

Walgreens

PLAN COMMISSION SUBMITTAL
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WISCONSIN

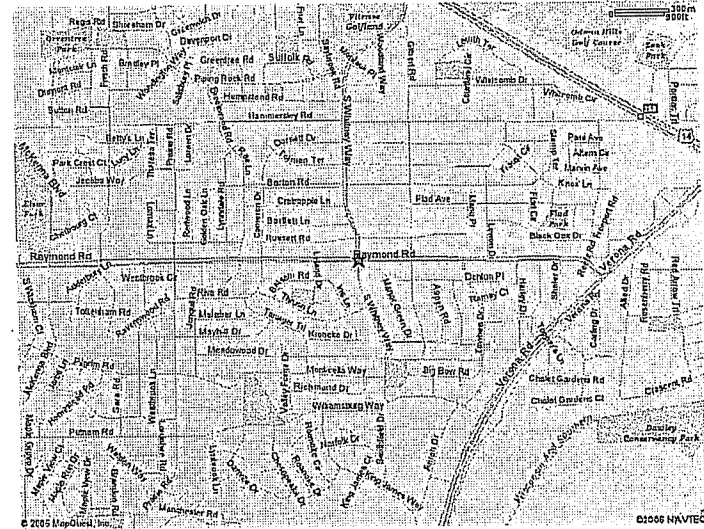
SUBMITTAL DATES:

SUBMITTAL 1 03-22-06

INDEX OF DRAWINGS:

COVER SHEET

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- L1 LANDSCAPE PLAN
- A2.1 EXTERIOR ELEVATIONS
- A5.1 READER BOARD PYLON SIGN DETAILS (WALGREENS)
- A5.2 EXTERIOR SIGN DATA (WALGREENS)



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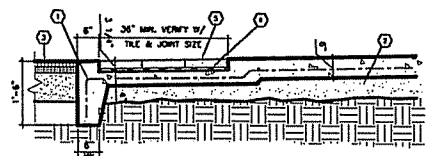
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CONTACT: STEVEN R. GARTMAN

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DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

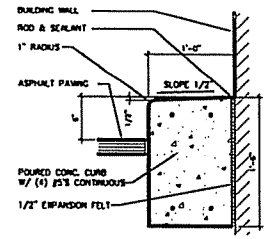
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR (LAWRENCE CONSTRUCTION)
 LANDLORD'S CONTRACTOR

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
RENOVATING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATING <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

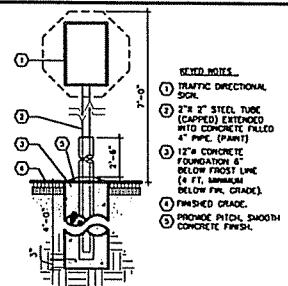


16 CURB RAMP AND OTHER RAMPS
 3/4" = 1'-0"

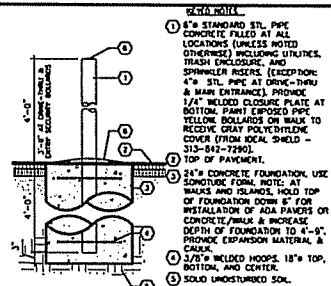
- SEED NOTES**
- 6" x 6" #10 REBAR
 - 4" COMPACTED AGGREGATE BASE
 - PAVEMENT
 - GRAVEL BED
 - MAUSAU ADA (41000 COLOR) PAVERS GROUTED AND SEALED



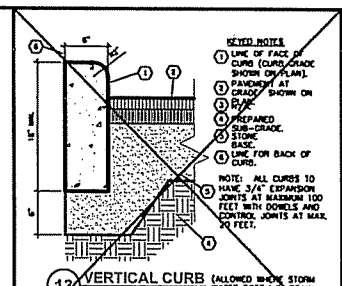
15 CURB @ BUILDING
 1 1/2" = 1'-0"



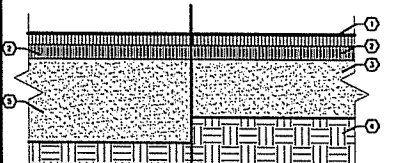
11 TRAFFIC DIRECTIONAL SIGN
 3/4" = 1'-0"



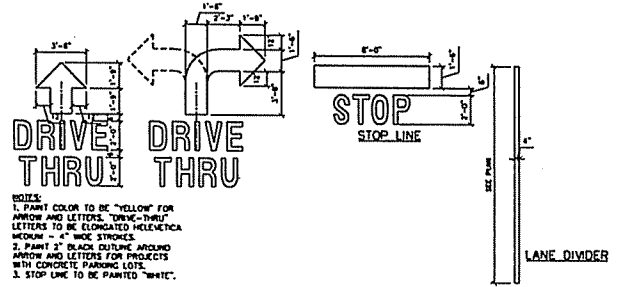
12 TYPICAL PIPE BOLLARD
 3/4" = 1'-0"



13 VERTICAL CURB
 1 1/2" = 1'-0"

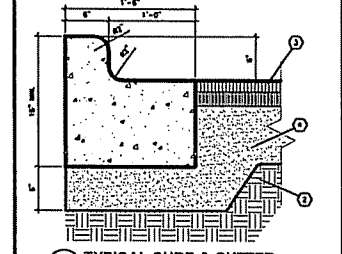


6 PAVEMENT SECTION DETAIL
 1 1/2" = 1'-0"

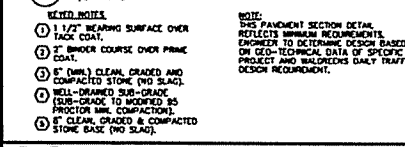


10 PAVEMENT PAINTING
 1/2" = 1'-0"

9 NOT USED



8 TYPICAL CURB & GUTTER
 1 1/2" = 1'-0"



7 TYPICAL PERIMETER SIDEWALK
 3/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	03-22-08	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 16374

WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

CIVIL ENGINEERING REQUIREMENTS

CADD PLOT:	SCALE: 1/2" = 1'-0"	DRAWING NO.
VOID PLOT:	DRAWN BY: JJP	C0.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 057850	OF DWGS.

EXTERIOR SITE AND PARKING AREA

AN ACCESSIBLE ROUTE OR PATH FROM THE PERIMETER OF THE SITE SERVING SIDEWALKS, PUBLIC STREETS OR PUBLIC TRANSPORTATION MUST BE PROVIDED TO WALGREENS ACCESSIBLE STORE ENTRANCE.

PREFERRED LOCATION FOR ACCESSIBLE ROUTE SHALL COMBINE WITH PEDESTRIAN ACCESS TO CORNER. OTHERWISE, LOCAL ARCHITECT TO DETERMINE BEST LOCATION TO CONFORM TO SLOPE ALLOWANCES DEFINED BY A.D.A. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.

AN ACCESSIBLE ROUTE WILL BE A MINIMUM 36" WIDE, 80" IS WALGREENS STANDARD.

AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SURFACE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20, WITH A CROSS SLOPE NOT EXCEEDING 1:50. SLOPES EXCEEDING 1:20, BUT LESS THAN 1:12, CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS) AS NOTED BELOW. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12, NOR HAVE A CROSS SLOPE EXCEEDING 1:50.

ACCESSIBLE SPACE REQUIREMENTS

TOTAL OFF STREET PARKING SPACES PROVIDED	NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-250	7
251-300	8
301-350	9
351-400	10
401-450	11
451-500	12
501-1000	1% OF TOTAL
1001-10000	2% PLUS 1 FOR EACH 100 OVER 1000

THE ADA REQUIRES ONE VAN ACCESSIBLE PARKING SPACE WITH 96" ACCESS AISLE FOR ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE.

ENTRANCE AREA DOORS

WALGREENS STANDARD ENTRANCE DOOR IS AN AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS.

ENTRANCE DOORS AND ALL OTHER DOORS ALONG AN ACCESSIBLE ROUTE WILL HAVE A MINIMUM CLEAR OPENING OF 32".

THE EXTERIOR ENTRANCE AREA SHALL NOT HAVE IMPEDIMENTS TO ACCESSIBILITY SUCH AS CURB BARRIERS OR "CART CORRAL".

PROTECTIVE SECURITY BOLLARDS, IF USED IN THE ENTRANCE AREA, SHALL BE SPACED A MINIMUM OF 36" CLEAR BETWEEN BOLLARDS.

THRESHOLDS AT AUTOMATIC DOORS SHALL NOT EXCEED 3/4" IN HEIGHT OR 1/2" FOR OTHER TYPES OF DOORS. ALL THRESHOLDS SHALL BE BEVELLED WITH A SLOPE OF NO GREATER THAN 1:2.

VISIBILITY

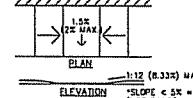
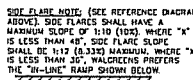
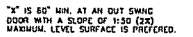
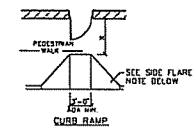
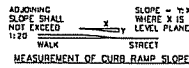
IF THE STORE HAS A VESTIBULE, THE MINIMUM SPACE BETWEEN THE OUTER DOOR AND THE INNER DOOR SHOULD BE 48" PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SPACE.

REVOLVING DOORS

IF THE STORE HAS A REVOLVING DOOR AT THE ENTRANCE, IT MUST HAVE AN ADJACENT "ACCESSIBLE" DOOR. THE ADJACENT ACCESSIBLE DOOR MUST BE UNLOCKED AND USABLE WHEN THE REVOLVING DOOR IS UNLOCKED AND USABLE.

OBSTRUCTIONS

NO OBJECTS SHOULD PROTRUDE (EVEN TEMPORARILY) INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTE TO THE STORE ENTRANCE. THIS WOULD INCLUDE SHOPPING CARTS, SALES FURNITURE, VENDING MACHINES, DISPLAYS, OR OTHER BARRIERS.



"IN-LINE" RAMP

NOTES: A CURB RAMP(S) MUST BE PROVIDED ALONG AN ACCESSIBLE PATH FROM THE PARKING LOT TO WALGREENS CURBED SIDEWALK.

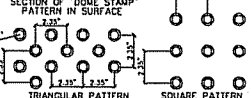
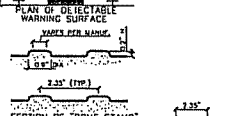
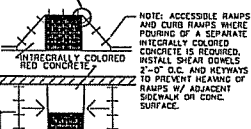
A CURB RAMP(S) MUST ALSO BE PROVIDED IN THE PARKING LOT AT ALL INTERMEDIATE AND PERIMETER CURBS ALONG THE ACCESSIBLE ROUTE CONNECTING TO PUBLIC SIDEWALK.

A RAMP IS ANY SLOPE GREATER THAN 1:20 (5%) AND SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%). THE MAXIMUM SLOPE IS 1" OF RISE PER FOOT OF DISTANCE TRAVELED. ALL SLOPED AREAS OF THE RAMP ARE TO HAVE AN INTEGRAL RED CURB.

THE CLEAR WIDTH OF ANY RAMP IS A MINIMUM OF 36".

CURB RAMPS HAVE A MAXIMUM RISE OF 6" AND DO NOT REQUIRE HANDRAILS.

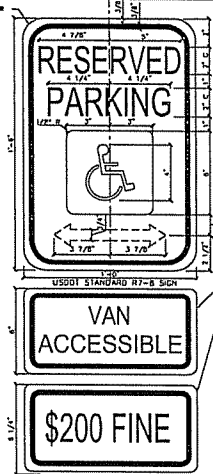
ANY RAMP WITH GREATER THAN A 6" RISE SHALL HAVE HANDRAILS ON BOTH SIDES AND CURBED EDGE PROTECTION ON BOTH SIDES. EDGE PROTECTION CONSISTS OF CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. HANDRAIL DETAILS SHALL FOLLOW ACCESSIBLE GUIDELINES.



