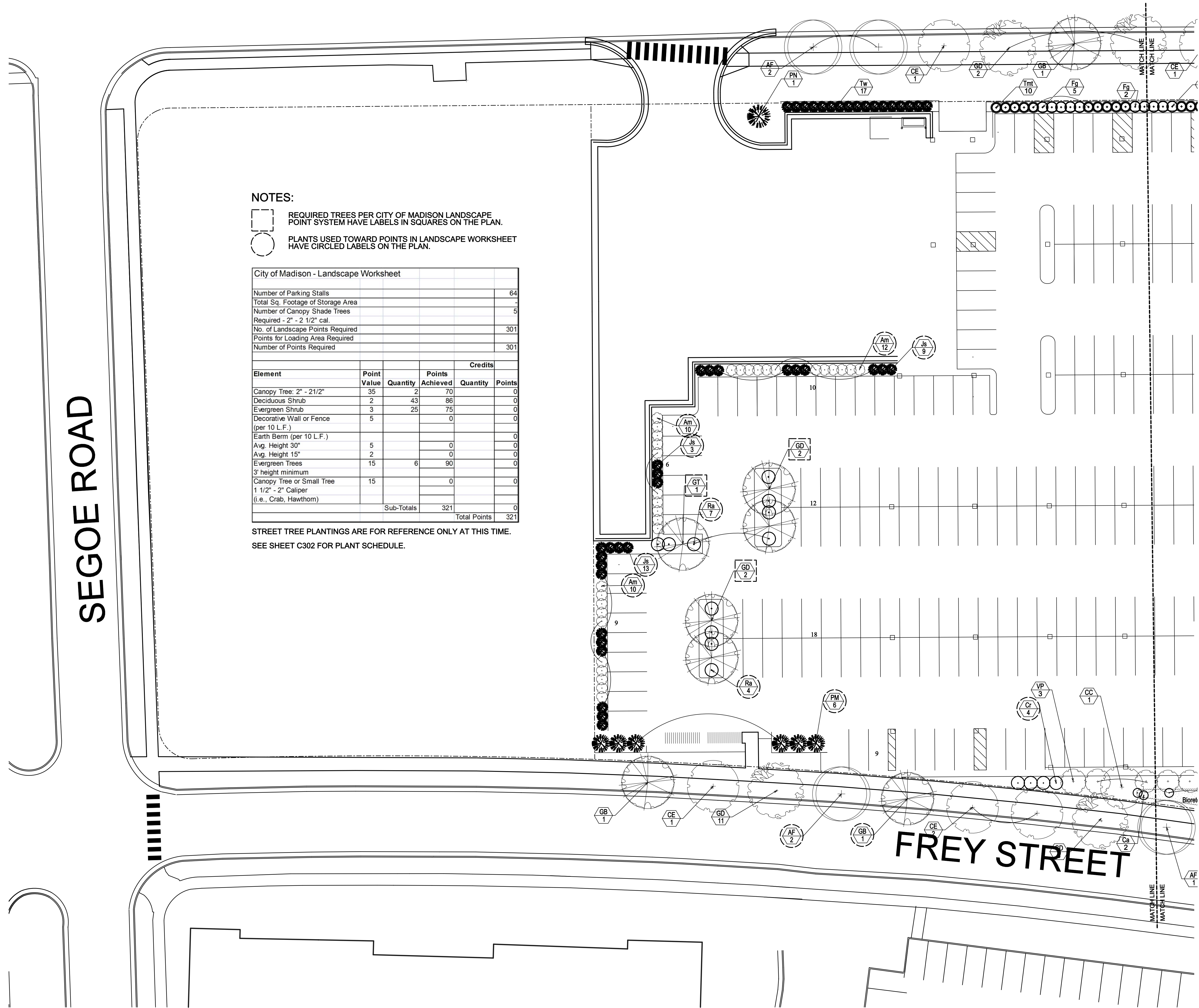
Target
Madison-Hilldale

Madison, Wisconsin

Site Planting Plan –
West

Date: 12/16/09

Sheet: C301



NOT FOR CONSTRUCTION

Designed: _____
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PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicolet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale

Madison, Wisconsin

Planting Schedule

Date: 12/16/09
Sheet: C302

PLANT SCHEDULE:

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
	Deciduous Trees					
AF	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple		2.5" cal.	B&B	Single, straight leader
BN	Betula nigra	River Birch	13	2" cal.	B&B	Single, straight leader
CC	Carpinus caroliniana	Musclewood	4	1.5" cal.	B&B	Single, straight leader
CE	Celtis occidentalis	Common Hackberry		2.5" cal.	B&B	Single, straight leader
GB	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo		2.5" cal.	B&B	Single, straight leader
GT	Gleditsia triacanthos var. inermis 'Shademaster'	Shademaster Honeylocust	4	2.5" cal.	B&B	Single, straight leader
GD	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	4	2.5" cal.	B&B	Single, straight leader
TR	Tilia americana 'Redmond'	Redmond American Linden		2.5" cal.	B&B	Single, straight leader
QS	Quercus x schuettei	Hybrid Swamp x Bur Oak	2	2" cal.	B&B	Single, straight leader
	Ornamental Trees					
VP	Viburnum prunifolium	Blackhaw Viburnum	14	6' ht.	B&B	Multi-stem; min. 3 leaders
	Evergreen Trees					
PM	Pinus leukodermis 'Mint Truffle'	Mint Truffle Bosnian Pine	6	6' ht.	B&B	Single, straight leader
PN	Pinus nigra	Austrian Pine	1	7' ht.	B&B	Single, straight leader
	Deciduous Shrubs/Vines					
Am	Aronia melanocarpa 'Morton'	Iroquois Beauty Black Chokeberry	38	3' ht.	cont.	
Ca	Ceanothus americanus	New Jersey Tea	20	18" ht.	cont.	
Cp	Cornus pumila	Dwarf Red Tipped Dogwood	36	2' ht.	cont.	
Cr	Cornus racemosa	Gray Dogwood	4	3' ht.	cont.	
Fg	Fothergilla gardenii	Dwarf Fothergilla	19	2' ht.	cont.	
Ra	Rhus aromatica 'Gro Low'	Gro Low Fragrant Sumac	11	2' spd.	cont.	
Sb	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	24	18"ht.	cont.	
	Evergreen Shrubs					
Jk	Juniperus chinensis 'Kallay'	Kallays Compact Pfitzer Juniper	64	18" spd.	cont.	
Js	Juniperus scopulorum 'Welchii'	Welch Juniper	25	4' ht.	cont.	
Pm	Pinus mugo 'Mops'	Mops Mugo Pine	12	18" spd.	cont.	
Tmt	Taxus x media 'Tauntanii'	Taunton Yew	39	2' ht.	cont.	
Td	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	10	4' ht.	cont.	
Tw	Thuja 'Wintergreen'	Wintergreen Arborvitae	25	4' ht.	cont.	
	Perennials/Groundcovers					
as	Allium tanguticum 'Summer Beauty'	Summer Beauty Allium	17	1 qt.	cont.	
	Ornamental Grasses					
pv	Panicum virgatum 'Northwind'	Northwind Switch Grass	38	3 gal.	cont.	
sh	Sporobolus heterolepis	Prairie Dropseed	54	1 gal.	cont.	

NOTE: STREET TREE PLANTINGS ARE FOR REFERENCE ONLY AT THIS TIME.
SEE SHEETS C300 & C301 FOR PLANTING PLANS.

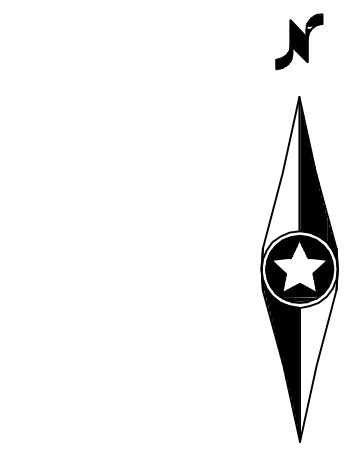
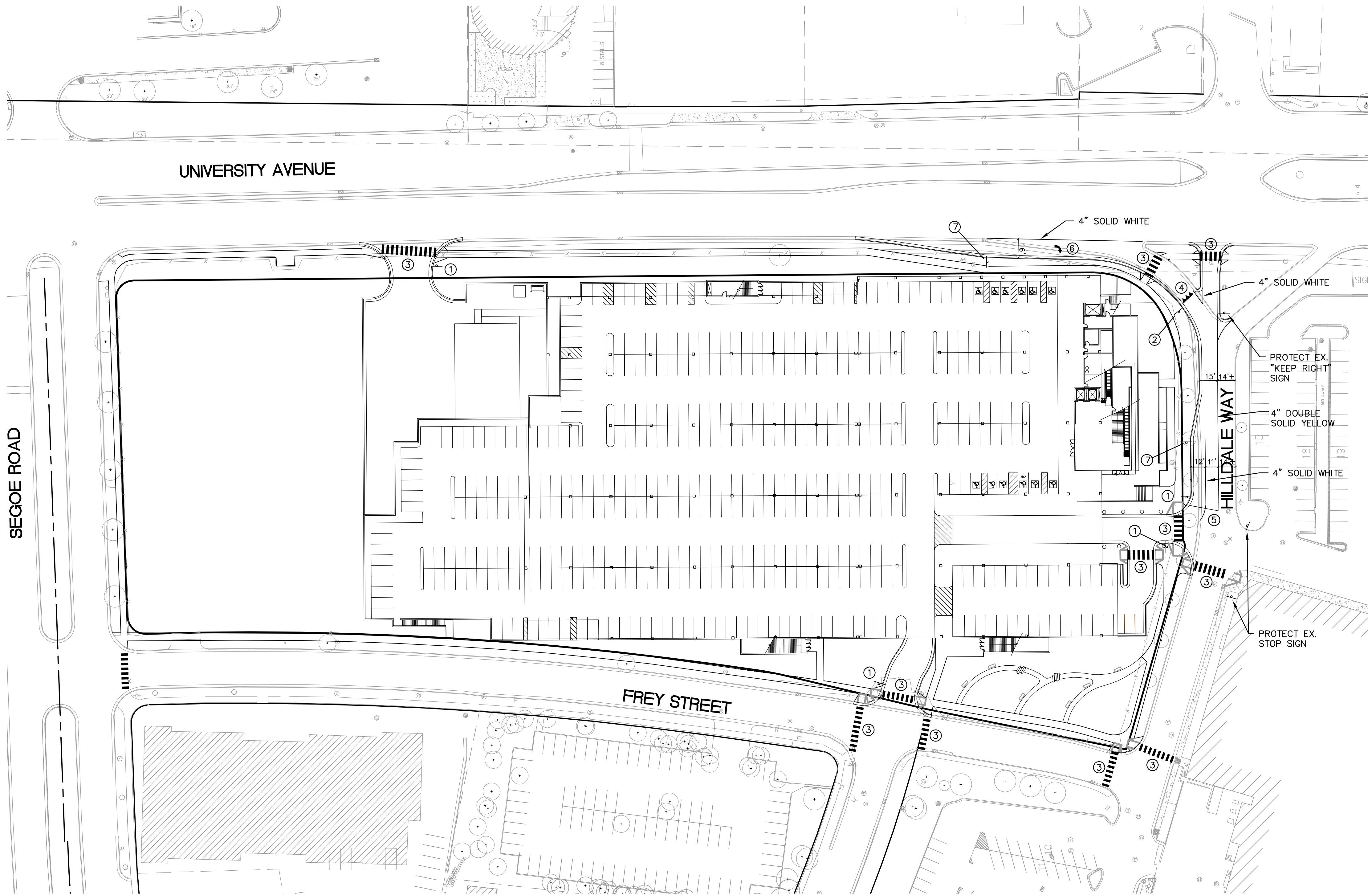
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Signage and Striping Notes

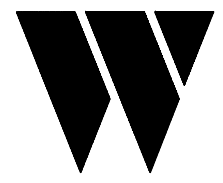
1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING PROVIDED PER ADA CODE. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT.
4. ALL SIGNS SHALL INCLUDE POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. ALL STOP SIGNS SHALL INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB UNLESS OTHERWISE NOTED.

