

MADISON, WISCONSIN

4841 ANNAMARK DRIVE
(SWQ) US 151 (WASHINGTON AVENUE) & I-39

ZONING: C3

OWNER/DEVELOPER:

TEXAS ROADHOUSE

CONTACT: KERRI SMITH
(24 HR EMERGENCY CONTACT)
TEXAS ROADHOUSE HOLDING, LLC
6060 DUTCHMANS LANE, SUITE 400
LOUISVILLE, KENTUCKY 40205
(502) 515-7301

ENGINEER:

GreenbergFarrow

CONTACT: JOHN NOURZAD, PE (VICE-PRESIDENT)
ALFONSO INCHAUSTI, PE (PROJECT MANAGER)
1755 THE EXCHANGE
ATLANTA, GEORGIA 30339
770-303-1033

JENNIFER MOWEN
(SITE DEVELOPMENT COORDINATOR)
3455 SALT CREEK LANE, SUITE 100
ARLINGTON, IL 60005
(847) 788-9200

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS STATUTE 188.075(1974)
REQUIRES MIN 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

SHEET INDEX

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LAND TITLE SURVEY:

D'ONOFRIO, KOTTKE AND ASSOCIATES, INC.

7530 WESTWARD WAY
MADISON, WISCONSIN 53717
PH: (608) 833-7530
FAX: (608) 833-1089

SITE LIGHTING CONSULTANT: ACCU SERV LIGHTING AND EQUIPMENT

CONTACT: KEVIN LOEHLE
PH: (877) 707-7378
FAX: (502) 961-0357
EMAIL: KLOEHLE@ACCU-SERV.COM

UTILITIES

SEWERS:

CITY OF MADISON PUBLIC WORKS
ENGINEERING DIVISION
CONTACT: GREG FRIES
210 MARTIN LUTHER KING, JR. BOULEVARD
ROOM 115
MADISON, WISCONSIN 53703
PH: (608) 266-4751
FAX: (608) 264-9273
EMAIL: GFRIES@CITYOFMADISON.COM

WATER UTILITY:

CITY OF MADISON
119 EAST OLIN AVENUE
MADISON, WISCONSIN 53713
PH: (608) 266-4651
FAX: (608) 266-4644

ELECTRICITY AND GAS:

MADISON GAS AND ELECTRIC COMPANY
GREGORY MEYER, AREA ENGINEER
133 SOUTH BLAIR STREET
MADISON, WISCONSIN 53703
PH: (608) 252-5669
FAX: (608) 252-5623
CELL: (608) 444-9617
EMAIL: GMEYER@MGE.COM

TELEPHONE:

SBC
152 DIXON STREET
MADISON, WISCONSIN 53704
PH: (608) 252-5423

REVISION RECORD

NO.	DATE	SHT No.	DESCRIPTION

JOB NO. 20050922
DATE: 12-21-05

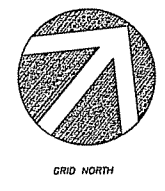
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, OF WHICH THE EXISTENCE IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.

EAST WASHINGTON AVENUE (U.S.H. 151)
(WIDTH VARIES)

LEGEND

●	FOUND IRON STAKE
—SS—	SANITARY SEWER
—W—	WATER MAIN
—G—	GAS MAIN
—S1—	STORM SEWER
□	ELECTRIC TRANSFORMER
○	MANHOLE
⊕	CATCH BASIN-INLET
⊙	LATERAL LOCATION POST
⊕	HYDRANT
⊕	VALVE
—S—	SIGN
—TC—	TOP OF CASTING
—IE—	INVERT ELEVATION
—	CHAIN-LINK FENCE
—	CONCRETE CURB & GUTTER
—	EXIST. CONTOUR
—	SPOT ELEVATION (0 DECIMAL PT.)

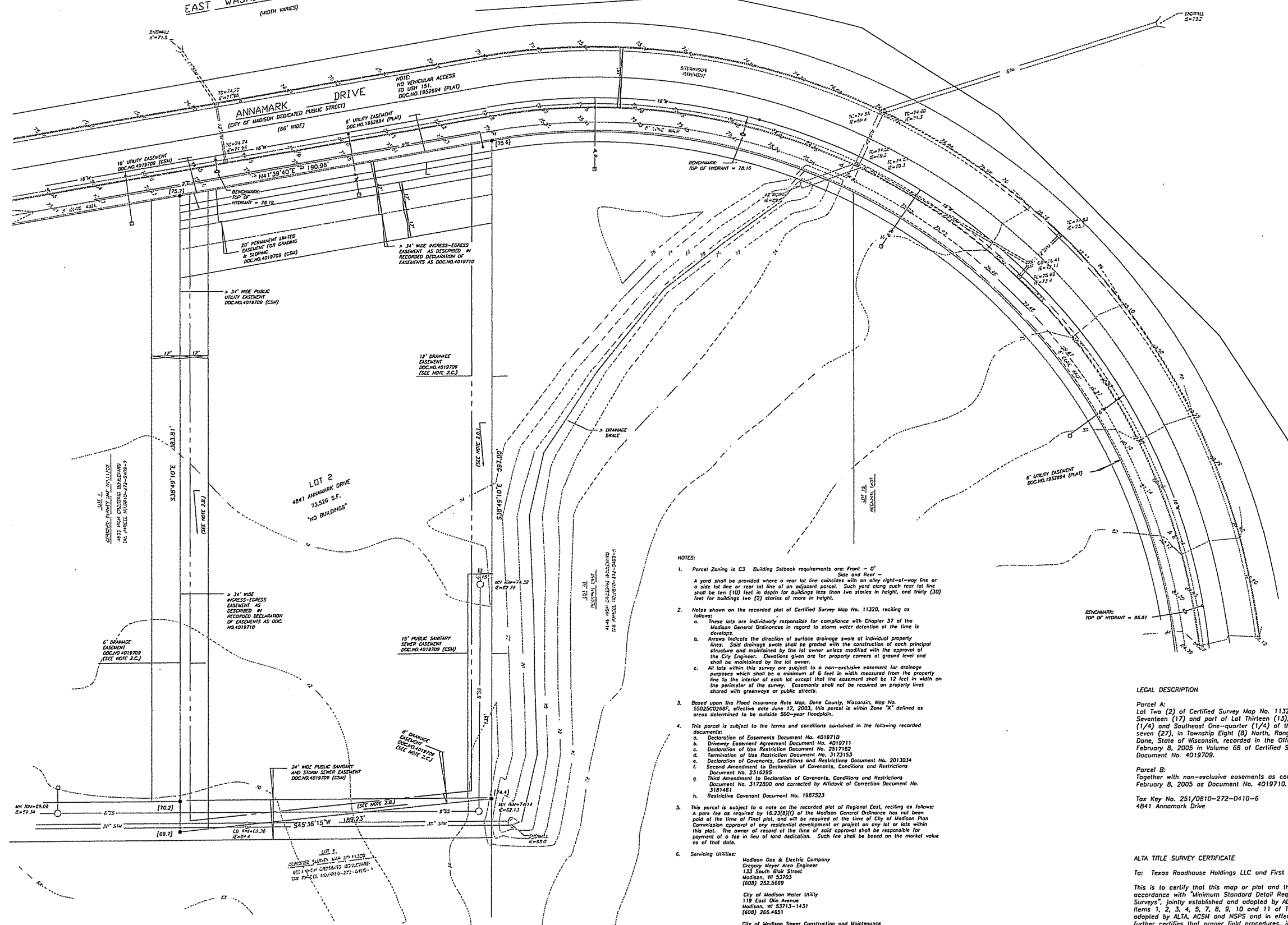
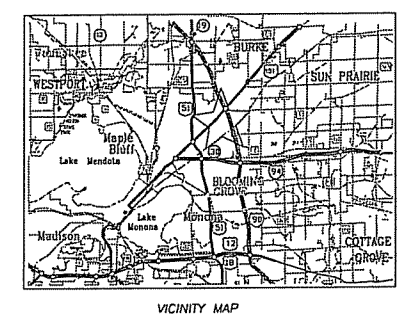
NOTE: ELEVATIONS ARE IN CITY OF MADISON DATUM



DATE: 11-15-05

SCALE: 1" = 30'

05-02-163
DRAWN BY: ARG



- NOTES:**
- Parcel Zoning is C3 Building setbacks requirements are: Front - 0' Side and Rear - A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line of an adjacent parcel. Such yard along such rear lot line shall be ten (10) feet in depth for buildings less than two stories in height, and thirty (30) feet for buildings two (2) stories or more in height.
 - Notes shown on the recorded plat of Certified Survey Map No. 11320, reciting as follows:
 - These lots are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water detention of the lots in development.
 - Arrows indicate the direction of surface drainage away of individual property lines. Solid drainage swales shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.
 - All lots within this survey are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 6 feet in width measured from the property line to the interior of each lot except that the easement shall be 12 feet in width on the perimeter of the survey. Easements shall not be required on property lines shared with greenways or public streets.
 - Based upon the Flood Insurance Rate Map, Dane County, Wisconsin, Map No. 550020280R, effective date June 12, 2003, this parcel is within Zone "X" defined as areas determined to be outside 500-year floodplain.
 - This parcel is subject to the terms and conditions contained in the following recorded documents:
 - Declaration of Easements Document No. 4019710
 - Driveway Easement Agreement Document No. 4019711
 - Declaration of Use Restriction Document No. 2517162
 - Termination of Use Restriction Document No. 3172163
 - Declaration of Covenants, Conditions and Restrictions Document No. 2013034
 - Second Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 2316295
 - Third Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 3172809 and corrected by Affidavit of Correction Document No. 3181461
 - Restrictive Covenant Document No. 1987523
 - This parcel is subject to a note on the recorded plat of Regional East, reciting as follows: A park fee as required by 16.23(8)(f) of the Madison General Ordinance has not been paid at the time of Final plat, and will be required at the time of City of Madison Plan Commission approval of any residential development or project on any lot or lots within this plat. The owner of record at the time of said approval shall be responsible for payment of a fee in lieu of land dedication. Such fee shall be based on the market value as of that date.
 - Serviceing Utilities:
 - Madison Gas & Electric Company
Gregory Meyer Area Engineer
133 South Blow Street
Madison, WI 53703
(608) 252-5669
 - City of Madison Water Utility
119 East Olin Avenue
Madison, WI 53711-1431
(608) 266-4651
 - City of Madison Sewer Construction and Maintenance
1802 Emi Street
Madison, WI 53713
(608) 266-4430
 - Charter Communications
2701 Daniels Street
Madison, WI 53718
(608) 274-3362
 - SBC
152 Dixon Street
Madison, WI 53704
(608) 232-2423
 - Parcel area 73,526 square feet (1.69 acres)
 - Surveyed for: Crossberg/Farrow
3455 Salt Creek Lane, Suite 100
Arlington Heights, IL 60005

LEGAL DESCRIPTION

Parcel A:
Lot Two (2) of Certified Survey Map No. 11320, being a re-division of Lots Sixteen (16), Seventeen (17) and part of Lot Thirteen (13), Regional East, located in the Northeast One-quarter (1/4) and Southeast One-quarter (1/4) of the Northwest One-quarter (1/4) of Section Twenty-seven (27), in Township Eight (8) North, Range Ten (10) East, in the City of Madison, County of Dane, State of Wisconsin, recorded in the Office of the Register of Deeds for Dane County on February 8, 2005 in Volume 68 of Certified Survey Maps, at Pages 252 to 255, inclusive, as Document No. 4019709.

Parcel B:
Together with non-exclusive easements as contained in a Declaration of Easements recorded on February 8, 2005 as Document No. 4019710.

Tax Key No. 251/0810-272-0410-6
4841 Annamark Drive

ALTA TITLE SURVEY CERTIFICATE

To: Texas Roadhouse Holdings LLC and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 3, 4, 5, 7, 8, 9, 10 and 11 of Table A thereof. Pursuant to the accuracy standards as adopted by ALTA, ACSM and NSPS and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance, and Closure Requirements which control land boundaries for ALTA / ACSM Land Title Surveys."

Dated at Madison, Wisconsin, this _____ day of November, 2005.

Wayne D. Barness, Registered Land Surveyor, S-1561

ALTA/ACSM LAND TITLE SURVEY
4841 ANNAMARK DRIVE
Lot 2 Certified Survey Map No. 11320
Located in the NE1/4 and SE1/4 of the NW1/4 of Section 27, T8N, R10E, FN: 05-02-163
City of Madison, Dane County, Wisconsin

**DONOFRIO, KOTTKE
AND ASSOCIATES, INC.**
7530 WESTWARD WAY
MADISON, WISCONSIN 53717
TEL: 608-833-7530
FAX: 608-833-1089

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY AND WAYS, MEANS AND METHODS OF CONSTRUCTION.

2. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES AND OBTAIN ALL NECESSARY LICENSES AND PERMITS.

3. THE GENERAL SPECIFICATION WHICH APPLY TO THE CONSTRUCTION WORK AS SHOWN ON THE ENGINEERING PLANS, ARE CONTAINED IN STANDARD SPECIFICATIONS, CONSTRUCTION DETAILS, AND/OR THE CITY'S ENGINEERING DEPARTMENT.

4. GENERAL GRADING

THE GRADING CONTRACTOR SHALL:

A. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.

B. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).

C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

D. BACKFILL THE CURB AND GUTTER AFTERS ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.

E. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUB-GRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

5. GENERAL PAVING

THE PAVING CONTRACTOR SHALL:

A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS/ CONCRETE SURFACE COURSE.

B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

6. INCIDENTAL TO CONSTRUCTION

THE CONTRACTOR SHALL:

A. ADHERE TO THE CRITERIA FOR THE SEPARATION BETWEEN WATERMAINS AND THE STORM AND SANITARY SEWER LINES AS DESCRIBE: WHEREEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAIN SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18 INCH VERTICAL SEPARATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED.

B. BE RESPONSIBLE TO PLACE GRADE AND COORDINATE WITH OTHER CONTRACTORS, ALL UNDERGROUND UTILITY STRUCTURE FRAMES SUCH AS MANHOLES, CATCH BASINS, AND INLETS.

C. BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES. THE CONTRACTOR SHALL EXCAVATE AROUND THE EXISTING UTILITIES TO DETERMINE THEIR EXACT LOCATIONS AND ELEVATIONS PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY IMPROVEMENTS.

D. PROVE Poured concrete fillets conforming to the shape of the pipe in all sanitary and storm manholes, and inlets.

E. BE RESPONSIBLE FOR MAINTAINING THE TOP OF ANY UTILITY TRENCH AT LEAST TWO (2) FEET AWAY FROM ANY EXISTING OR PROPOSED CURB OR PAVEMENT, IN THOSE INSTANCES WHERE THE TRENCH RUNS PARALLEL TO THE SAID CURB OR PAVEMENT.

F. BE RESPONSIBLE FOR THE DE-WATERING OF UTILITY TRENCHES DURING CONSTRUCTION AND PROVIDING THE NECESSARY TRENCH BRACING THAT MAY BE REQUIRED IN ORDER TO ADHERE TO CURRENT SAFETY STANDARDS.

G. REMOVE SOFT MATERIAL THAT MAY BE ENCOUNTERED AT THE PIPE INVERT ELEVATION TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE, AND BACKFILL WITH COMPACTED BEDDING MATERIAL.

H. REMOVE ALL EXCESS MATERIAL OFF THE SITE OR TO AN APPROVED LOCATIONS DESIGNATED BY THE OWNER.

I. COMPLETE ANY REQUIRED ADJUSTMENTS OR RECONSTRUCTION TO ANY EXISTING UTILITY STRUCTURES TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTION NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF EIGHT (8) INCHES OF ADJUSTING RINGS SHALL BE ALLOWED.

7. TESTING AND FINAL ACCEPTANCE

A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TRUCK FOR PROOF ROLLING THE PAVEMENT SUB-GRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL.

B. SPECIFIC COMPACTION TESTING MAY BE REQUIRED BY THE OWNER IN SELECTED FILL AREAS. THE CONTRACTOR SHALL BEAR THE COST OF COMPACTION TESTING AS WELL AS THE RESPONSIBILITY FOR THE NECESSARY CORRECTIONS.