PLAN OF "DOOR STAMP" PATTERN IN SURFACE

CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (NO-WALK "IN-LINE" RAMPS ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION). THE DETECTABLE SURFACE MUST CONSIST OF RAISED PROTECTIVE BOLLARDS WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT) SEE ABOVE.

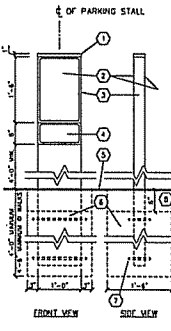
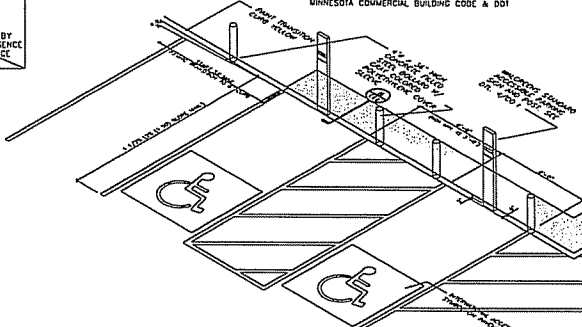
FROM THE LOCAL JURISDICTIONS (E.G., ILLINOIS, IFC 400.10.0-7) THAT SPECIFICALLY REQUIRE DETECTABLE WARNINGS ON THE SIDE FLARES, THERE ARE LOCAL JURISDICTIONS THAT REQUIRE DETECTABLE WARNINGS (E.G., EXPOSED BROWCASTING COLOR AGGREGATE GRANULAR MATERIAL ON DIAMOND PATTERN (C.I.), ACCESSIBILITY GUIDELINES DEFINED BY LOCAL JURISDICTIONS SHOULD SUPERSEDE THE ABOVE OF A JURISDICTION, FOLLOW A.D.A. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.



NOTE (R7-B SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "THIS" SIGN AS 9 AM - 5 PM WHERE A PART-TIME RESTRICTION EXISTS. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFORM WITH LOCAL REGULATION.

2 ACCESSIBILITY SIGNAGE

NOTE: ACCESSIBILITY SIGNAGE SHALL COMPLY WITH MINNESOTA COMMERCIAL BUILDING CODE - 501



KEY NOTES

- 1) PRE-FABRICATED WELDED CAP W/ STAINLESS STEEL SCREWS.
- 2) STANDARD USDDI R7-B SIGN (BOTH SIDES).
- 3) 2"x1-1/2" STEEL PIPE, PAINT ENAMEL WHITE (FILL WITH CONCRETE).
- 4) SUPPLEMENTAL SIGN, "VAN ACCESSIBLE" AND/OR \$-FINE AS APPLICABLE. (CHECK WITH LOCAL MUNICIPALITY FOR SIGNAGE REQUIREMENTS).
- 5) THRESHOLD CURB.
- 6) 18" CONCRETE FOUNDATION BELOW FIRST LINE (4" MINIMUM).
- 7) 3/8" WELDED HOOPS OR SCHEDULE 40 TOP, BOTTOM & CENTER.
- 8) HOLD CONCRETE FOUNDATION DOWN 6" AT SIDEWALKS ONLY. POUR FORMWORK OR INSTALL ADA PAVERS OVER TOP. PROVIDE EXPANSION MATERIAL AROUND TUBE & CAULK.

4 ACCESSIBLE PARKING SIGN AND POST (PRECIS/AMONG)

STANDARD ACCESSIBLE DIMENSIONING

A U.S. DEPARTMENT OF TRANSPORTATION R7-B (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED ABOVE MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FOUR FEET FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE, NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION ABOVE.

NOTES: EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8 FEET WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY BE ON EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE ACCESSIBLE SPACE. THIS APPLIES TO 4S, 6S, AND 80/PARKING.

ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE STORE ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1:122 (2% MAXIMUM GRADE). 1.52 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL OR 1:50 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES".

EACH PARKING SPACE ACCESS AISLE MUST CONNECT TO A COMMON LEVEL WITH AN ACCESSIBLE ROUTE, I.E., EACH ACCESS AISLE NEXT TO A PARKING SPACE MUST HAVE A CURB RAMP AT THE WALGREENS STOREFRONT SIDEWALK OR BLEND TO A LEVEL WALKWAY LEADING TO THE WALGREENS ENTRANCE.

ACCESSIBLE PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE STORE ENTRANCE. THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESSING SPACE. ADA ALLOWS TWO PARKING SPACES TO SHARE AN ACCESS AISLE.

3 ACCESSIBLE PARKING - SIZE AND MARKINGS

THE WALBION ARCHITECTS
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 414.233.3340 fax
 www.walbond.com

DRAWINGS SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT
 ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR (TURNKEY CONSTRUCTION)
 LANDLORD'S CONTRACTOR

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

NO.	DATE	DESCRIPTION
1	03-21-08	MADISON PLAN SUBMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		

A.D.A. ACCESSIBLE PARKING DATA		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	C0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

- LEGEND**
- PROPERTY CORNER FOUND, 24" REBAR
 - PROPERTY CORNER FOUND, ENCASED CONCRETE
 - CONTROL POINT
 - POST
 - STREET SIGN
 - WATER ON GAS MAIN
 - FIRE HYDRANT
 - UTILITY MANHOLE
 - STORM SEWER INLET
 - UTILITY POLE WITH CUP WIRE
 - TELEPHONE POLE
 - TRAFFIC LIGHT POLE
 - UTILITY PERKIN
 - RAILROAD
 - PROPERTY LINE
 - PLANTED LINE
 - EASEMENT LINE
 - SECTION LINE
 - RIGHT-OF-WAY LINE
 - SEWER MAIN
 - WATER LINE
 - STORM SEWER
 - UNDERGROUND ELECTRICAL POWER
 - OPENED ELECTRICAL POWER
 - UNDERGROUND FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - UNDERGROUND CABLE
 - GAS MAIN
 - FENCE
 - CONCRETE CURB & GUTTER
 - PAVEMENT EDGE
 - ROCKY EDITION
 - INTERMEDIATE CONDUIT

- NOTES**
- REFERENCES FOR THIS SURVEY AND MAP ARE REFERENCED TO THE SOUTH LINE OF LOTS 2 AND 3 OF C&M NO. 7881, RECORDED AS 1123237 IN RECORDS, PAGE 16, AS FURNISHED.
 - INDICATING AND UTILITY SURVEY PERFORMED BY JAMES SURVEY & DESIGN, INC. THE CITY OF MADISON, WISCONSIN, IN 2008 AND FEBRUARY 20, 2008.
 - REFERENCE FOR THIS SURVEY AND MAP ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83). SITE BENCHMARK IS A BRASS CAP & CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 31, 17N 07E, ELECTION-183326.
 - SUBSTANTIAL UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURVEY FEATURES AND APPROPRIATELY LOCATING EXISTING FIELD MARKERS AND BY REFERENCE TO UTILITY RECORDS AND MAPS, SUCCESSIVE TOGETHER.
 - LOCATION OF SANITARY SEWER, STORM SEWER AND WATER MAIN IS BASED ON CITY OF MADISON RECORDS AND DOES NOT FIELD SURVEY.
 - LOCATION OF ELECTRIC AND GAS FACILITIES IS BASED ON MADISON GAS & ELECTRIC COMPANY AND MADISON UTILITIES ONLY DOES NOT FIELD SURVEY.
 - LOCATION OF TELECOMMUNICATION FACILITIES IS BASED ON SUCCESSIVE FIELD SURVEYS ONLY.
 - BEFORE ERECTION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EACH LOCATION OF UNDERGROUND UTILITIES. CONTACT OFFICES LISTED AT 1800-271-8311.
 - THIS SITE IS IN ZONE-C (AREAS OF MANUAL FLOODING) AS SHOWN ON FIRM COMMUNITY PANEL NUMBER 8303030111, EFFECTIVE DATE JUNE 15, 2003.
 - THIS PARCEL IS ZONED C1 AND C2 (COMMERCIAL) PER THE CITY OF MADISON, WISCONSIN, AND IS SUBJECT TO THE CITY OF MADISON, WISCONSIN, ORDINANCE 18.01.
 - SPOT ELEVATIONS ALONG CURB ARE REFERENCE TO TOP OF CURB.
- LEGAL DESCRIPTION (SUBDIVISION)**
- LOT 1 (L1) CERTIFIED SURVEY MAP NO. 7881 RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS, PAGES 221-221, AS DOCUMENT # 271251, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
- SUBDIVISION CERTIFICATE**
- I, DAVE M. JENKINS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CONDUCTED TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE PROVISIONS OF

- NOTES CORRESPONDING TO SCHEDULE B - SECTION 2, EXCEPTIONS (THIS IS A 2011)**
1. SANITARY SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 104 OF REC. PAGE 43, AS 1123118 MODIFIED BY APPROVED EASEMENT AGREEMENT, THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
2. APPROVED EASEMENT AGREEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF REC. PAGE 23, AS 1123118. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
3. PARTIAL EASEMENT AGREEMENT RECORDED IN VOL. 422 OF REC. PAGE 116, AS 1123122 AND AS SHOWN ON CERTIFIED SURVEY MAP NO. 7881. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. RESTRICTIVE EASEMENT RECORDED IN VOL. 17284 OF RECORDS, PAGE 18 AS 1123122. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
5. RIGHT-OF-WAY GRANT UNDERGROUND FIELDS TO MADISON GAS AND ELECTRIC COMPANY RECORDED IN VOL. 3007 OF RECORDS, PAGE 23, AS 1123124 AND AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
6. EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
7. EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
8. SANITARY SEWER EASEMENT RECORDED AS 2212428. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
9. EASEMENT AGREEMENT TO THE CITY OF MADISON RECORDED IN VOL. 104 OF REC. PAGE 43, AS 1123118 MODIFIED BY APPROVED EASEMENT AGREEMENT, THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
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16. SANITARY SEWER EASEMENT RECORDED AS 2212428. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
17. EASEMENT AGREEMENT TO THE CITY OF MADISON RECORDED IN VOL. 104 OF REC. PAGE 43, AS 1123118 MODIFIED BY APPROVED EASEMENT AGREEMENT, THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
18. APPROVED EASEMENT AGREEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF REC. PAGE 23, AS 1123118. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
19. PARTIAL EASEMENT AGREEMENT RECORDED IN VOL. 422 OF REC. PAGE 116, AS 1123122 AND AS SHOWN ON CERTIFIED SURVEY MAP NO. 7881. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
20. RESTRICTIVE EASEMENT RECORDED IN VOL. 17284 OF RECORDS, PAGE 18 AS 1123122. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
21. RIGHT-OF-WAY GRANT UNDERGROUND FIELDS TO MADISON GAS AND ELECTRIC COMPANY RECORDED IN VOL. 3007 OF RECORDS, PAGE 23, AS 1123124 AND AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
22. EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
23. EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
24. SANITARY SEWER EASEMENT RECORDED AS 2212428. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

- NOTES CORRESPONDING TO SCHEDULE B - SECTION 2, EXCEPTIONS (THIS IS A 2011)**
1. NOTE AS SHOWN ON CERTIFIED SURVEY MAP NO. 7881, NORTH-SOUTH EXITS BETWEEN LOTS 1, 2 AND 3 SEE APPROVED EASEMENT AGREEMENT, THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT ENOUGH IN NATURE AND IS NOT PLOTTED HEREON.
2. APPROVED EASEMENT AGREEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF REC. PAGE 23, AS 1123118. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT ENOUGH IN NATURE AND IS NOT PLOTTED HEREON.
3. PERMANENT STORM SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 104 OF REC. PAGE 43, AS 1123118. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. APPROVED EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS A BARRIER EASEMENT AND IS NOT PLOTTED HEREON.
5. APPROVED EASEMENT AGREEMENT RECORDED IN VOL. 31118 OF RECORDS, PAGE 20, AS 1123125. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS A BARRIER EASEMENT AND IS NOT PLOTTED HEREON.
6. SANITARY SEWER EASEMENT RECORDED AS 2212428. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- ENCROACHMENTS**
1. APPROVED WATER MAIN EASEMENT FROM CITY OF MADISON WATER DEPT. OS MAP.

