

KWIK TRIP STORE #187

CONDITIONAL USE PERMIT APPLICATION SUBMITTAL

OWNER

KWIK TRIP, INC
JEFF OSGOOD
1626 OAK STREET
LA CROSSE, WI 54602
PHONE: 608-793-5547
EMAIL: josgood@kwiktrip.com

CIVIL ENGINEER

SNYDER & ASSOCIATES
SCOTT ANDERSON
5010 VOGES RD
MADISON, WI 53718
PHONE: 608-838-0444
EMAIL: sanderson@snyder-associates.com

SURVEYOR

SNYDER & ASSOCIATES
5010 VOGES RD
MADISON, WI 53718
PHONE: 608-838-0444

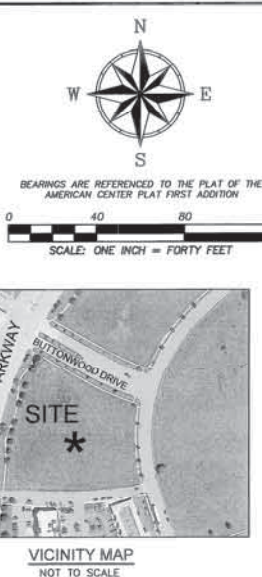
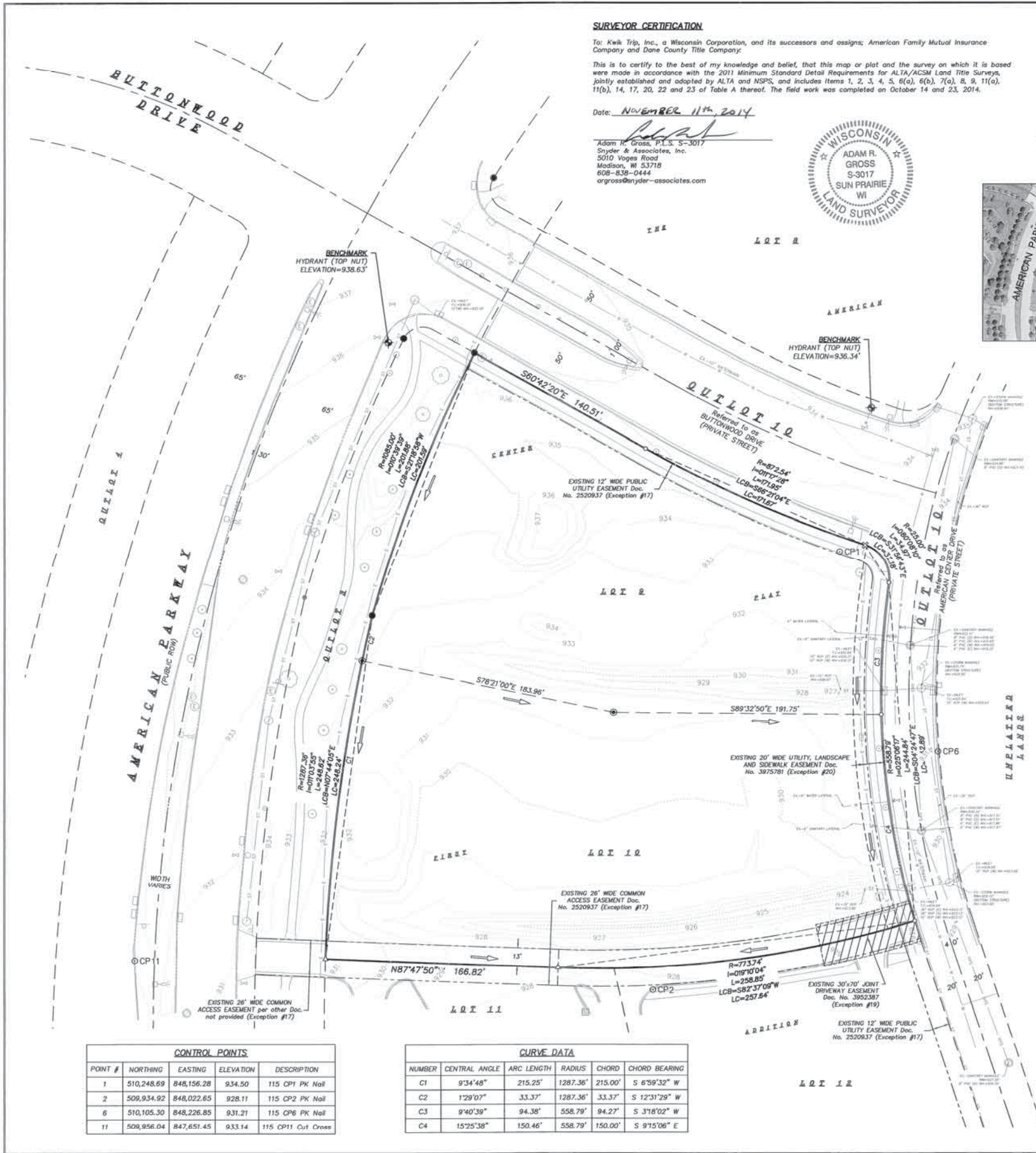
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P.O. BOX 2107
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PH. (608) 781-8988
FAX (608) 781-8960

COVER SHEET	CONVENIENCE STORE #187 WITH 2-BAY CARWASH AMERICAN FAMILY DEVELOPMENT SEC OF AM FAM PKWY & BUTTONWOOD DR MADISON, WI		
	#	DATE	
	DESCRIPTION		
DRAWN BY		MULTIPLE	
SCALE		NTS	
PROJ. NO.		0001	
DATE		2015-03-04	
SHEET		G000	



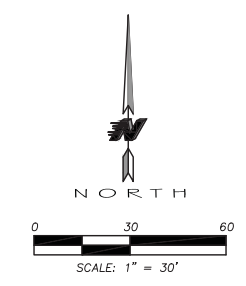
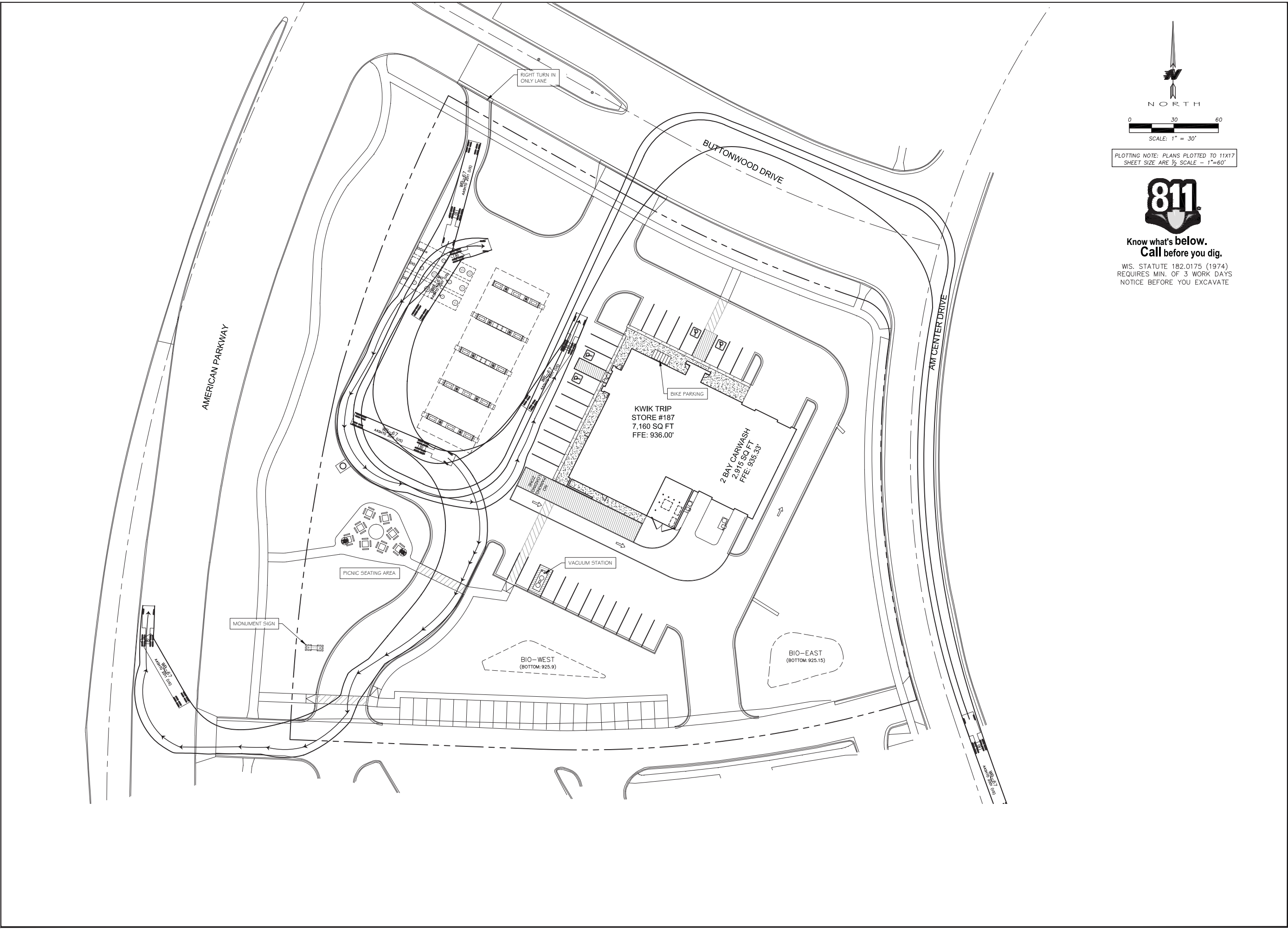
ALTA/ACSM LAND TITLE SURVEY