C. APPROVAL OF THE PAVEMENT SUB-GRADE BY THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE PAVEMENT MATERIAL

D. SANITARY SEWER MAINS AND SERVICES SHALL BE TESTED FOR LEAKAGE AND DEFLECTION IN ACCORDANCE WITH THE REQUIREMENT OF THE LOCAL JURISDICTIONAL AUTHORITIES PRIOR TO THEIR FINAL ACCEPTANCE. ALLOWABLE TESTING LIMITS SHALL BE AS DESCRIBED IN THE "GENERAL SPECIFICATIONS" UNLESS THE LOCAL REQUIREMENTS ARE MORE RESTRICTIVE. SERVICE STUBS MUST BE PROPERLY PLUGGED AND SEALED AND CLEARLY LOCATED AT THEIR TERMINATION POINTS PRIOR TO TESTING. ALL SEWER MAINS, SERVICE LINES, AND MANHOLES SHALL BE CLEAN AND FREE OF DEBRIS PRIOR TO THEIR FINAL ACCEPTANCE.

E. WATERMAINS SHALL BE TESTED IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL REQUIREMENTS PRIOR TO ITS FINAL ACCEPTANCE. THE PRESSURE AND LEAKAGE TESTS AND DISINFECTION OF THE MAINS SHALL BE DESCRIBED IN THE SPECIFICATIONS OR FROM THE LOCAL REQUIREMENTS, WHICH EVER ARE MORE RESTRICTIVE. ALL VALVE VAULTS SHALL BE CLEAN AND FREE OF DEBRIS AND WATER PRIOR TO THEIR FINAL ACCEPTANCE. THE INDIVIDUAL SERVICE BOXES SHALL BE VISIBLE AND CLEARLY LOCATED PRIOR TO THEIR FINAL ACCEPTANCE.

F. SPECIAL CONDITIONS - ALTERNATE SOLUTIONS SHALL BE PRESENTED TO THE CITY OR STATE APPLICABLE AGENCIES WHEN EXTREME TOPOGRAPHICAL, GEOLOGICAL OR EXISTING STRUCTURAL CONDITIONS MAKE STRICT COMPLIANCE WITH THE ABOVE (D) OR (E) TECHNICALLY AND ECONOMICALLY IMPRACTICAL. ALTERNATE SOLUTIONS WILL BE APPROVED PROVIDED WATERTIGHT CONSTRUCTION STRUCTURALLY EQUIVALENT TO APPROVED WATERMAIN MATERIAL IS PROPOSED.

G. WATERMAINS AND WATER SERVICE LINES SHALL BE PROTECTED AGAINST ENTRANCE OF HYDROCARBONS THROUGH DIFFUSION AND THROUGH ANY MATERIAL USED IN CONSTRUCTION OF THE LINE.

B. MINIMUM REQUIREMENT FOR MANHOLE STRUCTURES

A. THE FRAME LIP SHALL BE CLEANED OF ALL MUD AND DEBRIS TO PROVIDE WATERTIGHT SEAL BETWEEN THE FRAME AND THE MANHOLE COVER GASKET.

B. MORTAR SHALL BE USED BETWEEN THE FRAME AND ADJUSTING RINGS AND BETWEEN ADJUSTING RINGS AND THE CONE SECTION IN ALL PAVED AREAS. E-Z STICK MAY BE USED IN LANDSCAPE AREAS.

C. ALL STEPS MUST BE INSTALLED, ALIGNED AND CLEANED.

D. ALL PINHOLES MUST BE MORTARED WITH BRUSH FINISH TO PROVIDE A WATERTIGHT SEAL.

E. THE UPSTREAM AND DOWNSTREAM PIPE CAVITIES MUST BE FILLED WITH MORTAR AND SMOOTHED WITH A BRUSH FINISH.

F. THE UPSTREAM AND DOWNSTREAM FLOW LINES (INVERTS) SHALL HAVE A SMOOTH TRANSITION FROM THE PIPE TO THE MANHOLE INVERT.

G. ALL MANHOLE STRUCTURES SHALL BE FREE OF ANY TYPE OF INFILTRATION (WATER LEAKING INTO THE STRUCTURE).

H. IF THERE IS AN INTERNAL DROP IN THE STRUCTURE THERE MUST BE A SMOOTH TRANSITION FROM THE PIPE TO THE INVERT (I.E. CHANNEL THE FLOW FROM THE PIPE TO THE MANHOLE INVERT).

I. ALL MANHOLES SHALL BE CLEANED OF ANY ACCUMULATON OF SILT, DEBRIS, OR FOREIGN MATTER OF ANY KIND, AND SHALL BE FREE FROM SUCH ACCUMULATIONS AT THE TIME OF FINAL INSPECTION.

GreenbergFarrow

1755 The Exchange
Atlanta, GA 30339
t: 770 303 1033 f: 770 303 2333

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL

PROFESSIONAL SEAL

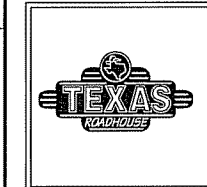
PROFESSIONAL IN CHARGE
JOHN HOURZAD, PE
PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SONSAR KACSWAST, PE
DRAWN BY
DAN ANCSPATI, ET

PROJECT NAME

TEXAS ROADHOUSE

MADISON WISCONSIN

(SWQ) US 151 (WASHINGTON AVENUE) & I-39



PROJECT NUMBER

20050922.8

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C-1.0

NOT ISSUED FOR CONSTRUCTION

PRELIMINARY

GENERAL LAYOUT NOTES

1. CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
2. IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE THEIR DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
3. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF ALL MATERIALS, AND THE EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES, RULES AND REGULATIONS.
6. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
7. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
8. NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
9. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
10. ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
11. ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
12. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY, AND THAT THE ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE.
13. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
14. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
16. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
17. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.

PROJECT INFORMATION

SITE ADDRESS: 4841 ANNAMARK DRIVE
MADISON, WISCONSIN

TEXAS ROADHOUSE SITE AREA: 1.688 ACRES
OFFSITE PARKING SITE AREA: 0.409 ACRES

TOTAL AREA: 2.097 ACRES

OF BUILDING STORIES (ABOVE GRADE): 1

BUILDING HEIGHT: 27.5 FT

TOTAL SQUARE FOOTAGE OF BUILDING: 7135 SF

USE OF PROPERTY: RESTAURANT

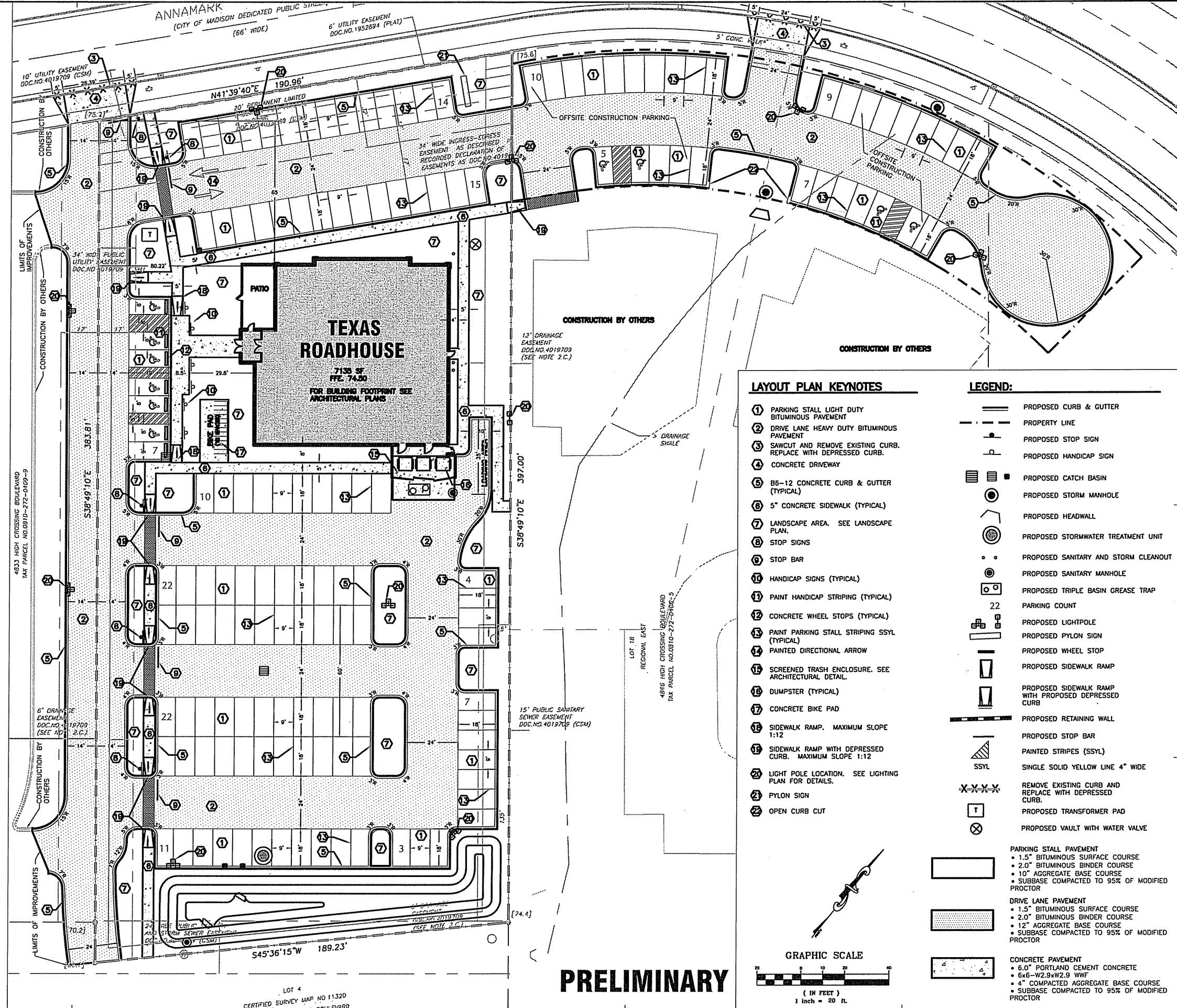
CAPACITY OF RESTAURANT: 239 SEATS

NUMBER OF BICYCLE STALLS: 12

PARKING:

TRH SITE STALLS: 109
HANDICAP ACCESSIBLE: 6
TOTAL TRH SITE STALLS: 115

OFFSITE PARKING STALLS: 27
HANDICAP ACCESSIBLE: 4
TOTAL OFFSITE PARKING STALLS: 31



LAYOUT PLAN KEYNOTES

1. PARKING STALL LIGHT DUTY BITUMINOUS PAVEMENT
2. DRIVE LANE HEAVY DUTY BITUMINOUS PAVEMENT
3. SAWCUT AND REMOVE EXISTING CURB. REPLACE WITH DEPRESSED CURB.
4. CONCRETE DRIVEWAY
5. 86-12 CONCRETE CURB & GUTTER (TYPICAL)
6. 5" CONCRETE SIDEWALK (TYPICAL)
7. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
8. STOP SIGNS
9. STOP BAR
10. HANDICAP SIGNS (TYPICAL)
11. PAINT HANDICAP STRIPING (TYPICAL)
12. CONCRETE WHEEL STOPS (TYPICAL)
13. PAINT PARKING STALL STRIPING SSSL (TYPICAL)
14. PAINTED DIRECTIONAL ARROW
15. SCREENED TRASH ENCLOSURE. SEE ARCHITECTURAL DETAIL.
16. DUMPSTER (TYPICAL)
17. CONCRETE BIKE PAD
18. SIDEWALK RAMP. MAXIMUM SLOPE 1:12
19. SIDEWALK RAMP WITH DEPRESSED CURB. MAXIMUM SLOPE 1:12
20. LIGHT POLE LOCATION. SEE LIGHTING PLAN FOR DETAILS.
21. PYLON SIGN
22. OPEN CURB CUT

LEGEND:

- PROPOSED CURB & GUTTER
- PROPERTY LINE
- PROPOSED STOP SIGN
- PROPOSED HANDICAP SIGN
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED HEADWALL
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED TRIPLE BASIN GREASE TRAP
- 22. PARKING COUNT
- PROPOSED LIGHTPOLE
- PROPOSED PYLON SIGN
- PROPOSED WHEEL STOP
- PROPOSED SIDEWALK RAMP
- PROPOSED SIDEWALK RAMP WITH DEPRESSED CURB
- PROPOSED RETAINING WALL
- PROPOSED STOP BAR
- PAINTED STRIPES (SSSL)
- SINGLE SOLID YELLOW LINE 4" WIDE
- REMOVE EXISTING CURB AND REPLACE WITH DEPRESSED CURB.
- PROPOSED TRANSFORMER PAD
- PROPOSED VAULT WITH WATER VALVE

PARKING STALL PAVEMENT

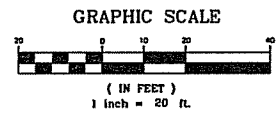
- 1.5" BITUMINOUS SURFACE COURSE
- 2.0" BITUMINOUS BINDER COURSE
- 10" AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR

DRIVE LANE PAVEMENT

- 1.5" BITUMINOUS SURFACE COURSE
- 2.0" BITUMINOUS BINDER COURSE
- 12" AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR

CONCRETE PAVEMENT

- 6.0" PORTLAND CEMENT CONCRETE
- 6x6-W2.9xW2.9 WWF
- 4" COMPACTED AGGREGATE BASE COURSE
- SUBBASE COMPACTED TO 95% OF MODIFIED PROCTOR



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ISSUE/REVISION RECORD

DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL

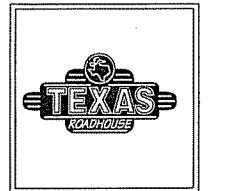
PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SONSAR KAGSWAST, PE
DRAWN BY
DAN ANOSPAT, EIT

PROJECT NAME
TEXAS ROADHOUSE

MADISON WISCONSIN

(SWQ) US 151 (WASHINGTON AVENUE) & I-39



PROJECT NUMBER
20050922.8

SHEET TITLE
LAYOUT PLAN

SHEET NUMBER
C-2.0

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
12-21-05	50% CITY SUBMITTAL

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PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SOMSAK KASHWATI, PE
DRAWN BY
DAN ANGSPATT, DT