SANITARY SEWER MANHOLES

STRUCT. #	R/W ELEVATION	INVERT	ELEVATION	PIPE DIA.	PIPE TYPE
SAN-1	1014.25	0	1014.25	18"	CP
SAN-2	1013.17	0	1013.17	18"	CP
SAN-3	1013.85	0	1013.85	18"	CP
SAN-4	1011.89	0	1011.89	18"	CP
SAN-5	1012.46	0	1012.46	18"	CP
SAN-6	1013.33	0	1013.33	18"	CP

STORM SEWER PIPES

INVERT	R/W ELEVATION	INVERT	ELEVATION	PIPE DIA.	PIPE TYPE
IN-C1	1014.27	0	1014.27	18"	CP
IN-C2	1014.87	0	1014.87	18"	CP
IN-C3	1014.78	0	1014.78	18"	CP

CONTROL POINTS

CONTROL	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	10131.10	10000.00	1013.10	BRASS
CP-2	10131.10	10000.00	1013.10	BRASS
CP-3	10131.10	10000.00	1013.10	BRASS
CP-4	10131.10	10000.00	1013.10	BRASS
CP-5	10131.10	10000.00	1013.10	BRASS
CP-6	10131.10	10000.00	1013.10	BRASS
CP-7	10131.10	10000.00	1013.10	BRASS
CP-8	10131.10	10000.00	1013.10	BRASS
CP-9	10131.10	10000.00	1013.10	BRASS
CP-10	10131.10	10000.00	1013.10	BRASS
CP-11	10131.10	10000.00	1013.10	BRASS
CP-12	10131.10	10000.00	1013.10	BRASS
CP-13	10131.10	10000.00	1013.10	BRASS
CP-14	10131.10	10000.00	1013.10	BRASS
CP-15	10131.10	10000.00	1013.10	BRASS
CP-16	10131.10	10000.00	1013.10	BRASS
CP-17	10131.10	10000.00	1013.10	BRASS
CP-18	10131.10	10000.00	1013.10	BRASS
CP-19	10131.10	10000.00	1013.10	BRASS
CP-20	10131.10	10000.00	1013.10	BRASS
CP-21	10131.10	10000.00	1013.10	BRASS
CP-22	10131.10	10000.00	1013.10	BRASS
CP-23	10131.10	10000.00	1013.10	BRASS
CP-24	10131.10	10000.00	1013.10	BRASS
CP-25	10131.10	10000.00	1013.10	BRASS
CP-26	10131.10	10000.00	1013.10	BRASS
CP-27	10131.10	10000.00	1013.10	BRASS
CP-28	10131.10	10000.00	1013.10	BRASS
CP-29	10131.10	10000.00	1013.10	BRASS
CP-30	10131.10	10000.00	1013.10	BRASS
CP-31	10131.10	10000.00	1013.10	BRASS
CP-32	10131.10	10000.00	1013.10	BRASS
CP-33	10131.10	10000.00	1013.10	BRASS
CP-34	10131.10	10000.00	1013.10	BRASS
CP-35	10131.10	10000.00	1013.10	BRASS
CP-36	10131.10	10000.00	1013.10	BRASS
CP-37	10131.10	10000.00	1013.10	BRASS
CP-38	10131.10	10000.00	1013.10	BRASS
CP-39	10131.10	10000.00	1013.10	BRASS
CP-40	10131.10	10000.00	1013.10	BRASS
CP-41	10131.10	10000.00	1013.10	BRASS
CP-42	10131.10	10000.00	1013.10	BRASS
CP-43	10131.10	10000.00	1013.10	BRASS
CP-44	10131.10	10000.00	1013.10	BRASS
CP-45	10131.10	10000.00	1013.10	BRASS
CP-46	10131.10	10000.00	1013.10	BRASS
CP-47	10131.10	10000.00	1013.10	BRASS
CP-48	10131.10	10000.00	1013.10	BRASS
CP-49	10131.10	10000.00	1013.10	BRASS
CP-50	10131.10	10000.00	1013.10	BRASS

STORM SEWER MANHOLES

STRUCT. #	R/W ELEVATION	INVERT	ELEVATION	PIPE DIA.	PIPE TYPE
STR-1	1013.51	0	1013.51	18"	CP

CURVE TABLE

STATION	LENGTH	ANGLES	DELTA	TANGENT	CHORD	CHORD BEARING
1+00.00	241.20	1718.00	1022.51	130.74	242.62	N 85°22'25" E
1+241.20	60.30	1718.00	1022.51	33.16	60.30	N 85°22'25" E
1+301.50	178.90	972.58	82.71	199.00	178.90	N 85°07'25" E
1+480.40	26.00	15.00	1022.51	17.29	26.00	S 85°22'25" E
1+506.40	22.74	15.00	1022.51	17.29	22.74	S 85°22'25" E

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Justin J. Surry & Design, Inc.

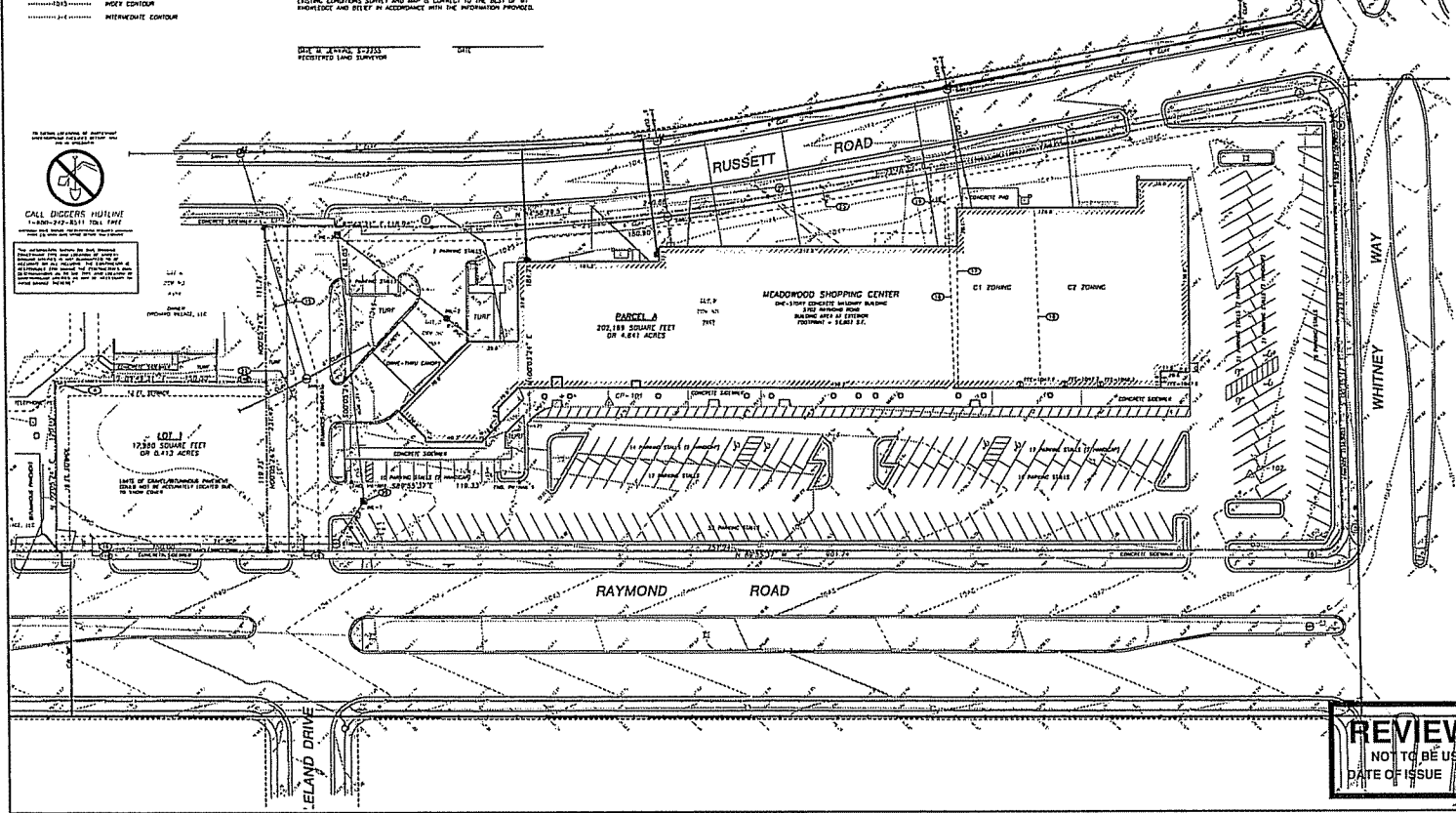
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DATE	BY
08-20-08	08-20-08
01-22-09	01-22-09
03-27-09	03-27-09
03-27-09	03-27-09



REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE: MARCH 22, 2006

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THE GROUP

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SKELL ONLY
OTHERS	

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

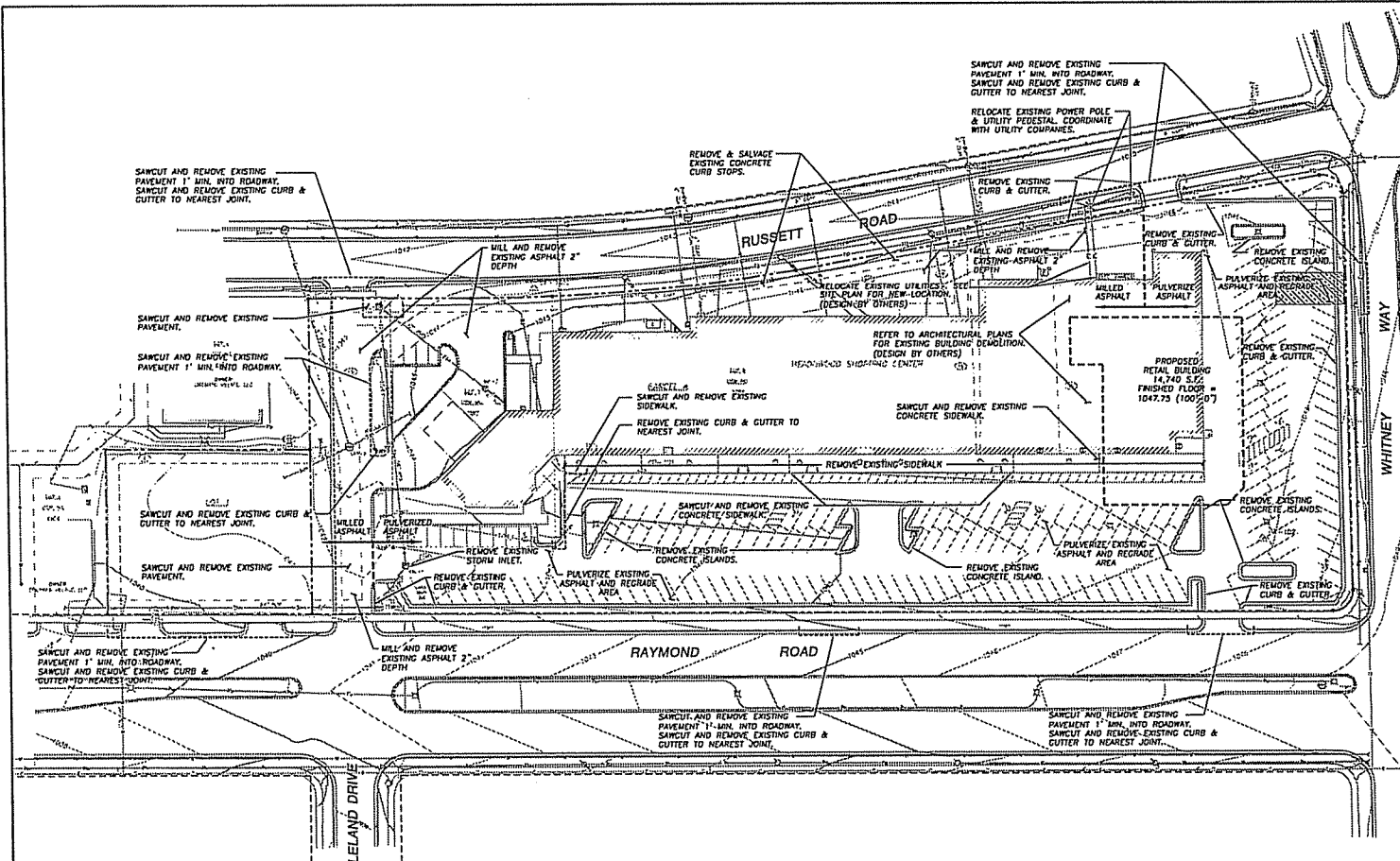
DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME:
WALGREENS STORE
RAYMOND ROAD & WHITNEY WAY
MADISON, WI