LOTS 9 AND 10, THE AMERICAN CENTER PLAT FIRST ADDITION, AS RECORDED IN VOLUME 56-172A OF PLATS, ON PAGES 529-530, AS DOCUMENT NUMBER 2520937, DANE COUNTY REGISTRY, ALSO LOCATED IN THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 08 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
(608) 838-0444
www.snyder-associates.com

SURVEYED FOR:
Kwik Trip, Inc.
P.O. Box 2107
1626 Oak Street
LaCrosse, WI 54602

SNYDER & ASSOCIATES
Engineers and Planners



PLOTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=60'



Know what's below.
Call before you dig.

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



STORES



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www.snyder-associates.com

SITE PLAN - TURNING MOVEMENTS

CONVENIENCE STORE 187
4701 AMERICAN PARKWAY
MADISON, WISCONSIN 53718

NO.	DATE	DESCRIPTION

DRAWN BY	M. WAHL
SCALE	1" = 30'
PROJ. NO.	KTS02
DATE	3-4-15
SHEET	SP



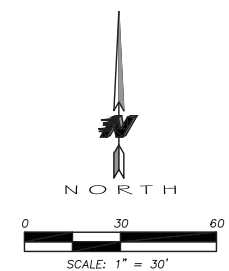
UTILITY COMPANY INFORMATION

GAS/ ELECTRIC-

PHONE- AT&T

COMMUNICATIONS-

SANITARY, WATER -



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1. PLAN PREPARED FROM AN ALTA/ASCM SURVEY BY:
SNYDER & ASSOCIATES, PHONE: 638-638-0444
DATED NOVEMBER 11, 2014
2. CURBS ARE DIMENSIONED TO FACE OF CURB.

UNLESS SHOWN OTHERWISE ON THIS DRAWING, CONTRACTOR SHALL
PROVIDE JOINTS, CONSTRUCTION JOINTS, AND
EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVES.

CONTROL JOINT MAXIMUM DISTANCE: WALKS- 8' 0" C., ALL OTHERS-
10' 0" C. SAW CUT CONTROL JOINTS MINIMUM ONE-QUARTER
CONCRETE THICKNESS.

EXPANSION JOINT MAXIMUM DISTANCE: WALKS- 24' 0" C., ALL
OTHERS- 40' 0" C. DOWEL ALL EXPANSION JOINTS- MAXIMUM 24' 0" C.
3. EXTERIOR IN ISLAND COMPLEX SHALL BE SMOOTH FINISHED.

EXTERIOR CONCRETE SURFACES TO BE SEALED. CONCRETE SEALER:
APR 15- OCT 31 USE: TK-260V
NOV 1- DEC 31 USE: TK-290
5. EXPANSION JOINTS SHALL BE DECK-O-FOAMED AND CAULKED WITH SL



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SITE PLAN LAYOUT

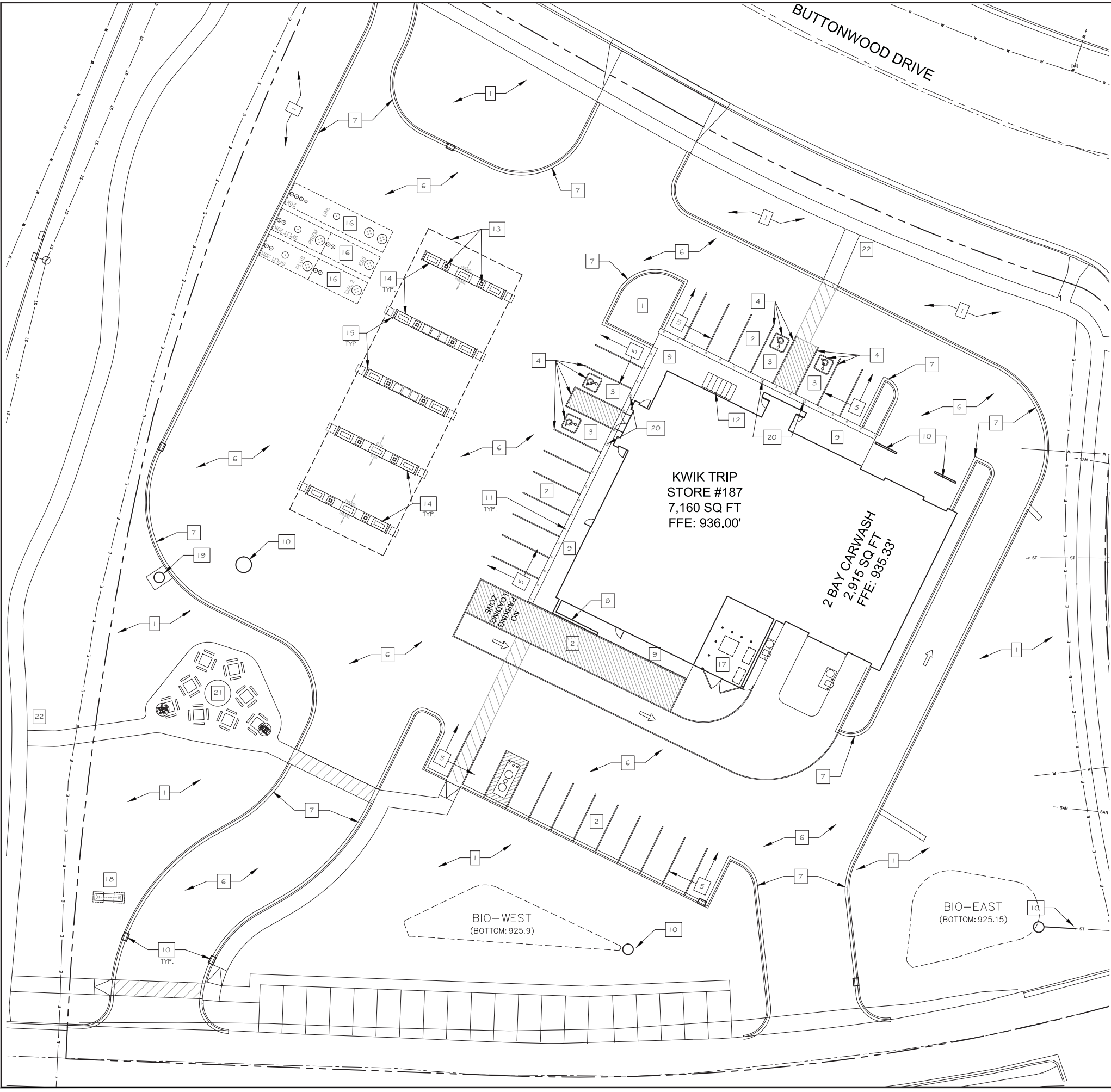
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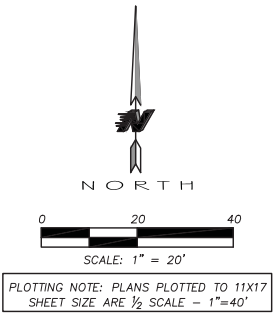
<u>NO.</u>	<u>DATE</u>	<u>DESCRIPTION</u>

