

Consultant

Notes

1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURB ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.08(4).
4. ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH AREA.
5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. COMM 62.0500(1)-REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF COMBUSTIBLE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
7. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
8. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 28.11, (SEE SUBSECTIONS (B)(e) AND (B)(2d)).
9. ALL SIDEWALK, CURB, AND GUTTER ABUTTING THE PROPERTY WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.
10. SITE STAIRS: RISERS AND TREADS WITHIN A STAIR SHALL HAVE UNIFORM SIZE AND SHAPE
10A: PUBLIC STAIRS, 7" MAX. RISERS, 11" MIN. TREADS
10B: PRIVATE STAIRS, 7.75" MAX. RISERS, 10" MIN. TREADS

Revisions

Issued to Planning - November 11, 2009

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C-2.1	SITE GRADING & EROSION CONTROL PLAN
C-3.1	SITE UTILITY PLAN
L-4.1	SITE LANDSCAPE PLAN
1	FLOOR PLAN
2	ELEVATIONS

Site Development Data:	
Dwelling Unit Mix:	
One-Bedroom	7
Two-Bedroom	1
Total Dwelling Units	8
Densities:	
Lot Area	49,010 SF or 1.12 acres
Lot Area / D.U.	6,126 SF/unit
Density	8 units/acre
Building Height:	
	1 Story
Floor Area Ratio:	
Total Floor Area	6,100 S.F.
Floor Area Ratio	.12
Parking:	
Automobile parking	4 stalls (incl. 1 accessible)
Bicycle parking	8 stalls

Project Title

Goodwill

4829 Anniversary Lane

Drawing Title
Site Plan

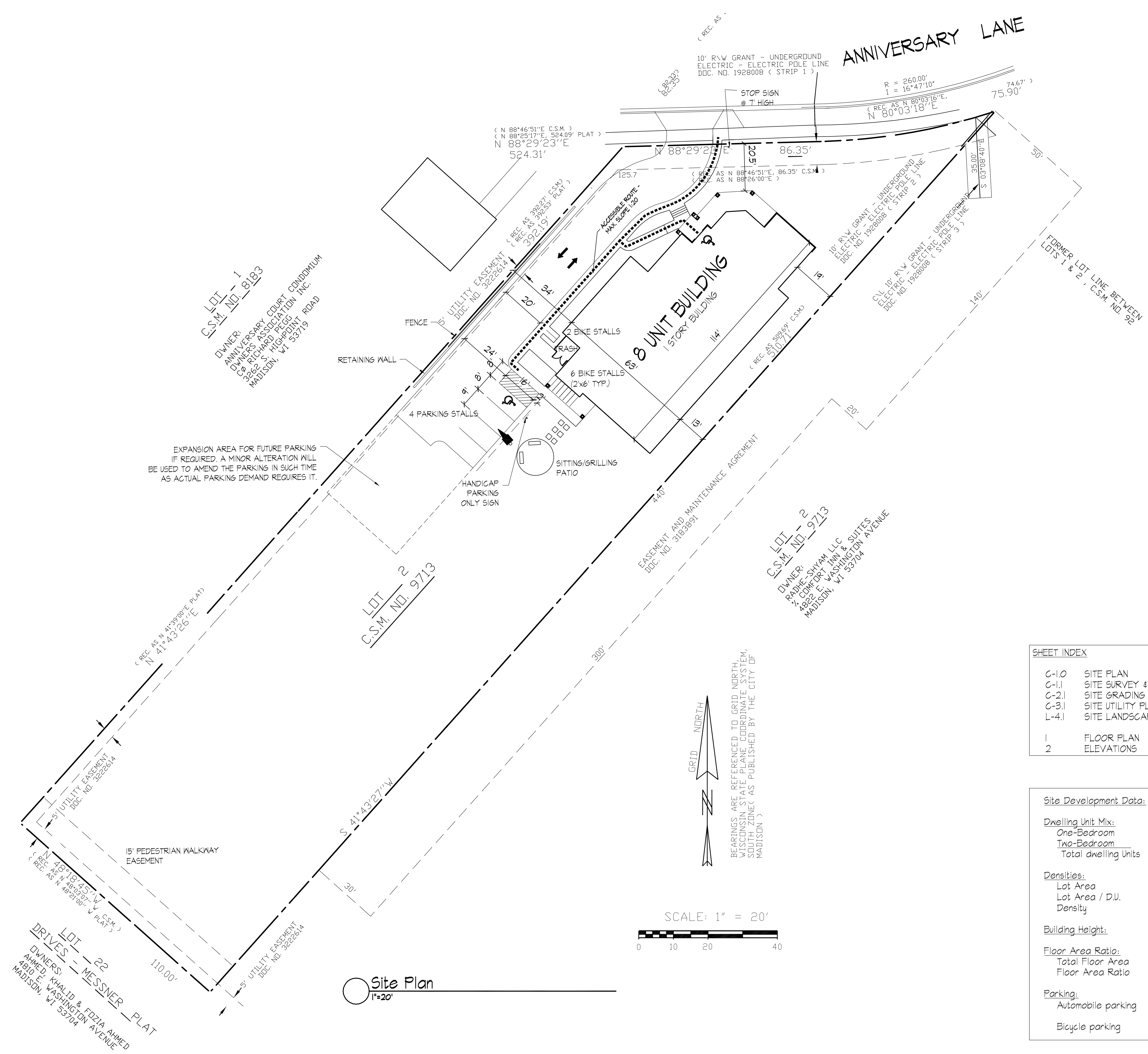
Project No.

0931

Drawing No.