Legend

- ① *R1-1*
STOP
- ② *R1-2*
YIELD
- ③ ZEBRA CROSSWALK (PER 3B.17)
- ④ WHITE YIELD MARKINGS (PER 3B.16)
- ⑤ STOP LINE (PER 3B.16)
- ⑥ LANE USE ARROW (PER 3B.19)
- ⑦ *R9-5*
RIGHT
TURN
LANE



NOT FOR CONSTRUCTION



Westwood

Westwood Professional Services, Inc.
7699 Anagram Drive
Eden Prairie, MN 55344

PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150

www.westwoodps.com

Designed:

Checked:

Drawn:

Record Drawing by/date:

Revisions:

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Wisconsin.

Daniel Parks, P.E.

Date: 12/16/09 License No. 36189

Prepared for:



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale

Madison, Wisconsin

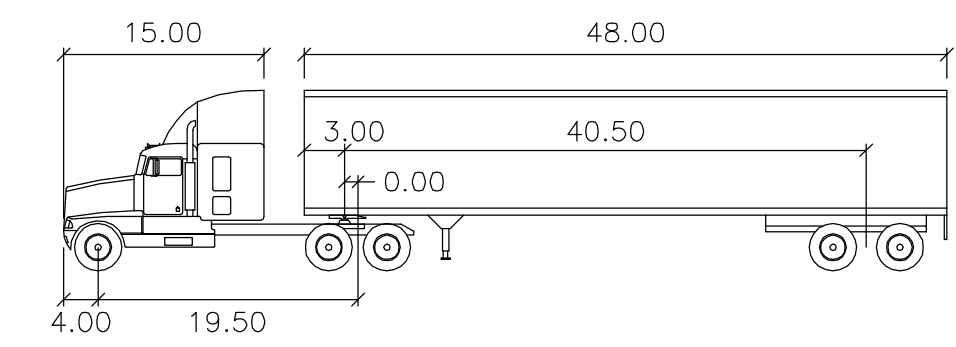
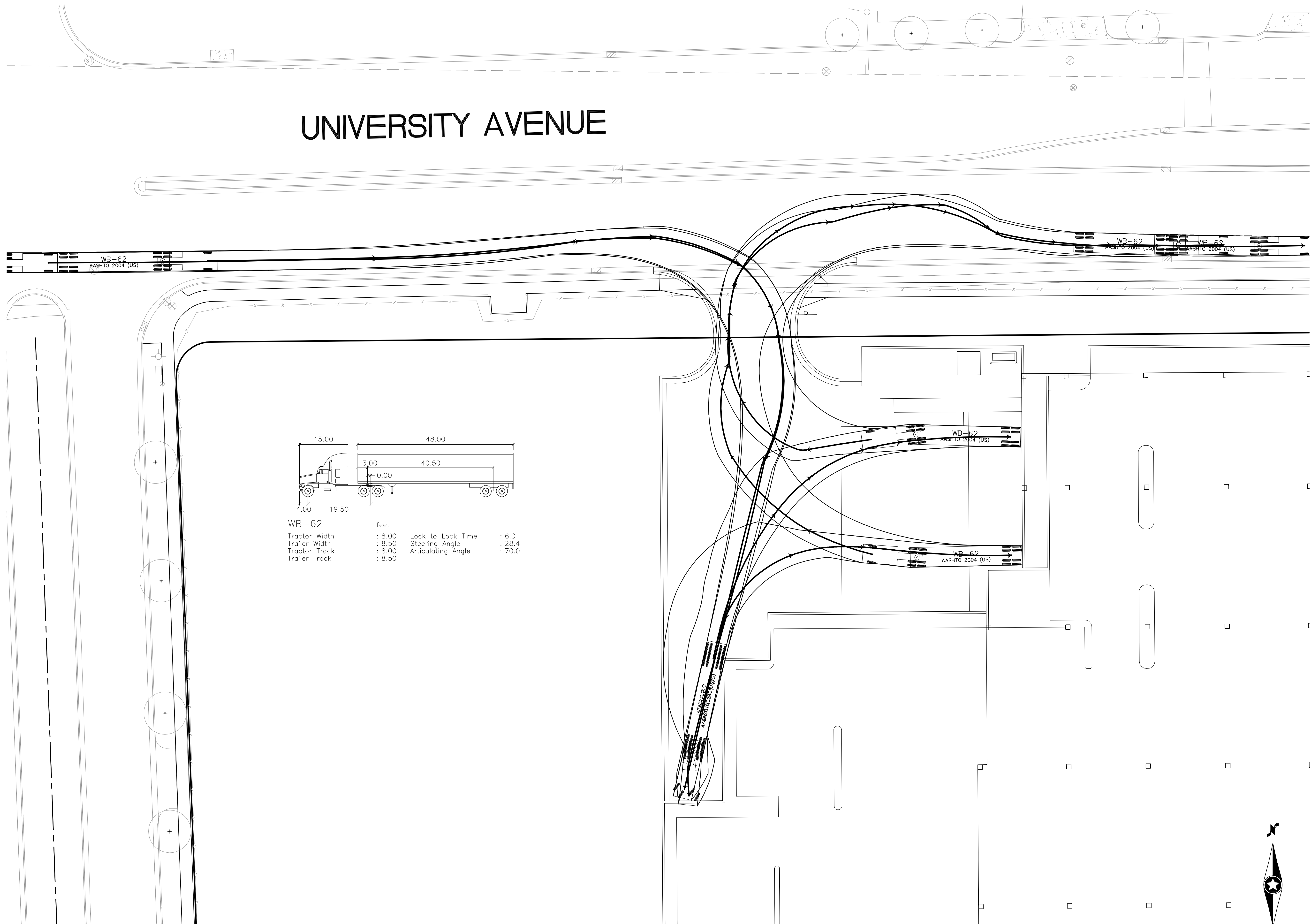
**Pavement Markings
and Signage**

Date: 12/16/09

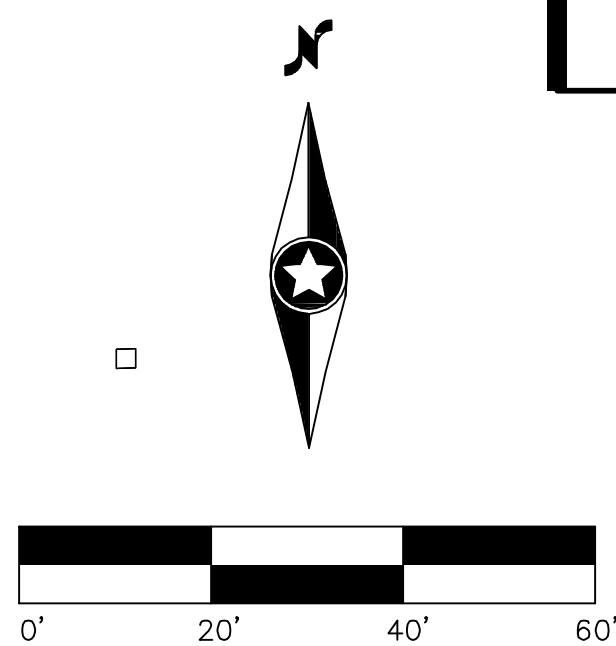
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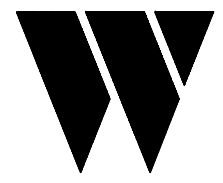
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WB-62 feet
Tractor Width : 8.00 Lock to Lock Time : 6.0
Trailer Width : 8.50 Steering Angle : 28.4
Tractor Track : 8.00 Articulating Angle : 70.0
Trailer Track : 8.50



NOT FOR CONSTRUCTION



Westwood

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Eden Prairie, MN 55344
PHONE 952-937-5150
FAX 952-937-5822
TOLL FREE 1-888-937-5150
www.westwoodps.com

Designed: _____
Checked: _____
Drawn: _____
Record Drawing by/date: _____

Revisions:

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Wisconsin.

Daniel Parks, P.E.
Date: 12/16/09 License No. 36189

Prepared for:



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale

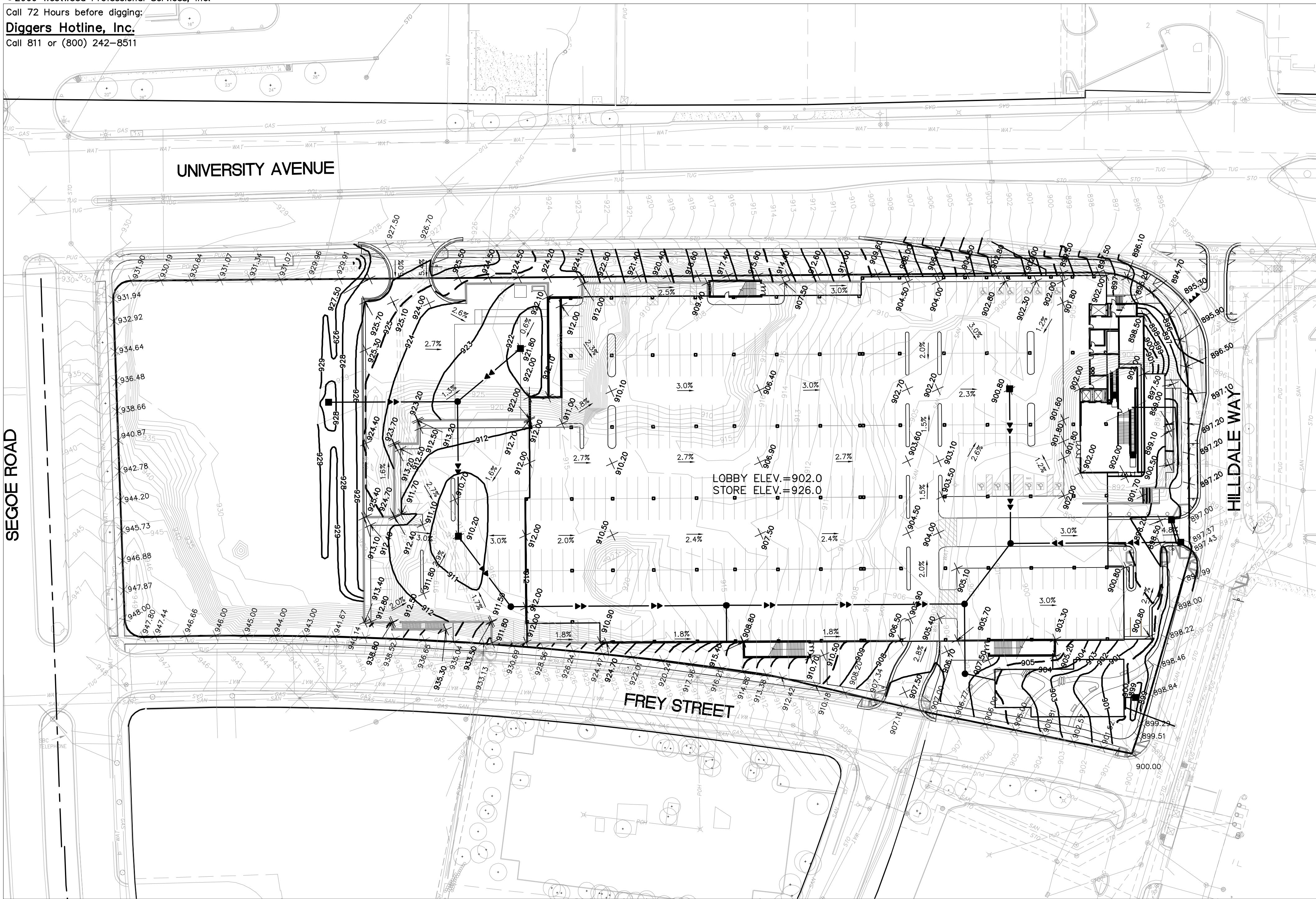
Madison, Wisconsin

Truck Access and Loading

Date: 12/16/09
Sheet: C401

20091130SPPO3.dwg

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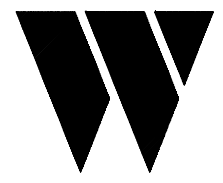


Grading Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		SPOT ELEVATION
		FLOW DIRECTION AND GRADE

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDED A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEN-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



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Designed:

Checked:

Drawn:

Record Drawing by/date:

Revisions:

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Wisconsin.

Daniel Parks, P.E.

Date: 12/16/09 License No. 36189

Prepared for:



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-120
Minneapolis, MN 55403

Target Madison-Hilldale

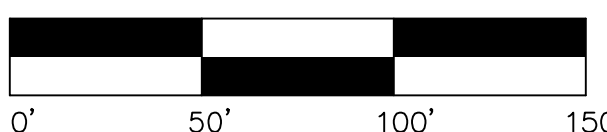
Madison, Wisconsin

Grading Plan

Date: 12/16/09

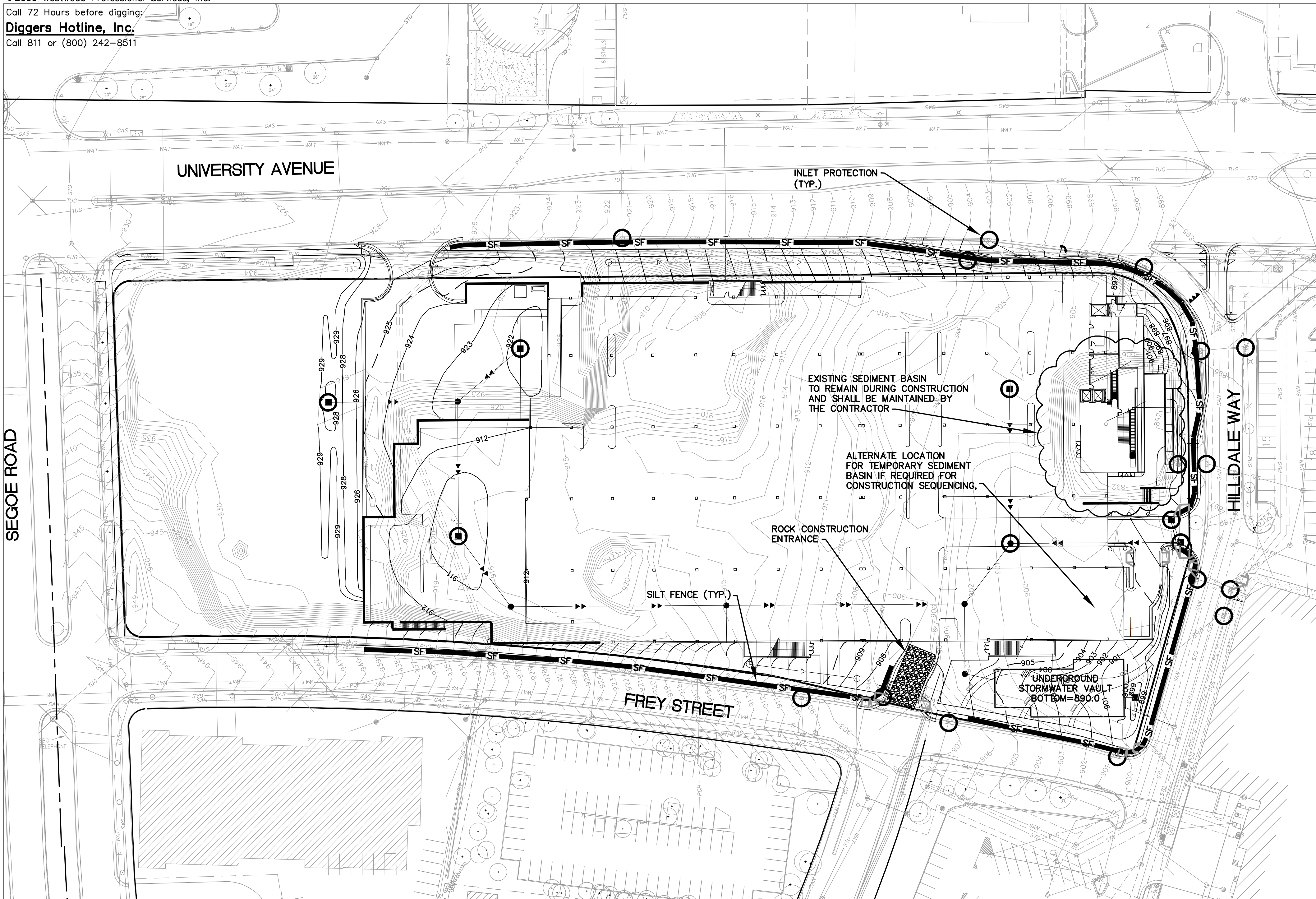
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Erosion Control Notes

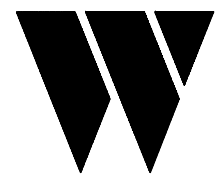
1. SILT FENCE (SEE CITY OF MADISON STANDARD DETAIL DRAWING 1.01) WILL BE INSTALLED AROUND SITE IN ALL FILL AREAS AND LOCATIONS WHERE STORM WATER RUNOFF MAY LEAVE THE SITE, PRIOR TO ANY EXCAVATION/CONSTRUCTION ACTIVITIES.
2. ROCK CONSTRUCTION ENTRANCES (SEE CITY OF MADISON STANDARD DETAIL DRAWING 1.07) WILL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
3. SILTATION AND EROSION CONTROL: THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED CATCH BASIN INSERTS, ROCK CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SHALES SHALL BE REMOVED AFTER EACH RAIN. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
4. CONTRACTOR SHALL INSTALL TEMPORARY INLET PROTECTION (INLET PROTECTION TYPE D OR EQUIVALENT, SEE CITY OF MADISON STANDARD DETAIL DRAWING 1.06) AT ALL CATCH BASIN GRATE INLETS, AFFECTED BY THIS CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL HAVE TEMPORARY PROTECTION OR PERMANENT COVER OVER EXPOSED SOIL AREAS IF NOT BEING ACTIVELY GRADED WITHIN SEVEN (7) DAYS.
6. FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR WOOD FIBER BLANKET IS REQUIRED.
7. PUBLIC STREETS USED FOR HAULING SHALL BE KEPT FREE OF SOIL AND DEBRIS. STREET SWEEPING SHALL BE COMPLETED DAILY.

Erosion Control Notes

8. ALL PROPOSED EROSION CONTROL MEASURES AND STRUCTURES MUST BE INSPECTED AT LEAST WEEKLY AND WHENEVER 0.5 INCHES OF RAIN IS PRODUCED WITHIN 24 HOURS. NECESSARY MAINTENANCE SHALL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
9. FOR THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED AREA, THE CONTRACTOR SHALL MAKE PROVISIONS FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.
10. MATERIALS FOR SEED, FERTILIZERS, MULCHING MATERIAL, AND SOIL STABILIZERS SHALL MEET THE CITY OF MADISON ARTICLE 207 SPECIFICATIONS. CONSTRUCTION METHODS FOR SEEDING, FERTILIZING, MULCHING, WATERING, AND SOIL STABILIZERS SHALL MEET THE CITY OF MADISON ARTICLE 207 SPECIFICATIONS.

Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		STORM SEWER
		SILT FENCE
		ROCK CONSTRUCTION ENTRANCE
		INLET PROTECTION



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Daniel Parks, P.E.