DRAWING TITLE:
EXISTING CONDITIONS SURVEY

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	SCALE:	C-1.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 057800	OF DWGS.



JSD Engineers & Surveyors
 Junkins Survey & Design, Inc.

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Date	Drawn	Checked	Approved
07-02-06	07-02-06	07-02-06	07-02-06
07-02-06	07-02-06	07-02-06	07-02-06
07-02-06	07-02-06	07-02-06	07-02-06

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THE ARCHITECTS GROUP HAS THE FOLLOWING SERVICES:

DRAWINGS/SPECIFICATIONS BY:
 ARCHITECT
 LANDSCAPE ARCHITECT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 ARCHITECT
 LANDLORD'S CONTRACTOR (TYPICALLY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

Scale in feet: 0, 40, 80

LEGEND (PROPOSED)

- PROPERTY LINE
- EXISTING LINE
- 1 FOOT CONTOUR
- 3 FOOT CONTOUR
- SAWCUT

- GENERAL NOTES**
- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - HAS SITE GRADING OUTLINE OR DIMENSIONS OF PROPOSED EXISTENCE LOCATIONS.
 - ALL WORK IN THE HIGH AND PUBLIC AREAS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS REFERRED TO AS BWP-7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLANS. MODIFICATIONS TO EROSION CONTROL DESIGN MAY BE CONSIDERED TO MEET UNFORSEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BWP-7.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PILE 5 FT LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STEEL. TRACKING PILE ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT THROUGH DRAINAGE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF SLOPES.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (SEWER SEWER, SANITARY SEWER, WATER MAIN, ETC.)
 - PLACE EXISTING TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - INSTALL CURBING AND STAKE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BWP-7 PRIOR TO RELEASE INTO THE STORM SEWER RECEIVING STRAIGHT OR CHANGE DIRECTION.
 - APPLY ANCHOR POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMLATE.
 - ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

- SITE DEMOLITION NOTES**
- ALL VEGETATION TO REMAIN SHALL BE PROPERLY PROTECTED. PROTECTION TO REMAIN IN PLACE UNTIL COMPLETION OF PROJECT.
 - REFER TO SHEETS AD-1 AND C-2.0 FOR SITE IMPROVEMENT LOCATIONS AND DIMENSIONS.
 - ALL EXCESS MATERIAL SHALL BE DISPOSED OFF-SITE.
 - EROSION CONTROL MEASURES MAY BE TEMPORARILY MOVED FOR SITE DEVELOPMENT AND REPLACED AT THE END OF THE WORK DAY. (RAIN DIRT DELIVERED)
 - ALL EXISTING LIGHT POLES LOCATED IN THE PARKING LOT SHALL BE REMOVED.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MAY BE TO BE IN ACCORDANCE WITH CITY OF MADISON PROCEDURES.
 - CONTRACTOR TO USE A SEEDING RATE OF 3.5 LBS. PER 1000 S.F. FOR TURF AREAS.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH S&I FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETE.
 - CONTRACTOR SHALL SCALP ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

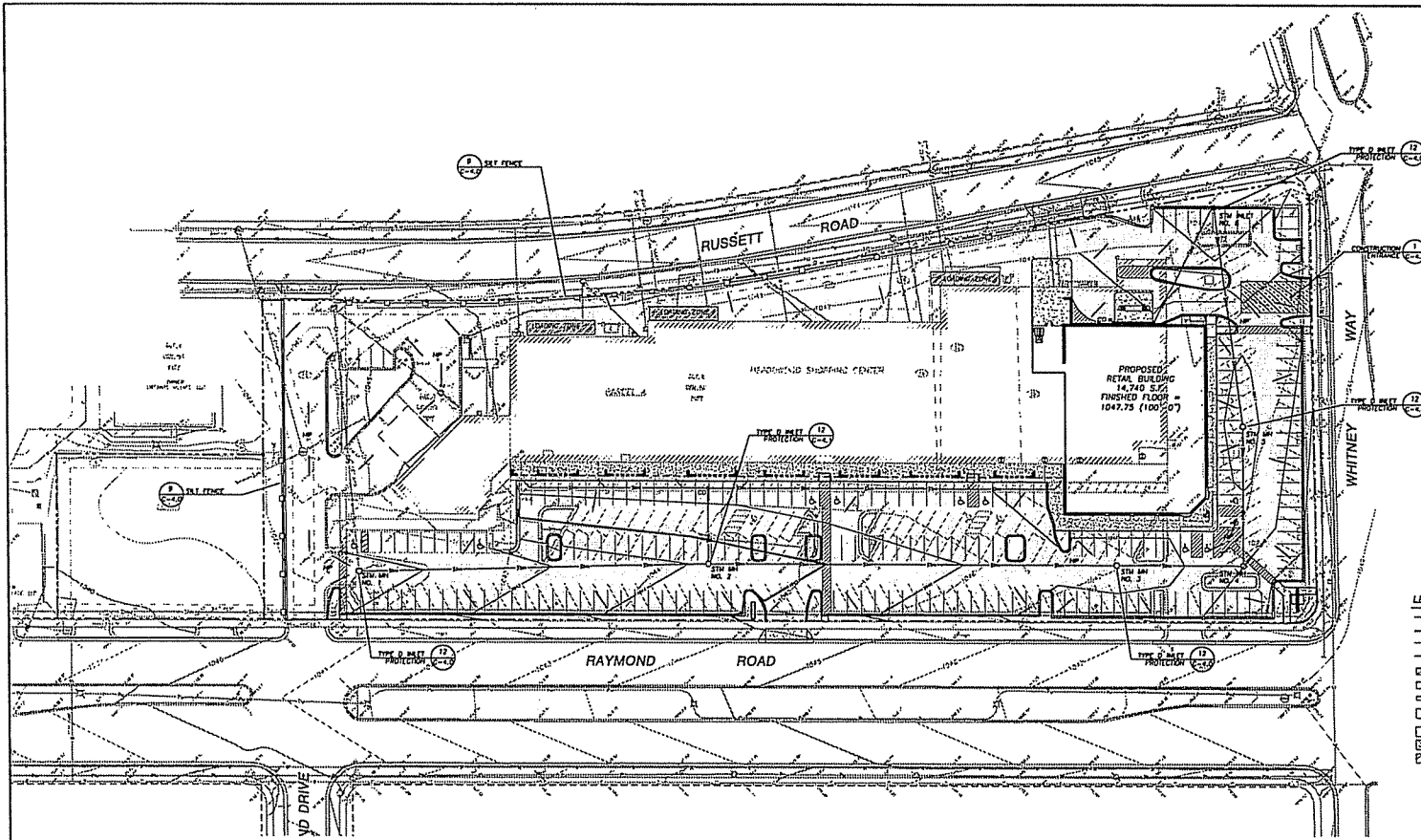
REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

SITE DEMOLITION PLAN

CADD PLOT: SCALE: DRAWING NO. C-2.0

VOID PLOT: DRAWN BY: DATE: REVIEWED BY: PROJECT NO. 0576-00

RELEASED TO CONSTRUCTION: DATE: OF DWGS.



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DATE	DESCRIPTION
03-22-06	ISSUED FOR PERMIT
02-02-06	REVISED
02-23-06	REVISED
01-27-06	REVISED



LEGEND (PROPOSED)

---	PROPERTY LINE
---	BUILDING LINE
---	5 FOOT CONTOUR
---	5 FOOT CONTOUR
---	30" REJECT CURB & CUTTER
---	30" STANDARD CURB & CUTTER
---	18" STANDARD CURB & CUTTER
---	CONCRETE PAVEMENT
---	BITUMINOUS PAVEMENT (E-0.3)
---	CONSTRUCTION ENTRANCE
---	PAVEMENT STRIPING
+	SPOT ELEVATION
+	CLEAN CUT
EP	EDGE OF PAVEMENT
IC	TOP OF CURB
SW	TOP OF SIDEWALK
---	DRAINAGE FLOW

- GENERAL NOTES**
- REFER TO SHEET C-10 FOR EXISTING CONDITIONS NOTES AND LEGEND
 - NO SITE GRADING OUTSIDE OF PROPOSED SITE FENCE LOCATION
 - ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERENCED TO AS SWMS). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO STANDARD CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO SWMS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES FINING AN ESTABLISHED VEGETATION COVER.
 - INSTALL A TRACKING PAD 30' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EROSION CONTROL MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, EQUIPMENT, AND STAKEOUT THE TRENCH IMMEDIATELY AFTER PUMP CONSTRUCTION.
 - REDUCE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH SWMS PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - APPLY AVOIDANCE FOR OTHER DISTURBED AREAS IF EROSION BECOMES PROBLEMLING.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITHIN THE PLANS REQUIRE APPRAISAL, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
 - LOCATIONS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - CONVEX CURVED MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH DIGGING SHALL BE CONDUCTED PER SPECIFICATIONS.
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & CUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
 - THE PROPOSER APPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DECRA, AND DNR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - LEARNING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS; ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAX FEES, WATER SUPPLIES, DOWNS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION PROTECTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

- PAVING NOTES**
- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION" APPLICABLE TO THE CITY OF MADISON ORDINANCES.
 - MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MAY BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
 - CONTRACTOR TO USE A SEEDING RATE OF 2 LBS. PER 1000 S.F. FOR TURF AREAS.
 - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH S&T FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETE.
 - CONTRACTOR SHALL SCARIFY ALL COMPACTED PAVEMENT AREAS PRIOR TO SEEDING AND MULCHING.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDER AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

ARCHITECTS
 338 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.223.3330
 414.223.3340 fax
 www.albfanord.com