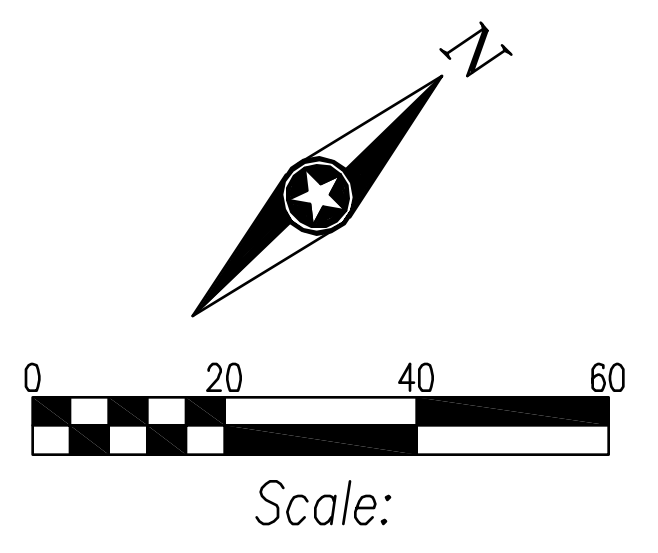
C-1.0

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Site Plan
1"=20'

1. ORIGINAL SURVEY INFORMATION PROVIDED BY BADGER SURVEYING AND MAPPING SERVICES, LCC. BOUNDARY SURVEY INFORMATION VERIFIED BY I&S GROUP, INC.
2. LOCATIONS OF UTILITIES SHOWN ARE BASED UPON AS-BUILT DRAWINGS AND 'ONE-CALL' LOCATION INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY NECESSARY TO COMPLETE HIS WORK PRIOR TO CONSTRUCTION.



LEGEND	
EXISTING	PROPOSED
--->---	STORM DRAIN --->---
--->---	SANITARY SEWER --->---
--- >---	SANITARY SEWER FORCEMAIN --- >---
---	WATER --- ---
---UT---	UNDERGROUND TELEPHONE ---UT---
---OE---	OVERHEAD ELECTRIC ---OE---
---UE---	UNDERGROUND ELECTRIC ---UE---
---UTV---	UNDERGROUND TV ---UTV---
---	GAS ---G---
---	WETLAND ---WET---
---	WATER SHORELINE ---W---
-x-x-x-	FENCE LINE ---x-x-x---
-1015-	CONTOURS (MAJOR) ---1015---
-1012-	CONTOURS (MINOR) ---1012---
----	PROPERTY LINE ---....---
x1012.32	SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION

NOTE: CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

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KEY PLAN

DATE _____

DATE _____

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PROJECT

GOODWILL
 4829 ANNIVERSARY LANE

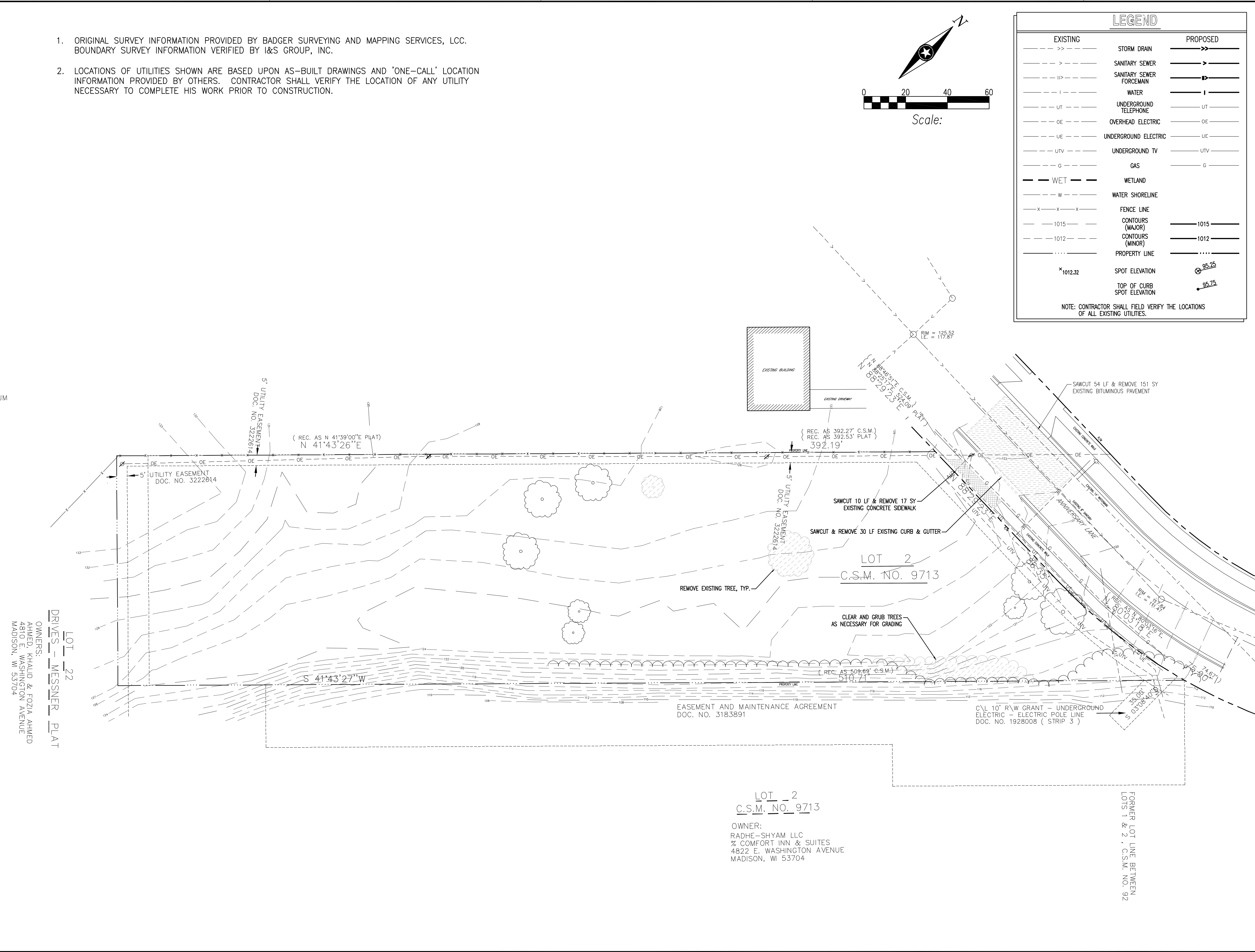
MADISON WISCONSIN

MARK	DATE	DESCRIPTION
▲		
▲		
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PROJECT NO. 09-12298
 CAD FILE NAME 12298 SITE-UTL-GRADE
 DRAWN BY JD
 DESIGNED BY TLS
 ISSUE DATE 11/11/09
 CLIENT PROJECT NO.