DRAWN BY	M. WAHL
SCALE	1" = 30'
PROJ. NO.	KTSQ20
DATE	3/4/15

SHEET SP1



- SITE PLAN KEYNOTES**
1. LANDSCAPE AREA. SEE SHEET L1.
 2. OFF-STREET PARKING STALLS STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT. SPACES PROVIDED
(25) 9'-0"x 20'-0" (MIN.) GENERAL PARKING
(4) 9'-0"x 20'-0" ACCESSIBLE PARKING WITH
(1) 14'-0"x 87'-0" LOADING ZONE
(20)
 3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
 4. 4' WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
 5. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-2GUV
 6. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR. CONCRETE SEALER: TK-2GUV
 7. CONCRETE CURB AND GUTTER PER DETAILS.
 8. CONCRETE CURB WALL PER DETAILS.
 9. 6" INTEGRAL CONCRETE CURB/ WALK. SEE DETAILS. CONCRETE SEALER: TK-2GUV
 10. STORM STRUCTURE. SEE SHEETS SP2-SP4 FOR FURTHER STORM SEWER INFORMATION.
A. CATCH BASIN CURB INLET PER DETAILS
B. OIL SKIMMER PER DETAIL ON SHEET SP3
C. TRENCH DRAIN PER DETAIL
 11. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD PER DETAILS.
 12. 6 STALL BIKE RACK WITH 5' CLEARANCE ALL AROUND.
 13. 40'-0"x 120'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
 14. 3'-6"x 6'-0" CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.
 15. U-PIPE BOLLARD. 36" HT ABOVE GRADE. SLEEVE WITH DR-18, 4" BLUE PLASTIC WATERMAIN PIPE.
 16. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S SPECIFICATIONS.
 17. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING. SEE ARCHITECTURAL DETAILS.
 18. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
 19. FREE AIR COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
 20. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT.
 21. PICNIC TABLE PER OWNER. PROVIDE 2 HC. ACCESS TABLE SPACE. PROVIDE TRASH CONTAINER PER OWNER.
 22. EXISTING CONCRETE WALK TO REMAIN. REPAIR/ REPLACE AS NEEDED PER CITY.



811

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STORES

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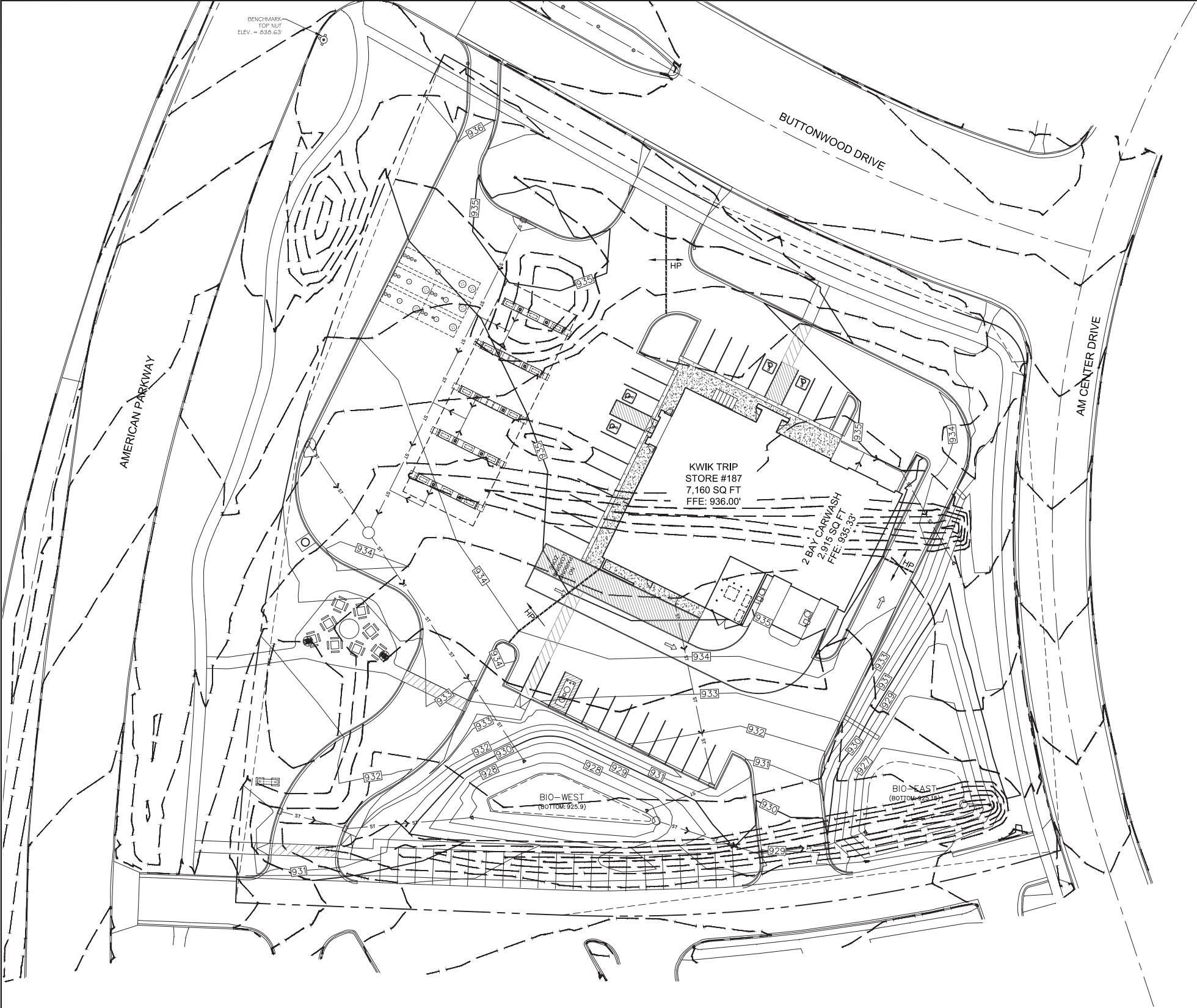
SITE PLAN KEYNOTE

CONVENIENCE STORE 187

4701 AMERICAN PARKWAY
MADISON, WISCONSIN 53718

NO.	DATE	DESCRIPTION

DRAWN BY	M. WAHL
SCALE	1" = 20'
PROJ. NO.	KTS02
DATE	3-4-15
SHEET	SP1.1



NOTE GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

PLAN NOTES:

- REFER TO OTHER PROJECT PLANS AND INFORMATION RELATED TO THIS PROJECT PRIOR TO BEGINNING ANY GRADING WORK.

- PLAN PREPARED FROM AN ALTA/ASCM SURVEY BY:

SNYDER & ASSOCIATES PHONE: 608-838-0444
DATED NOVEMBER 11, 2014

CONSTRUCTION NOTES:

-CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATIONS AND APPROPRIATE SIGNAGE INSTALLATION.

-CONTRACTOR SHALL OBTAIN AN EXCAVATION IN THE RIGHT-OF-WAY PERMIT FROM THE CITY ENGINEER PRIOR TO PERFORMING ANY WORK WITHIN THE RIGHT-OF-WAY.

- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CONFLICTS.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/ OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

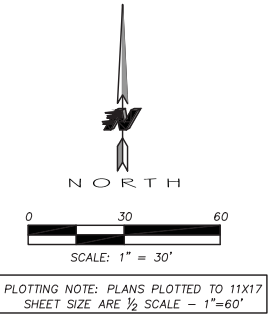
- CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

- REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

ELEVATION NOTES:

PROPOSED FINISHED FLOOR ELEV.
STORE = 936.00 FEET & CAR WASH = 935.33 FEET

BENCHMARK (AS SURVEYED)
TOP NUT ON HYDRANT @ SE CORNER OF AMERICAN PARKWAY AND BUTTONWOOD AVENUE ELEVATION = 838.63 FEET



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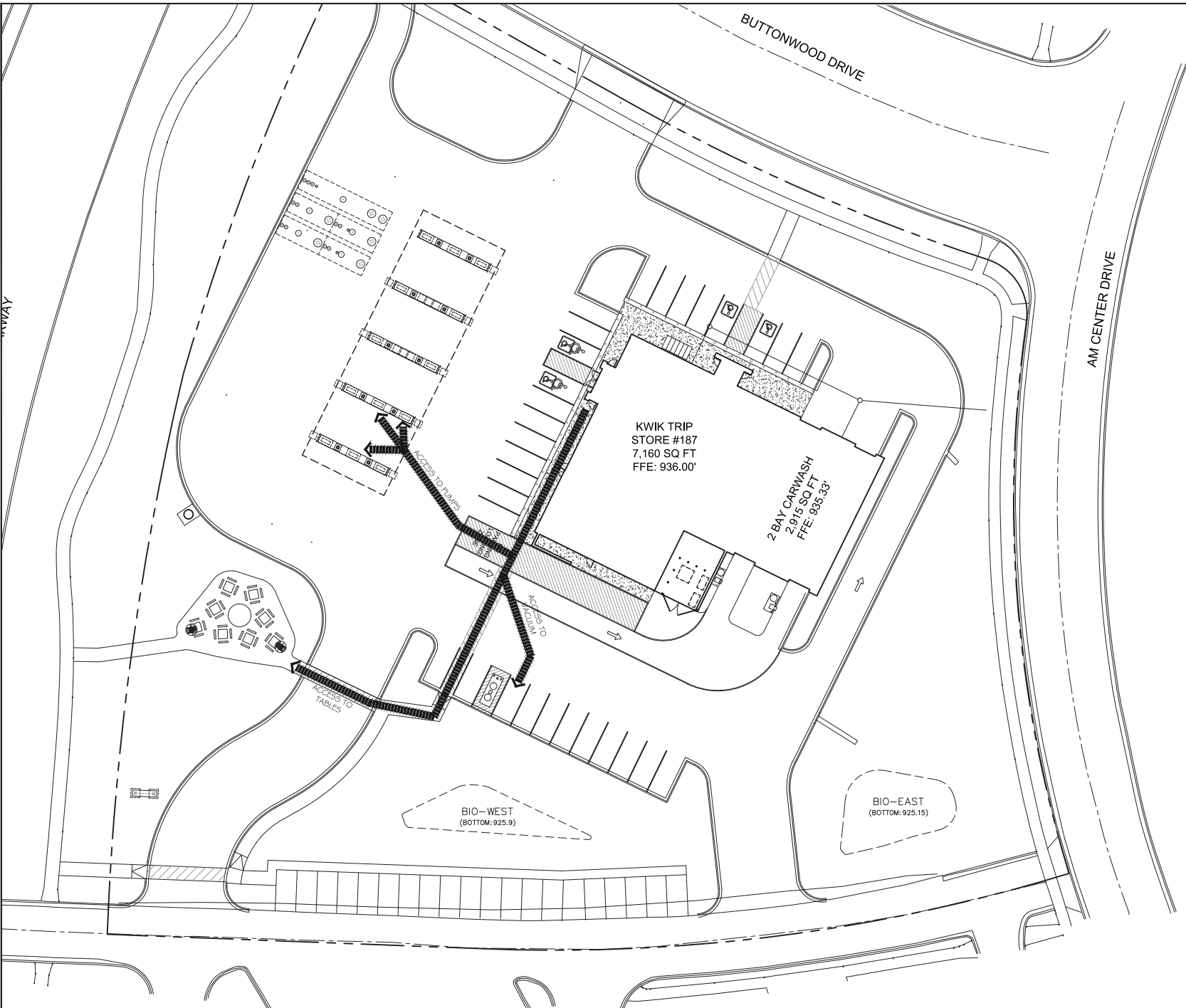
GRADING PLAN

CONVENIENCE STORE 187

4701 AMERICAN PARKWAY
MADISON, WISCONSIN 53718

NO.	DATE	DESCRIPTION

DRAWN BY	M. WAHL
SCALE	1" = 30'
PROJ. NO.	KTS02
DATE	3-4-15
SHEET	SP2



NOTES:

-REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON '2010 ADA STANDARDS FOR ACCESSIBLE DESIGN'. CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.

- KWIK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"

-STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.

-NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.

-PER A.D.A. GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".

- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.

-IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DISIGNATION OF 1 "VAN ACCESSIBLE" IN EVERY 8 ACCESSIBLE SPACES ON SITE.

SCALE: 1" = 30'

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PLAN KEYNOTES

1. ACCESSIBLE STALLS
 - A. STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT. SPACES PROVIDED:
 - (2) 9'-0"x 20'-0" ACCESSIBLE PARKING WITH (1) 8'-0"x 20'-0" LOADING ZONE (MIN.)
 - B. ACCESSIBLE FUELING POINT AND DISPENSER AND VALET, VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL.
2. PAVEMENTS FLUSH FOR ACCESSIBILITY INTO BUILDING.
3. PICNIC TABLE W/ ACCESSIBLE PLACEMENT
4. ACCESSIBLE ROUTE TO STORE
5. ACCESSIBLE ROUTE TO VACUUM AND AIR.

NOTES FOR CONVENIENCE STORE ACCESSIBILITY

AT LEAST 1 MPD(MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30'X48" CLEAR LEVEL FLOOR AREA(CLF).

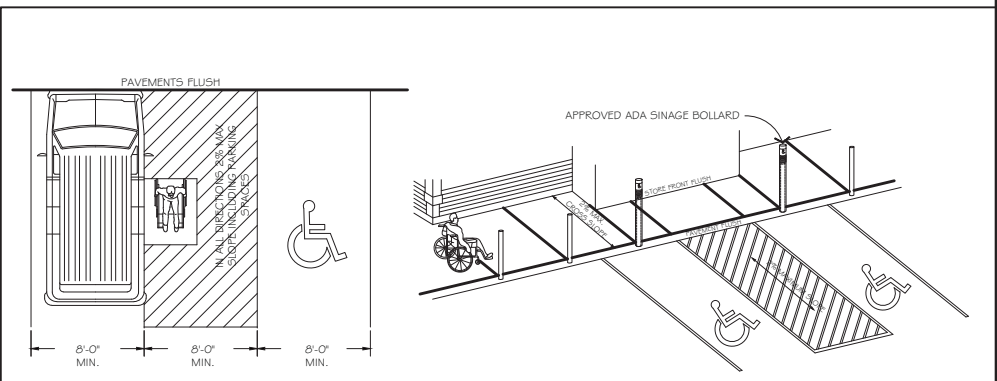
ALL PUMP CONTROLS SHALL BE < 48"(2010 STANDARD). WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENCY FUEL STOPS, ETC. BE ACCESSIBLE 30'X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

PROVIDE ISA(INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

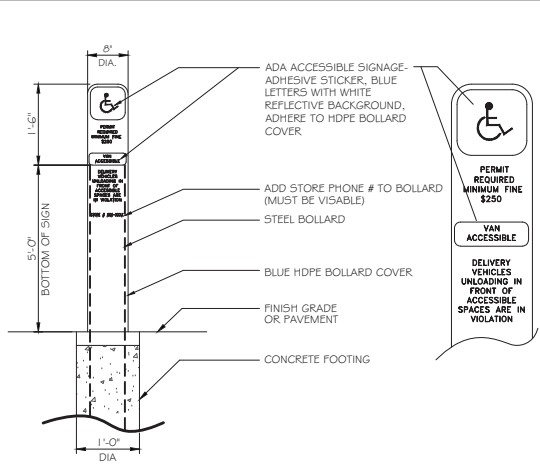
PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