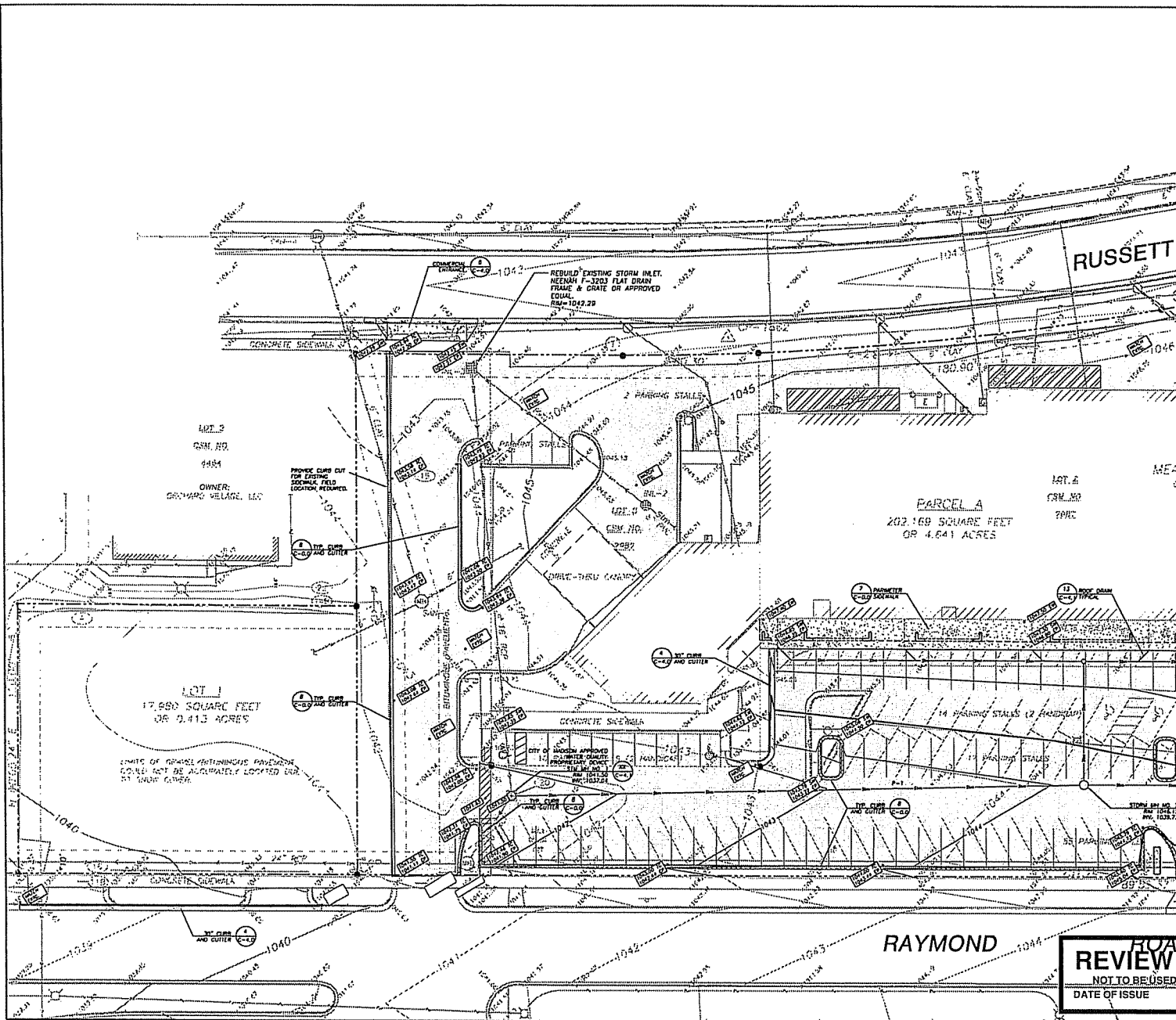
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONSULTANT
 WALGREENS CONTRACTOR (PLANNING CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

1 03-22-06 MADISON PLAN COMMISSION
 NO. DATE DESCRIPTION
 DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

EROSION CONTROL & GRADING PLAN

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	



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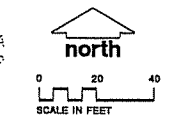
DATE	BY
Drawn: JET	02-22-06
Checked: JET	02-22-06
Approved: JSD	02-22-06
Exp. of Madison Planning:	02-22-06

THE NATIONAL GROUP ARCHITECTS
 338 North Milwaukee St.
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 Milwaukee, WI 53202
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 414.223.3340 fax
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DRAWINGS SPECIFICATIONS BY:
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 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (DUMPEY CONSTRUCTION)

STORE	BUILDING
NEW: <input type="checkbox"/>	NEW: <input type="checkbox"/>
REMODELING: <input type="checkbox"/>	EXISTING: <input type="checkbox"/>
RELOCATION: <input type="checkbox"/>	NEW SHELL ONLY: <input type="checkbox"/>
OTHERS: <input type="checkbox"/>	



LEGEND (PROPOSED)

- PROPERTY LINE
- BUILDING LINE
- 1042- 1 FOOT CONTOUR
- 1043- 3 FOOT CONTOUR
- 30" FLEET CURB & CUTTER
- 30" STANDARD CURB & CUTTER
- 18" STANDARD CURB & CUTTER
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT (E-02)
- CONSTRUCTION ENTRANCE
- PAVEMENT STRIPING
- (1042.00) SPOT ELEVATION
- +100 ELEVATION
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- SW TOP OF SIDEWALK
- DR DRAINAGE FLOOR

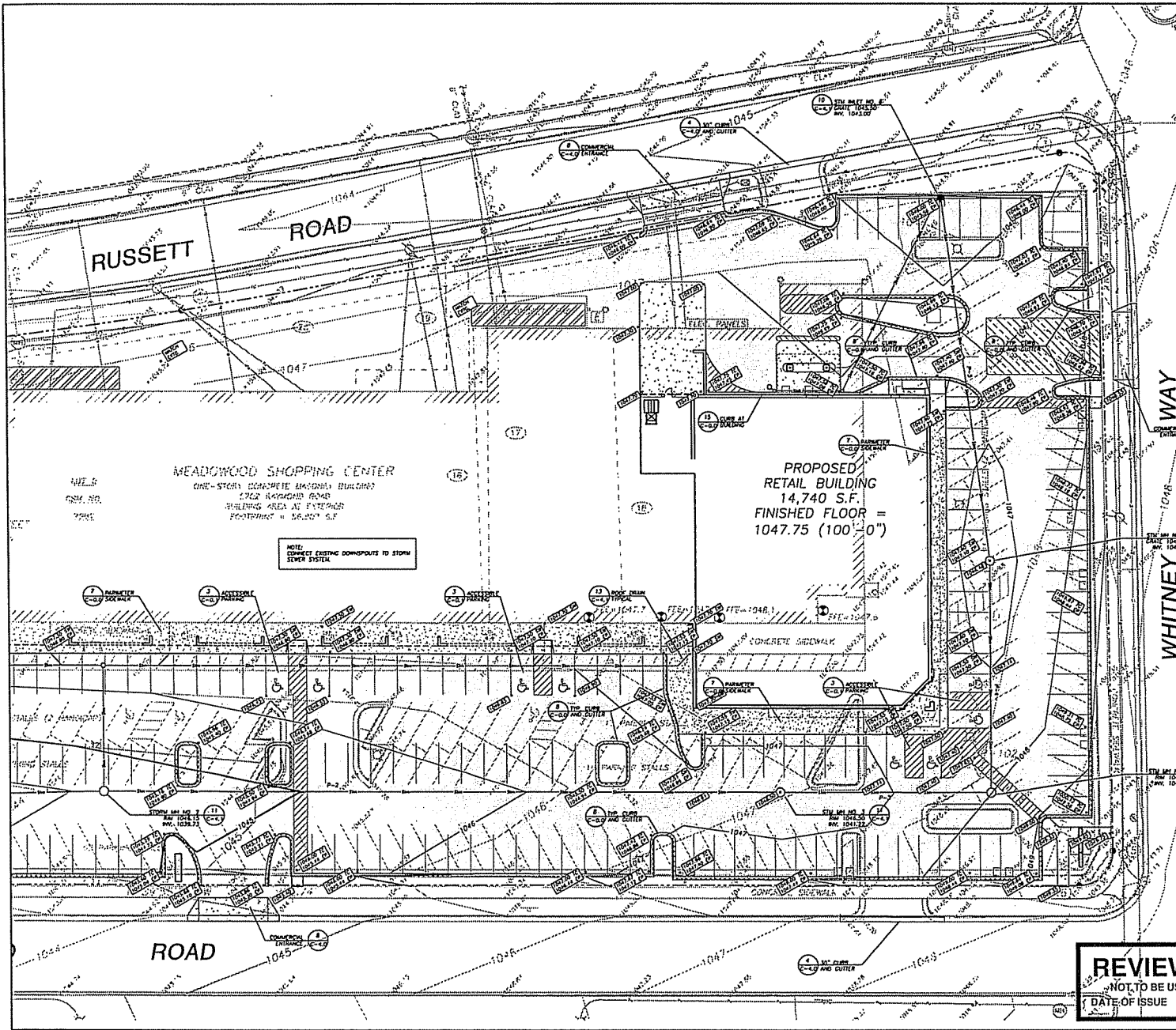
NO.	DATE	DESCRIPTION
1	02-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/REVISIONS
 STORE # 18573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

DETAIL GRADING-WEST

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-31
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006



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 Jenkins Survey & Design, Inc.

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PLANNING & DEVELOPMENT
CONSTRUCTION MANAGEMENT

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 181 Hudson Drive
 Suite 101
 Verona, Wisconsin 53593
 (608) 949-3650

MILWAUKEE REGIONAL OFFICE
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 Suite 3
 Milwaukee, Wisconsin 53188
 (755) 313-0858

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DATE	DATE
Drawn: JET	03-22-02
Checked: JET	03-22-02
Approved: JET	03-22-02
City of Madison, Wisconsin	03-22-02

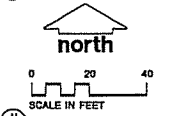
ARCHITECTS
 338 North Milwaukee St.
 Suite 502
 Milwaukee, WI 53202
 414.223.3340 fax
 414.223.3340 www.ellbenedict.com

THE GROUP

DRAWINGS SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	



- LEGEND (PROPOSED)**
- PROPERTY LINE
 - BUILDING LINE
 - 1 FOOT CONTOUR
 - 5 FOOT CONTOUR
 - 30" STANDARD CURB & GUTTER
 - 18" STANDARD CURB & GUTTER
 - 18" PEDEST CURB & GUTTER
 - CONCRETE PAVEMENT
 - BITUMINOUS PAVEMENT (E-0.3)
 - CONSTRUCTION ENTRANCE
 - PAVEMENT ENTRANCE
 - SPOT ELEVATION
 - CLEAN CUT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - SW TOP OF SIDEWALK
 - DRAINAGE FLOW