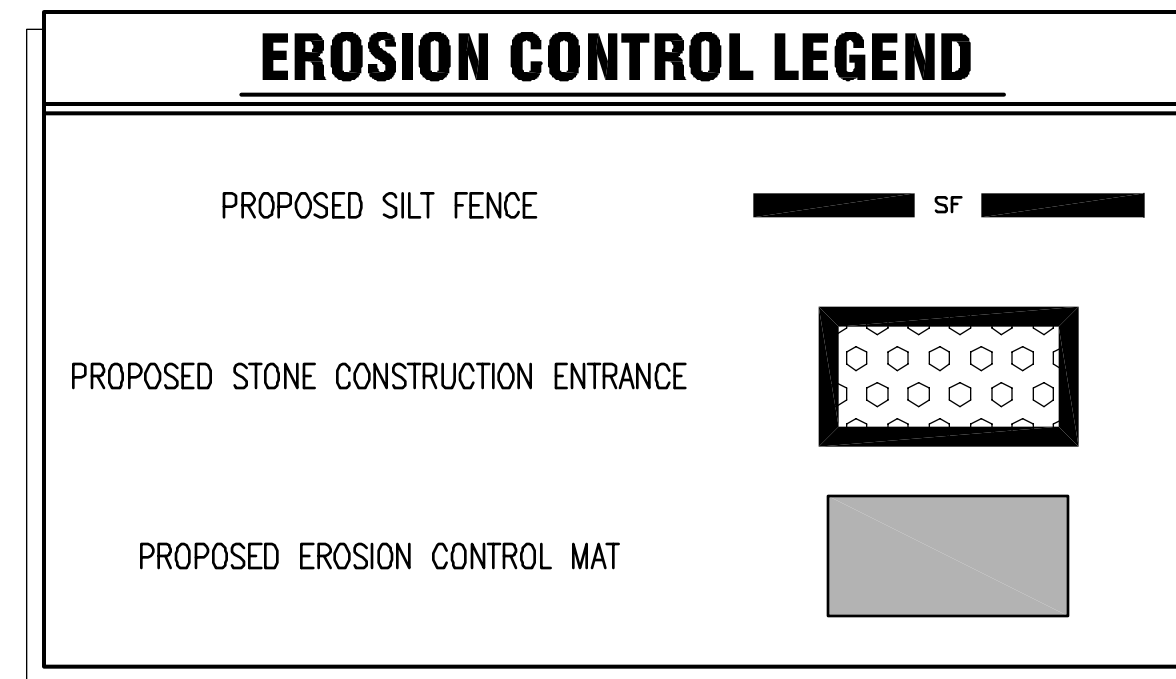
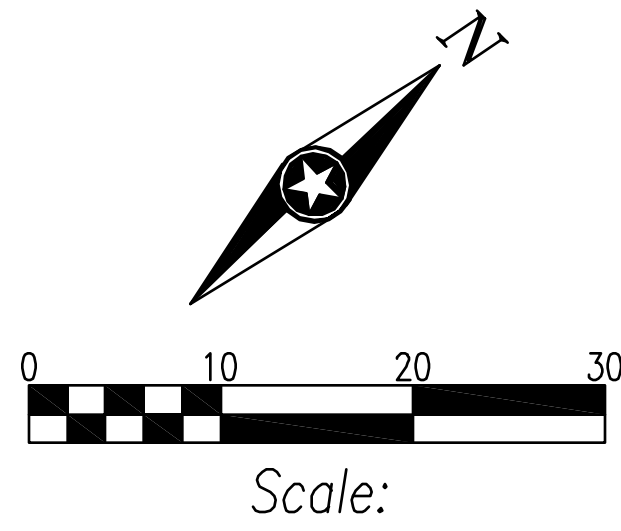
TITLE
**SITE SURVEY
 & REMOVALS PLAN**

SHEET
C-1.1



GENERAL NOTES:

- STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE IS INSTALLED.
- SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
- TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON.
- ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.
- MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 1.5 TONS PER ACRE. MULCH MUST BE CRIMPED.
- PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SLUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS AFTER A 0.5 INCH OR GREATER RAINFALL EVENT. ALL NECESSARY MAINTENANCE SHALL FOLLOW WITHIN 24 HOURS OF THE INSPECTION.
- FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
- ALL INLETS SHALL HAVE TYPE "D" PROTECTION DURING CONSTRUCTION.
- FILTER FABRIC FOR INLET BAGS SHALL MEET THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST, TYPE "D", OR EQUAL, AND SHALL BE ULTRAVIOLET STABILIZED.



LEGEND

EXISTING		PROPOSED
	STORM DRAIN	
	SANITARY SEWER	
	SANITARY SEWER FORCEMAIN	
	WATER	
	UNDERGROUND TELEPHONE	
	OVERHEAD ELECTRIC	
	UNDERGROUND ELECTRIC	
	UNDERGROUND TV	
	GAS	
	WETLAND	
	WATER SHORELINE	
	FENCE LINE	
	CONTOURS (MAJOR)	
	CONTOURS (MINOR)	
	PROPERTY LINE	
	SPOT ELEVATION	
	TOP OF CURB SPOT ELEVATION	

NOTE: CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.