PROJECT NAME
TEXAS ROADHOUSE

MADISON WISCONSIN

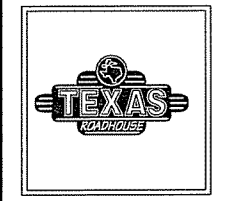
(SW) US 151
(WASHINGTON AVENUE)
& I-39

PROJECT NUMBER
20050922.8

SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER
C-3.0

NOT ISSUED FOR CONSTRUCTION



PROJECT NUMBER
20050922.8

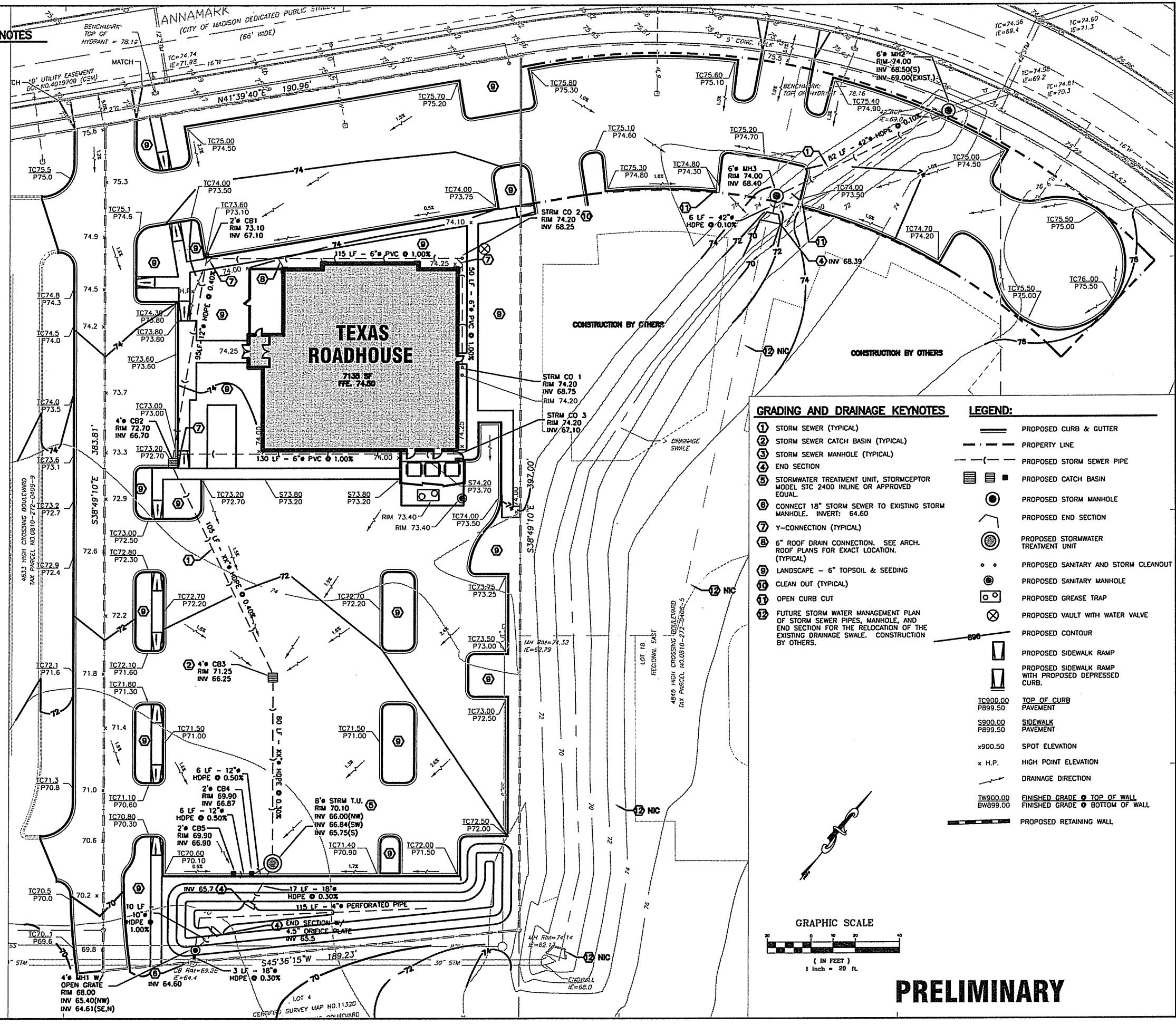
SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NUMBER
C-3.0

NOT ISSUED FOR CONSTRUCTION

GENERAL GRADING AND DRAINAGE NOTES

- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE OPENINGS SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

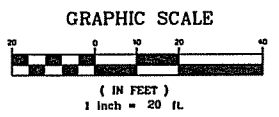


GRADING AND DRAINAGE KEYNOTES

- STORM SEWER (TYPICAL)
- STORM SEWER CATCH BASIN (TYPICAL)
- STORM SEWER MANHOLE (TYPICAL)
- END SECTION
- STORMWATER TREATMENT UNIT, STORMCEPTOR MODEL STC 2400 INLINE OR APPROVED EQUAL
- CONNECT 18" STORM SEWER TO EXISTING STORM MANHOLE. INVERT: 64.60
- Y-CONNECTION (TYPICAL)
- 6" ROOF DRAIN CONNECTION. SEE ARCH. ROOF PLANS FOR EXACT LOCATION. (TYPICAL)
- LANDSCAPE - 6" TOPSOIL & SEEDING
- CLEAN OUT (TYPICAL)
- OPEN CURB CUT
- FUTURE STORM WATER MANAGEMENT PLAN OF STORM SEWER PIPES, MANHOLE, AND END SECTION FOR THE RELOCATION OF THE EXISTING DRAINAGE SWALE. CONSTRUCTION BY OTHERS.

LEGEND:

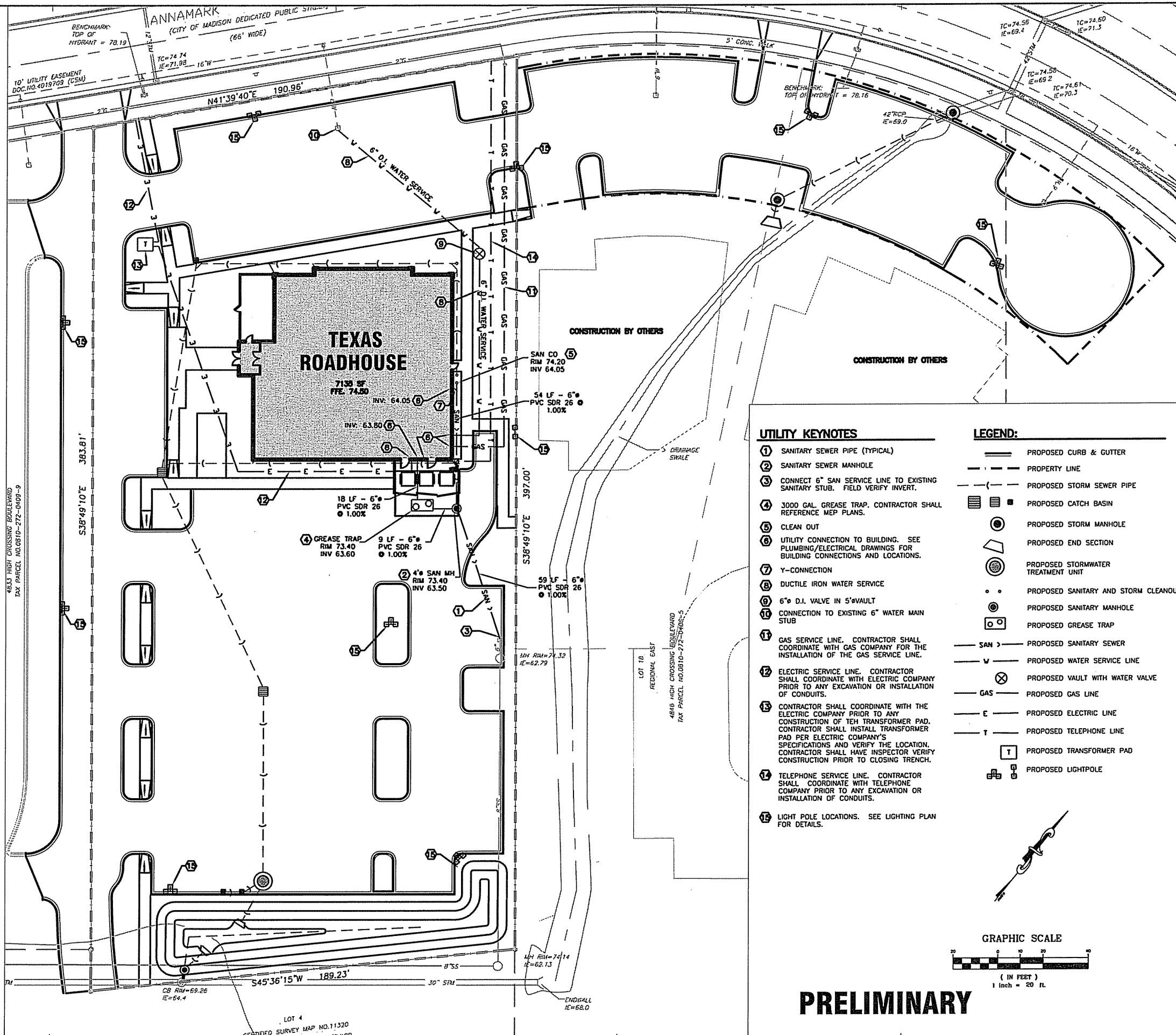
- PROPOSED CURB & GUTTER
- PROPERTY LINE
- PROPOSED STORM SEWER PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED END SECTION
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED GREASE TRAP
- PROPOSED VAULT WITH WATER VALVE
- PROPOSED CONTOUR
- PROPOSED SIDEWALK RAMP
- PROPOSED SIDEWALK RAMP WITH PROPOSED DEPRESSED CURB.
- TOP OF CURB PAVEMENT
- SIDEWALK PAVEMENT
- SPOT ELEVATION
- HIGH POINT ELEVATION
- DRAINAGE DIRECTION
- FINISHED GRADE TOP OF WALL
- FINISHED GRADE BOTTOM OF WALL
- PROPOSED RETAINING WALL



PRELIMINARY

GENERAL UTILITY NOTES

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- THE CITY OF MADISON SHALL BE NOTIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS, AND AT THE VARIOUS STAGES IN CONSTRUCTION. THE AUTHORITY SHALL BE GIVEN A 24 HOUR ADVANCE NOTICE BEFORE AN INSPECTION IS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION. REPAIR ALL DAMAGES MADE TO EXISTING UTILITIES AT NO COST TO THE OWNER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- ALL TRENCHES FOR THE CONSTRUCTION OF SEWERS AND THE EXCAVATION AROUND STRUCTURES AND OTHER APPURTENANCES WHICH OCCUR WITH THE LIMITS OF EXISTING OR PROPOSED PAVEMENTS, OR WHERE THE EDGE OF THE TRENCH SHALL BE WITHIN TWO (2) FEET OF SAID IMPROVEMENTS, SHALL BE BACKFILLED WITH COMPACTED GRANULAR TRENCH BACKFILL.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
- COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

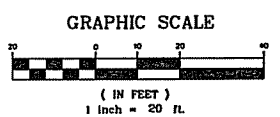


UTILITY KEYNOTES

- SANITARY SEWER PIPE (TYPICAL)
- SANITARY SEWER MANHOLE
- CONNECT 6" SAN SERVICE LINE TO EXISTING SANITARY STUB. FIELD VERIFY INVERT.
- 3000 GAL. GREASE TRAP. CONTRACTOR SHALL REFERENCE MEP PLANS.
- CLEAN OUT
- UTILITY CONNECTION TO BUILDING. SEE PLUMBING/ELECTRICAL DRAWINGS FOR BUILDING CONNECTIONS AND LOCATIONS.
- Y-CONNECTION
- DUCTILE IRON WATER SERVICE
- 6" D.I. VALVE IN 5' VAULT
- CONNECTION TO EXISTING 6" WATER MAIN STUB
- GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY PRIOR TO ANY CONSTRUCTION OF TEH TRANSFORMER PAD. CONTRACTOR SHALL INSTALL TRANSFORMER PAD PER ELECTRIC COMPANY'S SPECIFICATIONS AND VERIFY THE LOCATION. CONTRACTOR SHALL HAVE INSPECTOR VERIFY CONSTRUCTION PRIOR TO CLOSING TRENCH.
- TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.
- LIGHT POLE LOCATIONS. SEE LIGHTING PLAN FOR DETAILS.

LEGEND:

- PROPOSED CURB & GUTTER
- PROPERTY LINE
- PROPOSED STORM SEWER PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED END SECTION
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED GREASE TRAP
- PROPOSED SANITARY SEWER
- PROPOSED WATER SERVICE LINE
- PROPOSED VAULT WITH WATER VALVE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED TELEPHONE LINE
- PROPOSED TRANSFORMER PAD
- PROPOSED LIGHTPOLE



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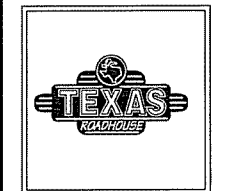
PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SONSAX KADSWAST, PE
DRAWN BY
DAN ANSPATT, DT

PROJECT NAME
TEXAS ROADHOUSE

MADISON WISCONSIN

(SW) US 151 (WASHINGTON AVENUE) & I-39



PROJECT NUMBER
20050922.8

SHEET TITLE

UTILITY PLAN

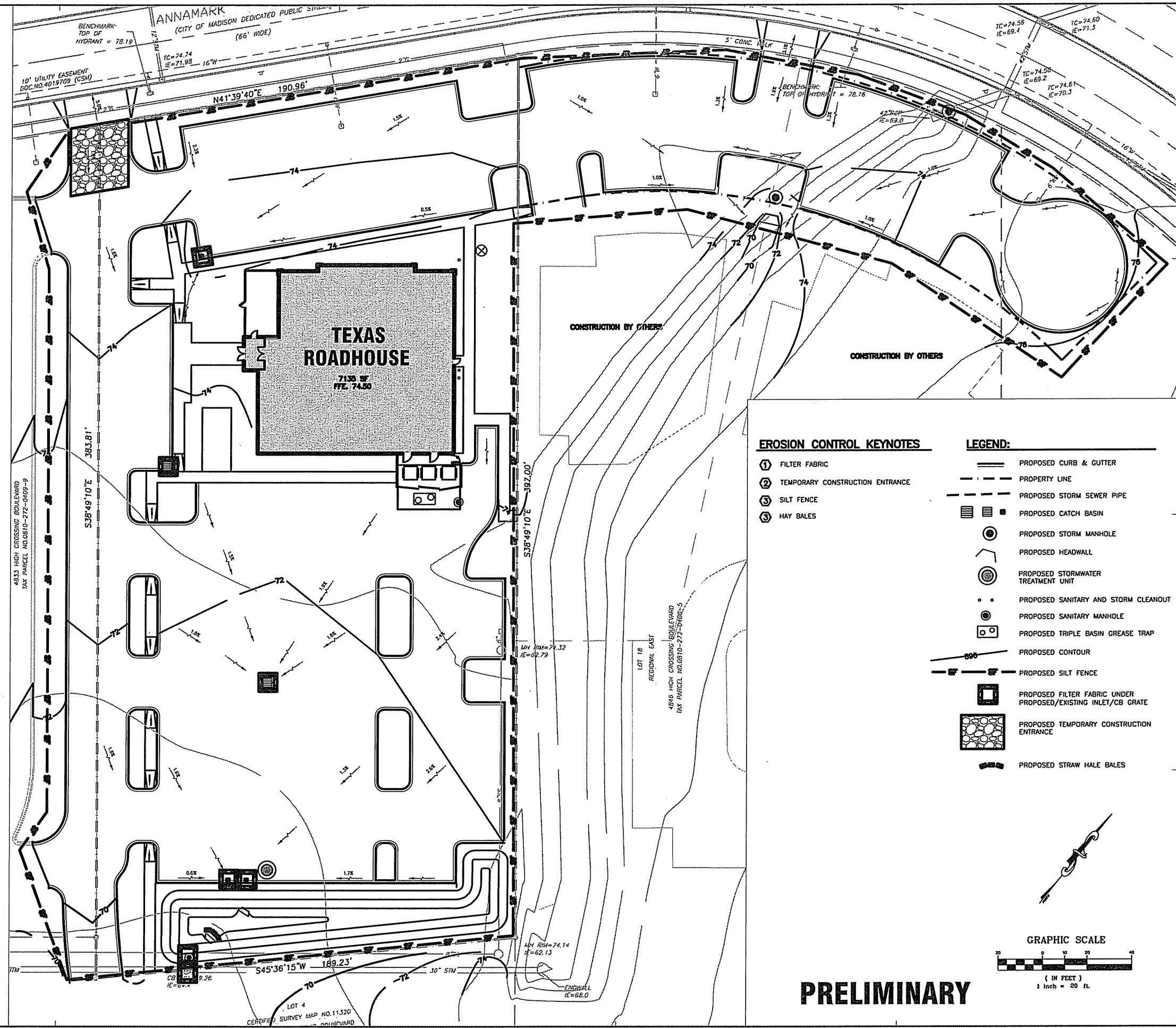
SHEET NUMBER

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GENERAL EROSION CONTROL NOTES

1. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
2. INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO CLEARING GRADING AND DEMOLITION WORK. MAINTAIN ALL SEDIMENT AND EROSION CONTROL AND TREE PROTECTION MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
3. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE CITY'S ENGINEERING DEPARTMENT.
4. PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE. CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE UNTIL SITE PAVING IS COMPLETE.
5. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED BY VEHICLE OFF-SITE ONTO PUBLIC ROADWAY OR INTO STORM DRAINS MUST BE REMOVED.
6. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
7. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVES HAVE BEEN PAVED.
9. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE IMPROVEMENTS ARE BEING MADE. TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH MUTCD.
10. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION AND DETENTION FACILITIES, IF REQUIRED, ARE CONSTRUCTED.
11. CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS REGULARLY AND IMMEDIATELY FOLLOWING HEAVY RAIN STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. REPAIR OR REPLACE FAILED SYSTEMS AT THE EARLIEST POSSIBLE DATE.
12. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
13. ALL DISTURBED AREAS, WITH NO SPECIFIED GROUND COVER ARE TO BE RESTORED WITH MINIMUM SIX (6) INCHES OF TOPSOIL AND SEEDING.
14. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE CITY'S ENGINEERING DEPARTMENT.