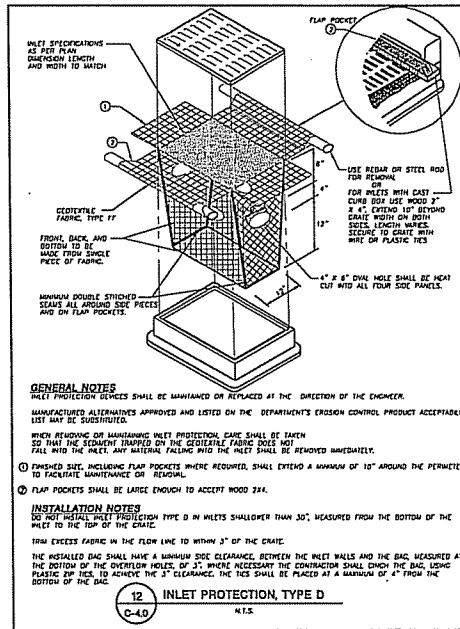
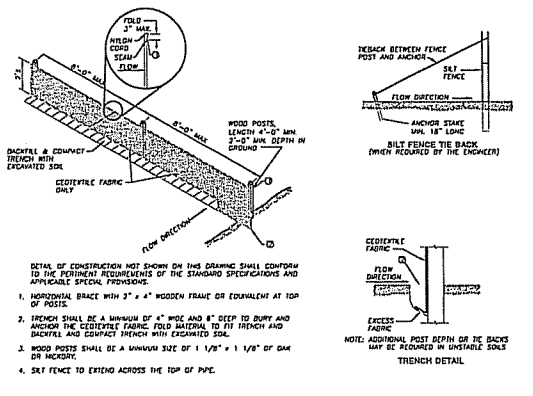
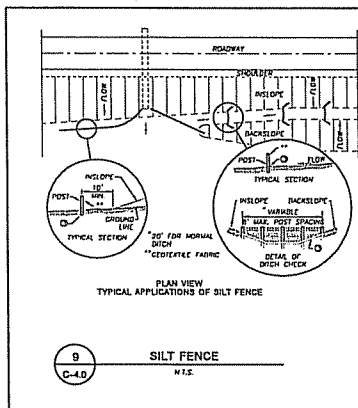
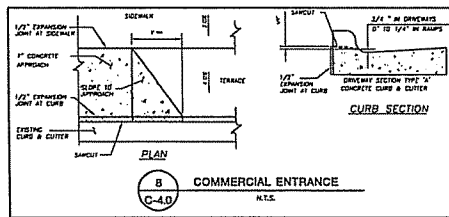
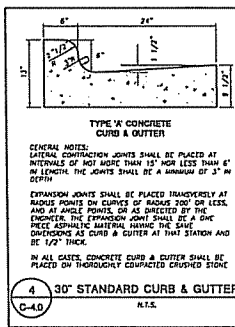
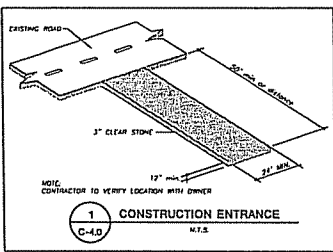
MEADOWWOOD SHOPPING CENTER
 ONE-STORY DEMOLISHED BRICK BUILDING
 2722 RAYMOND ROAD
 BUILDING AREA: 42,000 S.F.
 FOOTPRINT: 56,200 S.F.

PROPOSED RETAIL BUILDING
 14,740 S.F.
 FINISHED FLOOR = 1047.75 (100'-0")

NOTE: COMPLETE EXISTING DISCONNECTS TO STORM SEWER SYSTEM.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
DETAIL GRADING-EAST		
DATE PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.2
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DIVS.
	0378.00	



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DATE	BY
03-02-06	MT
03-03-06	MT
03-22-06	DM
03-22-06	DM

ARCHITECTS
 330 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.222.3330
 414.222.3340 fax
 www.ellbford.com

THE GROUP

BY ARCHITECT, P.C. AS REPRESENTATIVE

DRAWINGS SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	



CALL HIGGINS HOTLINE
 1-800-361-4411 TOLL FREE

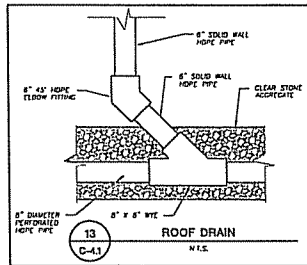
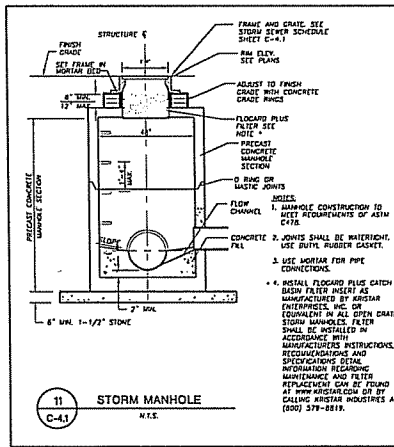
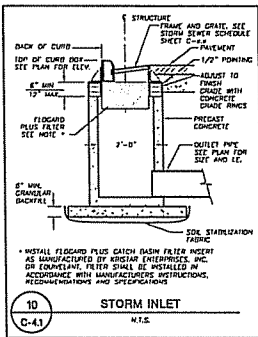
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REVIEW DRAWING
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 DATE OF ISSUE: MARCH 22, 2006

NO.	DATE	DESCRIPTION
1	03-23-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE
DETAILS

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-4.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	0578-00
	OF	DWGS.



PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	FRAME/GRATE
MH NO. 1	1037.04	1041.50		* WATER QUALITY PROPRIETARY DEVICE - SEE DETAIL SPECIFICATIONS	
MH NO. 2	1039.73	1046.15	6.42	4\"/>	

PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	MH NO. 1	MH NO. 2	234.63	1039.73	1037.69	0.80%	18\"/>



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DATE: _____ BY: _____
 DRAWN: MFL DATE: 01-21-08
 CHECKED: JMS DATE: 03-02-08
 APPROVED: JMS DATE: 03-27-08
 FILE #/PROJECT #/JOB #/DATE: 01-22-08

THE ARCHITECTS GROUP
ARCHITECTS
338 North Milwaukee St.
Suite 303
Milwaukee, WI 53202
414.223.3300
414.223.3340 fax
www.dblbond.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	CASING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	DESCRIPTION
1	03-21-08	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573

PROJECT NAME:
WALGREENS STORE
RAYMOND ROAD & WHITNEY WAY
MADISON, WI

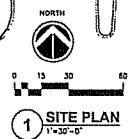
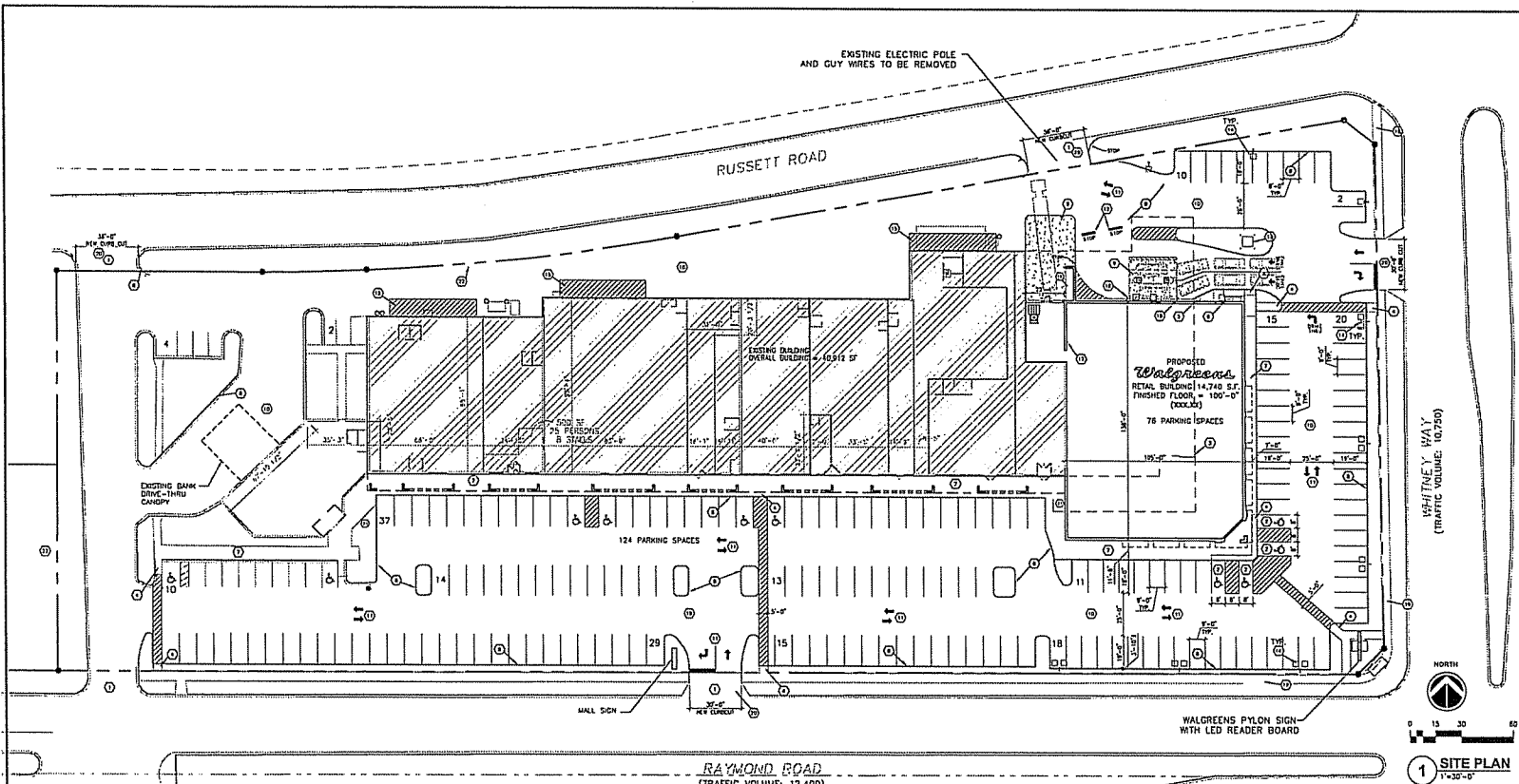
DRAWING TITLE
DETAILS

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-4.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	
	057800	OF DWGS.

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE: MARCH 22, 2008

THE WALGREEN GROUP, INC. AND WALGREEN STORES
 DRAWINGS/SPECIFICATIONS BY:
 WALGREEN STORE CONSULTANT
 LANDSCAPE CONSULTANT
 ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREEN STORE CONTRACTOR (TURNKEY CONSTRUCTION)
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODEL	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	



1 SITE PLAN
 1"=30'-0"

GENERAL NOTES

1. DIMENSIONS, DIMENSIONS AND EASEMENTS SHOWN HEREIN ARE FOR REFERENCE ONLY. REFER TO PROJECT ALTA/ASCM LAND TITLE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND VERIFICATION OF REFERENCED INFORMATION.
2. REFER TO PROJECT ARCHITECTURAL DRAWINGS FOR DETAIL DIMENSIONS OF BUILDING, DRIVE-THRU AND STORAGE CANOPIES, RECEIVING AND RECYCLING PLATFORMS AND/OR ENCLOSURES AND CONCRETE WORK SURROUNDING BUILDING.
3. ALL AREAS NOT OTHERWISE NOTED SHALL BE LANDSCAPED. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

KEYED NOTES

- | | |
|---|--|
| (1) ACCESSIBLE ROUTE TO ENTRY | (14) TOTE ENCLOSURE |
| (2) ACCESSIBLE PARKING | (15) ROOF STORM LINE TO BE INTO CITY STORM |
| (3) PARTIAL DEMOLITION OF EXISTING BUILDING | (16) CANOPY DOWNSPROUT TO BE INTO CITY STORM |
| (4) PEDESTRIAN TACTILE WARNING SURFACE | (17) EXISTING SIDEWALK |
| (5) GAS METER | (18) CONCRETE CONSTRUCTED ENTRANCES |
| (6) ELECTRIC METER | (19) DMC PACKS |
| (7) CONCRETE WALK | (20) RESERVED FOR FUTURE DEVELOPMENT |
| (8) CONCRETE CURB | (21) NO CURB |
| (9) CONCRETE PAVING | |
| (10) ASPHALT PAVING | |
| (11) PAVEMENT MARKINGS | |
| (12) TRAFFIC REGULATION SIGN FOR TEXT INDICATED | |
| (13) ELECTRICAL TRANSFORMER | |
| (14) LIGHT POLE | |
| (15) LIGHTING ZONE PAD | |