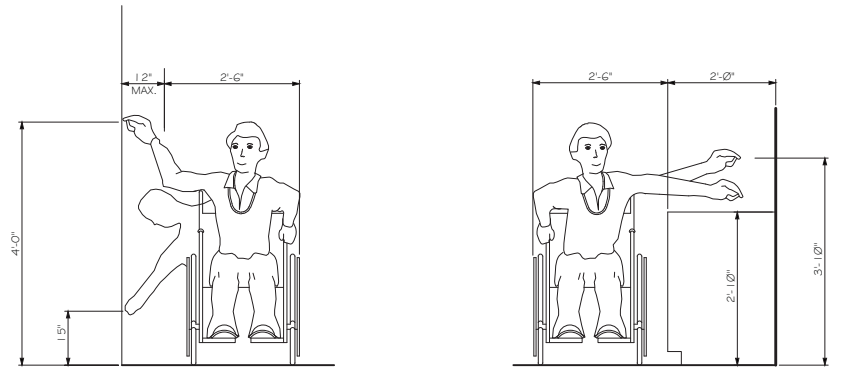
ANY PAY FUNCTION- i.e. AIR/VACUUM etc. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE. CONTROLS SHALL BE ACCESSIBLE 30'X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.



1 VAN ACCESSIBLE PARKING
SP2.3 NOT TO SCALE



2 ADA BOLLARD SIGNAGE
SP2.3 NOT TO SCALE



3 ACCESSIBLE REACH DIMENSIONS
SP2.3 NOT TO SCALE

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ACCESSIBLE PLAN

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NO.	DATE	DESCRIPTION

DRAWN BY

M. WAHL

SCALE

1" = 30'

PROJ. NO.

KTS02

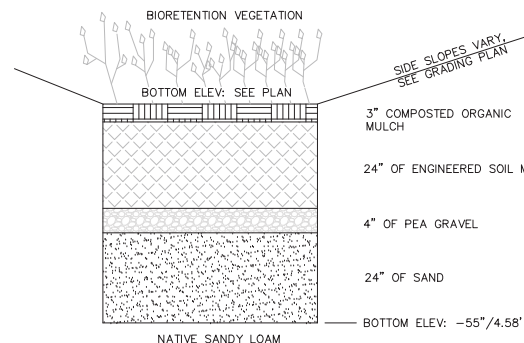
DATE

3-4-15

SHEET

SP2.3

1. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL BE CONFIRMED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C323. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
2. ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
3. INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FRONT RIM.
4. PVC PIPE: USE SOLID-CORE, SDR-35; ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES TO 15 INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27 INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. ALL PVC PIPE SHALL BE LAYED ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
5. TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 100 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
6. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RIMING TRIVEX PLAST TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
7. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.071 (5)(28) OF THE STATUTES.
8. THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION OF 2 INCHES. THE INSULATION SHALL BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
9. CLEANOUTS: INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH S.P.5 382.35 (3)(C)(1). THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 1-0 INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INSTALL A METER BOX FRAME AND SOLID UUD (NENAN K-191-4, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
10. INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPWARD. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS TO THE PROPOSED LINE AND GRADE BEFORE LAYING NEW PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.



4 TYPICAL CROSS SECTION BIORETENTION AREAS
SP3 NOT TO SCALE



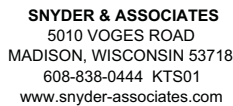
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PLOTTING NOTE: PLANS PLOTTED TO 11X17
SHEET SIZE ARE 1/2" SCALE - 1"=60'

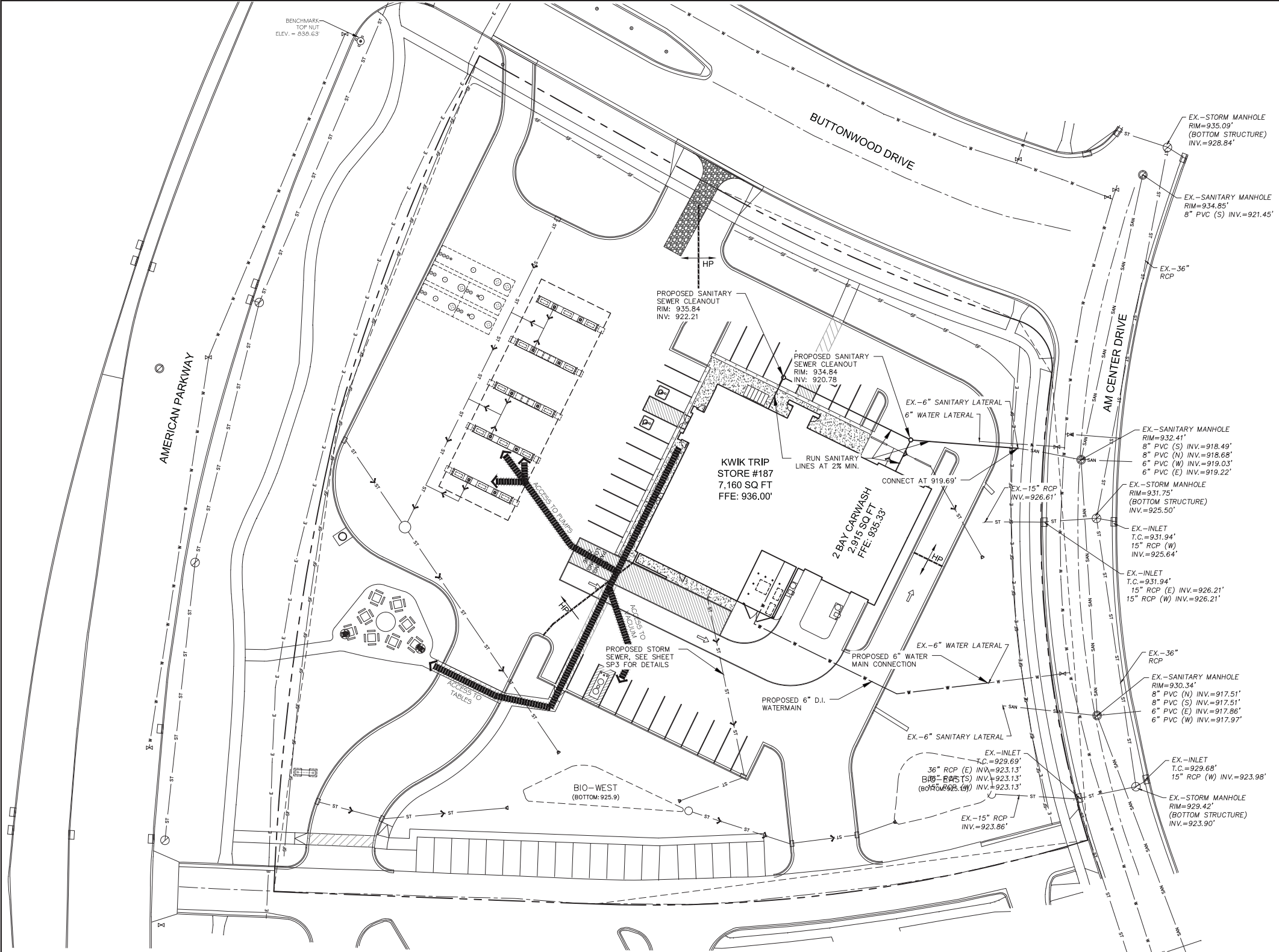
STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960



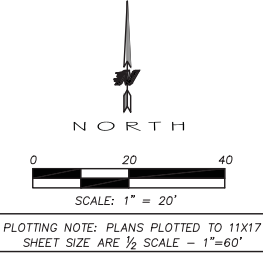
4701 AMERICAN PARKWAY
MADISON, WISCONSIN 53718