Date: 12/16/09

License No. 36189

Prepared for:



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

Target
Madison-Hilldale

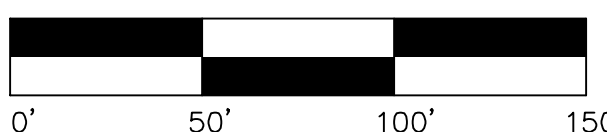
Madison, Wisconsin

Erosion Control Plan

Date: 12/16/09

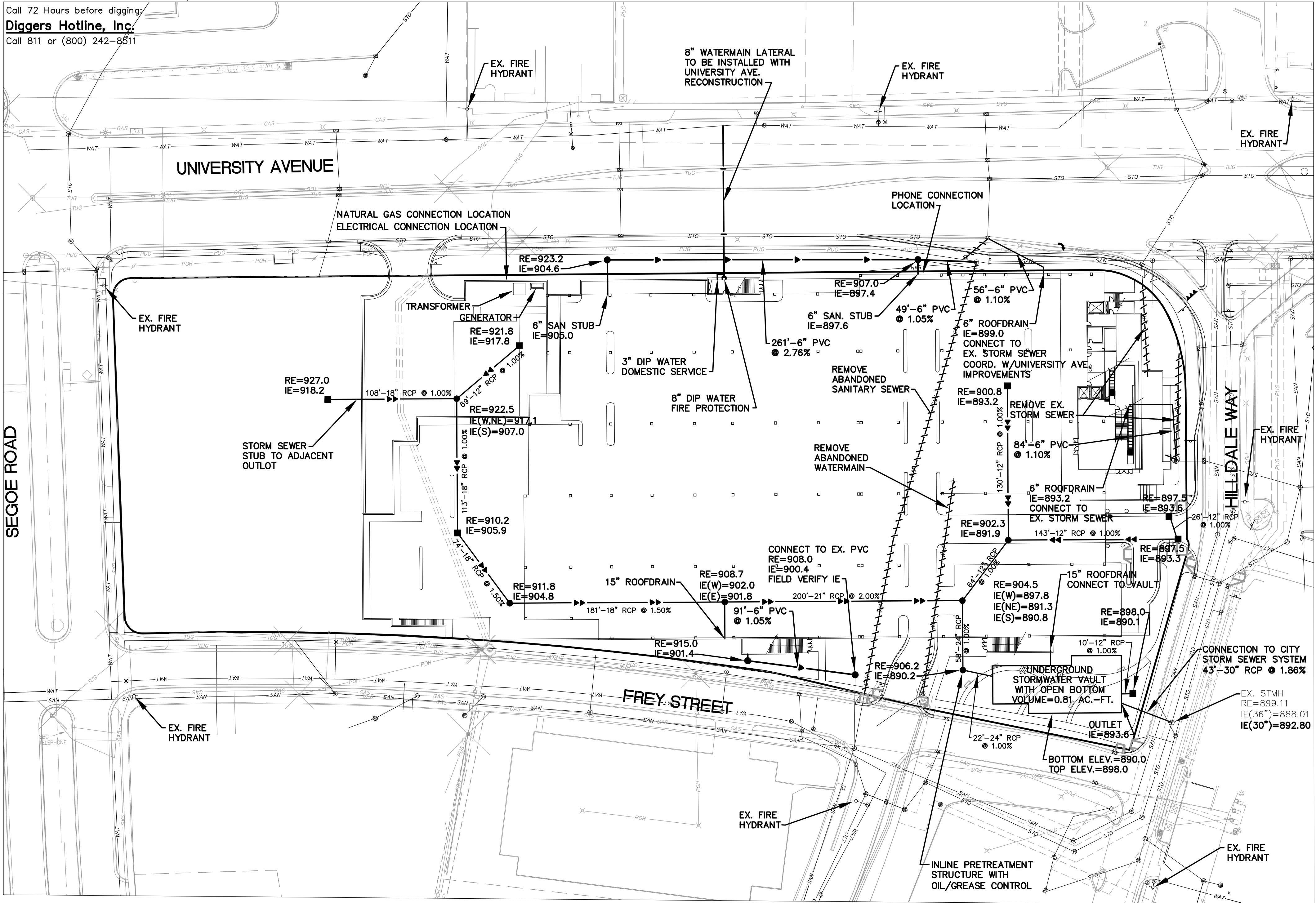
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Utility Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION



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Target
Madison-Hilldale

Madison, Wisconsin

Utility Plan

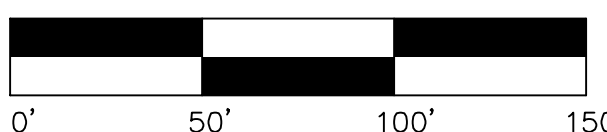
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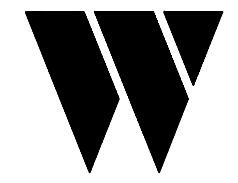
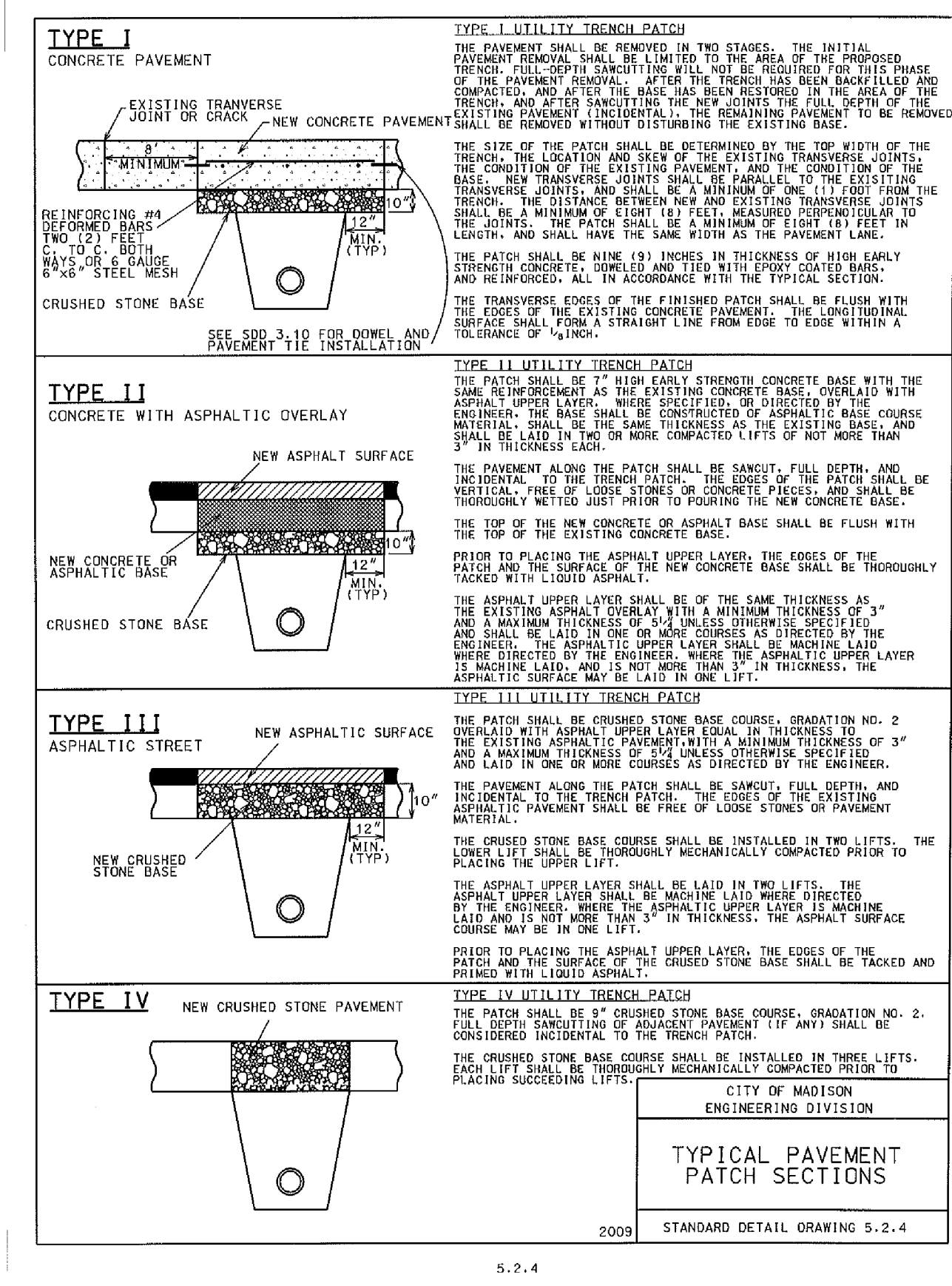
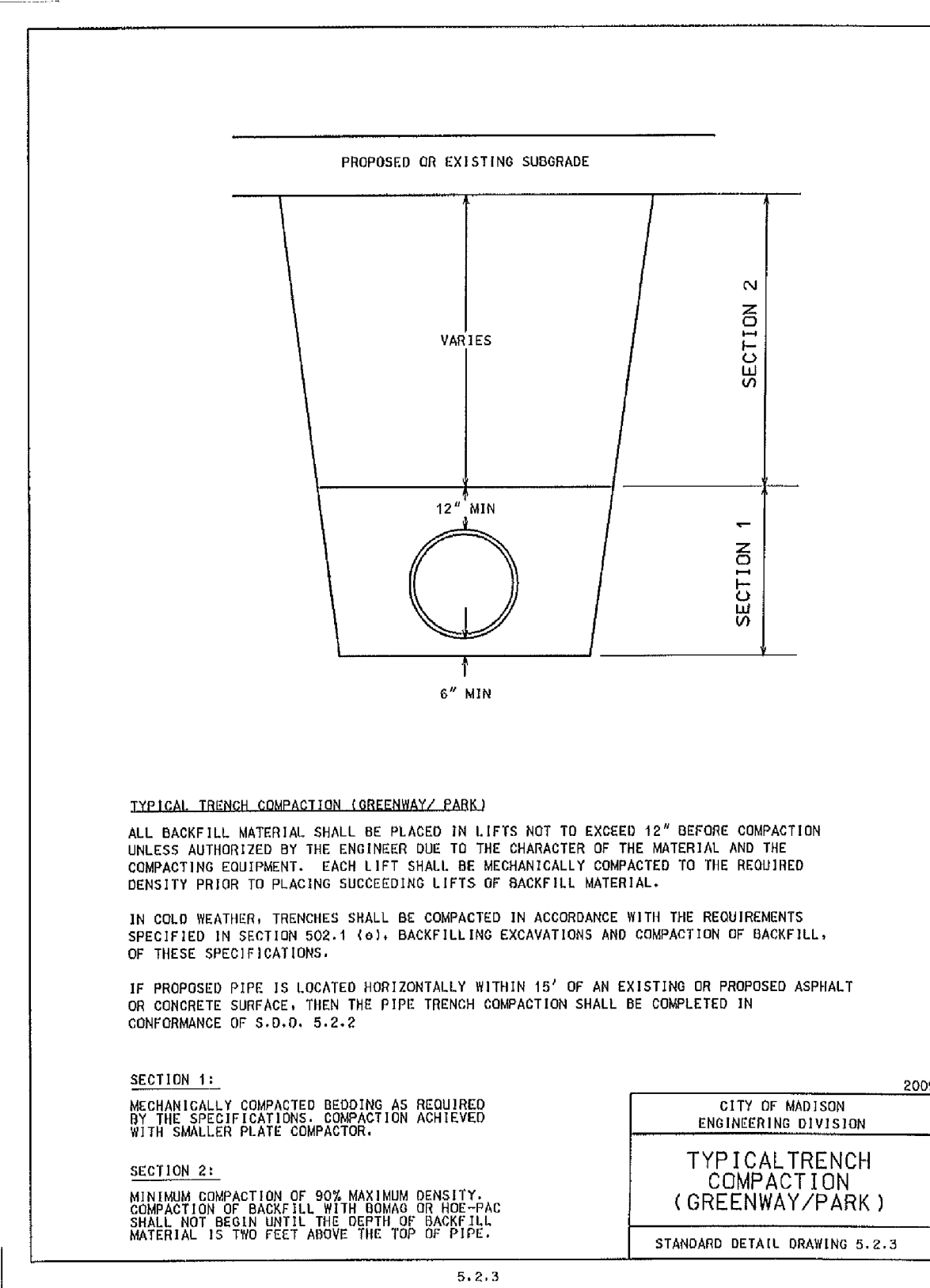
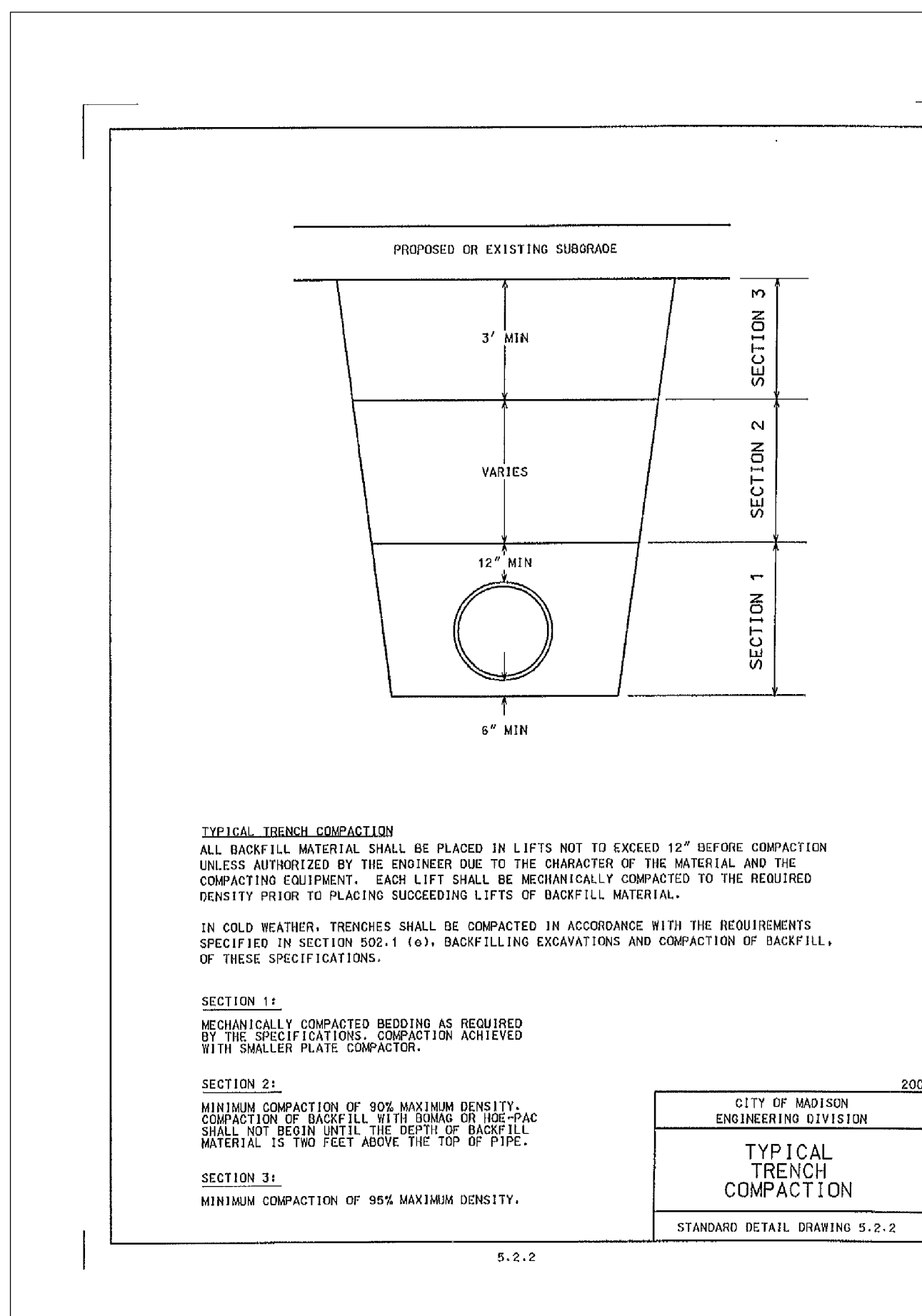
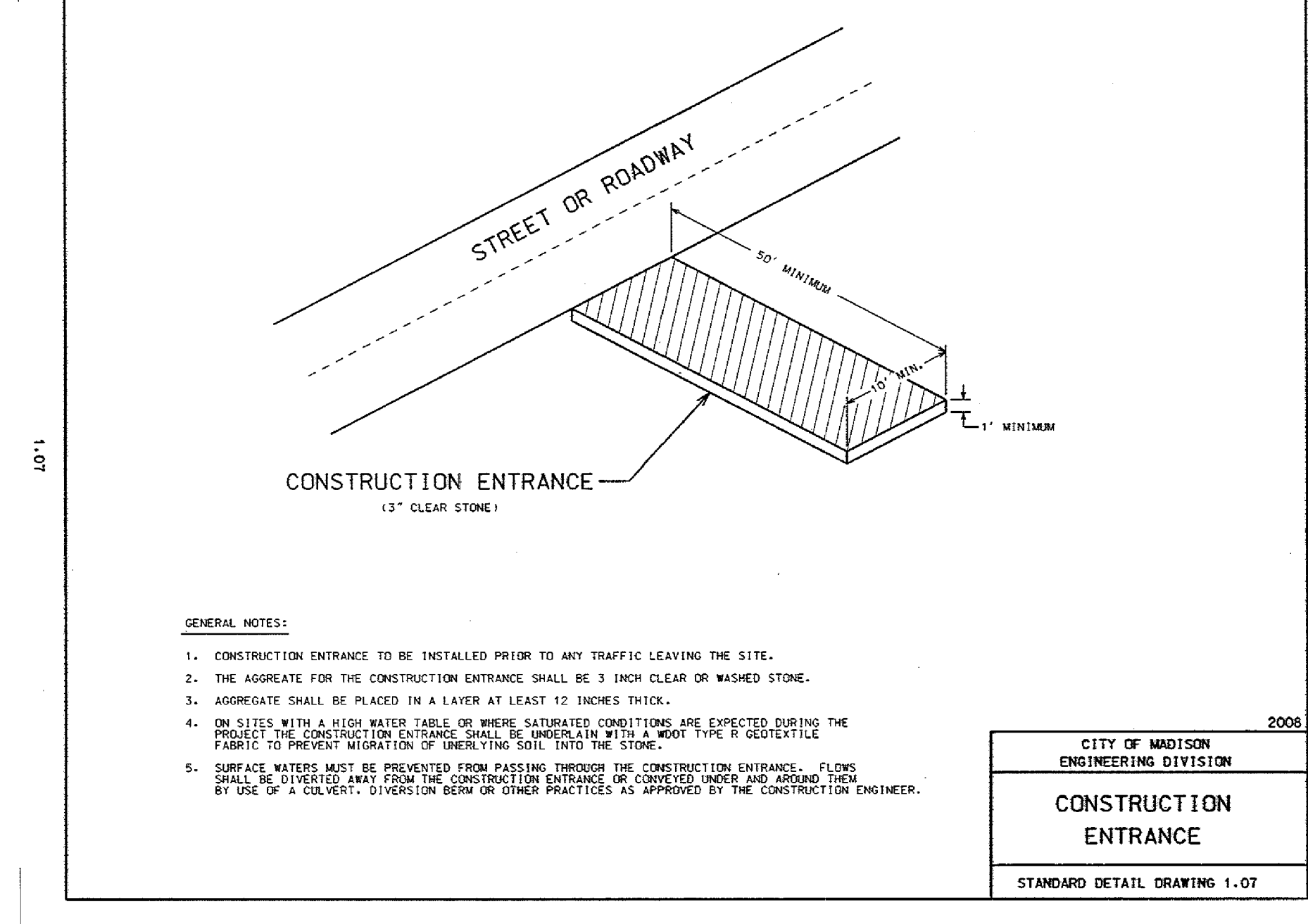
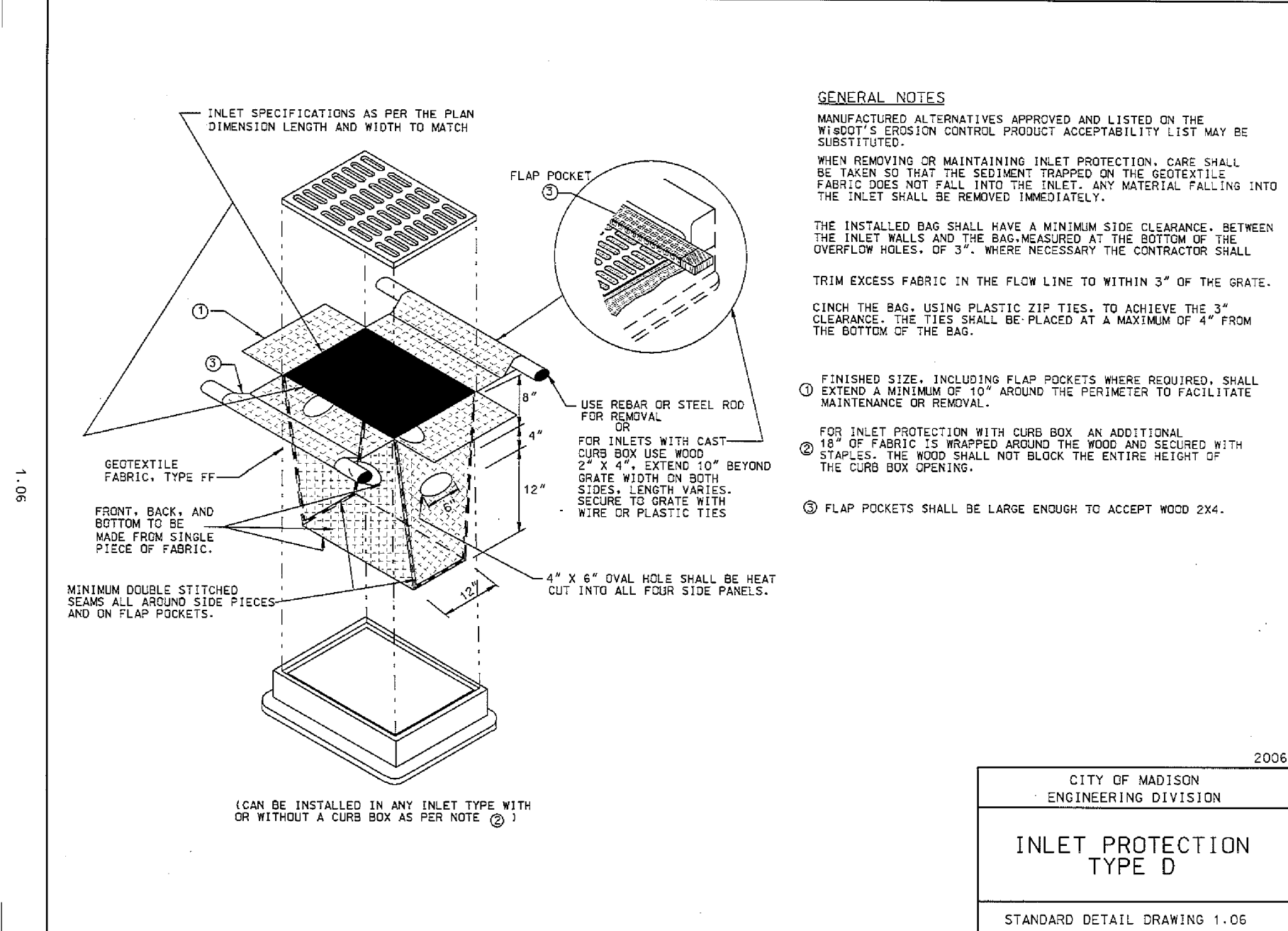
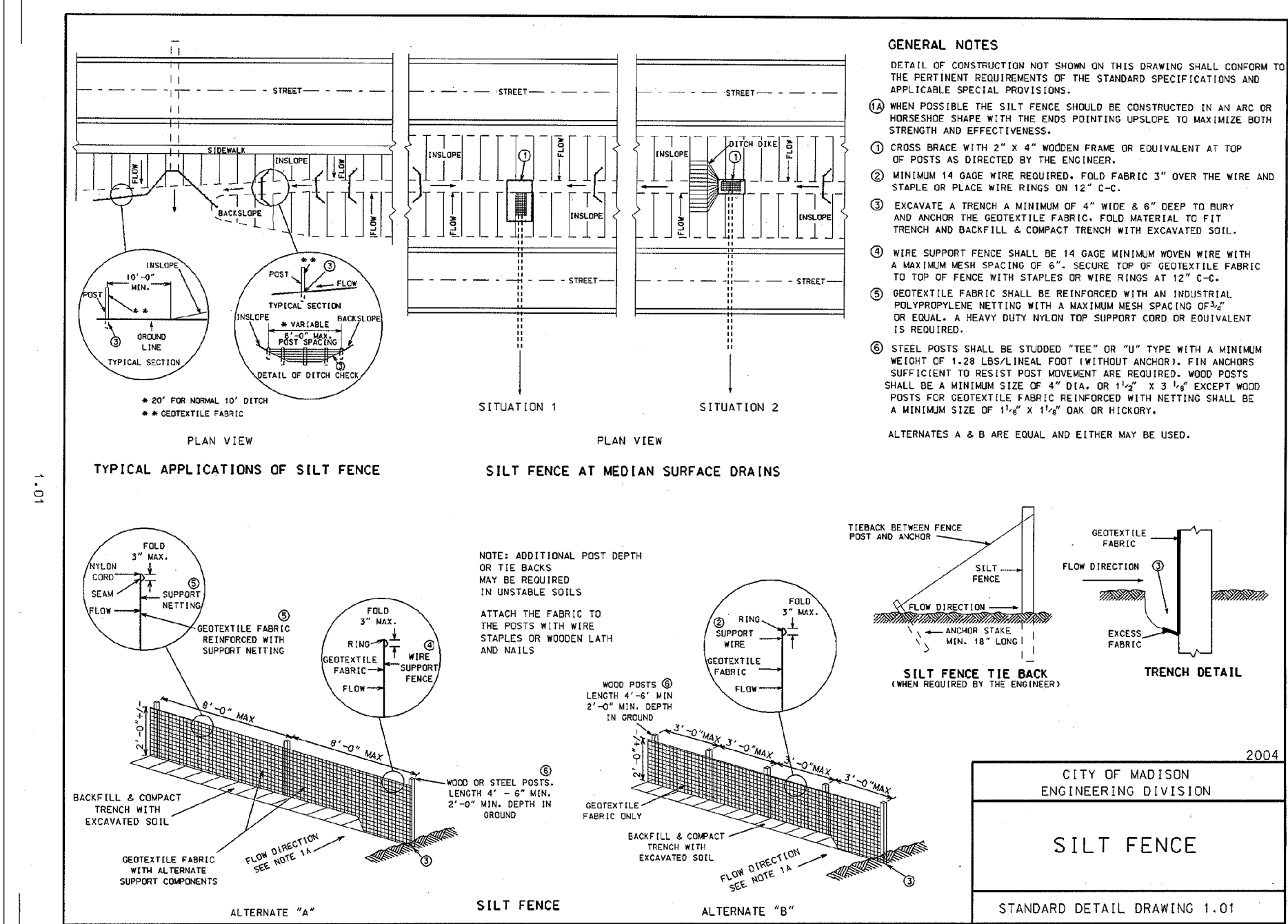
General Utility Notes