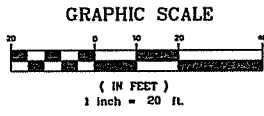


EROSION CONTROL KEYNOTES

- ① FILTER FABRIC
- ② TEMPORARY CONSTRUCTION ENTRANCE
- ③ SILT FENCE
- ④ HAY BALES

LEGEND:

- PROPOSED CURB & GUTTER
- - - PROPERTY LINE
- - - PROPOSED STORM SEWER PIPE
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE
- ⌋ PROPOSED HEADWALL
- PROPOSED STORMWATER TREATMENT UNIT
- PROPOSED SANITARY AND STORM CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED TRIPLE BASIN GREASE TRAP
- - - PROPOSED CONTOUR
- - - PROPOSED SILT FENCE
- PROPOSED FILTER FABRIC UNDER PROPOSED/EXISTING INLET/CB GRATE
- PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
- PROPOSED STRAW HALE BALES



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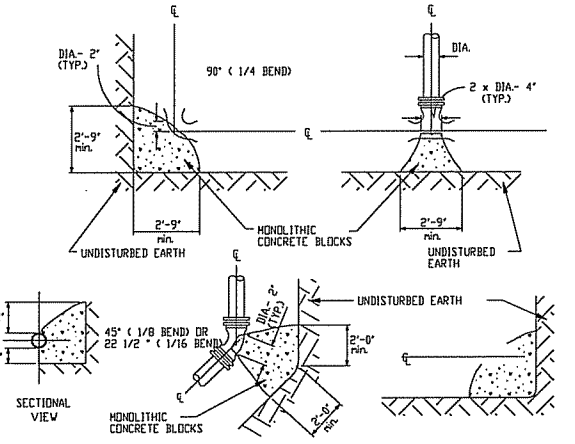
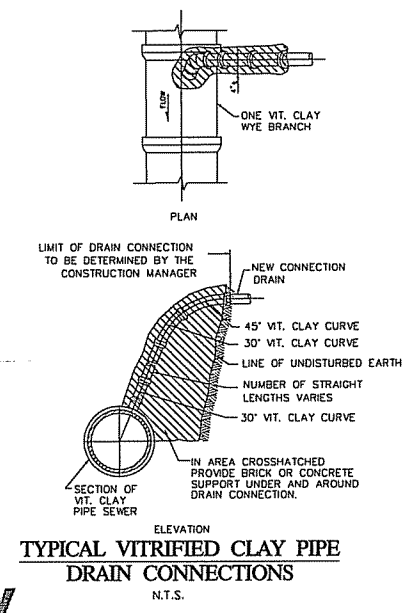
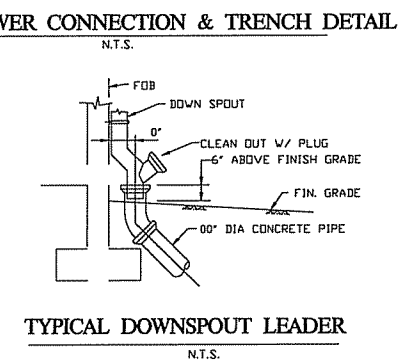
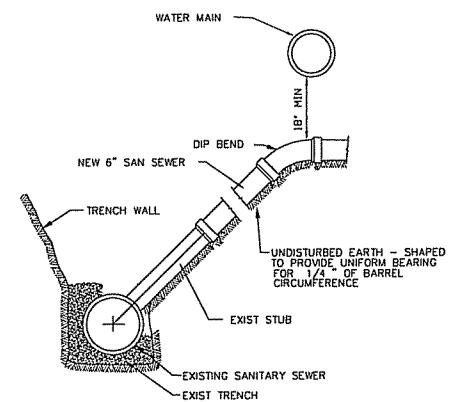
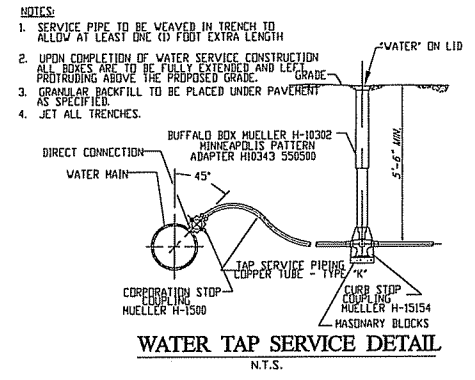
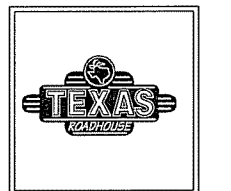
MADISON WISCONSIN
 (SWQ) US 151 (WASHINGTON AVENUE) & I-39

PROJECT NUMBER
 20050922.8

SHEET TITLE
EROSION CONTROL PLAN

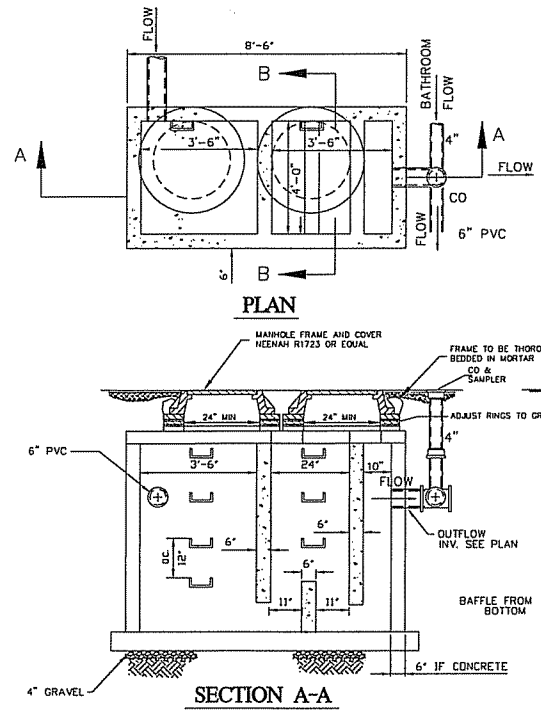
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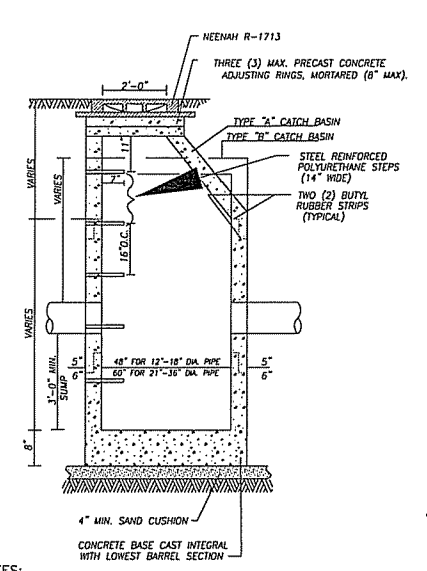
AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS

PIPE SIZE IN.	1/4 BEND SQ. FT.		1/8 BEND SQ. FT.		TEES, PLUGS, CAPS AND HYDRANTS SQ. FT.	
	M ²	M ²	M ²	M ²	M ²	M ²
4	2	0.19	2	0.19	2	0.19
6	5	0.46	3	0.28	4	0.37
8	8	0.74	5	0.46	6	0.59
10	13	1.21	7	0.65	9	0.94
12	18	1.67	10	0.93	13	1.21
14	23	2.39	14	1.40	18	1.67
16	32	3.37	19	1.87	23	2.14

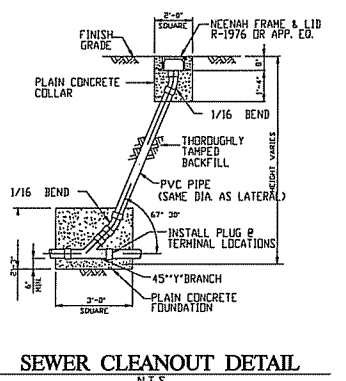


1000 GAL GREASE TRAP
NOT TO SCALE

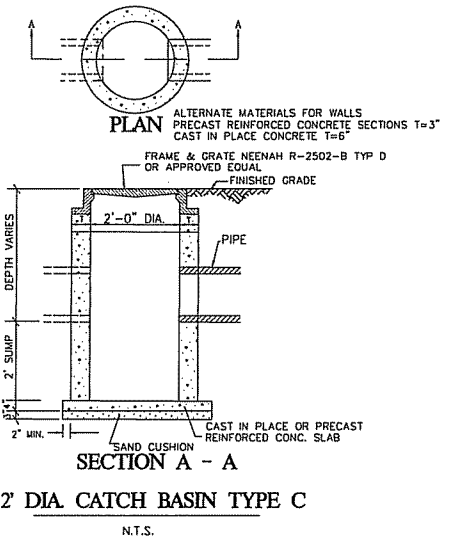
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CATCH BASIN, TYPE A DETAIL
SCALE: NONE

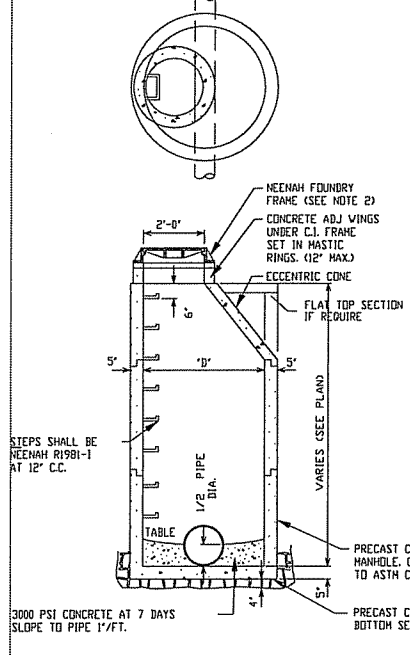


SEWER CLEANOUT DETAIL
N.T.S.

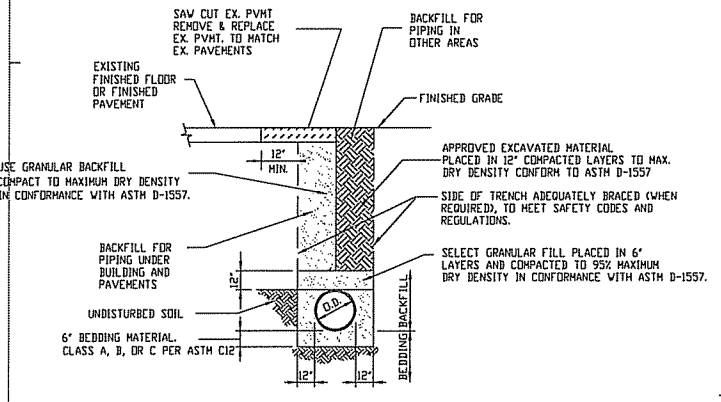


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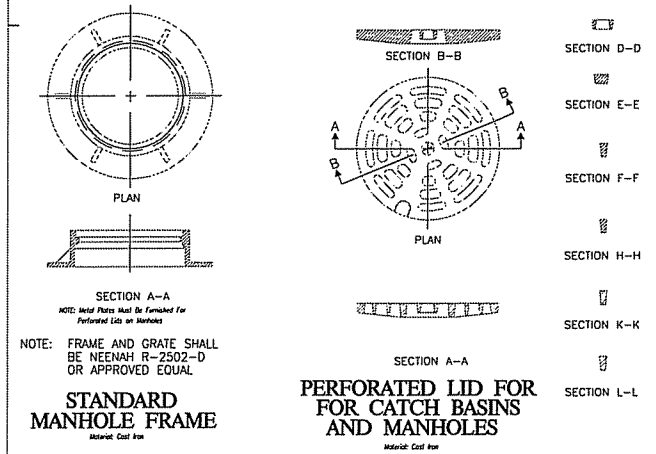
- NOTES:**
1. PROVIDE MINIMUM 4\"/>



STORM & SAN SEWER MANHOLE, TYPE A
SCALE: NONE



DETAIL OF TYPICAL PIPE BEDDING AND BACKFILL
N.T.S.



STANDARD MANHOLE FRAME
Neenah Cast Iron

PERFORATED LID FOR CATCH BASINS AND MANHOLES
Neenah Cast Iron

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DATE REVISION
12-21-05 90% CITY SUBMITTAL

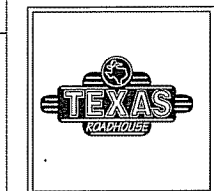
PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SOMSAK KAGSWAST, PE
DRAWN BY
DAN ANDSPATT, EIT

PROJECT NAME
TEXAS ROADHOUSE

MADISON WISCONSIN

(SWQ) US 151
(WASHINGTON AVENUE) & I-39



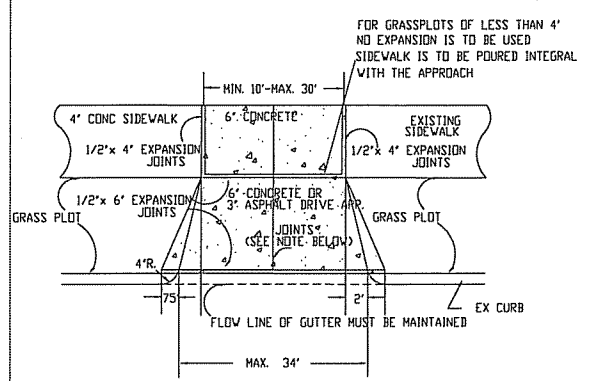
PROJECT NUMBER
20050922.8

SHEET TITLE
DETAILS SHEET 2

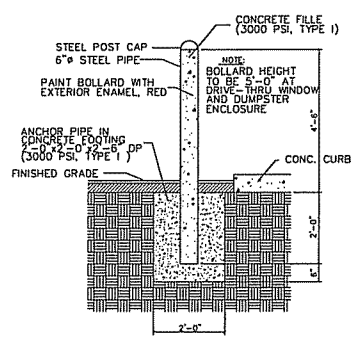
SHEET NUMBER

C-6.1

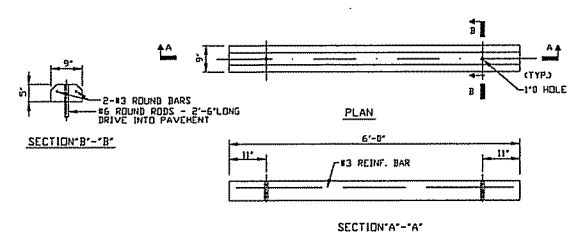
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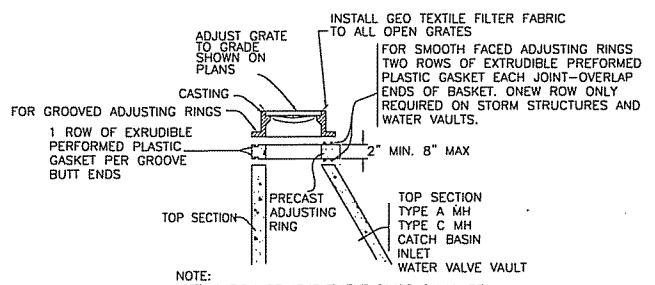
CONCRETE DRIVEWAY DETAIL
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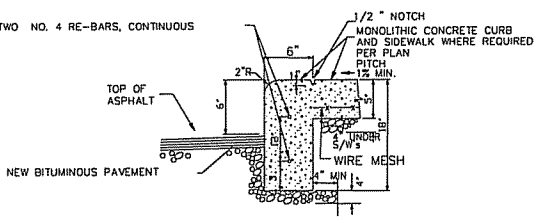
STEEL PIPE BOLLARD DETAIL
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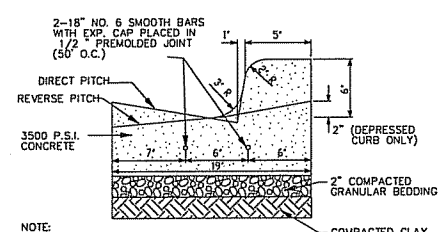
PRECAST CONCRETE PARKING STOP
N.T.S.