[illegible]



- WATER DISTRIBUTION SYSTEM:
- BRING ALL SITE UTILITIES TO 5' OUTSIDE OF THE BUILDING LINE WITH THE EXCEPTION OF THE WATER SERVICE. EXTEND WATER SERVICE INTO THE BUILDING AND UP TO THE FLANGE FOR THE WATER METER.
 - SEPARATION OF WATER AND SEWER: PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN ALL WATER AND SEWER LINES. PROVIDE A MINIMUM SEPARATION OF 18 INCHES AT ALL WATER LINE AND SEWER LINE CROSSINGS.
 - WATERMAIN DEPTH: MAINTAIN 7.5 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILITY CROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED. INCLUDE COSTS TO LOWER WATER LINES IN THE BASE BID.
 - TESTING: PRESSURE TEST AND PERFORM BACTERIOLOGICAL TESTS ON ALL WATER LINES UNDER THE SUPERVISION OF THE CITY OF MADISON. NOTIFY THE CITY AT LEAST 24 WORKING HOURS PRIOR TO ANY TESTING. PRESSURIZE THE WATERLINE TO 1034-KPA (150-PSI) GAUGE PRESSURE (MEASURED AT THE POINT OF LOWEST ELEVATION) BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY MANNER. MAINTAIN THE TEST PRESSURE FOR A MINIMUM OF 2 HOURS. DO NOT ADD WATER TO THE WATERMAIN IN ORDER TO MAINTAIN THE REQUIRED PRESSURE DURING THE WATER MAIN PRESSURE TESTING. THE TEST SECTION OF PIPE IS ACCEPTABLE WITH A PRESSURE DROP OF 14 KPA (2 PSI) OR LESS.
 - USE MECHANICAL JOINT RESTRAINT DEVICES FOR JOINT RESTRAINT ON ALL WATERMAIN BENDS HAVING A VERTICAL OR HORIZONTAL DEFLECTION OF 22-1/2 DEGREES OR GREATER, ALL VALVES, STUBS, EXTENSIONS, TEES, CROSSES, PLUGS, ALL HYDRANT VALVES, AND ALL HYDRANTS IN ACCORDANCE WITH CITY REQUIREMENTS. USE "SERIES 1100 MEGALUG" MANUFACTURED BY EBAA IRON INC., EASTLAND, TEXAS, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR RESTRAINT ON DUCTILE IRON PIPE.
 - AT ALL VALVE LOCATIONS WHICH REQUIRE A 12" OR SMALLER VALVE, INSTALL GATE VALVES WHICH ARE OF THE COMPRESSION RESILIENT SEATED (CRS) TYPE. USE AMERICAN FLOW CONTROL'S SERIES 2500 DUCTILE IRON RESILIENT WEDGE GATE VALVE, OR APPROVED EQUAL. GATE VALVES SHALL CONFORM TO AWWA C509. INSTALL CAST IRON VALVE BOXES CONFORMING TO ASTM A48 AT EACH VALVE LOCATION. VALVE BOXES SHALL BE THE THREE-PIECE TYPE WITH 5-1/4" SHAFTS. USE TYLER 6860-G VALVE, NO. 6 BASE, OR EQUIVALENT. VALVE BOXES SHALL HAVE AT LEAST 6" OF ADJUSTMENT ABOVE AND BELOW FINISHED GRADE. DROP COVERS ON VALVE BOXES SHALL BE ROUND AND BEAR THE WORD "WATER" CAST ON THE TOP. USE TYLER 6860-G "STAYPUT" COVERS WITH EXTENDED SKIRT, OR EQUIVALENT.
 - USE MUELLER H 10300 OR FORD EM 2 7057, OR APPROVED EQUAL, AT ALL CURB STOP LOCATIONS. STATIONARY ROD IS REQUIRED ON ALL CURB STOPS.
 - POLYVINYL CHLORIDE (PVC) BUILDING WATER SERVICES: ASTM D2241 OR ASTM D1785; PRESSURE RATED FOR WATER.
 - POLYVINYL CHLORIDE (PVC) WATERMAIN: USE AWWA C900 FOR ALL PVC WATERMAIN FURNISHED WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS; MINIMUM PRESSURE CLASS 150; DIMENSION RATIO NOT GREATER THAN 18; LAYING LENGTH 20 FEET. USE EBAA IRON, INC., "SERIES 2000 PV MEGALUG," OR APPROVED EQUAL FOR RESTRAINT ON C900 PVC WATERMAIN. LAY TRACE WIRE WITH ALL C900 PVC WATERMAIN.
 - TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).
 - WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METER AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL UTILITY COMPANIES.
 - COORDINATE BUILDING UTILITY CONNECTION LOCATIONS AT 5 FT. OUT FROM THE PROPOSED BUILDING WITH THE WITH THE INTERIOR PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING UTILITIES ARE SHOWN OR, IF SHOWN, EXIST IN THE LOCATIONS INDICATED ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES (INCLUDING WATER AND SEWER LINES AND APPURTENANCES). NOTIFY THE ENGINEER OF ANY DISCREPANCIES

- SANITARY SEWER:
- PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
 - CLEANOUTS: INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
 - TESTING: PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
 - UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 3/4" MIN (15 INCHES) IN DIAMETER OR LESS. UNLESS OTHERWISE INDICATED, JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
 - INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS.
 - USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANITARY SEWER" LABEL.
 - THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
 - TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).