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN INSTALLATIONS SHALL BE PER WISCONSIN PLUMBING CODE AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN".
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
- ALL WATER LINES SHALL BE DUCTILE IRON WRAPPED IN POLYETHYLENE, CLASS 52 WITH 6.0' MINIMUM COVER. PROVIDE MINIMUM SEPARATION OF 18" FROM SANITARY SEWER & STORM SEWER. INSULATE WATER MAIN IF LESS THAN 6.0' OF COVER.
- INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS, PIPE SHALL BE PVC SCHEDULE 40.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS, OR HDPE STORM SEWER PIPE IF ALLOWED BY THE CITY. HDPE STORM PIPE SHALL MEET REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. PVC STORM SEWER PIPE SHALL BE SCHEDULE 40 PIPE. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS & RIP-RAP.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



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• _____

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direct sum

Daniel Parks, P.E.
Date: 12/16/09 License No. 36189

Prepared for:



PROPERTY DEVELOPMENT
Real Estate Department
1000 Nicollet Mall, TPN-12D
Minneapolis, MN 55403

**get
dison-Hilldale**

on, Wisconsin

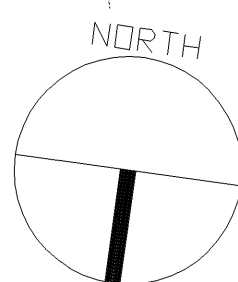
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$$N6'' = 1'-0''$$


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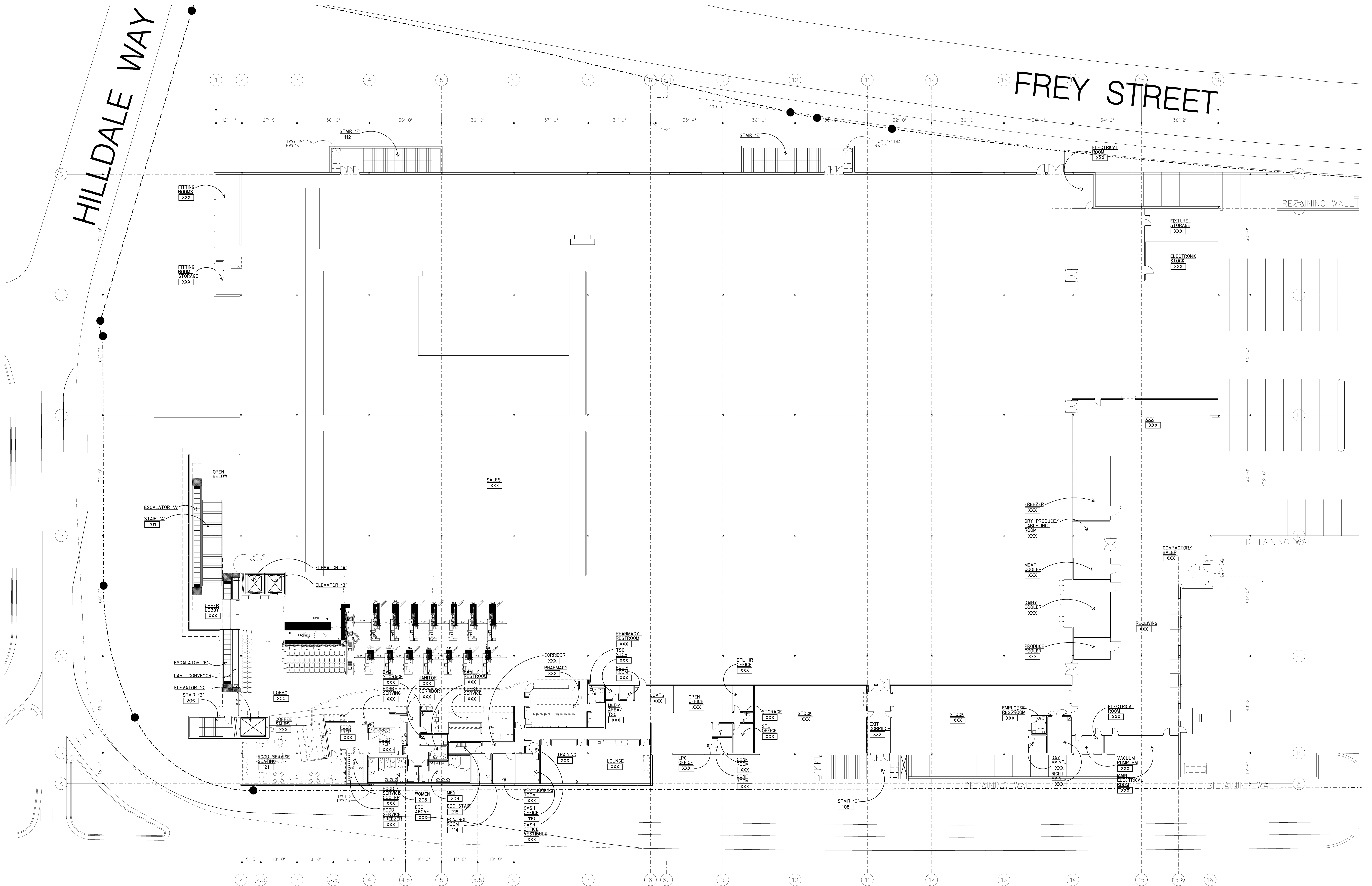
TARGET STORE

MADISON
HILDALE MALL
MADISON, WI

STORE	
T2765	P09.400
	V08B
PROJECT CODE	CONFIGURATION
XXXXXXXX	LR

LOWER LEVEL
FLOOR PLAN

A110



UNIVERSITY AVENUE

1 UPPER FLOOR PLAN
A111
SCALE: 1/16" = 1'-0"
NORTH

Photo P400 V088 files



DATE REVISION	DATE	BY	REVISION
DAY MONTH YEAR	MM-DD-YY	BP-3.0	COMPLETE CONSTRUCTION
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DESIGNER INITIALS			
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ARCHITECT INITIALS			