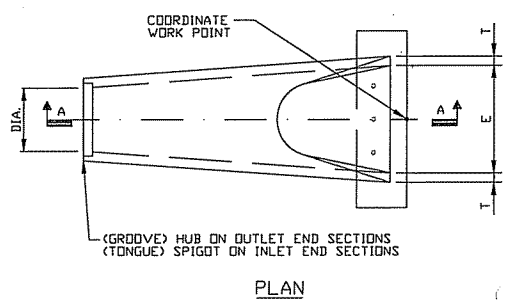
TYPICAL CASTING ADJUSTMENT & FILTER FABRIC INSTALLATION DETAIL
NOT TO SCALE



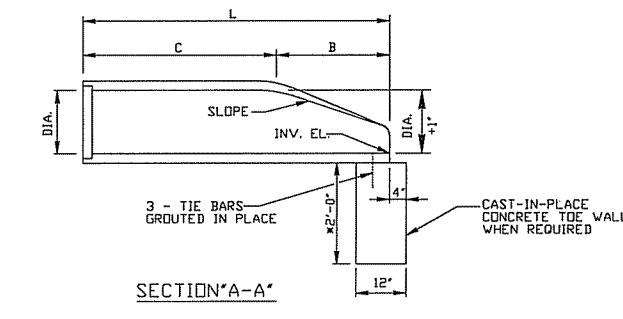
SIDEWALK-CURB COMBINATION DETAIL
N.T.S.



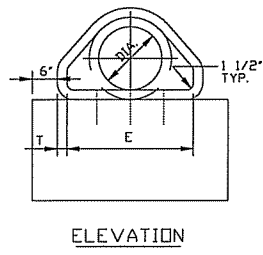
B6-12 CURB & GUTTER CURB
N.T.S.



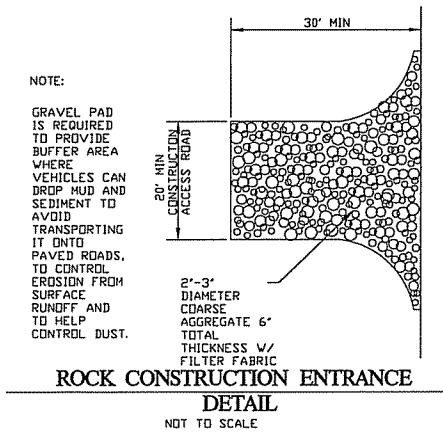
*PRECAST CONCRETE FLARED END PIPE SECTION (REINFORCED)						
DIA.	SLOPE	*B'	*C'	*L'	*E'	*T'
15"	3:1	2'-3"	3'-10"	6'-1"	2'-6"	2' 1/4"
18"	3:1	2'-3"	3'-10"	6'-1"	3'-0"	2' 1/2"
24"	3:1	3'-8"	2'-5"	6'-1"	4'-0"	3'
30"	3:1	4'-6"	1'-8"	6'-2"	5'-0"	3' 1/2"
36"	3:1	5'-3"	2'-11"	8'-2"	6'-0"	4'
42"	3:1	5'-3"	2'-11"	8'-2"	6'-6"	4' 1/2"
48"	3:1	6'-0"	2'-2"	8'-2"	7'-0"	5'
54"	3:1	6'-6"	1'-10"	8'-4"	7'-6"	5' 1/2"
60"	3:1	6'-6"	1'-10"	8'-4"	8'-0"	6'
72"	3:1	6'-6"	1'-10"	8'-4"	9'-0"	7'



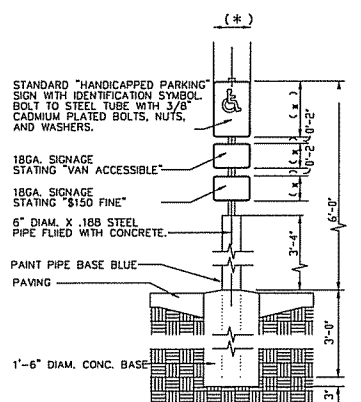
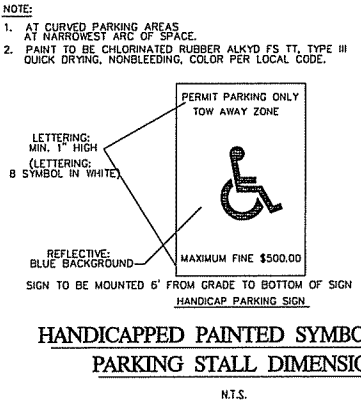
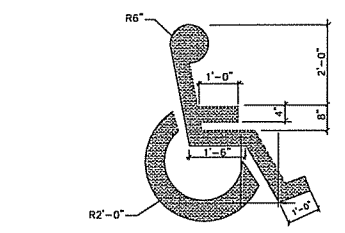
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N.T.S.



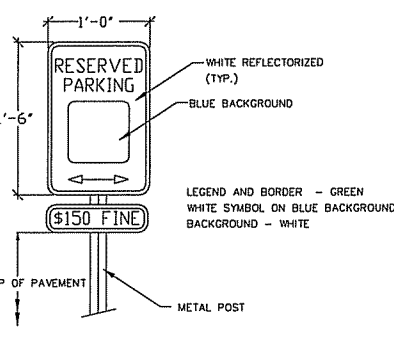
ELEVATION



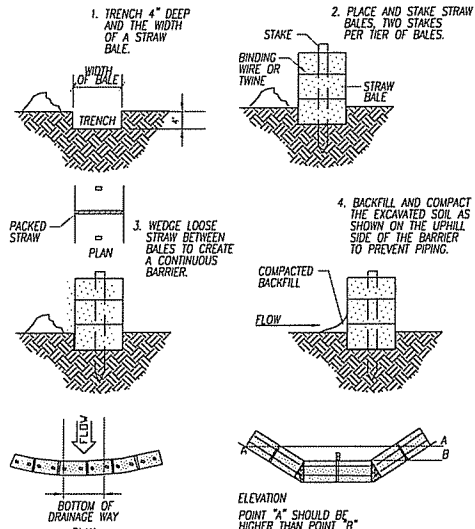
ROCK CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



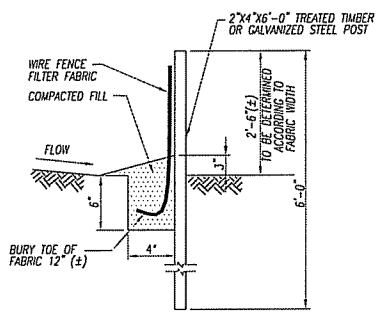
HANDICAP SIGN
N.T.S.



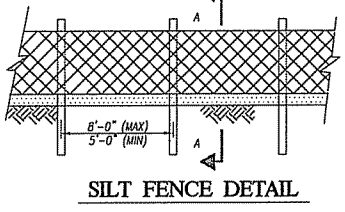
HANDICAP PARKING SIGN DETAIL
N.T.S.



STRAW BALE BARRIER DETAIL
N.T.S.

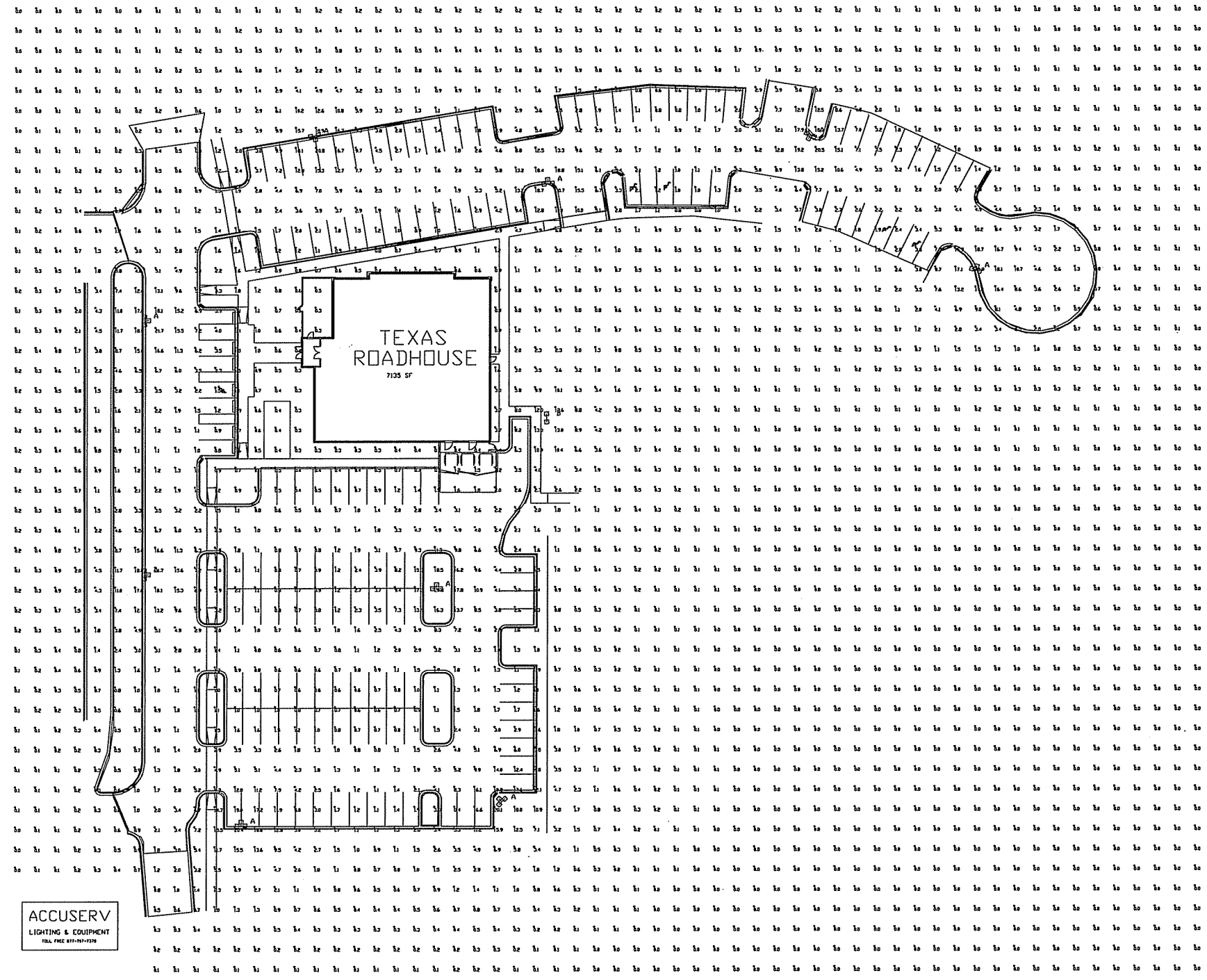


SECTION A-A
N.T.S.



SILT FENCE DETAIL
N.T.S.

PRELIMINARY



ACCUSERV
LIGHTING & EQUIPMENT
104 FMC 817-911-7128

Statistical Area Summary					
Project: All Projects					
Label	Avg	Max	Min	Avg/Min	Max/Min
TRH PARKING AREA	4.01	21.7	0.4	10.03	54.25

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	9	A	3 @ 90 DEGREES	36000	0.700	ACCVR5IV400MH2081DBM <DN 25' POLE - SNTS2557TRI@90
	1	B	BACK-BACK	36000	0.700	ACCVR5IV400MH2081DBM <DN 25' POLE - SNTS2557DBL@18

TEXAS ROADHOUSE
MADISON, WI
PREPARED BY: KEVIN LOEHLE
ACCUSERV LIGHTING & EQUIPMENT
TF: 877-707-7378
FX: 502-961-0357
kloehe@accu-serv.com
DECEMBER 13, 2005

GreenbergFarrow
1755 The Exchange
Atlanta, GA 30339
T: 770 303 1033 F: 770 303 2333

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ISSUE/REVISION RECORD	
DATE	DESCRIPTION
12-21-05	90% CITY SUBMITTAL

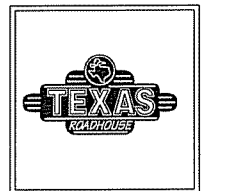
PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD, PE
PROJECT MANAGER
ALFONSO INCHAUSTI, PE
QUALITY CONTROL
SOMSAK KAGSWAST, PE
DRAWN BY
DAN ANCSPATT, EIT

PROJECT NAME
TEXAS ROADHOUSE

MADISON WISCONSIN

(SWQ) US 151
(WASHINGTON AVENUE)
& I-39

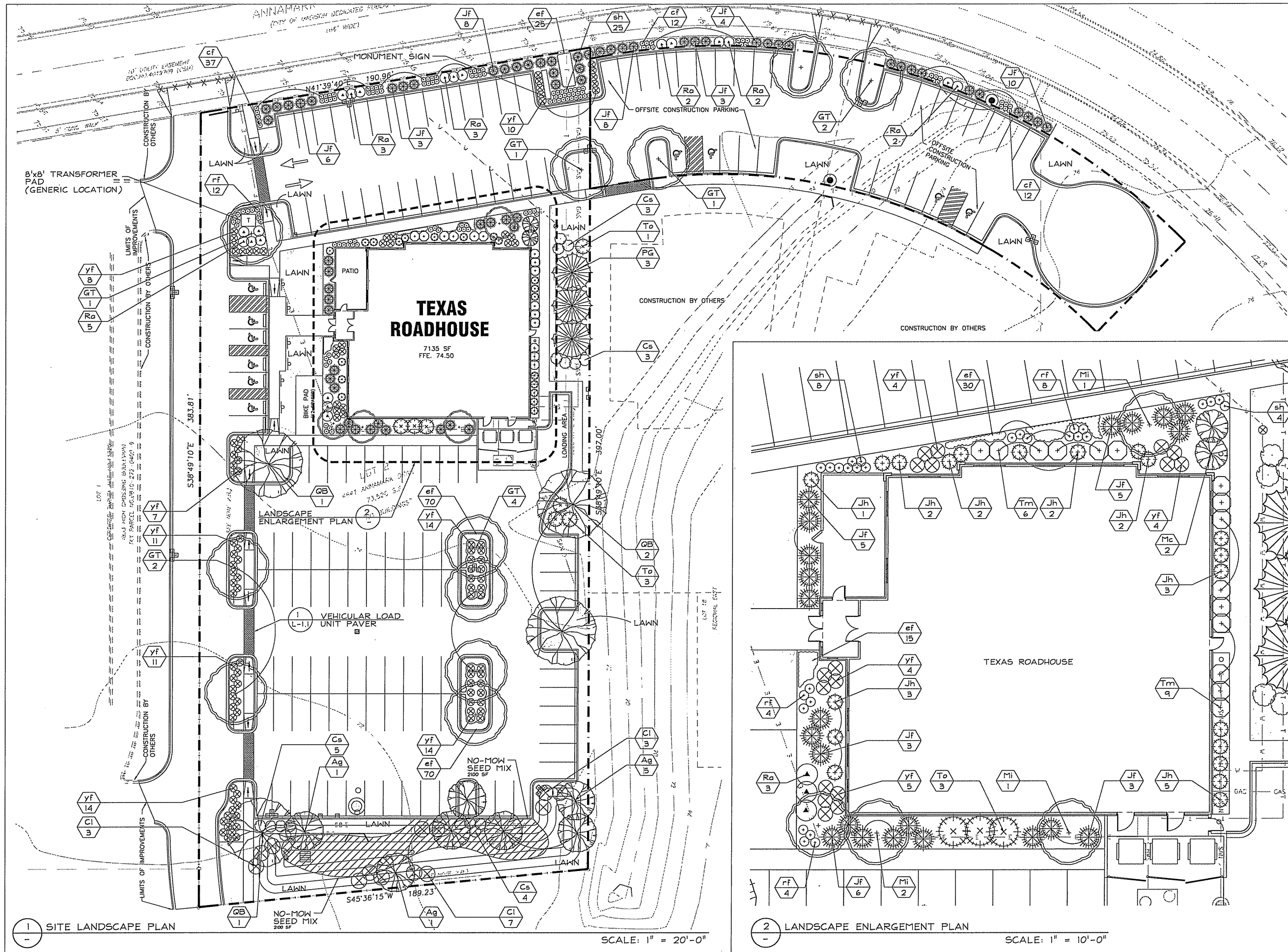


PROJECT NUMBER
20050922.8

SHEET TITLE
SITE LIGHTING PLAN

SHEET NUMBER
C-7.0

NOT ISSUED FOR CONSTRUCTION

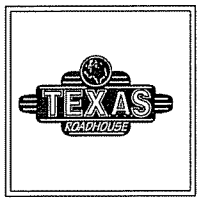


Professional Seal

Revision	Date

Project Name

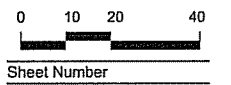
TEXAS
ROADHOUSE



4841 Annamark Drive
 MADISON,
 WISCONSIN

Drawn By: AW
 Checked By: CT
 File: P-LS
 Issued For: UDC
 Issue Date: 12/21/2005
 Project No. 2141