811
Know what's below.
Call before you dig.
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

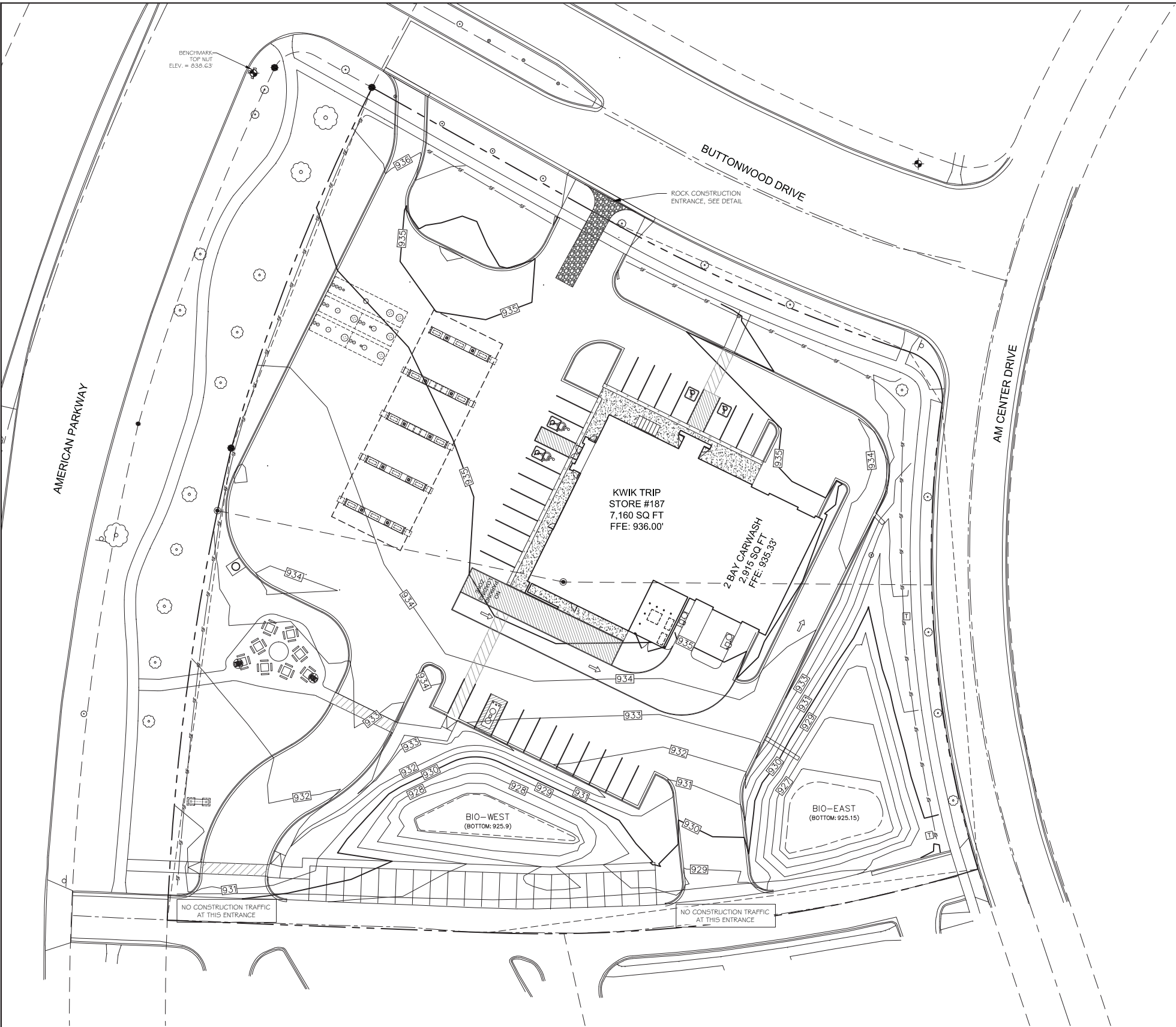
STORES

STORES

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1626 OAK STREET
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SNYDER & ASSOCIATES
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 KTS01
www.snyder-associates.com

UTILITY PLAN		
CONVENIENCE STORE 187		
4701 AMERICAN PARKWAY MADISON, WISCONSIN 53718		
NO.	DATE	DESCRIPTION
DRAWN BY		M. WAHL
SCALE		1" = 20'
PROJ. NO.		KTS02
DATE		3-4-15
SHEET		SP4



-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDD AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWPPP2-4 FOR MORE INFORMATION.

CONTACT BRAD FRY
 KWIK TRIP, INC
 PO BOX 2107
 LACROSSE, WI 54602
 608-783-8020

CONSTRUCTION SEQUENCE

- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS
- *INSTALL STORM SEWER
- *INSTALL STRUCTURES
- *INSTALL PAVEMENTS
- *INSTALL LAWN/ LANDSCAPE
- *FLUSH STORM SEWER
- *REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

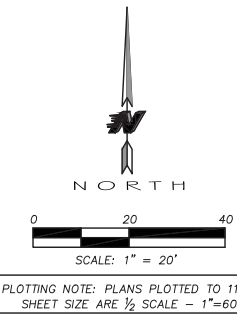
PROJECT DATA

SITE AREA DATA	
DISTURBED AREA	??? SF
PRE-CONSTRUCTION IMPERVIOUS AREA	??? SF
POST-CONSTRUCTION IMPERVIOUS AREA	??? SF
APPROX. AREA OF LAND DISTURBANCE	1.00%

SOIL DATA	
SURFACE SOIL	CONCRETE W/ GRAVEL BASE OVER FILL

ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)	
ITEM	QUANTITY
ROCK CONSTRUCTION ENTRANCE	??? SQ.YD.
EROSION CONTROL BLANKET(BASIN)	AS NEEDED
RIP RAP	???
SILT FENCE	??? L.F.

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.



811
 Know what's below.
 Call before you dig.
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

Kwik Trip
STORES
Kwik Star
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KWIK TRIP, Inc.
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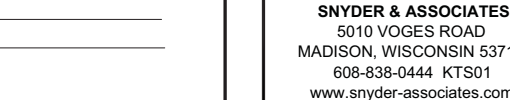
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EROSION CONTROL PLAN

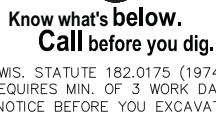
CONVENIENCE STORE 187
 4701 AMERICAN PARKWAY
 MADISON, WISCONSIN 53718

NO.	DATE	DESCRIPTION

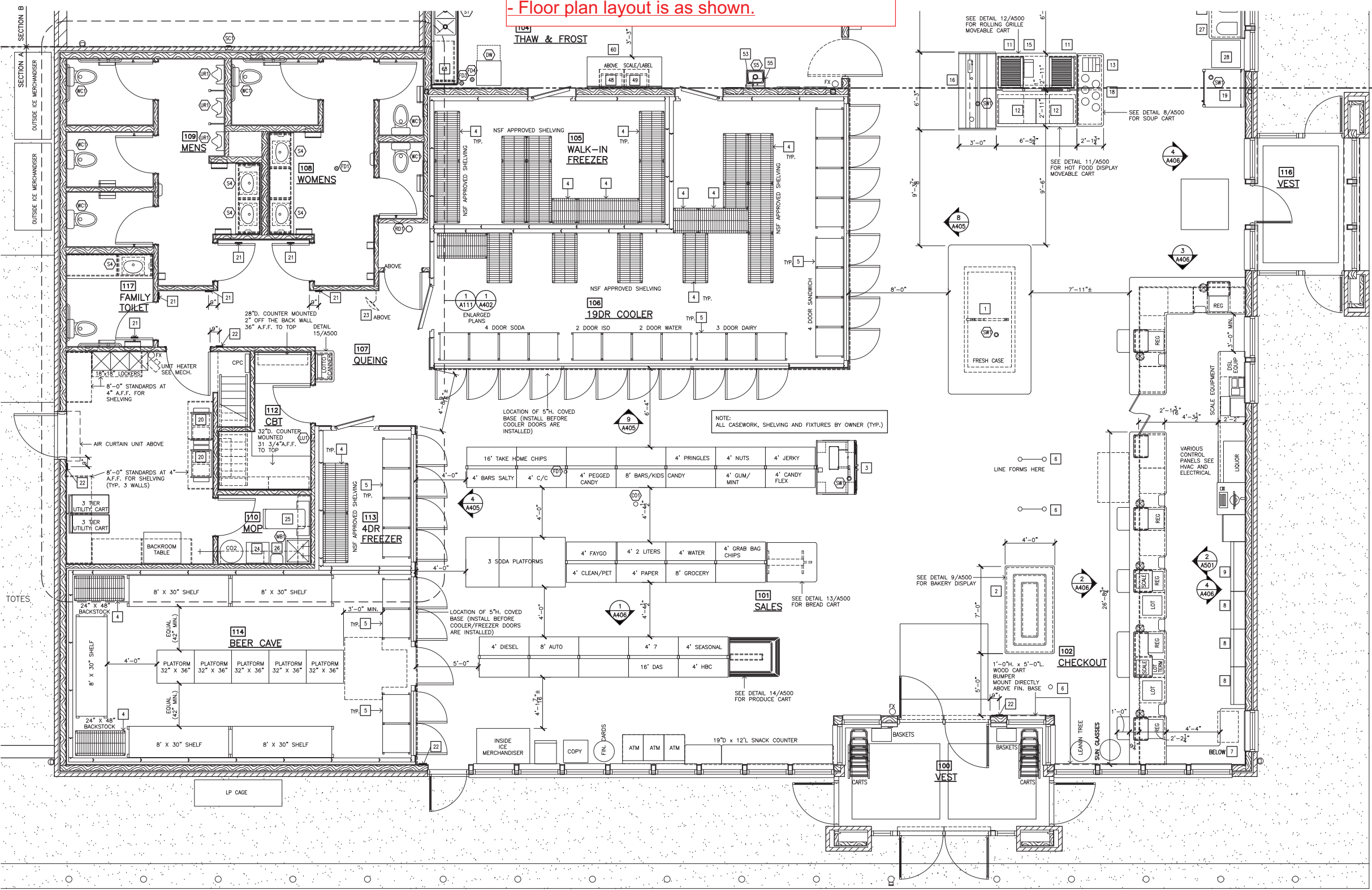
DRAWN BY	M. WAHL
SCALE	1" = 30'
PROJ. NO.	KTS02
DATE	3-4-15
SHEET	SWP1



- SEED ALL OTHER AREA'S DISTURBED FROM CONSTRUCTION WITH GRASS SEED MIX IN ACCORDANCE WITH PROPOSED EROSION CONTROL PLAN; UNLESS, OTHERWISE NOTED.
- PLANTING BEDS TO BE MULCHED WITH SHREDDED BARK OR STONES PER THE OWNER'S INSTRUCTION

[illegible]

Standard Prototype Building Floor Plans
- Actual floor plan is mirrored from represented floorplan. See attached site plan for correct orientation of building.
- Floor plan layout is as shown.