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HILLDALE MALL
MADISON, WI

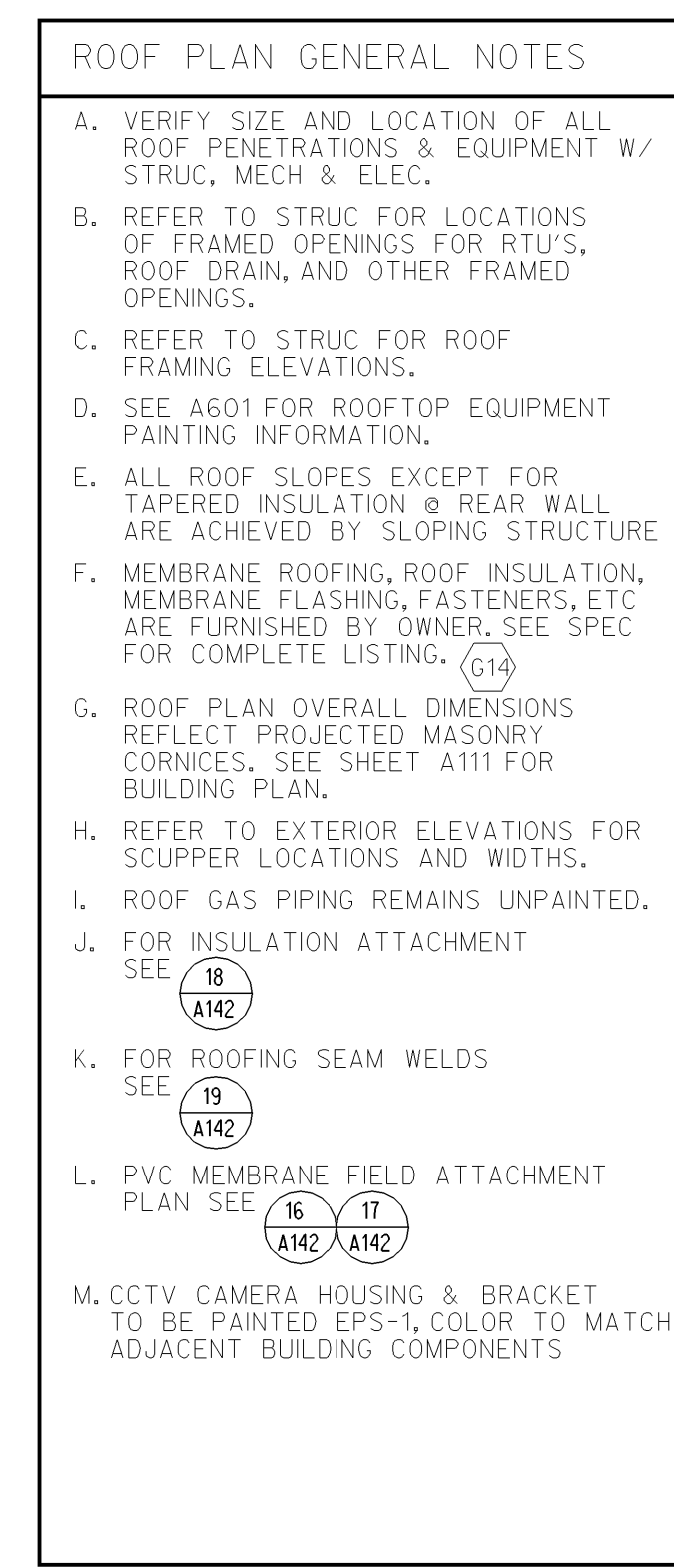
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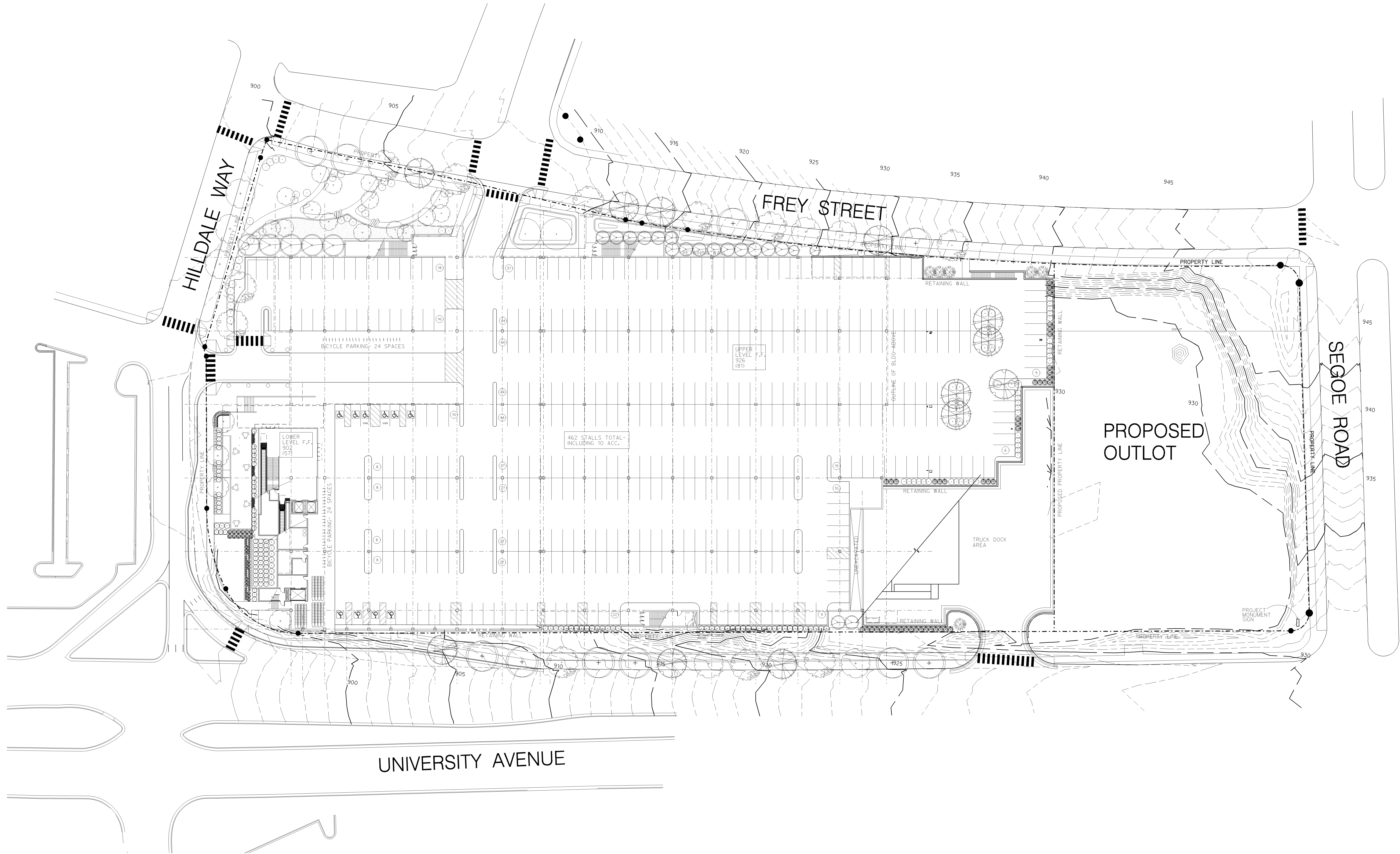
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T-XXXX CITY, STATE