OPTION
 LANDSCAPE
 LAYOUT PLAN

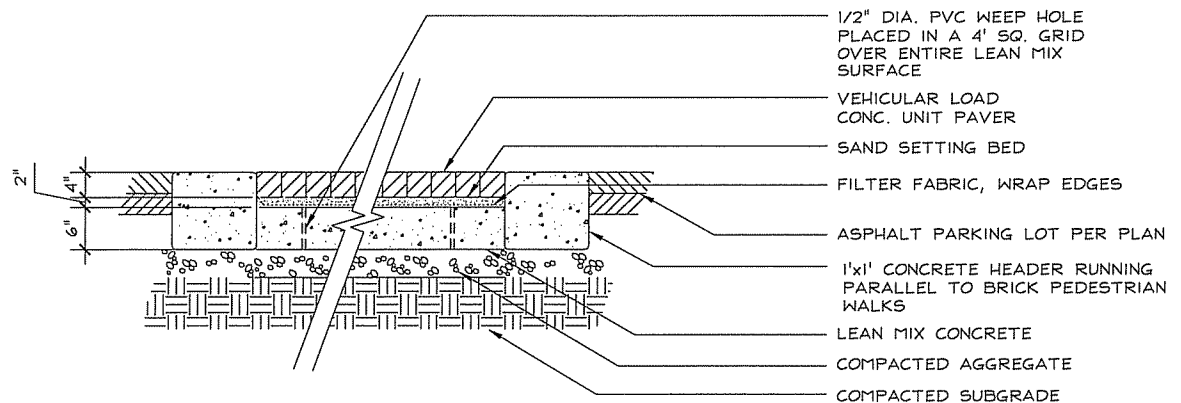


Sheet Number

L-1.0

LANDSCAPE PLANT LEGEND

Symbol	Botanical name	Common Name	Size	Root	Quantity	Comments	Suppliers #
SHADE TREES							
GT	Gleditsia triacanthos var. inermis Skyline	Skyline Honeylocust	3" Cal.	B&B	11	Small leaves	JN, BC, MC
QB	Quercus bicolor	Swamp White Oak	3" Cal.	B&B	4	Tolerant to salt	JN, BC, MC, LI
ORNAMENTAL TREES							
Ag	Amelanchier x Grand 'Autumn Brilliance'	Autumn Brill Serviceberry	6' MS	B&B	7	20' O.C. spacing, Multi-stem	JN, BC, MC, LI
Mc (1)	Malus sp. 'Carmelot'	Carmelot (Carmelot) Crabapple	2" Cal.	B&B	2	10'Hx8'W, Rose pink flowers	JN, BC
Mi (1)	Malus sp. 'Indian Magic'	Indian Magic Crabapple	2" Cal.	B&B	4	15'Hx15'W, Rose pink flowers	JN, MC, MI, LI
EVERGREEN TREES							
PG	Picea glauca var. densata	Black Hills Spruce	6' Ht.	Cont.	3	15' O.C. spacing	JN, BC, MC, LI
EVERGREEN SHRUBS							
Jf (2)	Juniperus chinensis 'Fruitlandii'	Fruitland Juniper	18" Ht.	Cont.	64	3'Hx6'W, bright green foliage	See Alts.
Jh (1)	Juniperus chinensis 'Hooks'	Hooks' Juniper	4' Ht.	Cont.	20	15'Hx3'W, AKA - Hooks #6	JN, MI
Tm (1)	Taxus x media 'Densiflora'	Dense Yew	24" Ht.	Cont.	15	5'Hx6'W, dark green foliage	JN, BC, LI, MI
To (1)	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3' Ht.	Cont.	7	12'Hx4'W, upright pyramidal	JN, MC, MI
DECIDUOUS SHRUBS							
Cl	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	5 Gal.	Cont.	13	5' O.C. spacing	JN, BC
Cs	Cornus sericea 'Isanti'	Isanti Redtwig Dogwood	5 Gal.	Cont.	15	5' O.C. spacing	JN, MC, LI, MI
Ra	Rhus aromatica 'Gro Lo'	Grow Lo Sumac	5 Gal.	Cont.	20	5' O.C. spacing	JN, MC, LI, MI
PERENNIALS / GRASSES							
cf	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gal.	Cont.	61	2' O.C. spacing	JN, BC, MC, LI
rf	Rudbeckia hirta	Black-Eyed Susan	2 Gal.	Cont.	28	2'-6" O.C. spacing	JN, BC, MC, LI
sh	Sprabolus heterolepis	Prairie Dropseed	2 Gal.	Cont.	37	3' O.C. spacing	JN, BC, MC, LI
Yf	Yucca filamentosa	Adam's-needle Yucca	2 Gal.	Cont.	106	3' O.C. spacing	BC, MC, LI
GROUNDCOVERS							
ef (1)	Euonymus fortunei var. 'Coloratus'	Purpleleaf Wintercreeper	2" P.P.	Cont.	215	12" O.C. spacing	JN, BC, MC
	No-Mow Fescue	6 Fescue Varieties	5 lbs. min	#50091		Install per directions	Prairie Nursery



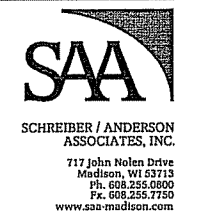
1 VEHICULAR LOAD UNIT PAVER - SECTION
L-1.1 SCALE 1"=1'-0"

NOTES:

- (1) VEGETATION PER TEXAS ROADHOUSE LANDSCAPE MANUAL (OHIO VALLEY LIST)
- (2) ALTERNATIVES / SUPPLIERS FOR FRUITLAND JUNIPER
- Juniperus chinensis 'Sea Green' 4'Hx6'W, mint green JN, MC, MI
Sea Green Juniper
 - Juniperus x Pfitzeriana 'Kallay's Compacta' 3'Hx6'W, bright green JN, MC, MI
Kallay's Compact Pfitzer
- * SUPPLIER INFORMATION:
- JN - JOHNSON'S NURSERY, INC
7180 N6257 MARCY ROAD
MENOMONEE FALLS, WI 53051
262.252.4980 P
262.252.4495 F
- MI - MINOR'S GARDEN CENTER
7777 NORTH 76TH ST.
MILWAUKEE, WI 53223
414.354.4830 P
414.354.5205 F
- BC - THE BRUCE COMPANY OF WISCONSIN
P.O. BOX 620930
MIDDLETON, WI 53562
608.836.7041 P
608.836.0920 F
- LI - LIEDS NURSERY FARMS, INC.
N63 W22039 HWY 74
SUSSEX, WI 53089
262.246.6901 P
262.246.3822 F
- MC - MCKAY NURSERY
750 SOUTH MONROE STREET
WATERLOO, WI 53594
800.236.4242 P
920.478.3615 F
- THE GENERAL CONTRACTOR SHALL LEAVE THE SITE AT FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS
 - PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND REPRESENTATIVE OF SPECIES SPECIFIED; ALL PLANTS SHALL BE WELL BRANCHED AND PROPORTIONED AND FREE OF ALL INSECTS AND DISEASES.
 - PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE (12) MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THE REPLACEMENT SHALL NOT BE CONSIDERED A "GUARANTEED" REPLACEMENT.
 - TOPSOIL REQUIREMENTS FOR PLANTING OPERATIONS AND GRADING/MOUNDS SHALL BE NATURAL FRIABLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF CLAY LUMPS, STONES, ROOTS AND OTHER FOREIGN MATTER.
 - MULCH: ALL PLANTING BEDS SHALL BE MULCHED WITH CRUSHED RED BRICK MULCH OR APPROVED EQUAL - 3" DEEP OVER WEED PREV. FABRIC. MULCH ALONG THE PERIMETER OF THE BUILDING SHALL BE 3/4" - 1 1/4" WASHED RIVER GRAVEL 3" DEEP OVER WEED PREV. FABRIC.
 - PLANTING PERIOD: EXECUTE ALL LAWNWORK AND PLANTING BETWEEN MARCH 15TH AND MAY 15TH OR BETWEEN SEPTEMBER 1ST AND NOVEMBER 15TH, OR AS OTHERWISE DIRECTED BY OWNER.
 - INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS AND WITH THE GENERAL PLANTING SPECIFICATIONS AS SET FORTH BY THE GOVERNING MUNICIPALITY.
 - ALL PLANT MATERIAL SHALL BE PLACED WITHIN A MULCHED PLANTING BED AS INDICATED IN NOTE NO. 5, AND ALL BEDS (EXCLUDING INDIVIDUAL TREE PLANTINGS) SHALL BE "EDGED" W/STEEL EDGING.
 - LAWN AND PLANT BEDS WILL BE IRRIGATED. THE IRRIGATION SYSTEM WILL INCLUDE ALL PIPING, HEADS, CONTROLLER, BACKFLOW PREVENTER, WIRING, SLEEVES UNDER HARD SURFACES AND OTHER NORMAL EQUIPMENT TO PROVIDE 100% COVERAGE OF ALL PLANTED AND LAWN AREAS.
 - ALL PLANT MATERIAL SHALL BE TREATED WITH A 'PREEN' APPLICATION
 - 'LAWN' AREAS SHALL BE FINISH-GRADED AND SEEDED AT A RATE OF 4 LBS. PER 1,000 SQ. FT.
 - AREAS LABELED 'LAWN' SHALL RECEIVE A MIXTURE OF THE FOLLOWING TYPES:
40% PALMER RYEGRASS 20% BARON BLUEGRASS
20% NASSAU BLUEGRASS 20% PENNLAWN CREEPING RED FESCUE
 - AREA LABELED 'NO-MOW SEED MIX' SHALL BE SEEDED WITH PRAIRIE NURSERY (OR APPROVED EQUAL) 'NO MOW MIX' ITEM # 50091 - 1,800.476.9453 (SEE LANDSCAPE PLANT LEGEND)

LANDSCAPE POINTS / BUILDING DATA

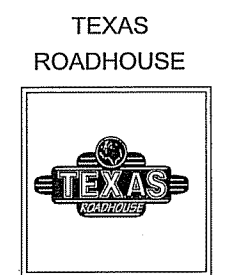
CITY OF MADISON REQUIREMENTS			
Parking Stalls Provided Total	146 stalls		
Texas Roadhouse Parking	115 stalls		
Offsite Construction Parking	31 stalls		
Loading Area	75 points		
Canopy Trees Required	11 trees		
Required Landscape Points	712 points		
TEXAS ROADHOUSE LANDSCAPE POINTS			
Required Canopy Trees	11 Trees	x	0 Pts. = 0
Canopy Trees 2-2.5'	4 Trees	x	35 Pts. = 140
Canopy Trees 1.5"-2"	11 Trees	x	15 Pts. = 165
Evergreen Trees 3'+ Ht.	30 Trees	x	15 Pts. = 450
Deciduous Shrub	48 Shrubs	x	2 Pts. = 96
Evergreen Shrub	75 Shrubs	x	3 Pts. = 225
TOTAL LANDSCAPE POINTS	181 Units		1076 Pts.
Required Landscape Pts.			712 Pts.
Additional Pts.			364 Pts.



Professional Seal

Revision	Date

Project Name



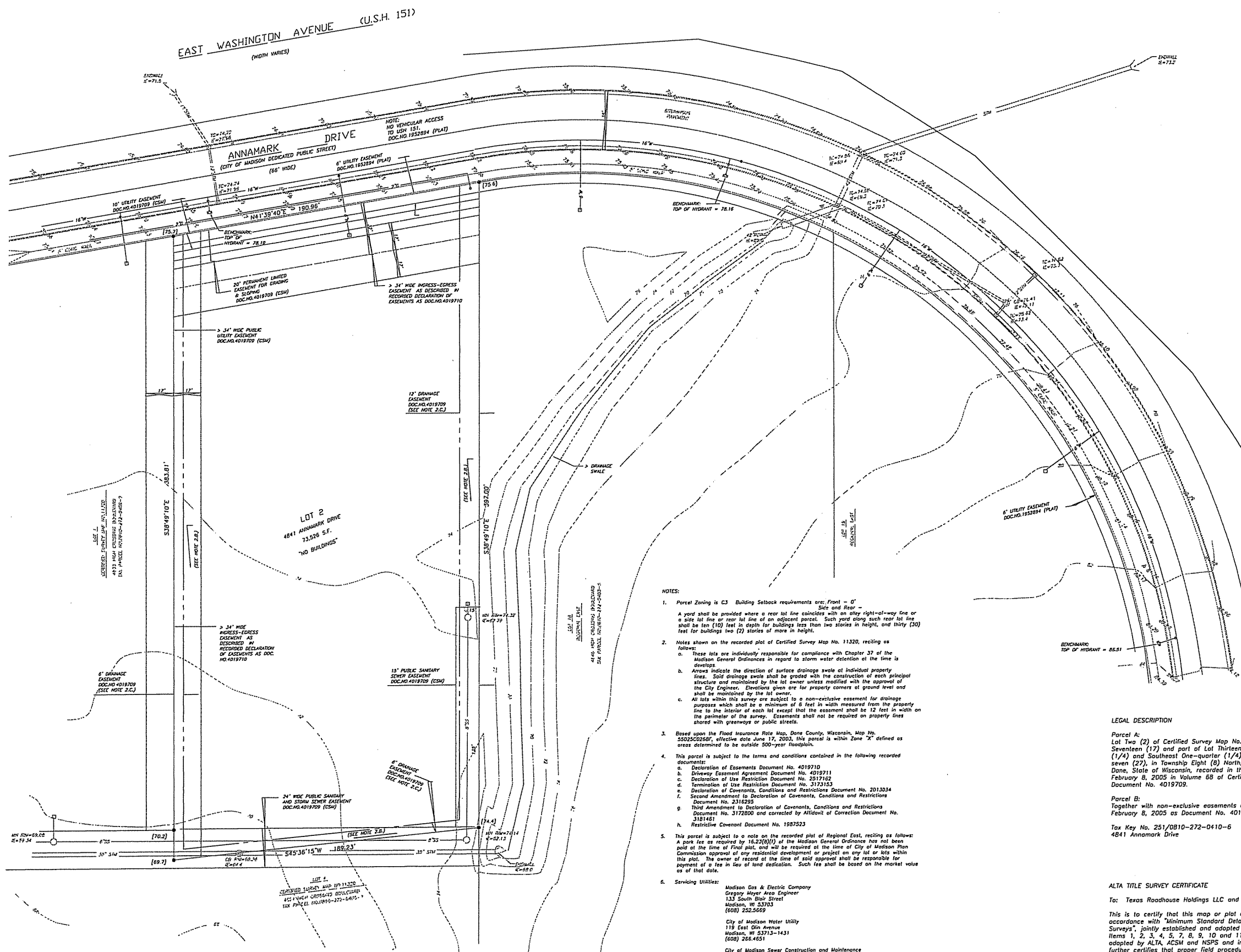
4841 Annamark Drive
MADISON,
WISCONSIN

Drawn By: AW
Checked By: CT
File: P-LS
Issued For: UDC
Issue Date: 12/21/2005
Project No. 2141