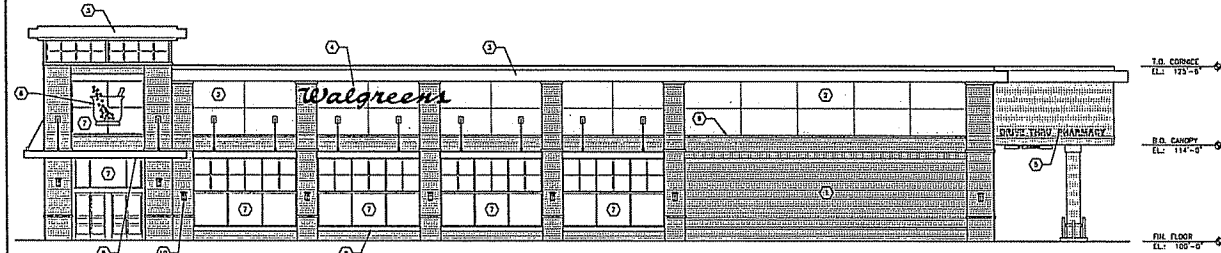
SITE DATA

EXISTING ZONING = C-2	
TOTAL SITE AREA	201,866 SF (4.6 ACRES)
BUILDING SETBACKS	NONE REQUIRED
FRONT YARD	NONE REQUIRED
SIDE YARDS	NONE REQUIRED
REAR YARD	NONE REQUIRED
BUILDING INFORMATION	
# OF STORES ABOVE GRADE	1 STORY
PROPOSED BUILDING HEIGHT	31'-2"
PROPOSED BUILDING AREA	53,823 SF
PARKING REQUIREMENTS	
REQUIRED PARKING SPACES:	
1 SPACE PER 300 SF OF GROSS FLOOR AREA	183 SPACES
CAR PARKING SPACES PROPOSED	190 SPACES
HANDICAPPED PARKING SPACES PROPOSED	10 SPACES
TOTAL PARKING SPACES PROPOSED	200 SPACES
SIGNAGE REQUIREMENTS	
FREESTANDING PYLON SIGNS	PENDING
SETBACK	PENDING
ALLOWABLE AREA	PENDING
MAXIMUM HEIGHT	PENDING
WALL SIGNS	
ALLOWABLE AREA	PENDING

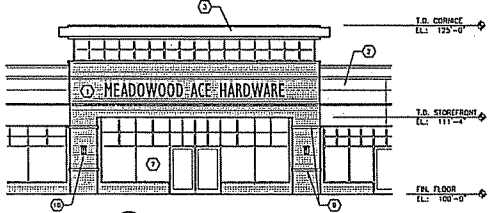
1 05-27-24		MADISON PLAN COMMISSION
NO.	DATE	DESCRIPTION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
SITE PLAN		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	A0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0573-00	OF DWGS.



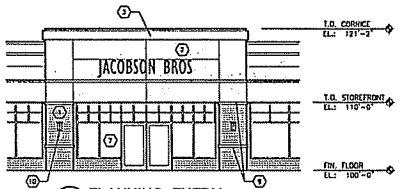
1 WALGREENS ENTRY
SCALE: 1/8" = 1'-0"



2 WALGREENS ENTRY
SCALE: 1/8" = 1'-0"



3 CENTRAL TOWER
SCALE: 1/8" = 1'-0"



4 FLANKING ENTRY
SCALE: 1/8" = 1'-0"



5 FULL FACADE
SCALE: 1" = 40'

EXTERIOR ELEVATIONS KEYED NOTES	
DESCRIPTION	
1	UTILITY SIZE FACE BRICK
2	SMOOTH-FACED MANUFACTURED Limestone OR EPS
3	PREFINISHED SHEET METAL COPING, CUTTERS, AND DOWNSPOUTS
4	RED "WALGREENS" SCRIPT SIGN INTERNALLY ILLUMINATED. SEE DETAILS ON SHEET AS.2
5	INDIVIDUAL LETTER SIGN, SEE SHEET AS.2
6	WALGREENS NEON GRAPHIC BEYOND. SEE DETAIL ON SHEET AS.2
7	GLAZING SYSTEM
8	SUNSCREENS W/ BRACKETS
9	STONE SILL (TYP.)
10	WALL SCIENCE

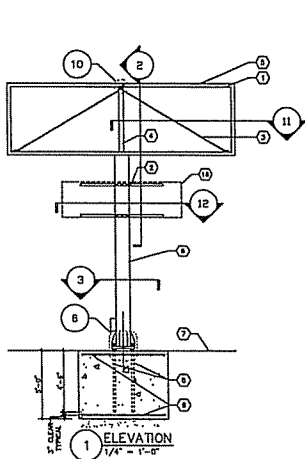
THE ALBION GROUP ARCHITECTS
 338 North Madison St.
 Suite 503
 Madison, WI 53702
 414.223.3330
 414.223.3340 Fax
 www.albiongroup.com

DRAWING SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

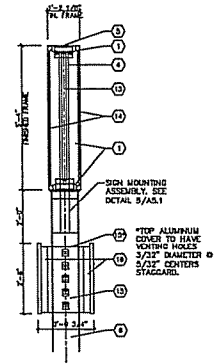
ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

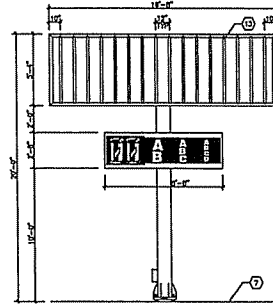
1	85-2248	MADISON PLAN COMMISSION
NO.	DATE	DESCRIPTION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
EXTERIOR ELEVATIONS		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: SM	A2.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0576.00	OF DWGS.



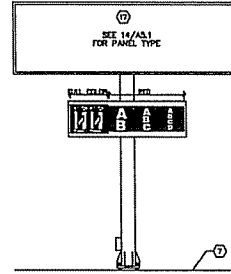
1 ELEVATION
1/4" = 1'-0"



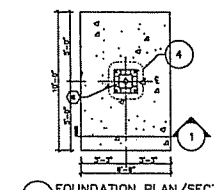
2 SECTION
1/2" = 1'-0"



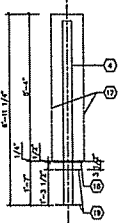
8 ELEVATION SIGN LIGHTING
1/4" = 1'-0"



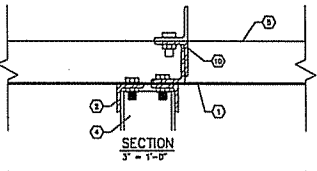
9 ELEVATION
1/4" = 1'-0"



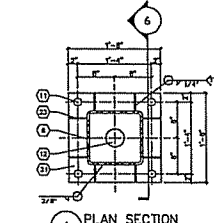
3 FOUNDATION PLAN/SECTION
1/4" = 1'-0"



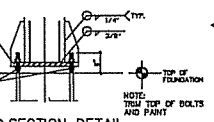
5 SECTION DETAIL
1/2" = 1'-0"



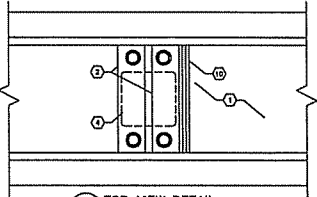
SECTION
3" = 1'-0"



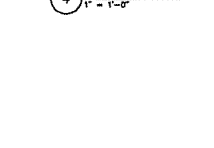
4 PLAN SECTION
1" = 1'-0"



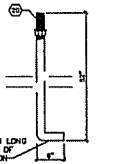
6 SECTION DETAIL
3/4" = 1'-0"



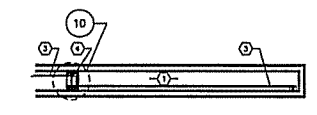
10 TOP VIEW DETAIL
3" = 1'-0"



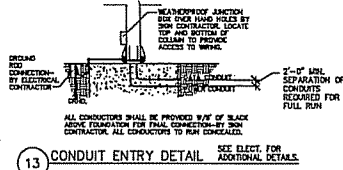
11 PLAN SECTION
1/2" = 1'-0"



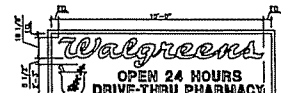
7 ANCHOR BOLT DETAIL
1" = 1'-0"



12 PLAN SECTION
1/2" = 1'-0"



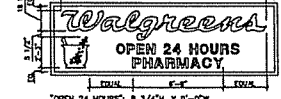
13 CONDUIT ENTRY DETAIL. SEE ELEC. FOR ADDITIONAL DETAILS.



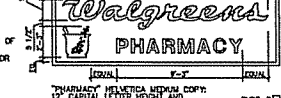
TYPE-A
"OPEN 24 HOURS", 8 3/4" H X 8'-0" W AND "DRIVE-THRU PHARMACY", 8 3/4" H X 12'-0" W HELVETICA MEDIUM COPY.



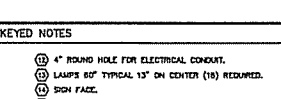
TYPE-B
"DRIVE-THRU PHARMACY" HELVETICA CONDENSED COPY, 4" CAPITAL LETTER HEIGHT AND 12'-10" OVERALL COPY LENGTH.



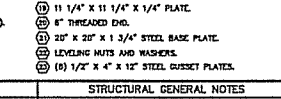
TYPE-C
"OPEN 24 HOURS", 8 3/4" H X 8'-0" W AND "PHARMACY", 8 3/4" H X 8'-0" W HELVETICA MEDIUM COPY.



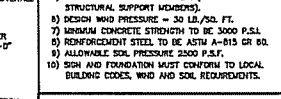
TYPE-D
"PHARMACY" HELVETICA MEDIUM COPY, 12" CAPITAL LETTER HEIGHT AND 12'-0" OVERALL COPY LENGTH.



TYPE-E
"PHARMACY" HELVETICA MEDIUM COPY, 12" CAPITAL LETTER HEIGHT AND 12'-0" OVERALL COPY LENGTH.



TYPE-F
"PHARMACY" HELVETICA MEDIUM COPY, 12" CAPITAL LETTER HEIGHT AND 12'-0" OVERALL COPY LENGTH.



TYPE-G
"PHARMACY" HELVETICA MEDIUM COPY, 12" CAPITAL LETTER HEIGHT AND 12'-0" OVERALL COPY LENGTH.



TYPE-H
"PHARMACY" HELVETICA MEDIUM COPY, 12" CAPITAL LETTER HEIGHT AND 12'-0" OVERALL COPY LENGTH.

NOTE: MICHIGAN DESIGN SHOWS PROJECT DESIGNED TO VERIFY ADEQUACY OF DESIGN TO MEET LOCAL CODES.