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KEY PLAN

DATE _____

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PROJECT

GOODWILL
4829 ANNIVERSARY LANE

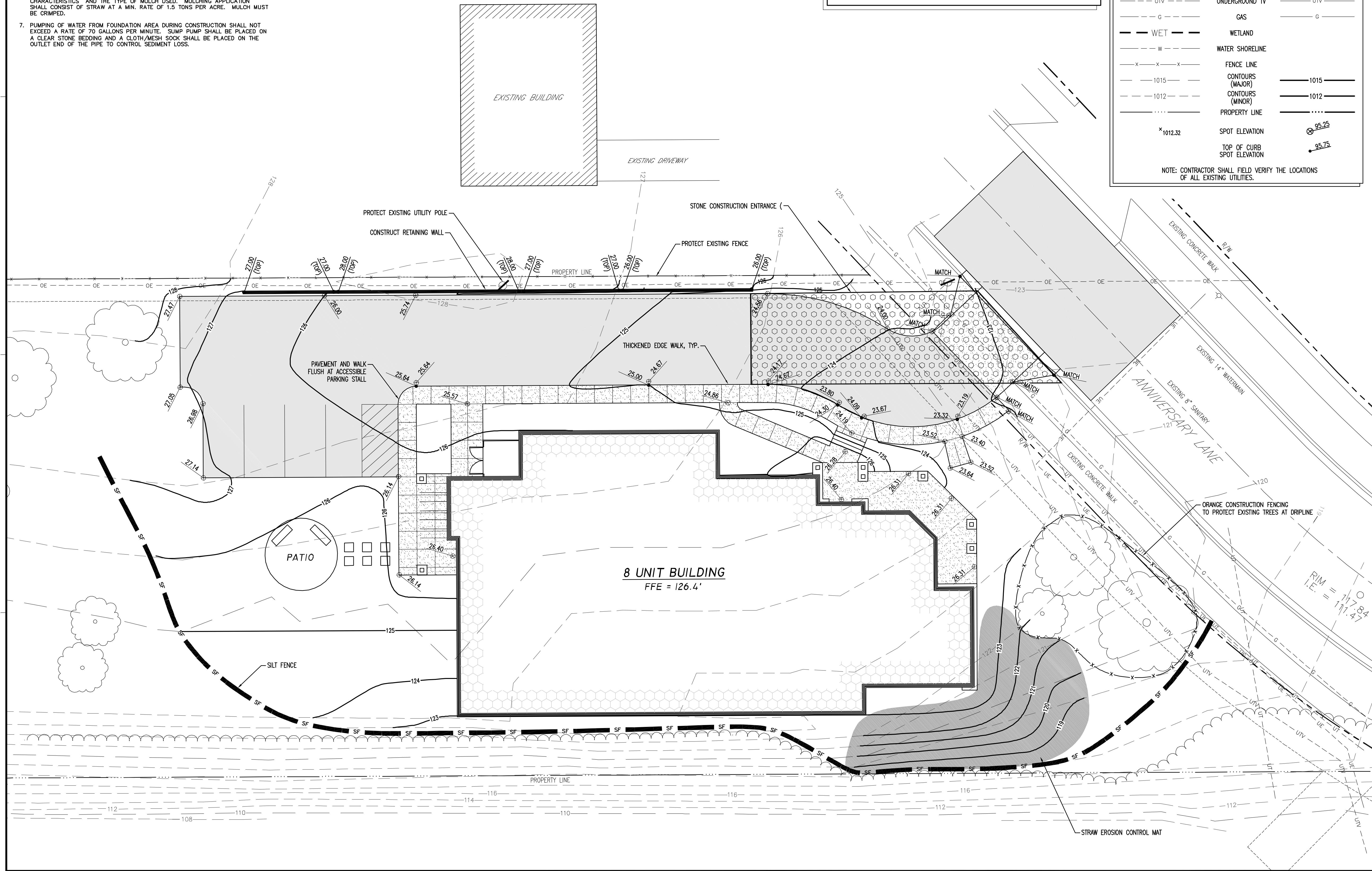
MADISON WISCONSIN

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PROJECT NO. 09-12298
CAD FILE NAME 12298 SITE-UTL-GRADE
DRAWN BY JD
DESIGNED BY TLS
ISSUE DATE 11/11/09
CLIENT PROJECT NO.