**OPTION
LANDSCAPE
PLANT LEGEND**

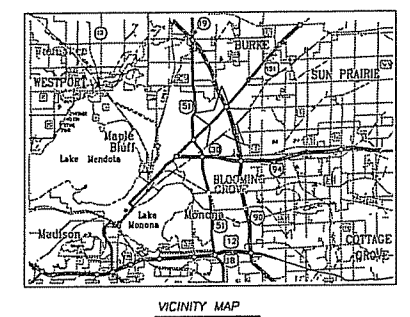
0
Sheet Number

L-1.1



LEGEND

●	FOUND IRON STAKE
—SS—	SANITARY SEWER
—W—	WATER MAIN
—G—	GAS MAIN
—S1—	STORM SEWER
□	ELECTRIC TRANSFORMER
○	MANHOLE
⊕	CATCH BASIN-INLET
⊖	LATERAL LOCATION POST
⊕	HYDRANT
⊖	VALVE
⊕	SIGN
—	LOT CORNER ELEVATIONS AS RECORDED BY CERTIFIED SURVEY MAP NO. 11320
—TC—	TOP OF CASTING
—IE—	INVERT ELEVATION
—	CHAIN-LINK FENCE
—	CONCRETE CURB & GUTTER
—	EXIST. CONTOUR
—	SPOT ELEVATION (0 DECIMAL FT.)
NOTE:	ELEVATIONS ARE IN CITY OF MADISON DATUM



DATE: 11-15-05
 SCALE: 1" = 30'
 DRAWN BY: RRG

ALTA/ACSM LAND TITLE SURVEY
4841 ANNAMARK DRIVE
 Lot 2 Certified Survey Map No. 11320
 Located in the NE1/4 and SE1/4 of the NW1/4 of Section 27, T8N, R10E, FN: 05-02-163
 City of Madison, Dane County, Wisconsin

- NOTES:**
- Parcel Zoning is C3 Building setbacks requirements are: Front - 0' Side and Rear - 0' A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line of an adjacent parcel. Such yard along such rear lot line shall be ten (10) feet in depth for buildings less than two stories in height, and thirty (30) feet for buildings two (2) stories or more in height.
 - Notes shown on the recorded plot of Certified Survey Map No. 11320, reciting as follows:
 - These lots are individually responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to storm water detention at the time of development.
 - Arrows indicate the direction of surface drainage swale at individual property lines. Solid drainage swales shall be graded with the construction of each principal structure and maintained by the lot owner unless modified with the approval of the City Engineer. Elevations given are for property corners of ground level and shall be maintained by the lot owner.
 - All lots within this survey are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 8 feet in width measured from the property line to the interior of each lot except that the easement shall be 12 feet in width on the perimeter of the survey. Easements shall not be required on property lines shared with greenways or public streets.
 - Based upon the Flood Insurance Rate Map, Dane County, Wisconsin, Map No. 50020C0208C, effective date June 17, 2003, this parcel is within Zone "X" defined as areas determined to be outside 500-year floodplain.
 - This parcel is subject to the terms and conditions contained in the following recorded documents:
 - Declaration of Easements Document No. 4019710
 - Driveway Easement Agreement Document No. 4019711
 - Declaration of Use Restriction Document No. 2517152
 - Termination of Use Restriction Document No. 3172153
 - Declaration of Covenants, Conditions and Restrictions Document No. 2013034
 - Second Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 2316293
 - Third Amendment to Declaration of Covenants, Conditions and Restrictions Document No. 3172008 and corrected by Affidavit of Correction Document No. 3181461
 - Restrictive Covenant Document No. 1987523
 - This parcel is subject to a note on the recorded plot of Regional East, reciting as follows: A part fee as required by 16.22(8)(1) of the Madison General Ordinance has not been paid at the time of Final plat, and will be required at the time of City of Madison Plan Commission approval of any residential development or project on any lot or lots within this plat. The owner of record at the time of said approval shall be responsible for payment of a fee in lieu of land dedication. Such fee shall be based on the market value as of that date.
 - Service Utilities:
 - Madison Gas & Electric Company
 Gregory Meyer Area Engineer
 133 South Blair Street
 Madison, WI 53703
 (608) 252-5669
 - City of Madison Water Utility
 119 East Gin Avenue
 Madison, WI 53713-1431
 (608) 266-4651
 - City of Madison Sewer Construction and Maintenance
 1802 Emig Street
 Madison, WI 53713
 (608) 266-4430
 - Charter Communications
 2701 Daniels Street
 Madison, WI 53718
 (608) 274-3822
 - SBC
 152 Dixon Street
 Madison, WI 53704
 (608) 252-2413
 - Parcel area 73,526 square feet (1.69 acres)
 - Surveyed for: GreenbergFarrow
 3465 Salt Creek Lane, Suite 100
 Arlington Heights, IL 60005

LEGAL DESCRIPTION

Parcel A:
 Lot Two (2) of Certified Survey Map No. 11320, being a redivision of Lots Sixteen (16), Seventeen (17) and part of Lot Thirteen (13), Regional East, located in the Northeast One-quarter (1/4) and Southeast One-quarter (1/4) of the Northwest One-quarter (1/4) of Section Twenty-seven (27), in Township Eight (8) North, Range Ten (10) East, in the City of Madison, County of Dane, State of Wisconsin, recorded in the Office of the Register of Deeds for Dane County on February 8, 2005 in Volume 68 of Certified Survey Maps, at Pages 252 to 255, inclusive, as Document No. 4019709.

Parcel B:
 Together with non-exclusive easements as contained in a Declaration of Easements recorded on February 8, 2005 as Document No. 4019710.

Tax Key No. 251/0810-272-0410-6
 4841 Annamark Drive

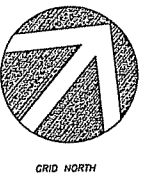
ALTA TITLE SURVEY CERTIFICATE

To: Texas Roadhouse Holdings LLC and First American Title Insurance Company

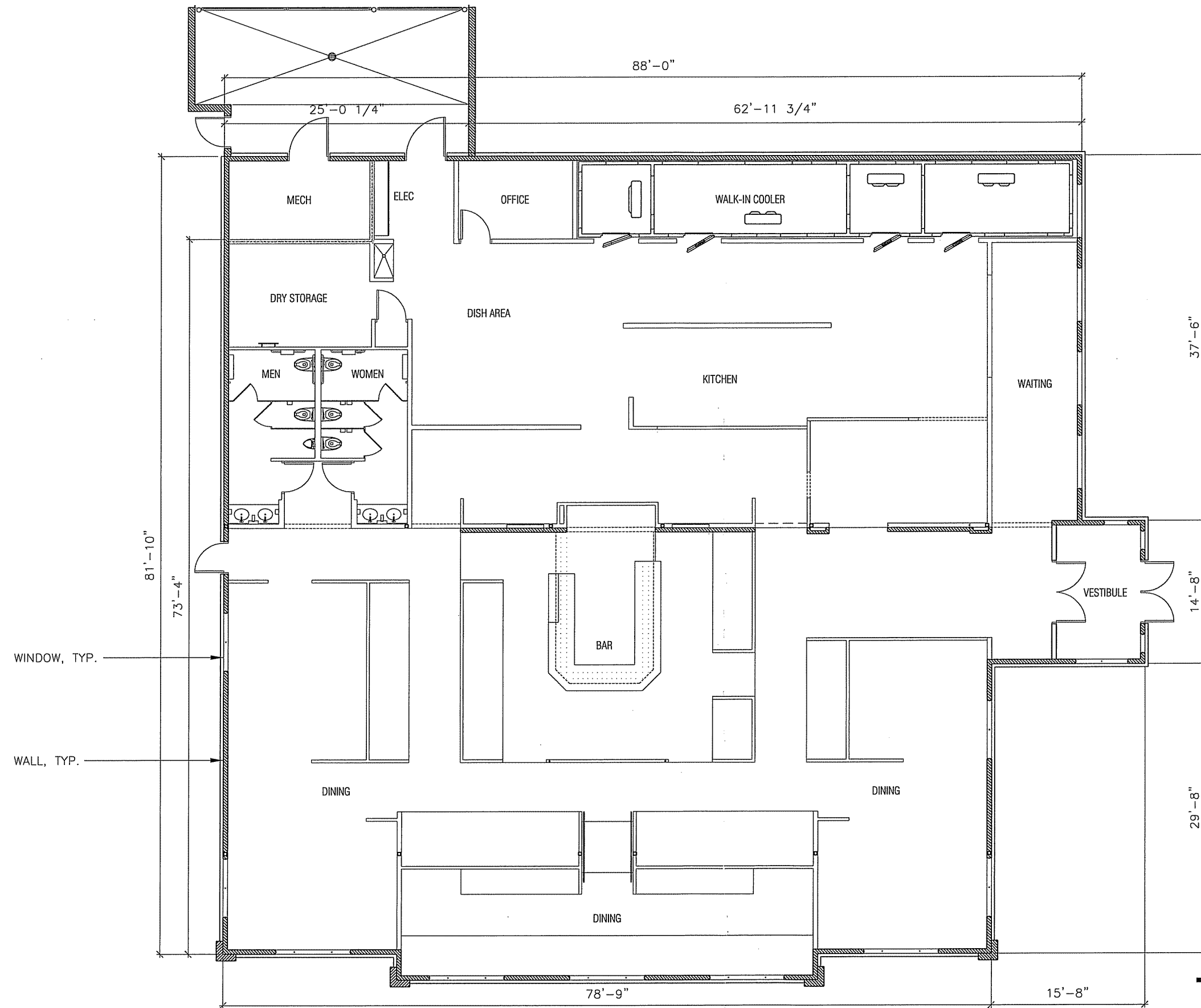
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA / ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 3, 4, 5, 7, 8, 9, 10 and 11 of Table A thereof. Pursuant to the accuracy standards as adopted by ALTA, ACSM and NSPS and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance, and Closure Requirements which control land boundaries for ALTA / ACSM Land Title Surveys."

Dated at Madison, Wisconsin, this _____ day of November, 2005.

Wayne D. Barsness, Registered Land Surveyor, S-1561



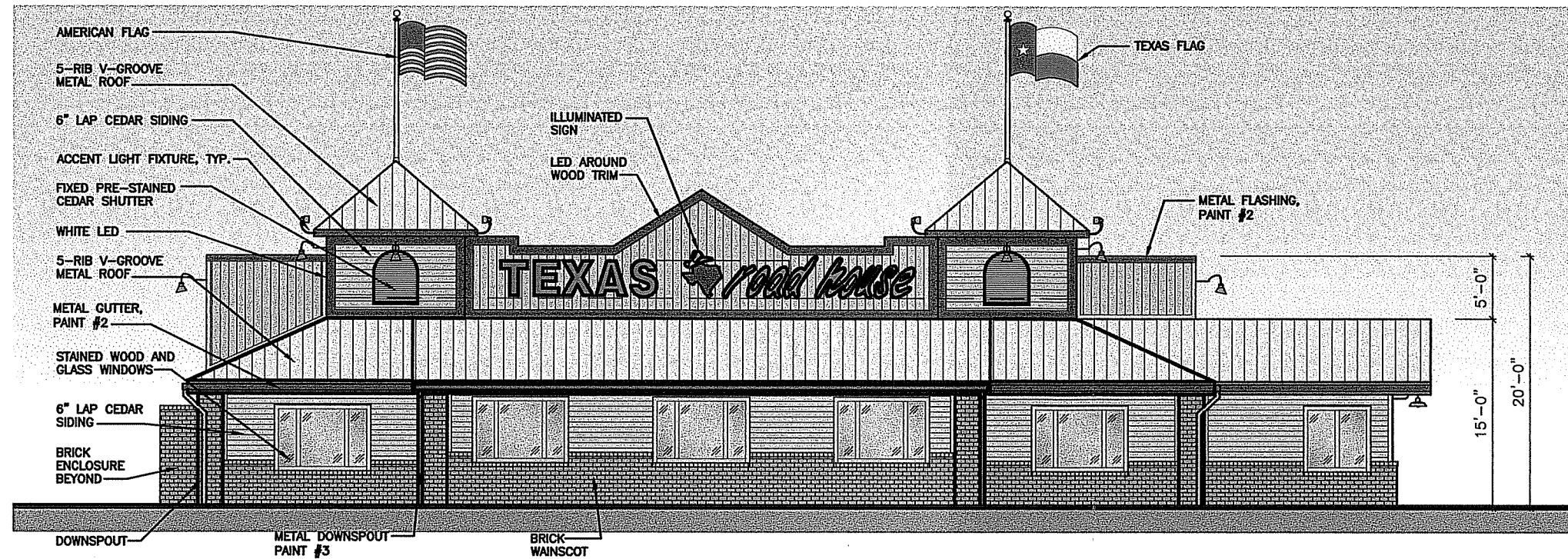
D'ONOFRIO, KOTTKE AND ASSOCIATES, INC.
 7530 WESTVARD WAY
 MADISON, WISCONSIN 53717
 TEL: 608-853-7530
 FAX: 608-853-1089



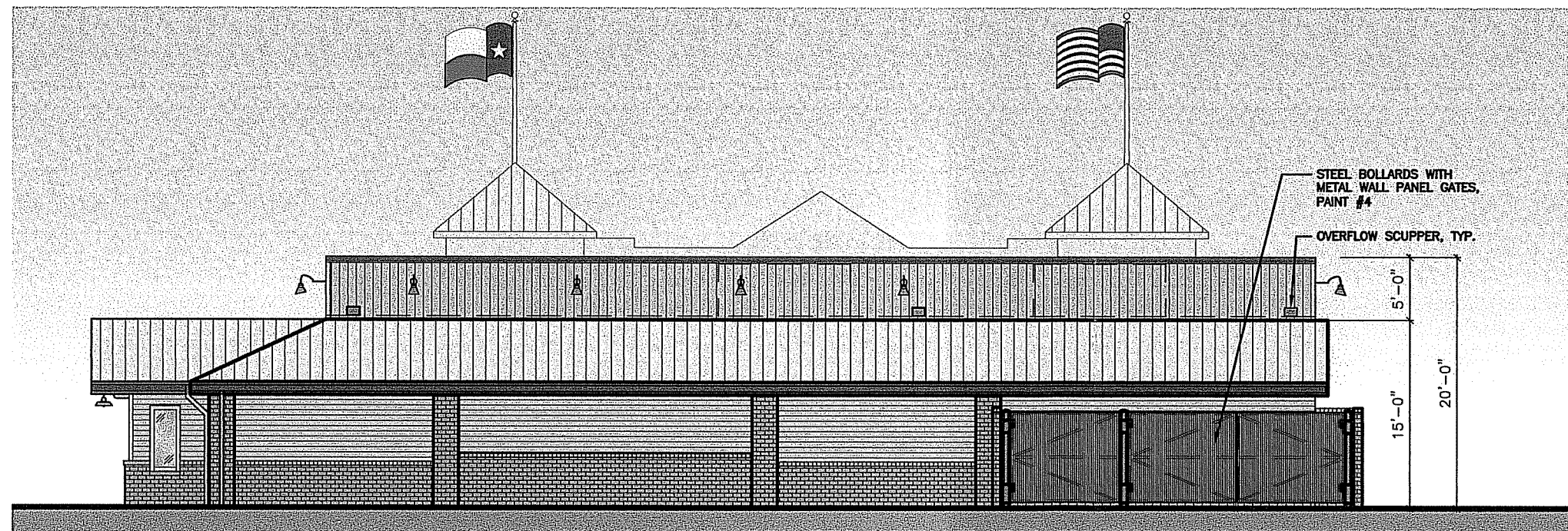
FLOOR PLAN

SCALE: N.T.S.





FRONT (NORTH) ELEVATION
SCALE: N.T.S.