1 SITE/SIDEWALK PLAN
A151

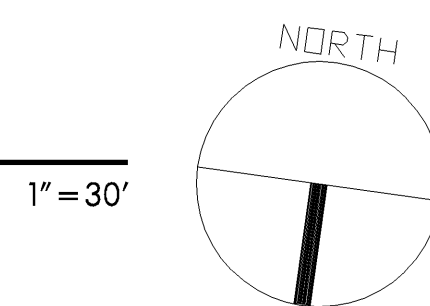


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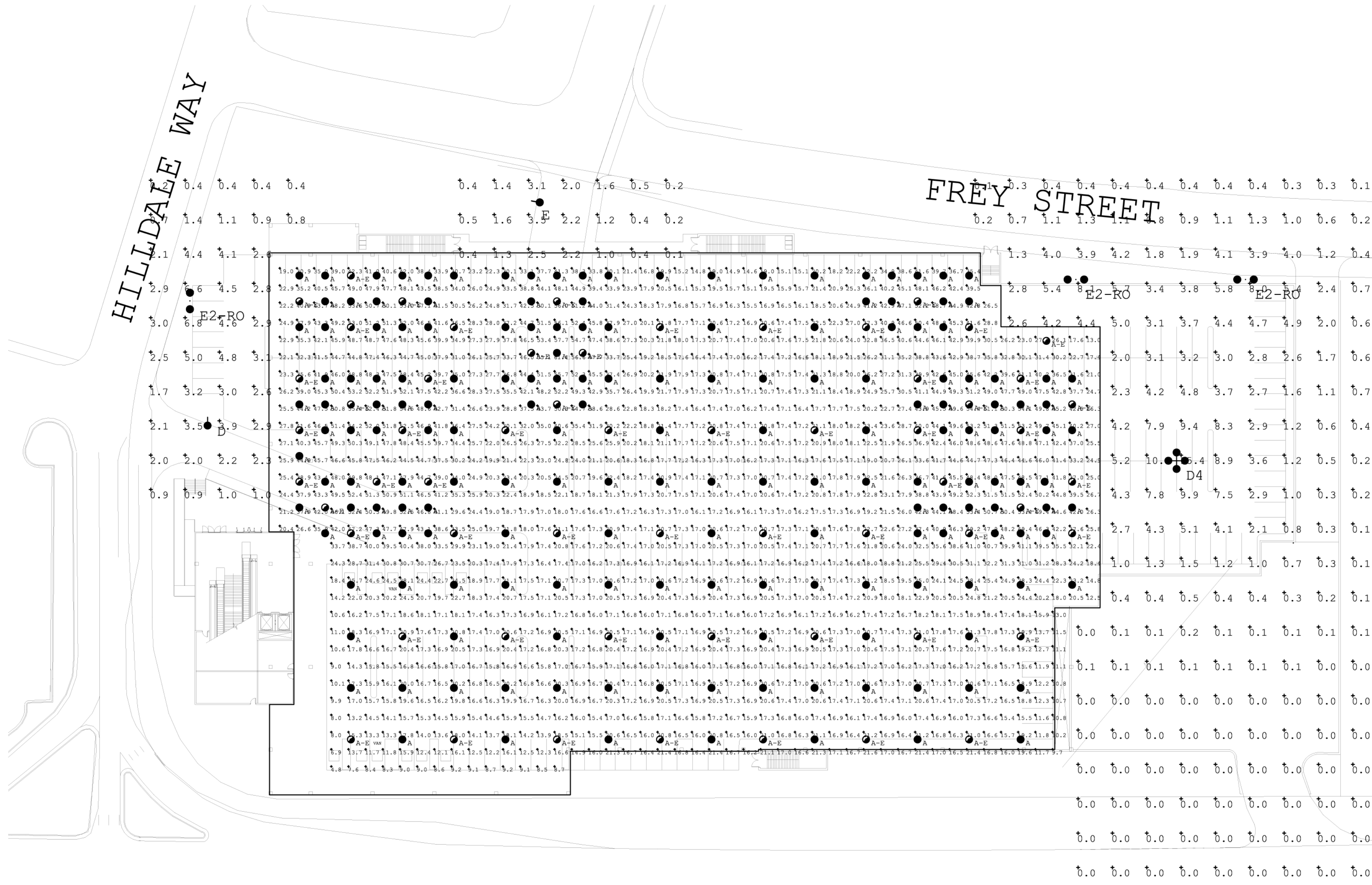
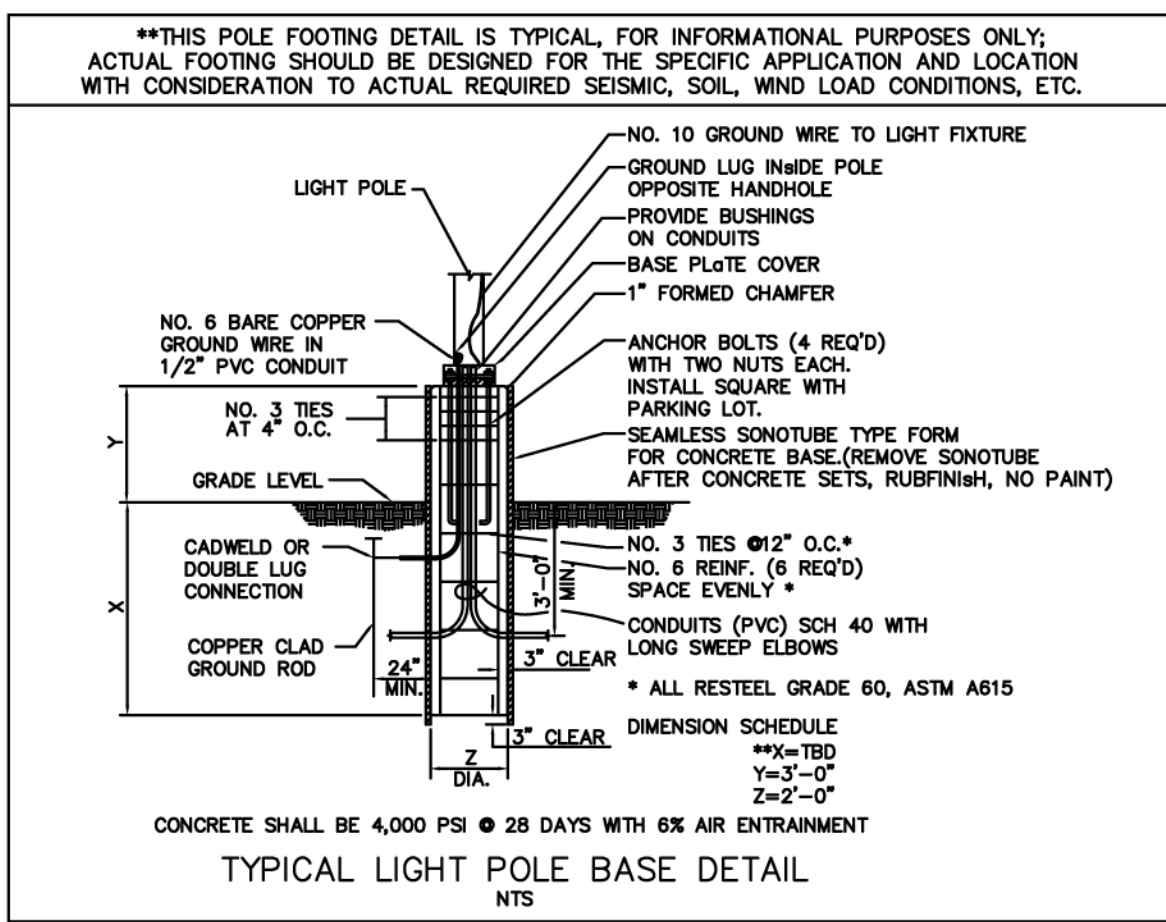
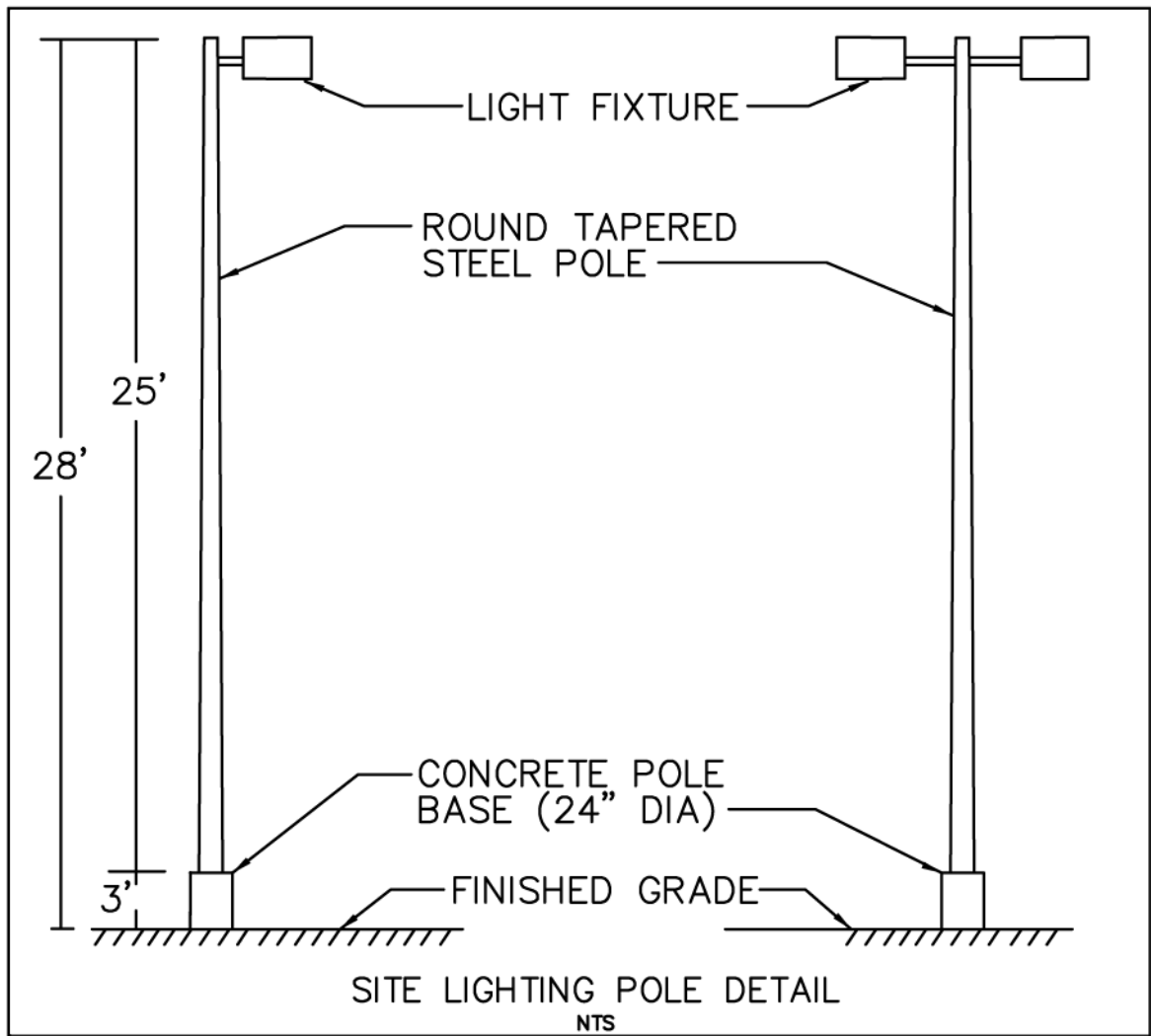
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MADISON, WI

STORE
T2765
PROJECT CODE
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POS.400
V08B
CONFIGURATION
LR

SITE/SIDEWALK PLAN

A151



UNIVERSITY AVENUE

1 GARAGE PARKING & SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1\"/>

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
North Entrance	50.31	61.4	37.7	1.33	1.63
West Central Entrance	47.16	55.4	25.5	1.85	2.17
West North Entrance	44.42	53.6	22.2	2.00	2.41
West South Entrance	44.70	52.5	24.4	1.83	2.15
East North Entrance	43.45	52.2	26.5	1.64	1.97
East Central Entrance	45.92	54.4	24.7	1.86	2.20
East South Entrance	45.28	53.4	25.8	1.76	2.07
Overall General Parking	23.17	50.3	11.7	1.98	4.30

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Lumens	LLF
	177	A	SINGLE	21000	0.810
	59	A-E	SINGLE	21000	0.810
	1	D	SINGLE	30000	0.810
	1	D4	4 @ 90 DEGREES	30000	0.810
	1	E	SINGLE	30000	0.810
	3	E2-RO	ROTATED OPTICS	30000	0.810

TARGET SITE LIGHTING SCOPE NOTES			
Fixture Manufacturer:	Cooper	Fixture Side Skirts:	None
Lamp Type:	Pulse Start MH	Pole Material:	Steel
Lamp Wattage:	320W	Mounting Height:	25' Pole + 3' Base
Lamp Orientation:	Vertical	Concrete Base:	3' High & 24\"/>
Fixture Type:	Shoe Box	Pole & Fixture Color:	To Be Determined
(All Values Are Minimum Maintained At Ground Surface)			
Target Entrance (s)	5.0 fc	Entry Drive (s)	3.0 fc
Parking Lot	3.0 fc	Edges of Parking	2.0 fc
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.			
The lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamp(s) and other variable field conditions.			

Per Target Developer Guide Edition 2.9:
**After approval by Target,
NO CHANGES OR SUBSTITUTIONS ALLOWED
in fixture manufacturer, lighting type and/or site lighting
photometric plan without written authorization by Target.**

For Additional Lighting Information and Pricing Contact:
On-Site Lighting & Survey, LLC
PH: 763-684-1548

Project No. 8091130	Design Level: 2
THIS PLAN CONFORMS TO TARGET DEVELOPER GUIDE, EDITION 2.9: Yes	Cap. Score: 231
THIS PLAN CONFORMS TO CITY / COUNTY ORDINANCES:	Yes



1000 N COLLETT MALL
MINNEAPOLIS, MINNESOTA 55403

**On-Site Lighting
& Survey, LLC**

1111 Hwy 25 North, Suite # 201
Buffalo, MN 55313
PH 763-684-1548 Fax 763-682-9048



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ARCHITECT INITIALS		

**MADISON
HILLDALE MALL
MADISON, WI**

STORE
T2765

PROJECT CODE
XXXXXX

TITLE
**PHOTOMETRIC
PLAN**

SL1