TITLE
SITE GRADING
& EROSION CONTROL
PLAN

SHEET
C-2.1

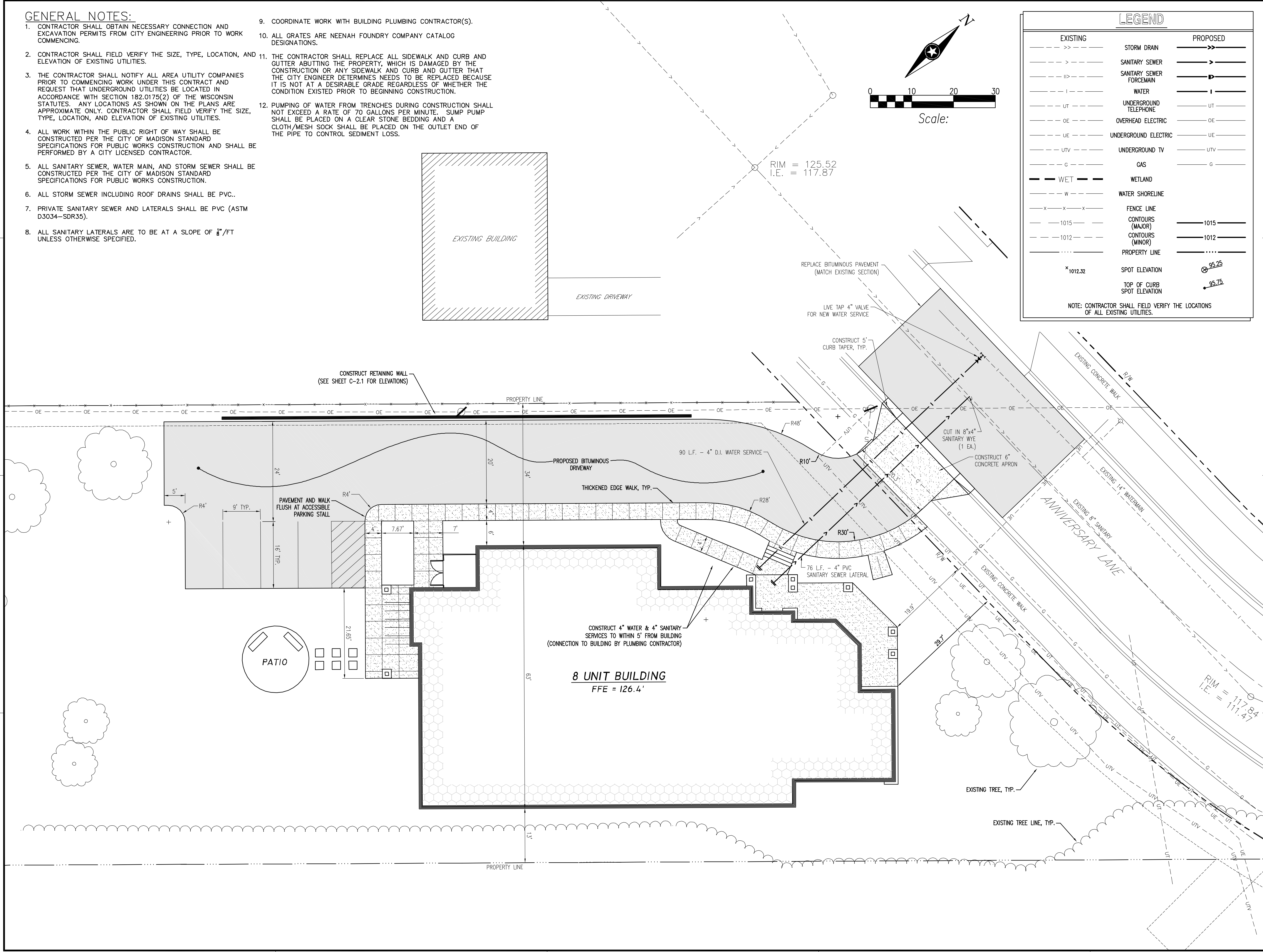
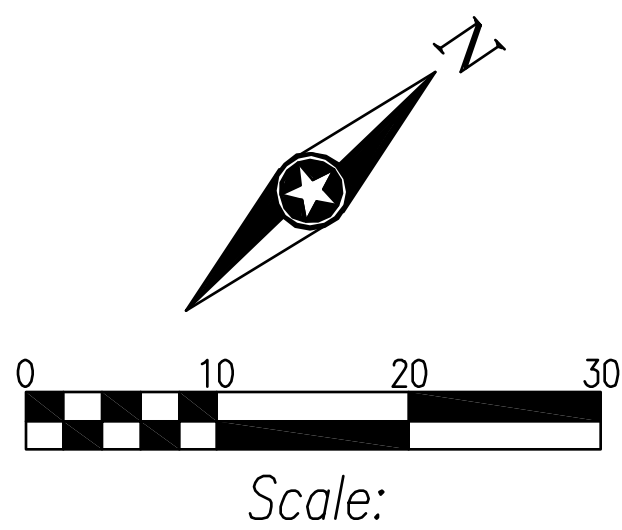


GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL STORM SEWER INCLUDING ROOF DRAINS SHALL BE PVC.
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).
- ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF $\frac{1}{8}$ "/FT UNLESS OTHERWISE SPECIFIED.
- COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).
- ALL GRATES ARE NEENAH FOUNDRY COMPANY CATALOG DESIGNATIONS.
- THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PUMPING OF WATER FROM TRENCHES DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

LEGEND	
EXISTING	PROPOSED
	STORM DRAIN
	SANITARY SEWER
	SANITARY SEWER FOREMAIN
	WATER
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	GAS
	WETLAND
	WATER SHORELINE
	FENCE LINE
	CONTOURS (MAJOR)
	CONTOURS (MINOR)
	PROPERTY LINE
	SPOT ELEVATION
	TOP OF CURB SPOT ELEVATION

NOTE: CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.



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GOODWILL
 4829 ANNIVERSARY LANE

MADISON WISCONSIN

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PROJECT NO.	09-12298
CAD FILE NAME	12298 SITE-UTL-GRADE
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CLIENT PROJECT NO.	