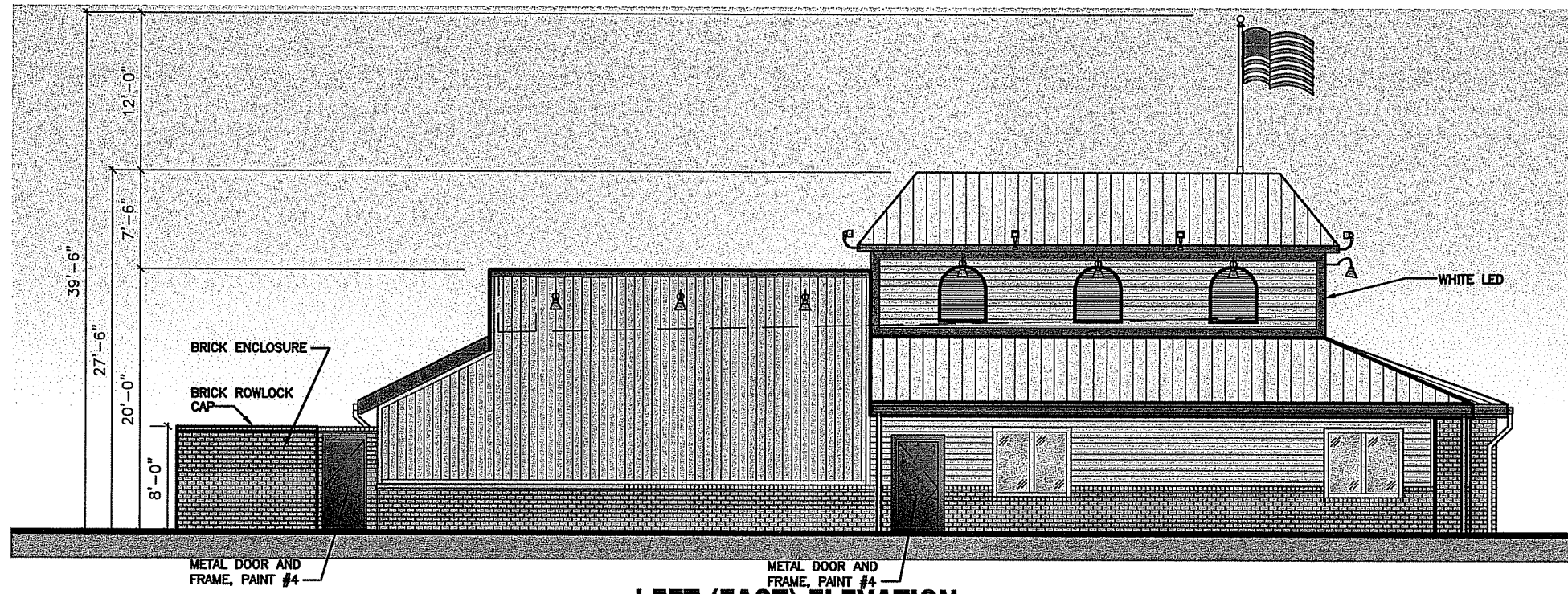


REAR (SOUTH) ELEVATION
SCALE: N.T.S.

EXTERIOR FINISH SCHEDULE	
BUILDING ITEMS	DESCRIPTION
WOOD SIDING, TRIM, & WOOD SHUTTERS	PRE-STAINED CEDAR HENRY POOR LUMBER 3200 REAGAN DRIVE LAFAYETTE, IN 47906 CONTACT: DOUG MILLER PHONE: 800-255-7913 AMTECO #510 STAIN FORMULA
FRONT ENTRANCE WOOD DOORS	AMTECO TWP510 STAIN FORMULA AND TWO COATS OF URETHANE
TRIM	PAINT #1: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16E/2Y13L/8Y10P/1Y24C/2YV NOTE: TWO COATS-BRUSH APPLIED (DO NOT SPRAY)
METAL FLASHING AND GUTTERS	PAINT #2: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16E/2Y13L/8Y10P/1Y24C/2YV
WOOD DOOR FRAME & DOWNSPOUTS	PAINT #3: PORTER PAINTS #610 "EXTERIOR GLOSS" FINISH COLOR TO MATCH PRE-STAINED CEDAR - PRIMER/TWO FINISH COATS #614 BASE 14YJ/2Y3M/1424K/4P/2Y-V
BRICK SIDING	CHEROKEE SANFORD BRICK COMPANY "PHOENIX" #143 OVERSIZE SANFORD, NORTH CAROLINA 1-800-277-2700
METAL ROOF	5 RIBBED V GROOVED COLOR: GALVALUME
DUMPSTER GATES, BOLLARDS, METAL DOORS & FRAMES	PAINT #4: PORTER PAINTS "EXTERIOR GLOSS" BLACK - PRIMER/TWO FINISH COATS

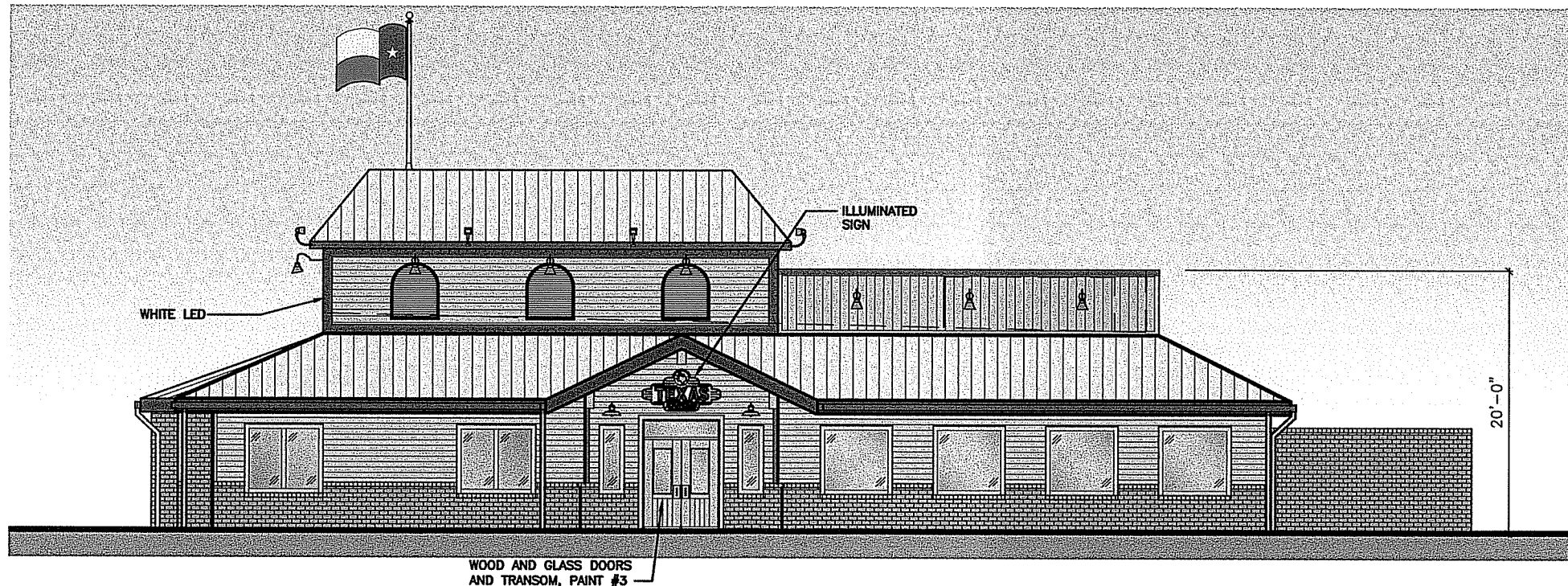
DISCLAIMER

NOTE:
THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES



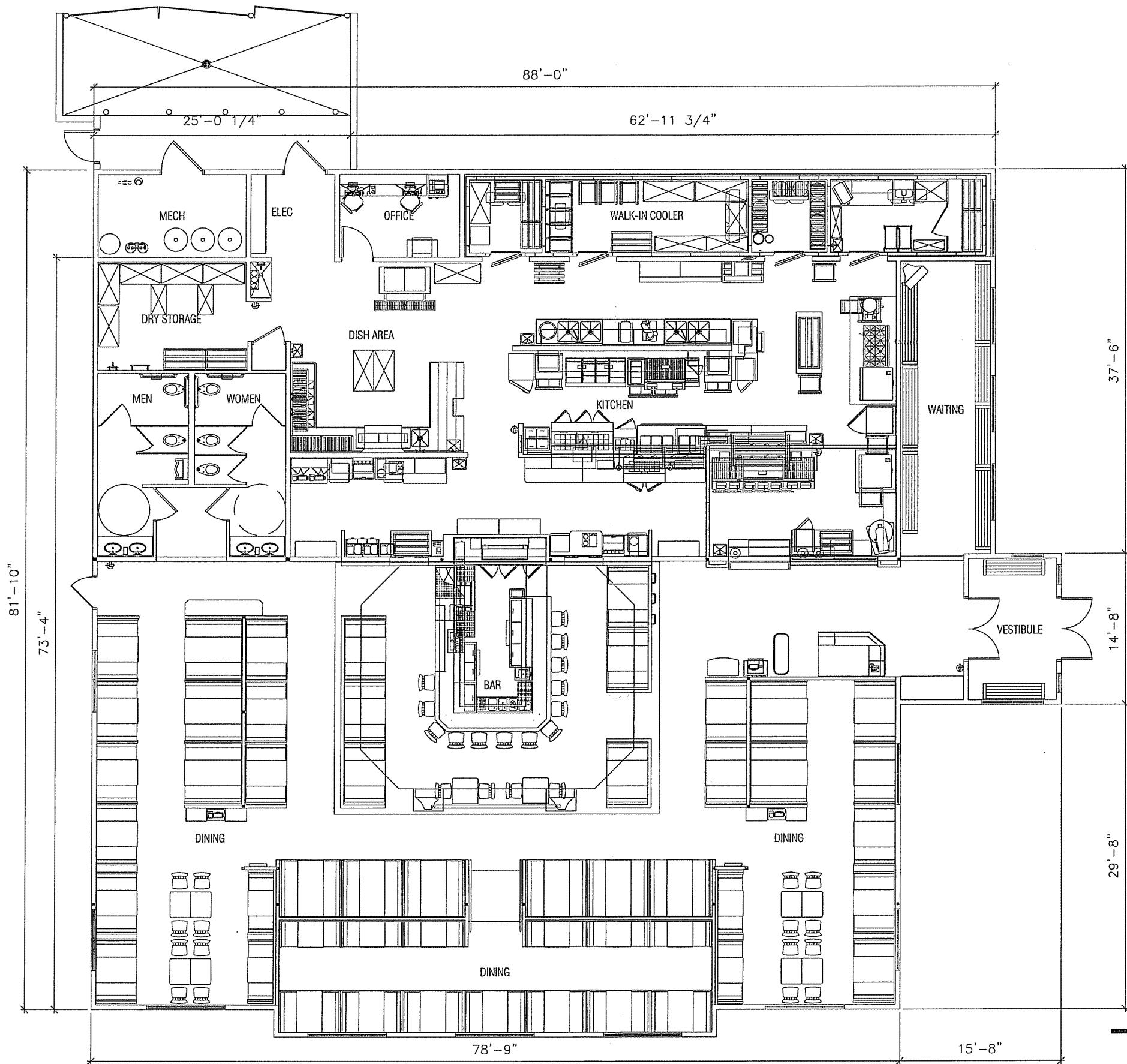
LEFT (EAST) ELEVATION

SCALE: N.T.S.



RIGHT (WEST) ELEVATION

SCALE: N.T.S.



SEATING PLAN

SCALE: N.T.S.



DIMENSION IV MADISON

Architecture
Engineering
Interior Design

313 West Bellline Hwy., Suite 161
Madison, WI 53713
phone (608) 229-4444 fax (608) 229-4445

ZEIER
PLANNED
COMMERCIAL
SITE
HIGH CROSSING/ANNAMARK
MADISON, WISCONSIN

DATE OF ISSUE: 10/12/04

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT #: 03030

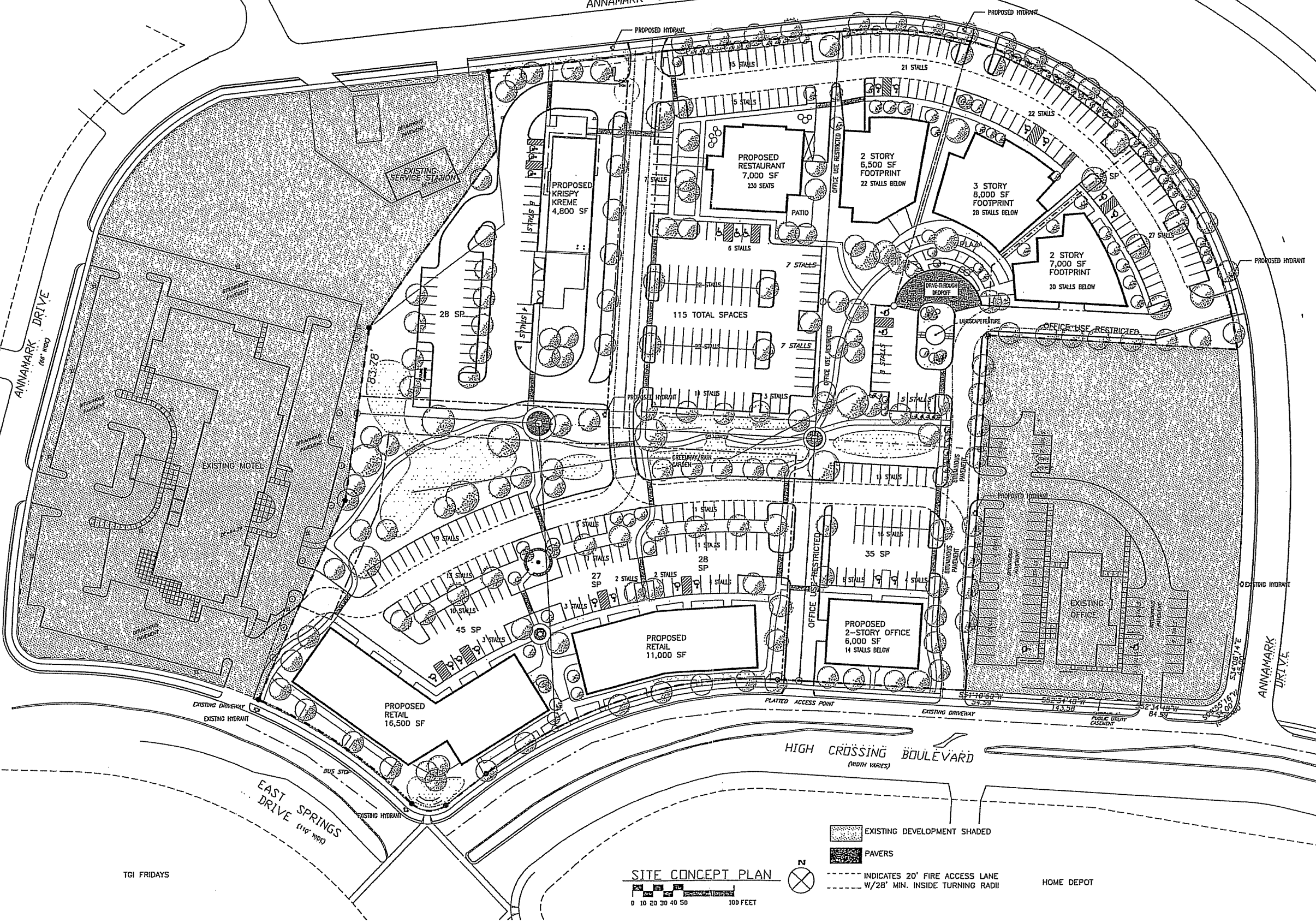
EAST WASHINGTON AVENUE (U.S.H. 151)
(WIDTH VARIES)

U.S.H. 151 & I 39-90-94
INTERCHANGE

ANNAMARK DRIVE

ANNAMARK DRIVE
(SEE MAP)

HARDEES



EXISTING DEVELOPMENT SHADED
 PAVERS
 INDICATES 20' FIRE ACCESS LANE
 W/28' MIN. INSIDE TURNING RADIUS
 HOME DEPOT

SITE CONCEPT PLAN
0 10 20 30 40 50 100 FEET

TGI FRIDAYS