- KEYED NOTES
- ① EXTRUDED ALUMINUM FRAME.
 - ② ANGLE 2" X 2" X 1/4".
 - ③ 3/8" DIAMETER SAG ROD.
 - ④ 4" X 4" TUBE POST.
 - ⑤ PRECATED ALUMINUM SHEET METAL COVER.
 - ⑥ 12" X 12" X 1/2" STEEL TUBE COLUMN.
 - ⑦ TOP OF FOUNDATION.
 - ⑧ (4) 1 3/4" DIAMETER ANCHOR BOLTS WITH 3/8" STEEL WASHERS (TYPICAL) SEE DETAIL 7/AS.1.
 - ⑨ #6 BARS TOP AND BOTTOM 12" O.C. EACH WAY (TYPICAL).
 - ⑩ ANGLE 2 1/2" X 2 1/2" X 1/4".
 - ⑪ 1 1/2" Ø ROUND HOLE FOR 1 3/4" DIAMETER ANCHOR BOLTS. (4) WITH 3/8" STEEL WASHERS.
 - ⑫ 4" ROUND HOLE FOR ELECTRICAL CONDUIT.
 - ⑬ ROUNDS 80° TYPICAL 15" ON CENTER (10) REQUIRED.
 - ⑭ SIGN FACE.
 - ⑮ BREATHER PANEL (COVER).
 - ⑯ LED READER BOARD PANELS MOUNTED ON EACH SIDE OF THE PYLON.
 - ⑰ PRIMARY SIGN PANEL.
 - ⑱ 15" X 15" X 1/2" CAP PLATE.
 - ⑲ 11" 1/4" X 11" 1/4" X 1/4" PLATE.
 - ⑳ 8" THREADED ROD.
 - ㉑ 20" X 20" X 1 3/4" STEEL BASE PLATE.
 - ㉒ LEVELING NUTS AND WASHERS.
 - ㉓ (8) 1/2" X 4" X 12" STEEL GUSSET PLATES.

COLORS		STRUCTURAL GENERAL NOTES
STRUCTURE	CABINETS/RETAINERS: PFM DARK BRONZE COLUNAS: DARK BRONZE	1) ALL ALUMINUM SURFACES IN CONTACT WITH STEEL SHALL RECEIVE ONE COAT OF EPONAUSTIC PAINT.
FACES	PRIMARY PANEL: 3M PAVILUX SIGN FACE WITH #630-53 "CARDINAL RED" BACKGROUND #630-36 "BLUE" MORTAR AND PESTLE WHITE STARS AND COPY. THE MORTAR AND PESTLE SYMBOL: 2"-3" OVERALL SYMBOL HEIGHT AND 2'-0" OVERALL SYMBOL WIDTH. "WALGREENS" EXTENDED SCRIPT COPY: 18" CAPITAL AND 12" LOWER CASE LETTER HEIGHTS. 25" OVERALL COPY HEIGHT, 15'-0" OVERALL COPY LENGTH. LED READERBOARD PANEL, OPTION: 5 1/2" H X 24" W 7/8" THK RED (PREFERRED OPTION). TWO SINGLE-FACED DISPLAYS, CONSTRUCTED FROM NOMINAL 11" X 11" STANDARD TILES ON THE 16 RIGHT RED SECTION LED PANELS. THE 2'-0" CABINET HEIGHT ALLOWS ONE TO EIGHT LINES OF COPY. HIGH RESOLUTION WITH SHADING. □ FULL RED: TWO SINGLE-FACED DISPLAYS, CONSTRUCTED FROM NOMINAL 11" X 11" STANDARD TILES WITH RED LED PANELS. THE 2'-0" CABINET HEIGHT ALLOWS ONE TO EIGHT LINES OF COPY. HIGH RESOLUTION WITH SHADING.	2) ALL STRUCTURAL STEEL SHALL COMPLY WITH THE AISC MANUAL, LATEST EDITION. 3) ALL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST INHIBITIVE PAINT. 4) TOTAL SIGN WEIGHT = 2300 LB. (INCLUDING ALL STRUCTURAL SUPPORT MEMBERS). 5) WIND LOAD PRESSURE = 30 LB./SQ. FT. 6) MICHIGAN CONCRETE STRENGTH TO BE 3000 P.S.I. 7) REINFORCEMENT STEEL TO BE ASTM A-615 OR EQ. 8) ALLOWABLE SOIL PRESSURE 2500 P.S.F. 9) SIGN AND FOUNDATION MUST CONFORM TO LOCAL BUILDING CODES, WIND AND SOIL REQUIREMENTS.

THE ARCHITECTS
338 North Milwaukee St.
Suite 503
Allwaukee, WI 53202
414.223.3338
414.223.3340 fax
www.albionrd.com

DRAWINGS SPECIFICATIONS BY:
WALGREENS CONSULTANT
LANDOWNER'S CONSULTANT
ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
WALGREENS CONTRACTOR
LANDOWNER'S CONTRACTOR (TURKEYE CONSTRUCTION)

STORE BUILDING
NEW EXISTING
RELOCATION NEW SHELL ONLY
OTHERS

PROJECT NAME
MADISON PLAN COMMISSION

NO. DATE DESCRIPTION
1 03-21-08 MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
STORE # 10573

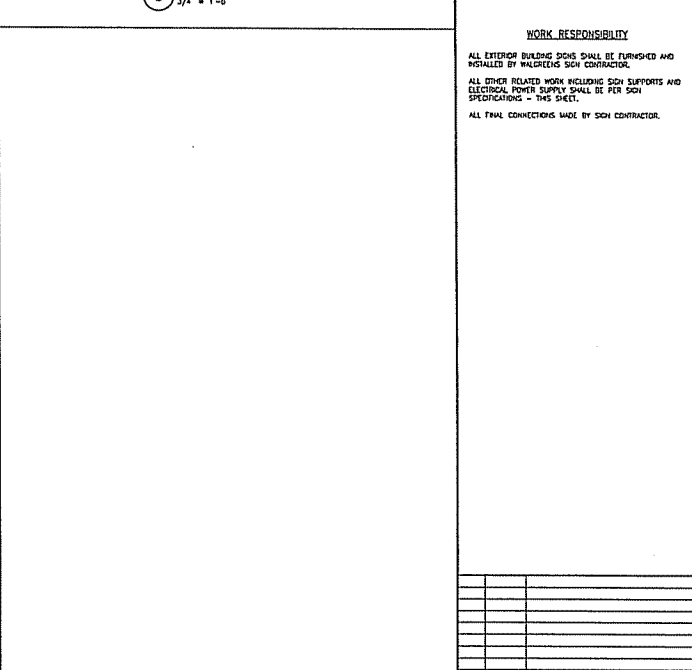
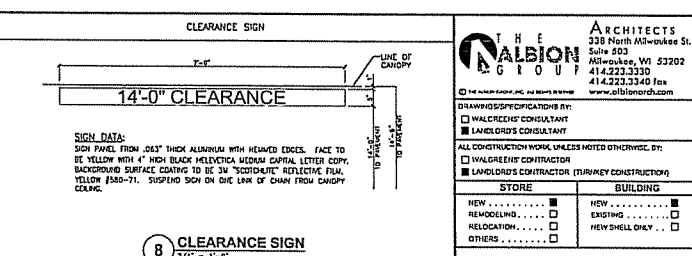
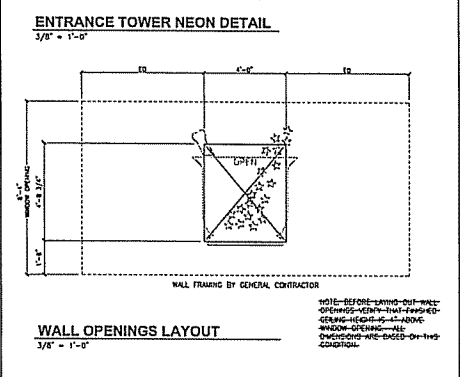
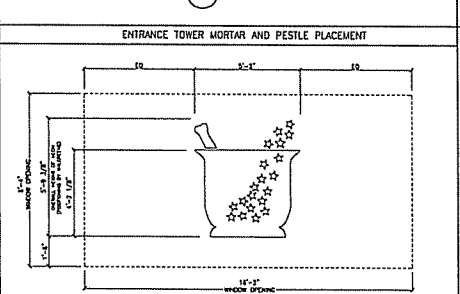
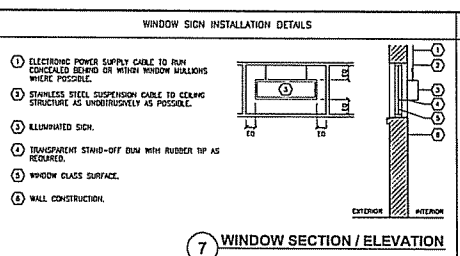
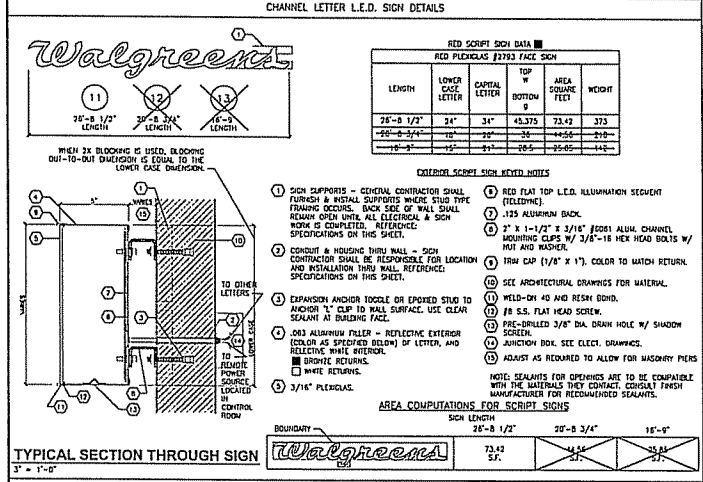
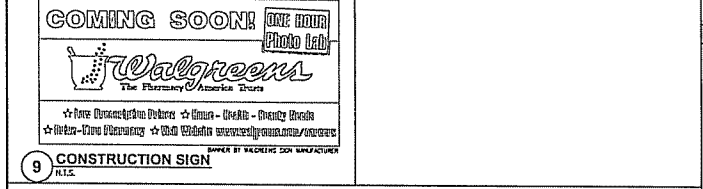
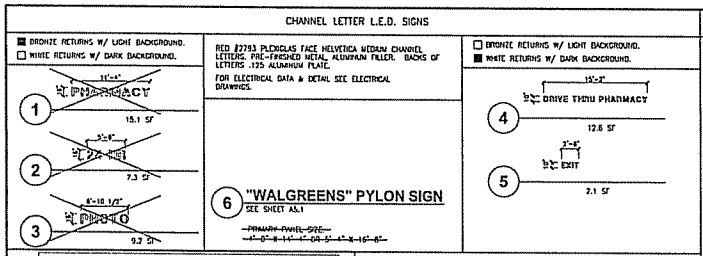
WALGREENS STORE
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
DRAWING TITLE

READER BOARD PYLON SIGN DETAILS (120 SQ. FT.)

CADD PLOT: SCALE: AS SHOWN DRAWING NO.
DRAWN BY:

VOID PLOT: REVIEWED BY: A5.1

RELEASED TO CONSTRUCTION: PROJECT NO. 0574.00
DATE OF DWGS.



THE NALBING GROUP ARCHITECTS
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Madison, WI 53702
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414.223.3340 Fax
www.nalbing.com

DESIGNED/SPECIFIED BY:
 WALGREENS CONSULTANT
 LAMERLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LAMERLORD'S CONTRACTOR (FINNEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

WORK RESPONSIBILITY

ALL EXTERIOR BUILDING SIGNS SHALL BE FURNISHED AND INSTALLED BY WALGREENS SIGN CONTRACTOR.

ALL OTHER RELATED WORK INCLUDING SIGN SUPPORTS AND ELECTRICAL POWER SUPPLY SHALL BE PER SOI SPECIFICATIONS - THIS SHEET.

ALL FINAL CONNECTIONS MADE BY SIGN CONTRACTOR.

NO.	DATE	DESCRIPTION
1	03-22-08	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

PROJECT NAME
WALGREENS STORE
RAYMOND ROAD & WHITNEY WAY
MADISON, WI

DRAWING TITLE
EXTERIOR SIGN DATA

CADD PLOT:	SCALE: AS SHOWN	DRAWING NO.
VOID PLOT:	REVIEWED BY:	A5.2
RELEASED TO CONSTRUCTION:	PROJECT NO. 0578-00	OF DWGS.