TITLE

SITE & UTILITY PLAN

SHEET

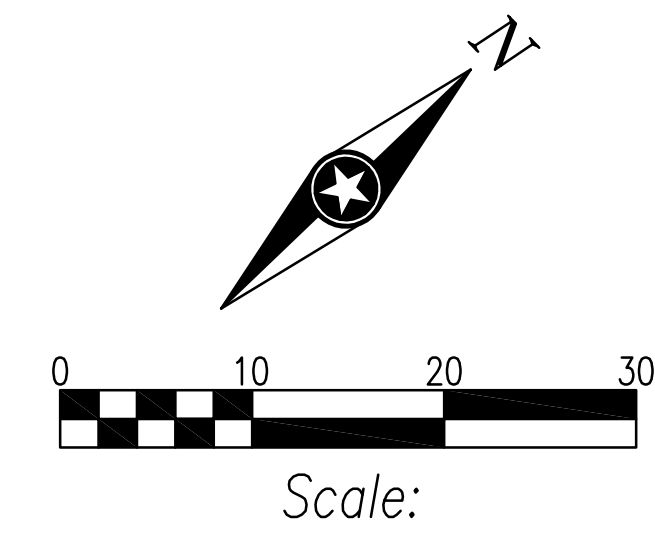
C-3.1

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME/ COMMON NAME	SIZE	NOTE
SM	2	ACER x FREEMANII 'SIENNA' / SIENNA MAPLE	2"-2.5" B&B	
DA	6	THUJA OCCIDENTALIS 'NIGRA' / DARK GREEN ARBORVITAE	4'-5' B&B	
TA	4	THUJA OCCIDENTALIS 'TECHNITO' / TECHNITO ARBORVITAE	#10 CONTAINER	
WW	12	WEIGELA FLORIDA 'ALEXANDRA' / WINE & ROSES WEIGELA	#5 CONTAINER	
AC	5	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT	#3 CONTAINER	
BS	37	RUDBECKIA FULGID GOLDSTURM / BLACK EYED SUSAN	#1 CONTAINER	

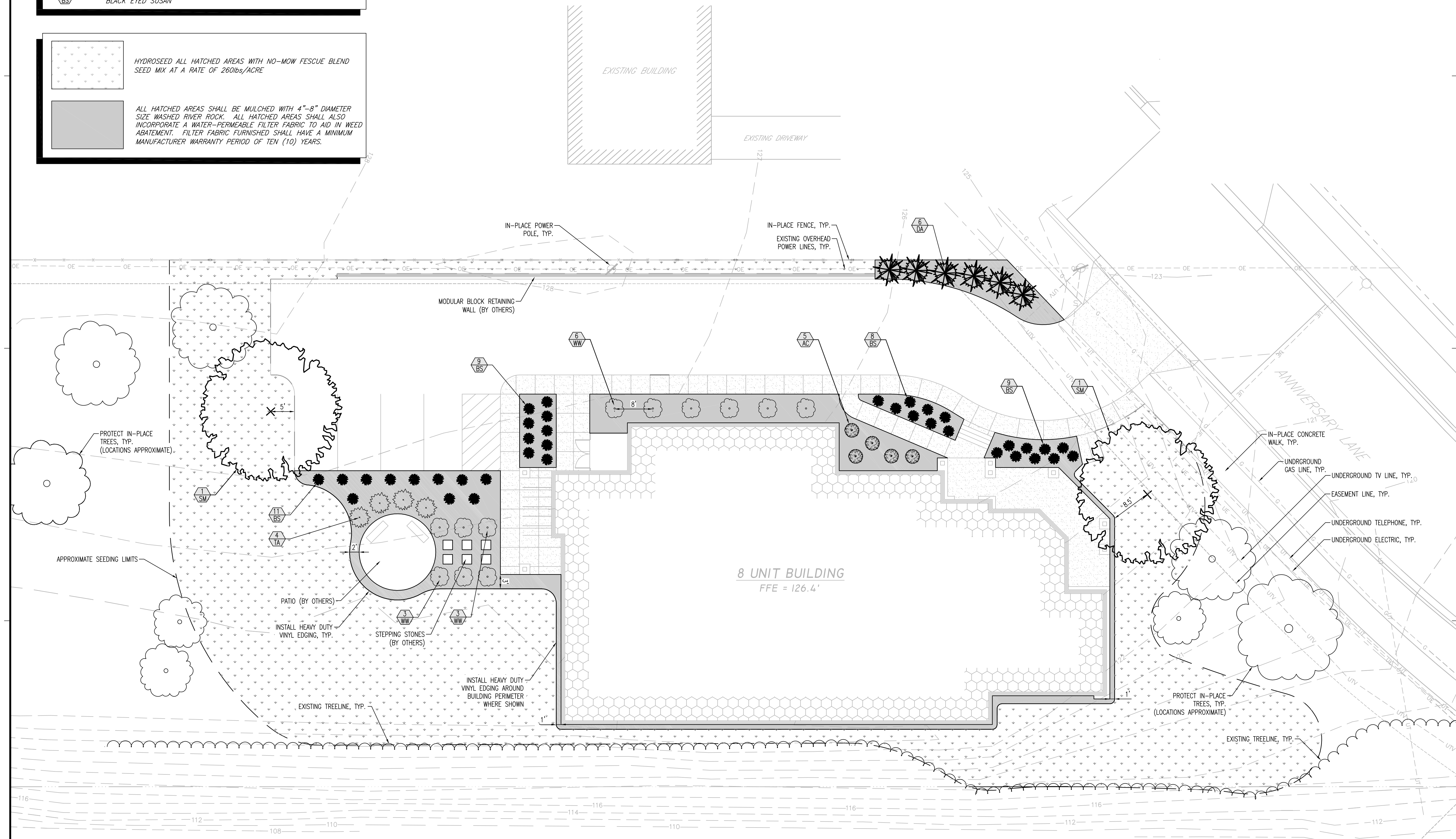
LANDSCAPE WORKSHEET CALCULATIONS:
 NUMBER OF PARKING STALLS: 4
 TOTAL SF OF STORAGE AREA: 4383/300 = 15
 NUMBER OF CANOPY TREES REQUIRED*: 1
 NUMBER OF CANOPY TREES PROVIDED: 1
 NUMBER OF LANDSCAPE POINTS REQUIRED*: 20
 LANDSCAPE POINTS PROVIDED FOR: 230
 -1 CANOPY TREE@35pts
 -3 EXISTING TREES TO REMAIN@35pts (LOCATED WITHIN 50 FT OF PARKING AREA)
 -6 EVERGREEN TREES@15pts
 *BASED ON INFORMATION LOCATED IN MADISON GENERAL ORDINANCES SECTION 28.04(12)(b)2.