EQUIP. SCHED. A

EQUIPMENT NAME	QTY
BAKERY DISPLAY	1
FRESH CASE	2
REFRIGERATED MEAT CASE	3
SHELVES - COOLERS/FREEZERS	4
SHELVES - COOLERS/FREEZERS	5
LINE STANCHIONS	6
UTILITY CART	7
3'-0" METAL LIGHTED CIGARETTE MERCHANDISER	8
4'-0" METAL LIGHTED CIGARETTE MERCHANDISER	9
4'-0" OVERHEAD PACK MERCHANDISER	10
HOT DOGGER / BUN WARMER	11
HOT FOOD DISPLAY	12
CRACKER & SILVERWARE BASKET	13
FWIN'S CONDIMENT HOLDER	14
HOT CHEESE DISPENSER	15
PIZZA CASE	16
MULTITERIA CONDIMENT COUNTER	17
SOUP WELL	18
ICE CREAM NOVELTY CASE	19
BAG-IN-A-BOX RACK	20
ADA 5'x4' DIT SIGNAGE WITH BRAILLE SEE SHEETS A401 & A403 FOR TYP. LOCATIONS	21
ADA 6'x4' MEN/WOMEN SIGNAGE WITH BRAILLE SEE SHEET A403 FOR TYP. LOCATION	22
SECURITY MIRROR	23
CLEANING CART	24
FLOOR SCRUBBER	25
PAPER TOWEL DISPENSER	26
MALT BLENDER W/ SCREEN	27
UPRIGHT FREEZER	28
MICROWAVE - SNACK	29
FOUNTAIN WALL	30



200 Mason Street #3
Onalaska, WI 54650
(608) 784 - 6808
info@larsonarchitect.com



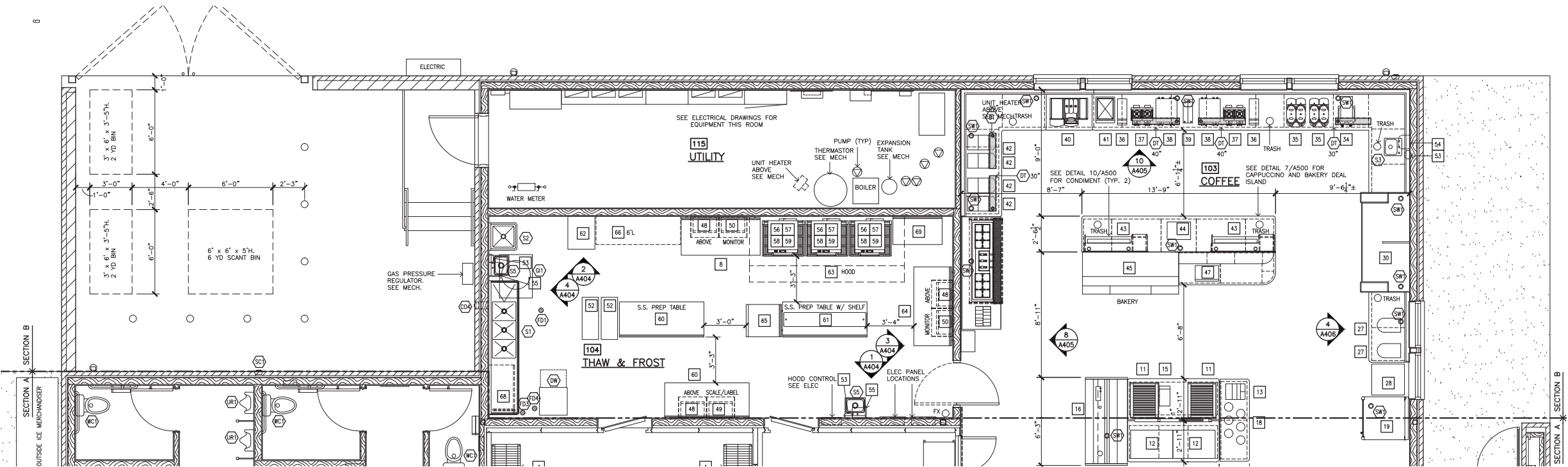
96' x 79' RH
STORE

I hereby certify that this plan was prepared by me or
a registered Architect under the laws of the state of
Wisconsin.
A400, A401, A402, A403, A404, A405, A406, A407, A408, A409, A410, A411, A412,
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Standard Prototype Building Floor Plans

- Actual floor plan is mirrored from represented floorplan. See attached site plan for correct orientation of building.

- Floor plan layout is as shown.



EQUIPMENT FLOOR PLAN - SECTION 'B'

1/4" = 1'-0"

EQUIPMENT/ ANNULAR SPACE NOTES	
A. CAULK ALL EXPOSED SEAMS IN FOOD AREAS.	
B. CAULK SINK COUNTERTOPS AT WALL.	
C. CAULK/ROPE INSIDE COOLER/FREEZER GLASS DOORS.	
D. SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTURES BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.	
E. EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.	

EQUIP. SCHED. B	
EQUIPMENT NAME	QTY
ICE TEA MAKER	34
SMOOTHIE MACHINE	35
SURESHOT FLAVORSHOT 2	36
2 SOFT HEAT STAND (POT WARMER)	37
COFFEE BREWER	38
COFFEE GRINDER	39
FRANKE FOMMASTER FM800 ESPRESSO MACHINE	40
ICE DISPENSER	41
IMIX-3 MACHINE	42
COFFEE CONDIMENT DISPLAY	43
CREAMER	44
BAKERY CASE	45
ADA 3"X4" EXIT SIGNAGE WITH BRILLE SEE SHEETS A401 & A403 FOR TYP. LOCATIONS	46
MICROWAVE - SNACK	47
MICROWAVE - KITCHEN	48
SCALE/LABEL MACHINE	49
MONITOR	50
NOT USED	51
BIN RACK	52
SOAP DISPENSER	53
PAPER TOWEL DISPENSER	54
PAPER TOWEL DISPENSER - KITCHEN	55
TURBOCHEF 13 OVEN RACK	56
TURBOCHEF OVEN	57
TURBOCHEF 13 OVEN	58
CART (STAINLESS STEEL)	59
6'-0" STAINLESS TABLE	60
6'-0" STAINLESS TABLE W/ CENTER SHELF ABOVE	61
BAKERY RACK WITH COVER	62
CAPTIVE AIRE HOOD	63
REFRIGERATED PREP TABLE	64
UNDERCOUNTER FREEZER	65
2'-0"X4' STAINLESS SHELVING (X' = LENGTH)	66
NOT USED	67
42" STAINLESS DRY RACK	68
2'-0"X4' x 3'-6", STAINLESS TABLE	69
SHELVES - KITCHEN	70
UNDERCOUNTER DISHWASHER	DW
WATER HEATER	WH1
THERMA-STOR R-6	WH2



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96' x 79' RH
STORE

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the state of Wisconsin.

Tina Larson, P.E.
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TRIP**
STORES

**KWIK
STAR**
STORES

**96' x 79' RH
STORE**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the state of

Tim Larson
Tim Larson #1933

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A200





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Onalaska, WI 54650
(608) 784-6808
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LH WI COMBO
PROTOTYPE

A200B



FRONT ELEVATION
1/8" = 1'-0"

LEFT ELEVATION
1/8" = 1'-0"

RIGHT ELEVATION
3/16" = 1'-0"

BACK ELEVATION
3/16" = 1'-0"



FRONT ELEVATION
3/16" = 1'-0"



SIDE ELEVATION
3/16" = 1'-0"

Flat Canopy
w/ Brick

10 MPD