GENERAL LANDSCAPE NOTES:
 1. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS PRIOR TO DIGGING.
 2. LANDSCAPE ROCK MULCH SHOWN ON PLAN SHALL BE RIP-RAP SIZE (4"-8") WASHED RIVER ROCK. ROCK MULCH OF ANY SMALLER SIZE WILL BE REJECTED.
 3. ALL MAPLE TREE PLANTINGS SHALL INCORPORATE A 4' DIAMETER CIRCLE OF EDGING INFILLED WITH SHREDDED HARDWOOD MULCH AT A DEPTH OF 4 INCHES.



HYDROSEED ALL HATCHED AREAS WITH NO-MOW FESCUE BLEND SEED MIX AT A RATE OF 260lbs/ACRE

ALL HATCHED AREAS SHALL BE MULCHED WITH 4"-8" DIAMETER SIZE WASHED RIVER ROCK. ALL HATCHED AREAS SHALL ALSO INCORPORATE A WATER-PERMEABLE FILTER FABRIC TO AID IN WEED ABATEMENT. FILTER FABRIC FURNISHED SHALL HAVE A MINIMUM MANUFACTURER WARRANTY PERIOD OF TEN (10) YEARS.



KEY PLAN

DATE _____

DATE _____

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PROJECT

GOODWILL
 4829 ANNIVERSARY LANE

MADISON WISCONSIN

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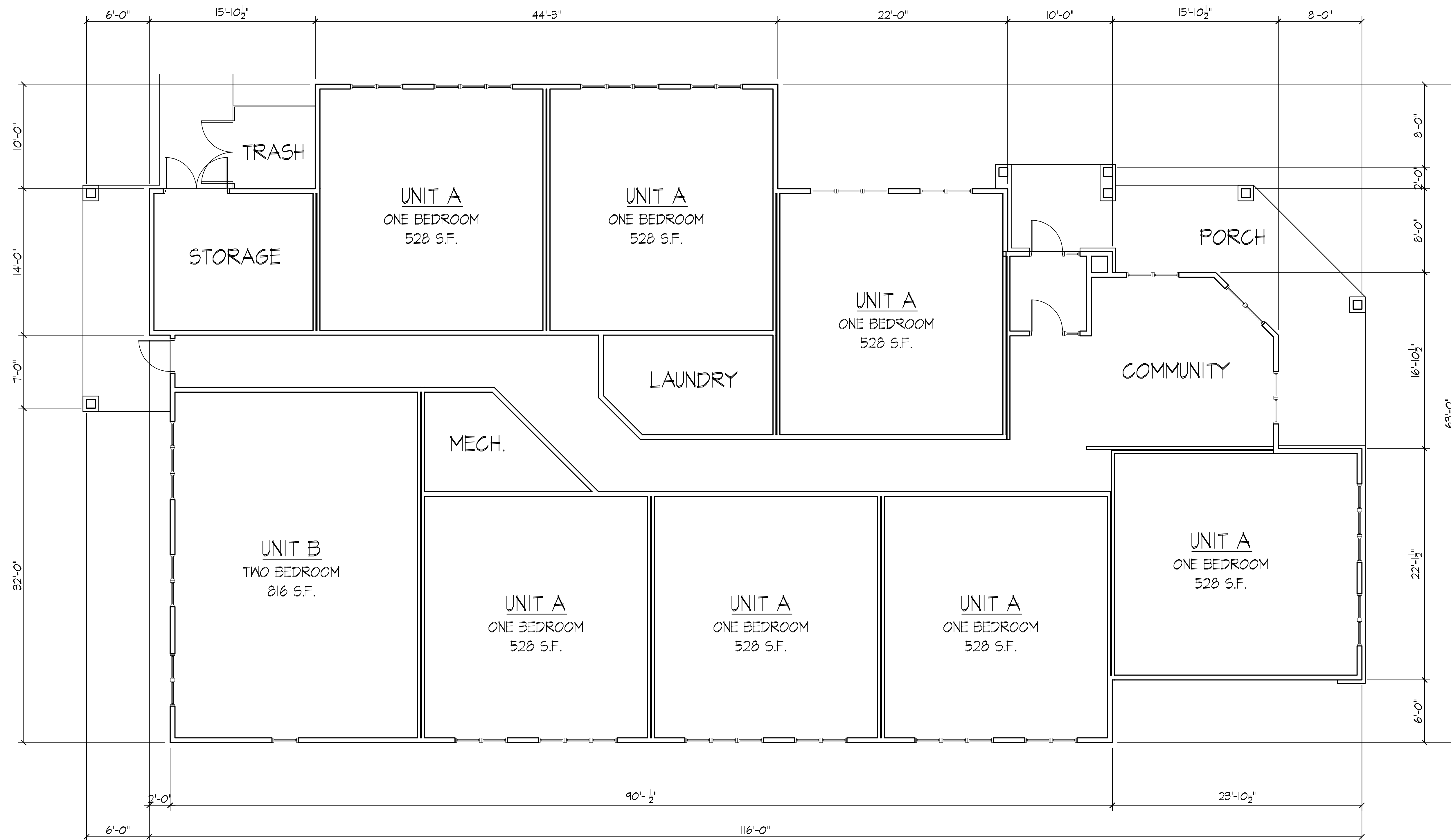
PROJECT NO.
 CAD FILE NAME 12298 LBASE
 DRAWN BY TTT
 DESIGNED BY TTT
 ISSUE DATE
 CLIENT PROJECT NO.

TITLE
SITE LANDSCAPE PLAN

SHEET
L-4.1

Consultant

Notes
Date



Revisions
Issue To Planning - November 11, 2004

Project Title
Goodwill

Floor Plan
3/16" = 1'-0"

4829 Anniversary Lane
Drawing Title
Floor Plan

Project No. Drawing No.

0931

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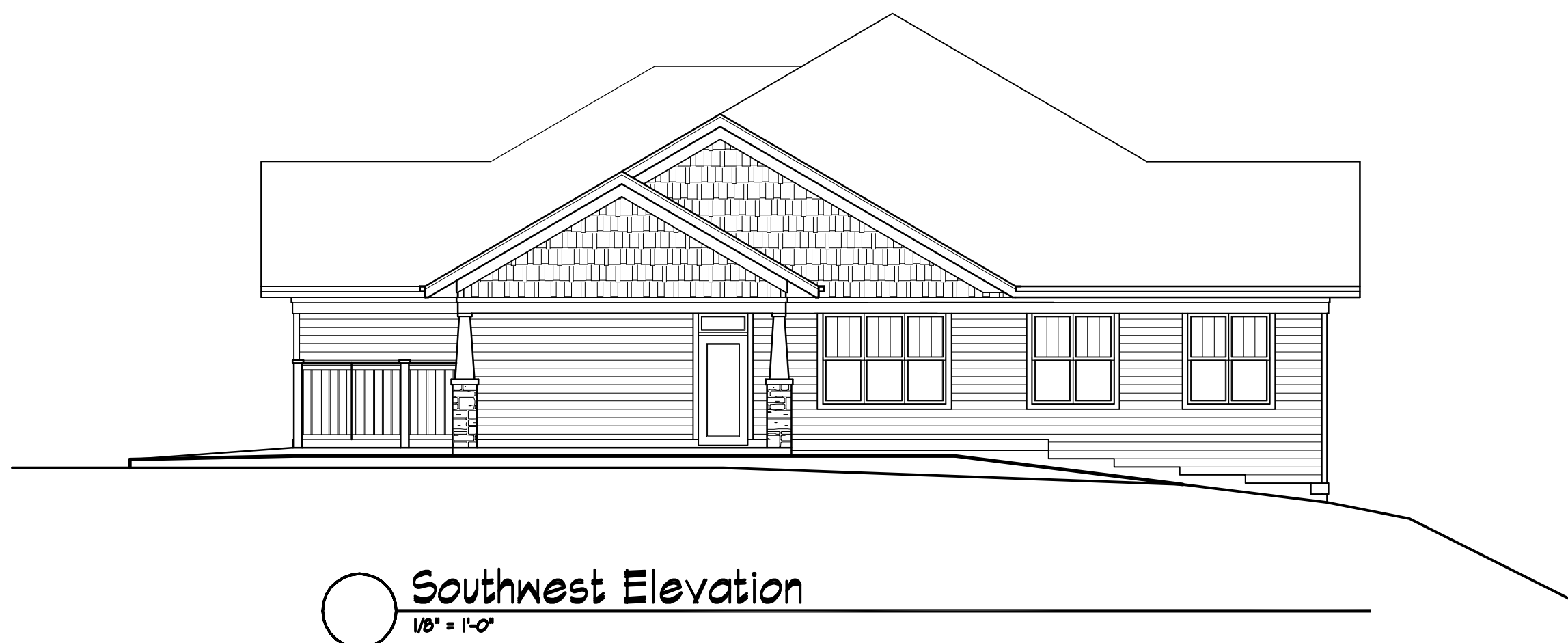
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Date



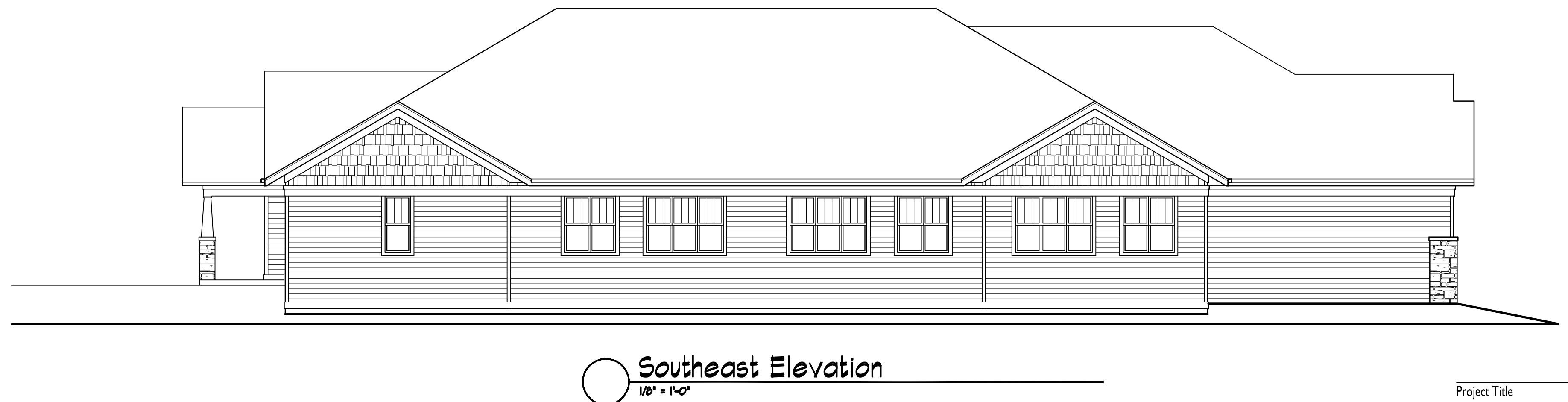
○ Northeast Elevation (Along Anniversary Lane)
1/8" = 1'-0"



○ Northwest Elevation
1/8" = 1'-0"



○ Southwest Elevation
1/8" = 1'-0"



○ Southeast Elevation
1/8" = 1'-0"

Revisions
Issue To Planning - November 11, 2004

Project Title
Goodwill

4829 Anniversary Lane
Drawing Title
Elevations

Project No. Drawing No.
0931 2

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